

Exhibit C - Concept Elevation  
Page 1 of 2

ZONING NOTES

APPENDIX W - RESIDENTIAL DEVELOPMENT STANDARDS

SECTION 3

I. EXTERIOR DESIGN RECOMMENDATIONS FOR MULTI-FAMILY DEVELOPMENT

- A. IN ORDER TO ENHANCE THE LONG-TERM VALUE AND DESIRABILITY OF MULTI-FAMILY DEVELOPMENT, THE EXTERIOR OF ALL NEW BUILDINGS EXCLUDING DOORS AND WINDOWS SHOULD BE FINISHED IN ONE OR MORE OF THE FOLLOWING MATERIALS INDICATED BELOW.
1. MASONRY, SUCH AS BRICK, STONE, CAST STONE, CLUTURED STONE, ROCK, EXTERIOR PORTLAND CEMENT PLASTER (STUCCO) WITH 3 COATS OVER METAL LATH AND FIBER CEMENT SIDING (AS DEFINED IN THE MOST RECENTLY ADOPTED BUILDING CODE AND APPROVED BY THE BUILDING OFFICIAL), **COMPLIANT, REFER TO ELEVATIONS FOR MATERIALS.**
2. NONMASONRY MATERIAL, SUCH AS ARCHITECTURAL METAL PANEL, OR ENGINEERED WOOD, IF SUCH MATERIAL EXHIBITS THE SAME WEATHERING AND DURABILITY CHARACTERISTICS AS MASONRY MATERIALS LISTED ABOVE, NOT APPLICABLE.
3. THE USE OF A SINGLE TEXTURE, COLOR, OR MATERIAL FROM THE ABOVE LIST SHOULD COMBINE NO MORE THAN SIXTY PERCENT (60%) OF A BUILDING FACE BETWEEN TERMINATING CORNERS. THE REMAINDER SHOULD CONSIST OF AT LEAST TWO OTHER CONTRASTING COLORS, TEXTURES, OR MATERIALS. **COMPLIANT, REFER TO MATERIAL PERCENTAGE CHARTS.**
4. THE DEVELOPER/BUILDER SHOULD USE EXTERIOR INSULATING FINISHING SYSTEM (EIFS) FOR ROOF PARAPET, CORNICE MOLDING, ORNAMENTAL ROUNDELS OR SIMILAR DECORATIVE ELEMENTS ONLY. THE USE OF EIFS SHOULD NOT BE UTILIZED ON ANY PORTION OF THE WALL THAT IS LESS THAN EIGHT FEET (8') IN HEIGHT FROM FINISHED GRADE ELEVATION. NOT APPLICABLE.
5. NOT MORE THAN TWENTY PERCENT (20%) OF EACH BUILDING FACE SHOULD UTILIZE NON-NEUTRAL COLORS. THE REMAINDER OF THE BUILDING FACE SHOULD UTILIZE NEUTRAL COLORS, INCLUDING EARTH TONES. **COMPLIANT, REFER TO ELEVATIONS AND MATERIAL PERCENTAGE CHARTS.**
6. IN ANY DEVELOPMENT THAT INCLUDES MULTI-FAMILY RESIDENTIAL OR MIXED USE, EVERY BUILDING WITH RESIDENTIAL USE SHOULD DISPLAY THE SAME LEVEL OF ARCHITECTURE, MATERIALS, AND DETAILING ON ALL SIDES OF THE BUILDING. ARCHITECTURAL TECHNIQUES, SUCH AS VARIED SETBACKS OF WINDOWS AND BALCONIES, AND CHANGE IN MATERIAL, COLOR AND TEXTURE, SHOULD BE USED TO ARTICULATE FACADES AND SEVERAL ELEVATIONS. AN EXCEPTION MAY BE CONSIDER IN CASES WHERE A BUILDING FACE ABUTS A PROTECTED AREA, INCLUDING DESIGNATED FEMA FLOODWAY. **COMPLIANT, REFER TO ELEVATIONS.**
7. HIPPED OR GABLED ROOFS MAY EMPLOY STANDING SEAM METAL IN A NONMETALLIC MATTE FINISH, NOT APPLICABLE.
8. IF A FLAT ROOF IS UTILIZED FOR THE PRIMARY ROOF SURFACE, THE DESIGN SHOULD EMPLOY HORIZONTAL AND VERTICAL OFFSETS OF 2 FEET OR GREATER FROM THE PRIMARY CORNICE ELEVATION OVER A MINIMUM OF 30% OF THE LINEAL FOOTAGE OF EACH BUILDING SIDE. **NOT APPLICABLE.**
1. PROVIDE CORNER TREATMENT FOR FLAT ROOFS AT ALL BUILDINGS CORNERS AND UTILIZE A MINIMUM OF ONE SLOPED OR NON-HORIZONTAL ELEMENT PER CORNER, OR A HORIZONTAL CORNICE PROJECTION OF 8 INCHES OR GREATER.
1. PROVIDE CORNER TREATMENT OR AREA PROJECTION EXTENDING FROM EACH CORNER A MINIMUM OF 15 % OF THE TOTAL DISTANCE BETWEEN THE TERMINATING CORNERS OF EACH BUILDING SIDE.
- B. MULTI-FAMILY DEVELOPMENTS MEETING EACH OF THE RECOMMENDED DESIGN STANDARDS IN THIS SECTION MAY REQUEST TWO OF THE FOLLOWING:
1. ELIMINATE MASONRY MATERIAL FROM CARPORT SUPPORT POSTS.
  2. INCREASE MAXIMUM DENSITY OR FAR BY 20%.
  3. REDUCE REQUIRED LANDSCAPE AREAS BY 25%.
  4. INCREASE PERCENTAGE OF ONE BEDROOM UNITS BY 10%.
- THIS DEVELOPMENT MEETS THE RECOMMENDED DESIGN STANDARDS AND IS REQUESTING ITEMS 1 AND 2.

II. AMENITY AND SITE DESIGN STANDARDS FOR MULTI-FAMILY DEVELOPMENTS

- THIS DEVELOPMENT IS COMPLIANT WITH SECTION 3.I.A THROUGH F.
- A. MULTI-FAMILY UNITS WHICH FACE A DEDICATED STREET SHALL PROVIDE A TYPE I PERIMETER SCREENING FENCE A MINIMUM OF 4 FEET IN HEIGHT. IF PARKING IS SITUATED BETWEEN BUILDINGS AND A DEDICATED STREET, A TYPE II FENCE A MINIMUM OF 6 FEET IN HEIGHT AND CONTINUOUS VEGETATIVE SCREENING A MINIMUM OF 36 INCHES IN HEIGHT SHALL BE INSTALLED BETWEEN THE PARKING AND THE HEIGHT OF WAY.
- a. AN EXCEPTION MAY BE CONSIDERED IN CASES WHERE MULTI-FAMILY UNITS ON THE GROUND FLOOR ARE DESIGNED TO FACE A DEDICATED STREET, IF NOT SCREENING FENCE IS PROVIDED BETWEEN STREET-FACING UNITS AND THE STREET. DEDICATED PARKING MUST BE PROVIDED BETWEEN THE TRAVEL LANES OF THE STREET AND ALL STREET-FACING UNITS AT A RATE OF ONE SPACE PER EACH TWO GROUND FLOOR UNITS WHICH ARE PARALLEL TO THE STREET.
- b. SPACES APPROVED UNDER ABOVE PROVISION MAY BE DESIGNATED AS GUEST PARKING BUT SHALL NOT BE PROVIDED IN LIEU OF REQUIRED PARKING EXCEPT IN THE CD DISTRICT.
- B. MULTI-FAMILY DEVELOPMENTS SHALL CONTAIN SECURITY GATES AT ALL ENTRANCES TO THE COMPLEX. A SINGLE GATED ENTRANCE AND EXIT POINT FOR RESIDENTS AND VISITORS SHOULD BE PROVIDED ALONG WITH A MINIMUM OF ONE SECONDARY ACCESS POINT DESIGNATED FOR EMERGENCY ACCESS. A TURNAROUND MUST BE PROVIDED PRIOR TO THE GATE. ALL GATES SHALL BE INSTALLED WITH AN AUTOMATED ENTRY DEVICE APPROVED BY THE FIRE DEPARTMENT TO FACILITATE EMERGENCY ACCESS.
- C. A MAIN ENTRANCE FEATURE, WHICH IS CONSISTENT WITH THE BASIC ARCHITECTURAL THEME OF THE DEVELOPMENT, SHALL BE PROVIDED AT ALL ENTRANCES. ENTRANCES DESIGNATED AS EMERGENCY ACCESS ONLY. THE ENTRANCE FEATRE SHALL CONSIST, AT A MINIMUM, OF A COMBINATION OF LANDSCAPING, AESTHETIC FEATURES SUCH AS ROCKS, SCULPTURES AND WATER, AND STREET PAVERS. ALTERNATIVE DESIGNS MAY BE CONSIDER IF THEY ARE SUPERIOR TO OR EQUAL IN QUALITY AND DESIGN DETAIL TO THE FEATURES REQUIRED.
- D. COMMUNITY MAILBOX KIOSKS SHALL BE ARCHITECTURALLY INTEGRATED WITH THE MULTI-FAMILY DEVELOPMENT AND SHALL BE EQUIPPED WITH INTERNAL SAFETY LIGHTING.
- E. PRIVACY FEATURES BETWEEN BUILDINGS SHALL INCLUDE THE FOLLOWING:
- I. WINDOWS, BALCONIES OR SIMILAR OPENINGS ABOVE THE FIRST STORY SHALL BE ORIENTED SO AS NOT TO HAVE A DIRECT LINE-OF-SIGHT INTO ADJACENT UNITS WITHIN THE PROJECT.
  - II. UNITS ABOVE THE FIRST STORY SHALL BE DESIGNED SO THAT THEY DO NOT LOOK DIRECTLY onto PRIVATE PATIOS OR BACKYARDS OF ANY ADJOINING ATTACHED OR DETACHED RESIDENTIAL PROPERTY.
- F. NEW MULTI-FAMILY DEVELOPMENT THAT MEETS THE DESIGN RECOMMENDATIONS IN SECTION W.3.I SHALL PROVIDE AMENITIES THAT ARE OF HIGH QUALITY AND OF BEFIT TO ALL RESIDENTS BY PROVIDING FEATURES FROM AT LEAST TWO OF THE FOLLOWING THREE CATEGORIES. DEVELOPMENTS THAT DO NOT MEET THE DESIGN RECOMMENDATIONS SHALL PROVIDE AMENITIES FROM ALL THREE CATEGORIES:

THIS DEVELOPMENT DOES MEET THE DESIGN RECOMMENDATIONS IN SECTION W.3.I AND IS SELECTING TO PROVIDE THE ITEMS REQUIRED IN CATEGORIES 1 AND 3 AS INDICATED ON THE CHECKLIST BELOW. ITEMS LISTED BELOW FROM CATEGORY 1 THAT ARE NOT REQUIRED WILL BE PROVIDED WITHIN THE DEVELOPMENT.

APPENDIX W - CHECKLIST FOR MULTI-FAMILY DEVELOPMENT

CATEGORY 1: ENVIRONMENTALLY-FRIENDLY BUILDING MATERIALS, CONSTRUCTION TECHNIQUES, OR OTHER FEATURES.  
(CATEGORY 1 ITEMS NOT REQUIRED BUT PROVIDED)

- EV CHARGING STATIONS.
- QUALIFIED RECYCLING PROGRAM.
- OUTDOOR RECREATIONAL SPACE.
- BIG AND SMALL DOG PARKS.

CATEGORY 2: HIGH-QUALITY FEATURES OR DETAILS (FOUR ITEMS REQUIRED FROM CATEGORY 2, TIER 1 AND FIVE ITEMS REQUIRED FROM CATEGORY 2, TIER II - ITEMS MARKED WITH 'X' ARE BEING PROVIDED)

- TIER I
- ☒ I. GRANITE COUNTERTOPS OR BUILT-IN IN KITCHENS AND BATHROOMS.
  - ☒ II. UPGRADE FLOORING THROUGHOUT, COVERING ALL MASONRY, TILE, SUCH AS PORCELAIN, OR TRAVERTINE, WOOD-LOOK TILE, TRIPLE HARDWOOD, STAINED CONCRETE, OR DEEP PILE CARPETING.
  - ☒ III. MINIMUM TO FOOT CEILINGS IN LIVING AREAS, KITCHENS, DINING ROOMS, HALLWAYS, BATHROOMS AND BEDROOMS.
  - ☒ IV. UPGRADED WOODWORK THROUGHOUT EACH UNIT, SUCH AS CROWN MOLDING, WAINSCOT, CHAIR RAILS, WINDOWS AND DOOR MOLDINGS.
  - ☒ V. UPGRADED CABINETRY.
- TIER II
- ☒ I. ARCHED FORMS SEPARATING ROOMS AND LIVING SPACES.
  - ☒ II. UPGRADED LIGHT FIXTURES INCLUDING RECESSED LIGHTING OR INDIRECT LIGHTING.
  - ☒ III. WALK-IN CLOSET.
  - ☒ IV. JETTED BATHTUBS.
  - ☒ V. UPGRADED BATHROOM AND KITCHEN HARDWARE, INCLUDING FAUCETS AND SINKS.
  - ☒ VI. FULL-SIZE STAINLESS STEEL MAJOR APPLIANCES (OVEN, RANGE, REFRIGERATOR, DISHWASHER, MICROWAVE OVEN).
  - ☒ VII. 8 FOOT DOORS LEADING TO EACH ROOM OF A UNIT.

CATEGORY 3: TECHNOLOGY (ALL ITEMS IN CATEGORY 3 ARE REQUIRED - ITEMS MARKED WITH 'X' ARE BEING PROVIDED)

- ☒ I. INTEGRATED USB PORTS WITHIN ALL UNITS.
- ☒ II. AVAILABLE TO FUNCTIONALITY FOR CODE LOCKS, LIGHTING, THERMOSTAT, APPLIANCES, OR OTHER ELECTRONICS.
- ☒ III. AVAILABLE COMMUNICATION BETWEEN RESIDENTS AND MANAGEMENT FOR THE REPORTING OF PROBLEMS RELATED TO MECHANICAL FAILURES, SAFETY CONCERNS, OR NOISE ISSUES.
- ☒ IV. 24-HR INTERNET ACCESS PROVIDED TO USER OF COMMON AMENITIES SUCH AS CLUBHOUSE, POOL, WALKING TRAILS, AND FITNESS AREA.

ELEVATION LEGEND	
1	CEMENTITIOUS PANEL WITH FIBERCEMENT BATTEN - SW 9054 TAIGA
2A	CEMENTITIOUS LAP SIDING 5" EXPOSURE - SW 7043 WORLDLY GRAY
2B	CEMENTITIOUS LAP SIDING 5" EXPOSURE - SW 7043 ELEPHANT EAR
3A	CEMENTITIOUS LAP SIDING 5" EXPOSURE - SW 7043 COFFIN
3B	CEMENTITIOUS TRIM - SW 7043 WORLDLY GRAY
3C	CEMENTITIOUS TRIM - SW 7043 ELEPHANT EAR
3D	CEMENTITIOUS TRIM - SW 7043 COFFIN
4A	BRICK SOLDIER OR BOWDOCK COURSE - ACME EBONY
4B	STONE - JUSTIN BLOCK & QUARRY - BEANCO CHOPPED
5A	CAST STONE - S. JAMES
6	TYP. WINDOW - WHITE
7	TYP. DOOR - TRITON BLOCK & QUARRY DOOR TO BE SW 7043 WORLDLY GRAY
8	STEEL GUSSETED, 8" ALL EXTERIOR STEEL
9	CORROSION RESISTANT ROOF - GAF TREMBLENE CHARCOAL
10	FASCIA / EAVES / SOFFIT - SW 7043 WORLDLY GRAY
11	ANYTHING

SOFFIT/ROOF  
SW 7043  
WORLDLY GRAY

BRICK/ROOF  
SW 7043  
ELEPHANT EAR

CEMENTITIOUS  
SW 7043  
COFFIN

PANEL/TRIM  
SW 9054  
TAIGA

STONE - JUSTIN  
BLOCK & QUARRY  
BEANCO CHOPPED

BRICK  
ACME EBONY

CAST STONE  
S. JAMES

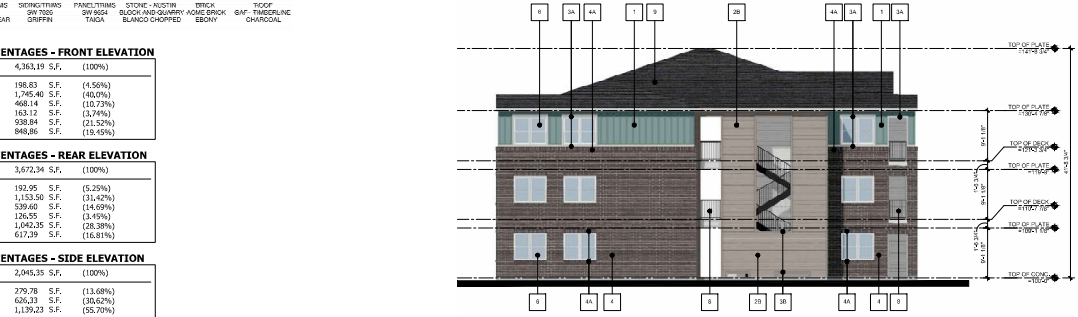
DOOR  
TRITON BLOCK & QUARRY

STEEL  
GUSSETED

MATERIAL PERCENTAGES - FRONT ELEVATION			
TOTAL AREA	4,363.10 S.F.	(100%)	
PANEL	196.83 S.F.	(4.50%)	
LAP SIDING (LIGHT)	1,745.40 S.F.	(40.0%)	
LAP SIDING (MEDIUM)	468.14 S.F.	(10.73%)	
LAP SIDING (DARK)	143.12 S.F.	(3.29%)	
MASONRY (BRICK)	938.84 S.F.	(21.52%)	
MASONRY (STONE)	846.26 S.F.	(19.49%)	

MATERIAL PERCENTAGES - REAR ELEVATION			
TOTAL AREA	3,672.34 S.F.	(100%)	
PANEL	192.95 S.F.	(5.25%)	
LAP SIDING (LIGHT)	1,153.50 S.F.	(31.42%)	
LAP SIDING (MEDIUM)	539.40 S.F.	(14.68%)	
LAP SIDING (DARK)	126.55 S.F.	(3.45%)	
MASONRY (BRICK)	1,045.25 S.F.	(28.39%)	
MASONRY (STONE)	617.39 S.F.	(16.81%)	

MATERIAL PERCENTAGES - SIDE ELEVATION			
TOTAL AREA	2,045.35 S.F.	(100%)	
PANEL	279.78 S.F.	(13.68%)	
LAP SIDING (MEDIUM)	626.33 S.F.	(30.62%)	
MASONRY (BRICK)	1,139.23 S.F.	(55.70%)	



03 BUILDING TYPE I - TYP. SIDE ELEVATION  
SCALE: 3/32" = 1'-0"



02 BUILDING TYPE I - REAR ELEVATION  
SCALE: 3/32" = 1'-0"



01 BUILDING TYPE I - FRONT ELEVATION  
SCALE: 3/32" = 1'-0"

HLR

HENSLEY LAMON RACHEL, INC.

DALLAS • HOUSTON • SEATTLE

WWW.HLRINC.NET

PH: 972.728.9400

Revisions

BRUCE W. RACHEL, AIA

TX LICENSE NO. 14373

PRELIMINARY DRAWING

NOT FOR CONSTRUCTION

NOT FOR GOVERNMENTAL REVIEW

©2020 HENSLEY LAMON RACHEL, INC.

LOCATIONS AND RESOURCES OF PROPERTY ARE SHOWN FOR REFERENCE AND DO NOT REPRESENT THE PROPERTY OF HENSLEY LAMON RACHEL, INC. NO WARRANTY AND NO REPRESENTATION IS MADE BY HENSLEY LAMON RACHEL, INC. FOR ANY USE OF THIS DRAWING OR ANY PART THEREOF WITHOUT WRITTEN PERMISSION OF HENSLEY LAMON RACHEL, INC.

Project Title:

PROSE  
WESTCLIFF II  
GRAND PRAIRIE  
TEXAS

Issue Set: 02.11.25

Permit Set Issue:

Construction Set Issue:

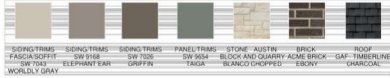
Project ID: 24655

Drawing No.

A1.1  
BUILDING TYPE I  
EXTERIOR ELEVATIONS

Exhibit C - Concept Elevation  
Page 2 of 2

ELEVATION LEGEND	
1	CEMENTITIOUS PANEL WITH FRESCOEFFECT BATTEN - SW 9054 TAIGA
2A	CEMENTITIOUS LAP SIDING 6" EXPOSURE - SW 7043 WORLDLY GRAY
2B	CEMENTITIOUS LAP SIDING 6" EXPOSURE - SW 9168 ELEPHANT EAR
2C	CEMENTITIOUS LAP SIDING 6" EXPOSURE - SW 7026 GRIFFIN
3A	CEMENTITIOUS TRIM - SW 7043 WORLDLY GRAY
3B	CEMENTITIOUS TRIM - SW 9168 ELEPHANT EAR
3C	CEMENTITIOUS TRIM - SW 7026 GRIFFIN
4	BRICK RUNNING BOND - ACME EBONY
4A	BRICK SOLDIER OR ROWLOCK COURSE - ACME EBONY
5	STONE - AUSTIN BLOCK & QUARRY - BLANCO CHOPPED
5A	COPY STONE - SUMMIT
6	TYP. WINDOW - WHITE
7	TYP. DOOR - PATIO/CONCOURSE DOOR TO BE SW 7043 WORLDLY GRAY
8	STEEL GUARDRAIL & ALL EXTERIOR STEEL
9	COMPOSITION SHINGLES / ROOF - GAP TIMBERLINE CHARCOAL
10	FASCIA / LEAVES / SOFFIT - SW 7043 WORLDLY GRAY
11	AWNING



**MATERIAL PERCENTAGES - FRONT ELEVATION**

TOTAL AREA	4,363.19 S.F.	(100%)
PANEL	548.43 S.F.	(12.57%)
LAP SIDING (LIGHT)	1,746.19 S.F.	(39.99%)
LAP SIDING (MEDIUM)	1,043.75 S.F.	(23.92%)
LAP SIDING (DARK)	553.09 S.F.	(12.68%)
MASONRY (BRICK)	1,767.19 S.F.	(40.50%)
MASONRY (STONE)	804.54 S.F.	(18.44%)

**MATERIAL PERCENTAGES - REAR ELEVATION**

TOTAL AREA	6,695.47 S.F.	(100%)
PANEL	511.08 S.F.	(7.63%)
LAP SIDING (LIGHT)	2,513.69 S.F.	(37.54%)
LAP SIDING (MEDIUM)	521.87 S.F.	(7.79%)
LAP SIDING (DARK)	374.24 S.F.	(5.59%)
MASONRY (BRICK)	1,403.1 S.F.	(20.96%)
MASONRY (STONE)	1,371.49 S.F.	(20.51%)

**MATERIAL PERCENTAGES - SIDE ELEVATION**

TOTAL AREA	2,000.86 S.F.	(100%)
PANEL	77.98 S.F.	(3.90%)
LAP SIDING (LIGHT)	392.28 S.F.	(19.61%)
LAP SIDING (MEDIUM)	886.07 S.F.	(44.31%)
MASONRY (BRICK)	286.29 S.F.	(14.31%)
MASONRY (STONE)	346.24 S.F.	(17.33%)



**03 BUILDING TYPE II - TYP. SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"



**02 BUILDING TYPE II - REAR ELEVATION**  
SCALE: 3/32" = 1'-0"



**01 BUILDING TYPE II - FRONT ELEVATION**  
SCALE: 3/32" = 1'-0"

STREET SIDE