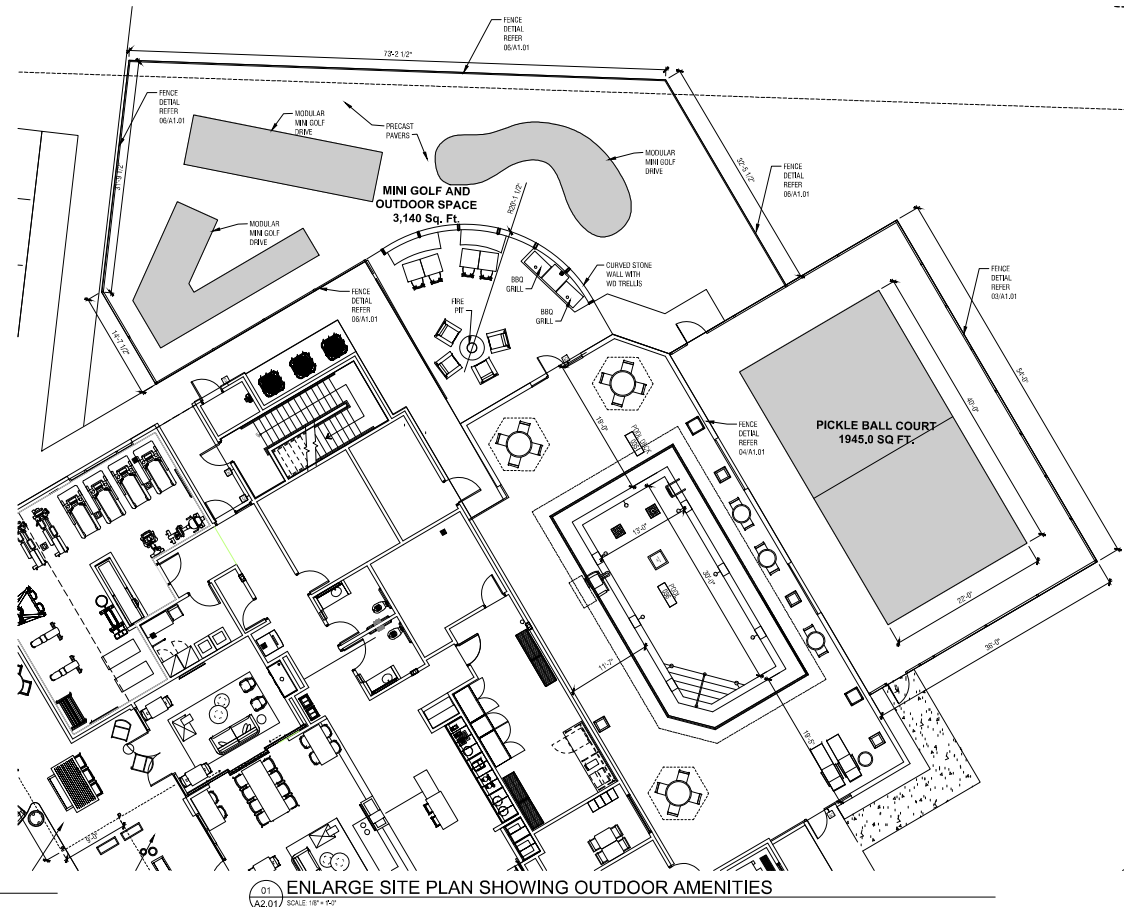
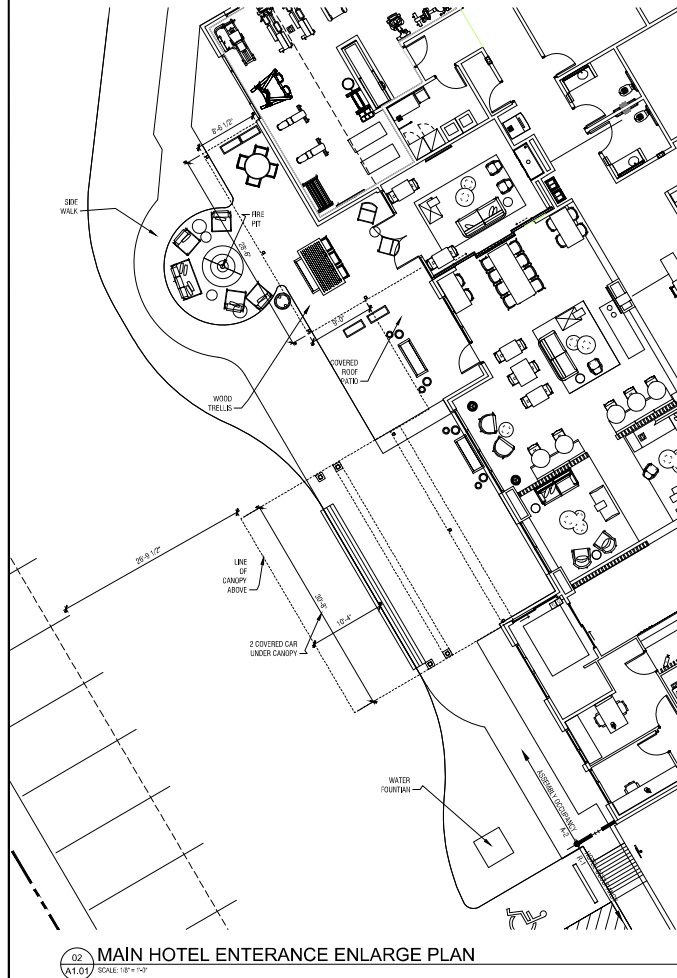
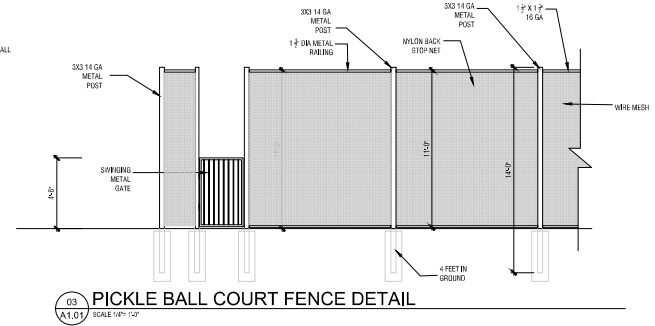
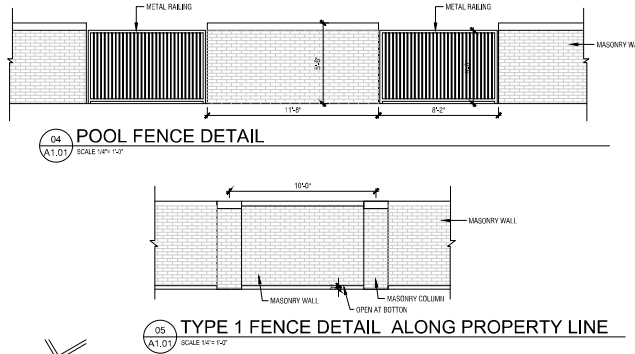
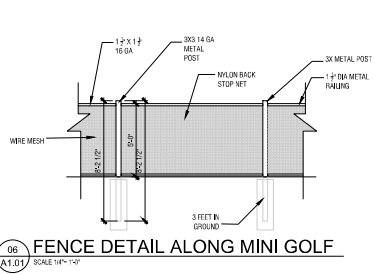


Exhibit E - Amenities Plan
Page 1 of 5



TOWNEPLACE SUITES
MARRIOTT
Grand Prairie, TX
Proj. No. - xxx

PROJECT COORDINATOR:
RK Patel Design & Planning, LLC
PROJECT ARCHITECT:
Ben Cortez, AIA

OWNER:
NORTEX LODGING II, LLC
1400 N. Stemmons St.,
Sanger, TX 76266

TOWNEPLACE SUITES
MARRIOTT
3659 Prairie Waters Drive
Grand Prairie, TX 75052

Revisions:

Drawn By: CP
Checked By: JAC
Issue Date:
Project No:

Sheet Information:
SITE PLAN DETAILS

Sheet No:
A1.01

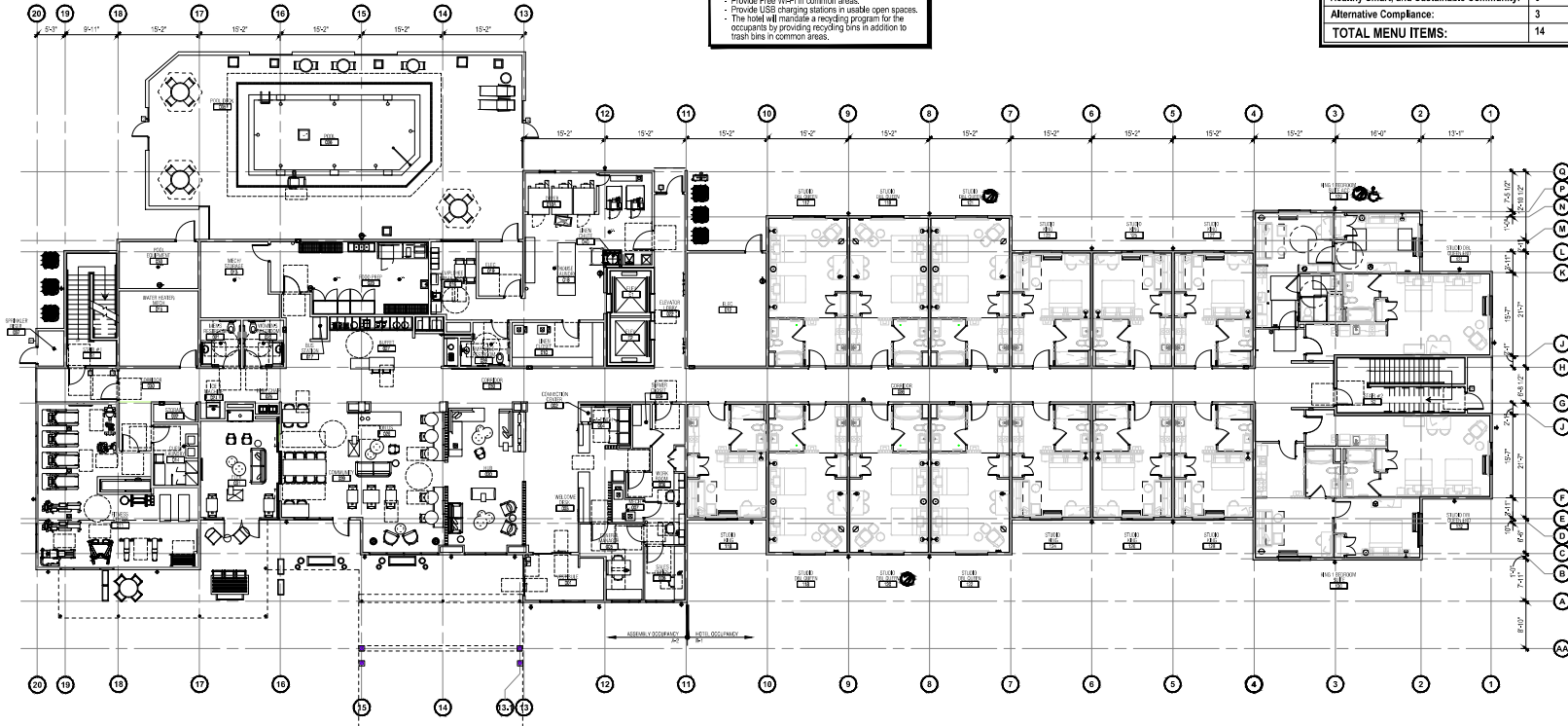
SQ. FOOTAGE SUMMARY TABLE:	
Interior spaces:	Sq. Ft.
Overall Building	64,415 Sq. Ft.
Lobby (to be 2% of Overall Bldg area)	1,702 Sq. Ft. (Required 1,288 Sq. Ft.)
Fitness Center (Min req'd 500 Sq. Ft.)	715 Sq. Ft.
Outdoor spaces: (to be 5% of overall Bldg area)	Sq. Ft. (Required 3,221 Sq. Ft.)
Pool	385 Sq. Ft.
Pool Deck	1,900 Sq. Ft.
Putt-putt golf/ Outdoor Grill	3,140 Sq. Ft.
Pickleball Court	1,945 Sq. Ft.
TOTAL: 7,370 Sq. Ft.	

BUILDING AREA:	
FIRST FLOOR:	16,460.0 SQ. FT
2ND FLOOR:	15,985.0 SQ. FT
3RD FLOOR:	15,985.0 SQ. FT
4TH FLOOR:	15,985.0 SQ. FT
TOTAL: 64,415.0 SQ. FT	

APPENDIX F - MENU CHECKLIST ITEMS:	
Usable Open Space & Pedestrian Linkage:	N/A
Site Design & Building Orientation: (Select at Least Two Menu Items)	
Added Parking Lot Trees	Refer to Landscape drawings
Permeable Surface	Refer to Civil
Building Design: (Select at Least Six Menu Items)	
Material Mix	Refer to Exterior Elevation drawings
Stone Accent	Refer to Exterior Elevation drawings
Color Contrast	Refer to Exterior Elevation drawings
Roof Profile Variation	Refer to Exterior Elevation drawings
Articulation Elements	Refer to Exterior Elevation drawings
Enhanced Windows	Refer to Exterior Elevation drawings
Healthy Smart, and Sustainable Community: (Select at Least Two Menu Items)	
70% Native Plants	Refer to Landscape Plans
Wi-Fi (0.5)	Refer to Architectural drawings
Permeable Paving (0.5)	Refer to Civil drawings
Recycling Program (0.5)	Refer to 1st Floor Plan
Alternative Compliance:	
Bike Racks	Refer to Civil drawings
EV Charger	Refer to Civil drawings
Foundation Planting	Refer to Landscape drawings

MENU ITEM SUMMARY TABLE:	
Element:	# of Menu Items
Usable Open Space & Pedestrian Linkage:	N/A
Site Design & Building Orientation:	2
Building Design:	6
Healthy Smart, and Sustainable Community:	3
Alternative Compliance:	3
TOTAL MENU ITEMS:	14

NOTE: (Appendix 'F')
HEALTHY, SMART, SUSTAINABLE COMMUNITY ITEMS FROM APPENDIX 'F' TO BE INCLUDED IN PLANS:
- Provide Free Wi-Fi in common areas.
- Provide USB charging stations in usable open spaces.
- The hotel will mandate a recycling program for the occupants by providing recycling bins in addition to trash bins in common areas.



01 OVERALL FIRST FLOOR PLAN
A200 SCALE: 3/32" = 1'-0"

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Grand Prairie, TX 75052

Revisions:

Drawn By: CP
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Sheet Information:
OVERALL FIRST
PLAN FLOOR

Sheet No:
A200

SQ. FOOTAGE SUMMARY TABLE:	
Area:	Sq. Ft.
Overall Building	64,415 Sq. Ft.
Lobby (needs to be 2% of Overall Bldg area)	1,702 Sq. Ft. (Required 1,288Sq. Ft.)
Fitness Center (Min req'd 500 Sq. Ft.)	715 Sq. Ft.

BUILDING AREA:	
FIRST FLOOR:	16,460.0 SQ. FT
2ND FLOOR :	15,985.0 SQ FT
3RD FLOOR :	15,985.0 SQ FT
4TH FLOOR :	15,985.0 SQ FT
TOTAL:	64,415.0 SQ FT



01
A300

ENLARGED PUBLIC AREA FLOOR PLAN

SCALE: 1/4" = 1'-0"

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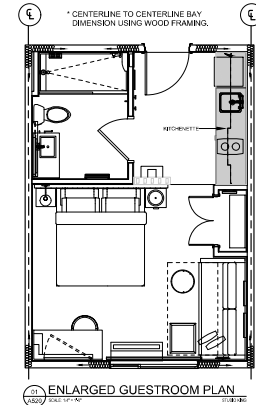
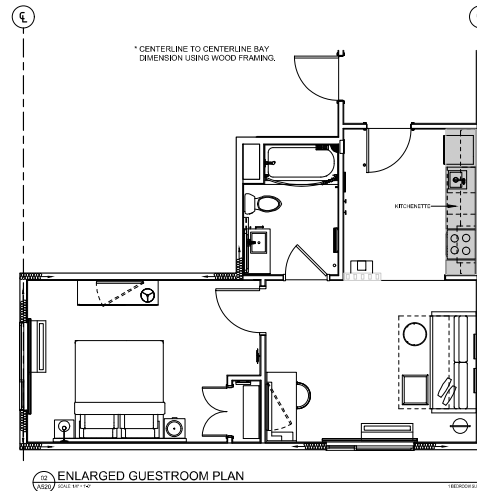
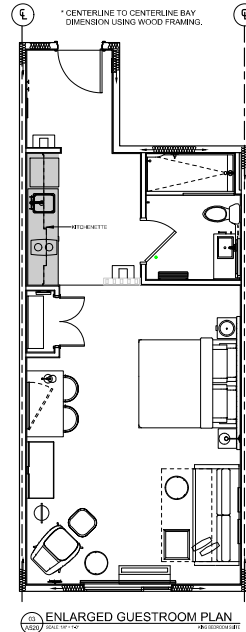
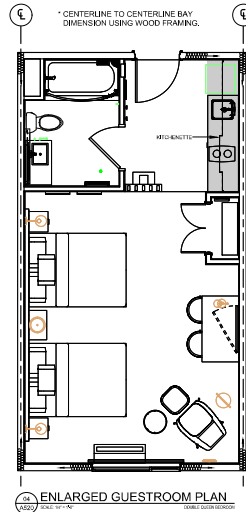
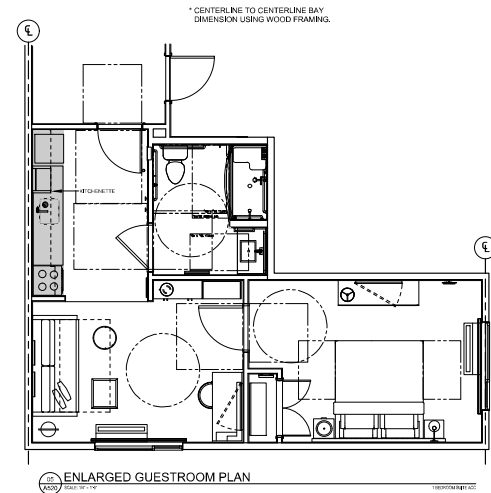
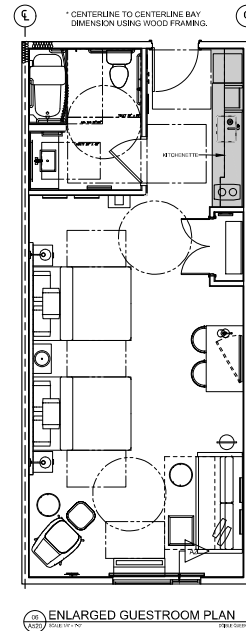
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**ENLARGED PUBLIC
AREA PLAN**

Sheet No:
A300



TOWNEPLACE SUITES
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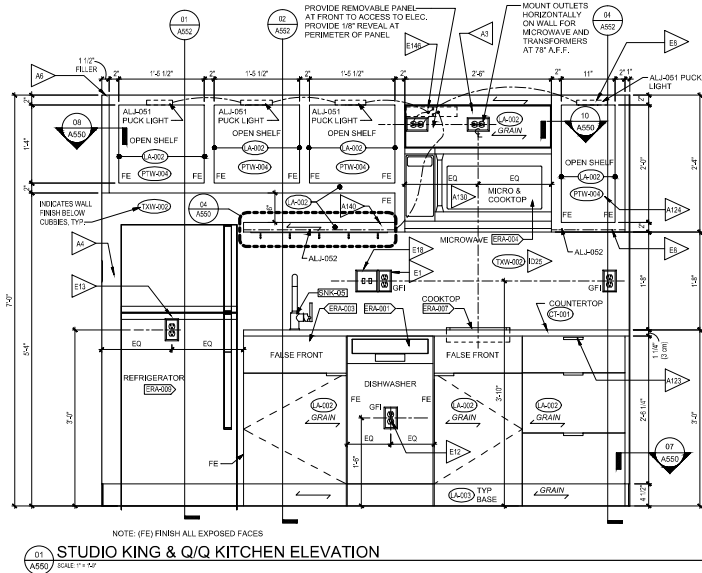
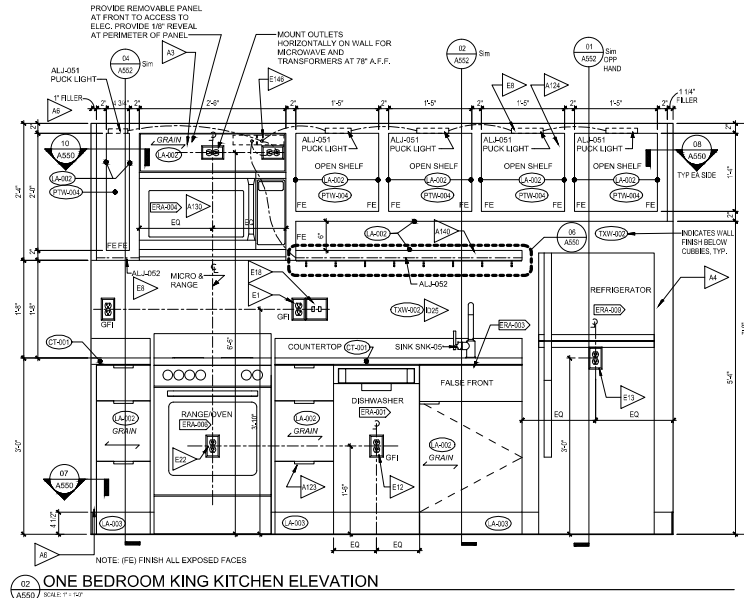
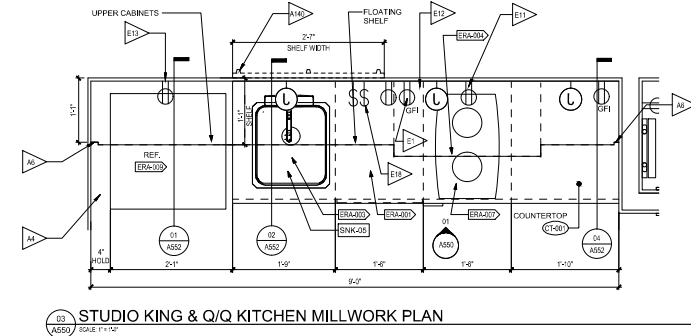
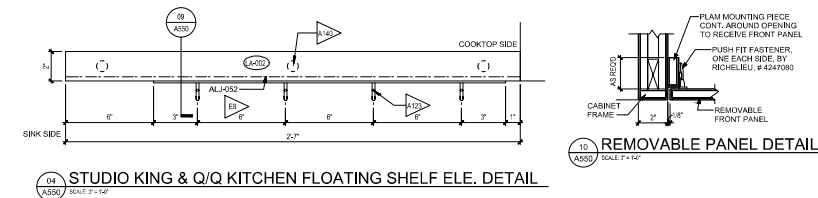
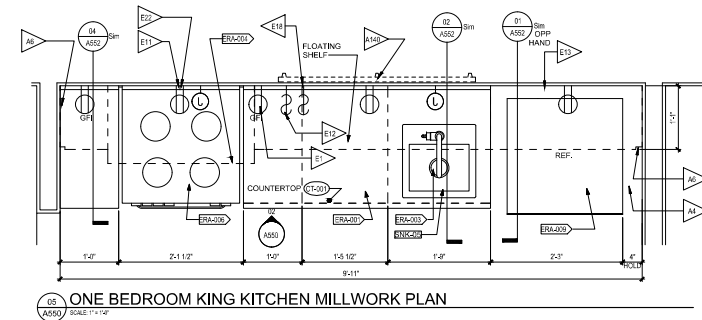
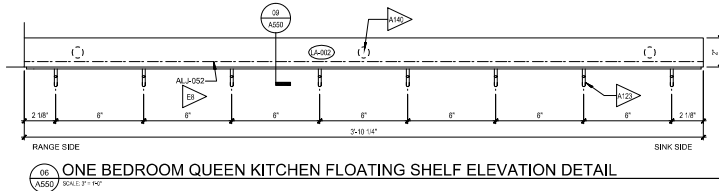
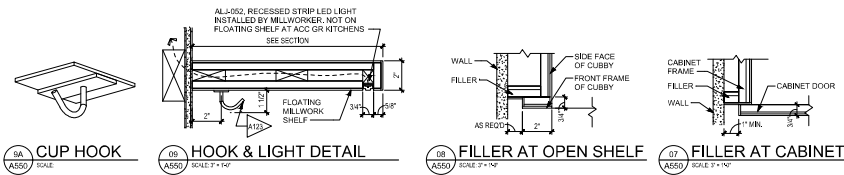
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MARRIOTT
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Grand Prairie, TX 75052

Revisions:

Drawn By: CP
Checked By: BP
Auto Cad
Project No:

Sheet Information:
TYPICAL GUESTROOM PLANS

Sheet No:
A520



GENERAL NOTES:

- ALL WALLS TO RECEIVE VINYL WALL COVERING ARE TO HAVE A LEVEL 3 (MINIMUM) GYPSUM BOARD FINISH.
- ALL WALLS TO RECEIVE PAINT (OR LIGHT TO MED WEIGHT WALL COVERING) ARE TO HAVE A LEVEL 4 GYPSUM BOARD FINISH.
- ALL WALLS TO RECEIVE GLOSS, ENAMEL PAINT, OR MURALS TO HAVE A LEVEL 5 GYPSUM BOARD FINISH.

KEYNOTES:

- [illegible]

TOWNEPLACE
SUITES
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