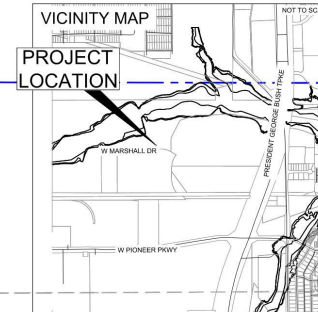
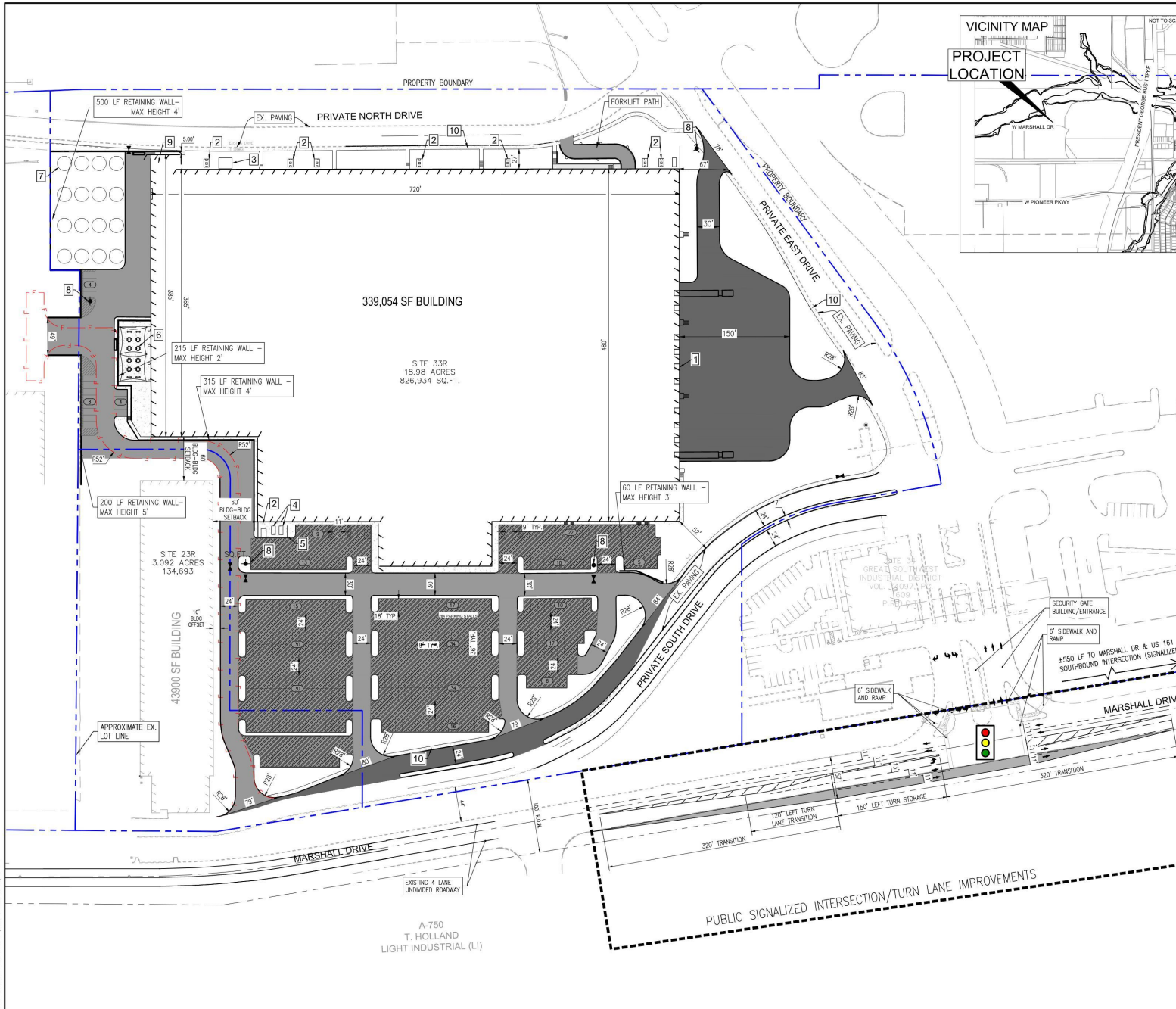


Exhibit B - Site Plan
Page 1 of 2



CAUTION:
EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

LEGEND		KEYNOTES	
---	PROPERTY LINE	1	LOADING DOCK
- - -	EASEMENT	2	TRANSFORMER
■	PROP. 8" PAVEMENT	3	MEDIUM VOLTAGE SWITCH
■	PROP. 6" PAVEMENT	4	GENERATOR
■	PROP. 5" PAVEMENT	5	SCREENING FENCE
■	PROP. SIDEWALK 4" PAVEMENT	6	EMPLOYEE REST AREA
- - -	PROPOSED FIRE LANE STRIPING	7	SLOPE
		8	FIRE HYDRANT ASSEMBLY
		9	FIRE RISER ROOM
		10	5' WIDE SIDEWALK

Standard	Required	Proposed	Compliance
Min. Lot Area (Sq. Ft.)	N/A	784080	N/A
Min. Lot Width (Ft.)	N/A	N/A	N/A
Min. Lot Depth (Ft.)	N/A	915	N/A
*Front Setback (Ft.)	N/A	*10	N/A
Rear Setback (Ft.)	N/A	N/A	N/A
Max Height (Ft.)	50	40	Yes
Max Floor Area Ratio	1.1	1.1	Yes

*The existing pavement infrastructure was constructed prior to the current code of ordinances. We respectfully request that it be recognized as an existing condition and be grandfathered in under previous regulations.

Site Data	
Use	Light Industrial (LI)
Surrounding Land Use	Light Industrial (LI)
Site Area	18 Acres
Lot Coverage	66680 Sq. Ft. (16 Acres)
Water and Wastewater Impact Fee Zone	North
Total Impervious Area	756,061 Sq. Ft.

Required Parking	Standard	Variance Required	Provided
Use	20 Spaces +1/5,000 Sq. Ft.	266	284
Warehouse	2% Total Stall Count	7	7

Landscaping	Standard	Variance Required	Provided
Use	5%	0.06 Acres	2.14 Acres (93.365 St. X 11.31%)

1. THE PURPOSE OF THIS SITE PLAN SUBMITTAL IS TO PROVIDE A SCALED DRAWING OF THE PROPERTY SHOWING THE RELATIONSHIP BETWEEN EXISTING AND PROPOSED FEATURES, INCLUDING BUILDINGS, LANDSCAPING, UTILITIES, AND PROPERTY LINES, TO ENSURE COMPLIANCE WITH THE CITY OF GRAND PRAIRIE CODES AND REGULATIONS.
2. TRASH ENCLOSURES LOCATED INTERNAL TO THE BUILDING. NO OUTSIDE DUMPSTER PAD LOCATION SHOWN.



POLY-AMERICA, L.P.
BLDG 9

SITE PLAN
POLY BUILDING 9

CITY OF GRAND PRAIRIE
TARRANT COUNTY, TX



GRAHAM ASSOCIATES, INC.
CIVIL ENGINEERING & SURVEYING
4001 PLEASANT DRIVE, SUITE 300
ARLINGTON, TEXAS 76010 (817) 545-4555
TX REG. NO. C-130178 P.E. JOHN L. GRAHAM

DRAWN BY: GJM
DATE: 7/11/2025

PROJECT NO. 9994-1002
SHEET 2 OF 29

SHEET
2



	PUT INTO VAULT				-	-	-
	REVISION				BY	APPD	DATE
NO.	DRAWN LVH	DATE 12/28/73	CHECK	DATE	APPD	DATE	
TOLERANCES UNLESS OTHERWISE SPECIFIED FRACTIONAL ± 1/32 DECIMAL 0 ± .01 .00 ± .01 .000 ± .001 ANGULAR ± 1/2° MACHINE TOLERANCE 125 RIMS 							
EQUIPMENT ID PART NO.							
LOT 01				DWG. NO. 0000009534-010		REV. 1	