

Exhibit D - Building Elevations Page 1 of 9

APPENDIX X: INDUSTRIAL DEVELOPMENT STANDARDS											
SECTION 4 - BUILDING DESIGN STANDARDS FOR INDUSTRIAL DEVELOPMENT - ELEMENTS											
ELEVATION	TYPE	a	s	c	d	e	f	g	n	i	TOTAL
NORTH	PRIMARY	N	N	N	N	N	Y	Y	N	N	3
SOUTH	SECONDARY	Y	N	N	Y	Y	Y	Y	N	N	2
EAST	PRIMARY	N	N	N	N	N	Y	Y	Y	N	3
WEST	PRIMARY	N	N	N	N	N	Y	Y	Y	N	3

ELEVATION - MATERIAL CALCS		
BUILDING HEIGHT = 42'-0" ONE STORY		
NORTH ELEVATION - PRIMARY FACADE		
TOTAL FACADE AREA = 13,331 SF	100%	
• CONCRETE TL WALL = 10,888 SF	81.62%	
• MTL COLONNADE ACCENT = 18 SF	0.14%	
• HW DOORS = 12,930 SF	9.70%	
SOUTH ELEVATION - DOCK		
TOTAL FACADE AREA = 18,113 SF	100%	
• CONCRETE TL WALL = 7,485 SF	41.30%	
• GLASS = 881 SF	4.86%	
• MTL CANOPY = 70 SF	0.39%	
• MTL LOUVER = 148 SF	0.82%	
• HW DOORS = 148 SF	0.82%	
• CH DOORS = 1,146 SF	6.33%	
• COLOR ACCENT % OF TOTAL FACADE = 1,659 SF 17.63%		

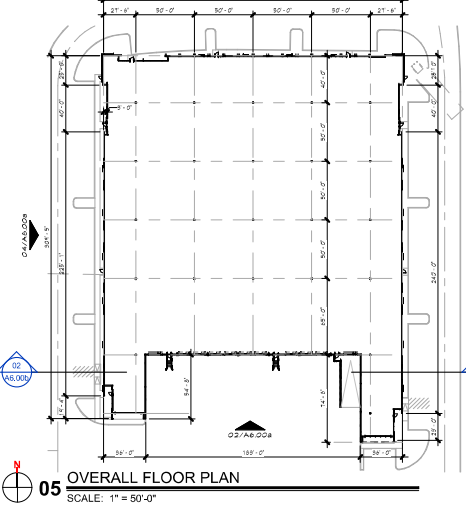
EAST ELEVATION - PRIMARY FACADE		
TOTAL FACADE AREA = 13,331 SF	100%	
• CONCRETE TL WALL = 12,351 SF	92.64%	
• GLASS = 551 SF	4.13%	
• MTL CANOPY = 47 SF	0.35%	
• MTL COLONNADE ACCENT = 27 SF	0.21%	
• HW DOORS = 48 SF	0.36%	
• MTL LOUVER = 74 SF	0.55%	
WEST ELEVATION - PRIMARY FACADE		
TOTAL FACADE AREA = 12,930 SF	100%	
• CONCRETE TL WALL = 11,812 SF	91.00%	
• GLASS = 561 SF	4.34%	
• MTL CANOPY = 47 SF	0.36%	
• MTL COLONNADE ACCENT = 27 SF	0.21%	
• HW DOORS = 48 SF	0.37%	
• MTL LOUVER = 74 SF	0.58%	

BLOG - ARTICULATION CALCS	
NORTH ELEVATION - PRIMARY FACADE	
ELEVATION HEIGHT = 36'-0"	2'-0" PROVIDED
REQUIRED MIN VERTICAL ARTICULATION (BLDG HT x 5%) = 1'-10 3/4"	
ELEVATION LENGTH = 250'-0"	50'-0" PROVIDED
REQUIRED MIN SPAN OF VERTICAL ARTICULATION (BLDG LENGTH x 15%) = 38'-0"	
REQUIRED MIN DEPTH OF HORIZONTAL ARTICULATION (BLDG HT x 5%) = 1'-10 3/4"	5'-0" PROVIDED
REQUIRED COLONNADE LENGTH 50% = 126' - 10 3/4"	177'-4" [75% PROVIDED]
REQUIRED GLASS STOREFRONT AREA 15% = 1,413 SF	884 SF [62% PROVIDED]

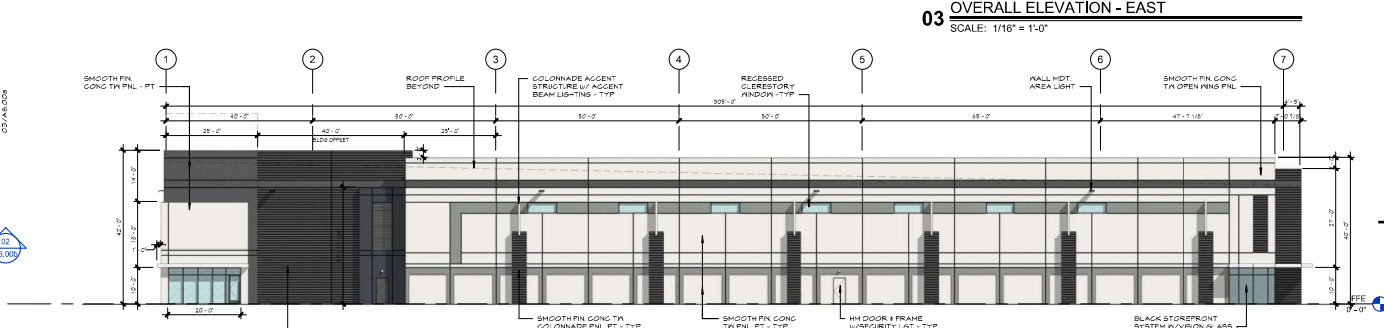
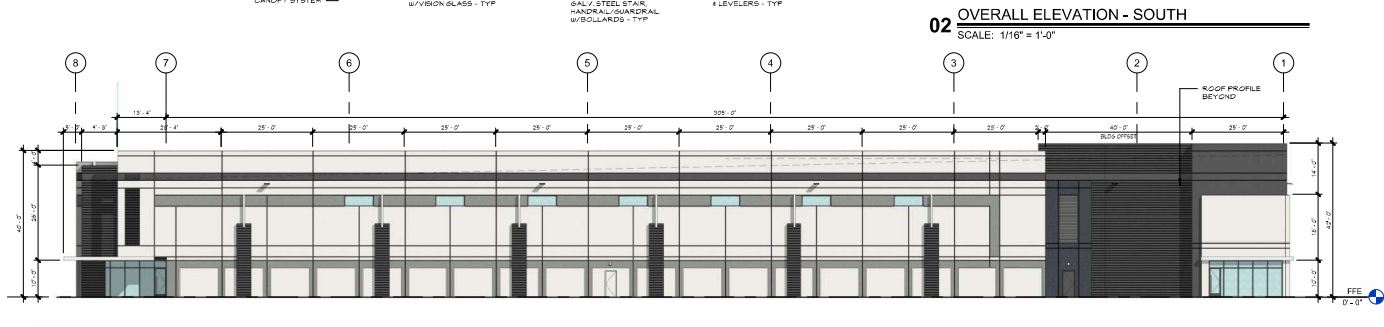
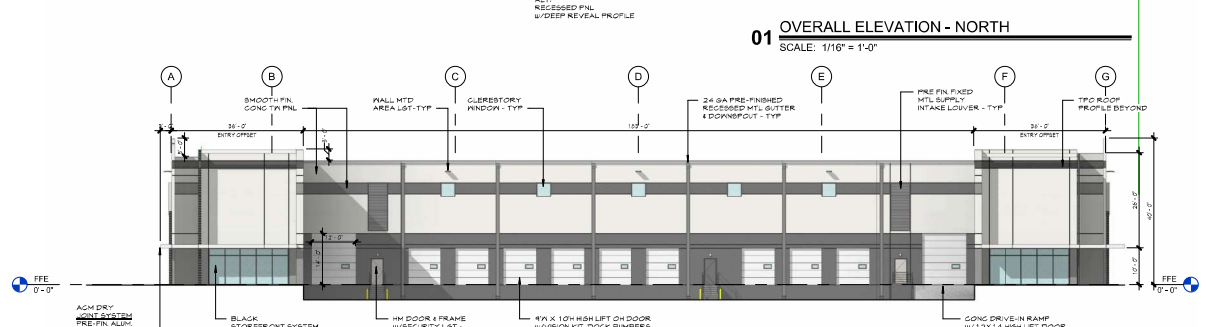
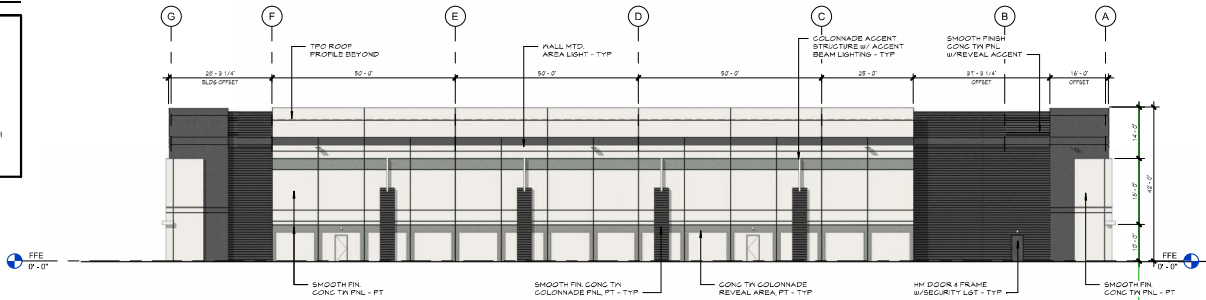
SOUTH ELEVATION - SECONDARY FACADE	
ELEVATION HEIGHT = 36'-0"	3'-4" PROVIDED
REQUIRED MIN VERTICAL ARTICULATION (BLDG HT x 5%) = 1'-10 3/4"	
ELEVATION LENGTH = 250'-0"	50'-0" PROVIDED
REQUIRED MIN SPAN OF VERTICAL ARTICULATION (BLDG LENGTH x 15%) = 34'-0"	
REQUIRED AREA 10% = 25%	2,194 SF PROVIDED

EAST ELEVATION - PRIMARY FACADE	
ELEVATION HEIGHT = 36'-0"	2'-0" PROVIDED
REQUIRED MIN VERTICAL ARTICULATION (BLDG HT x 5%) = 1'-10 3/4"	
ELEVATION LENGTH = 250'-0"	50'-0" PROVIDED
REQUIRED MIN SPAN OF VERTICAL ARTICULATION (BLDG LENGTH x 15%) = 38'-0"	
REQUIRED MIN DEPTH OF HORIZONTAL ARTICULATION (BLDG HT x 5%) = 1'-10 3/4"	5'-0" PROVIDED
REQUIRED COLONNADE LENGTH 50% = 126' - 10 3/4"	177'-4" [75% PROVIDED]
REQUIRED GLASS STOREFRONT AREA 15% = 1,413 SF	884 SF [62% PROVIDED]

WEST ELEVATION - SECONDARY FACADE	
ELEVATION HEIGHT = 36'-0"	2'-0" PROVIDED
REQUIRED MIN VERTICAL ARTICULATION (BLDG HT x 5%) = 1'-10 3/4"	
ELEVATION LENGTH = 250'-0"	50'-0" PROVIDED
REQUIRED MIN SPAN OF VERTICAL ARTICULATION (BLDG LENGTH x 15%) = 38'-0"	
REQUIRED MIN DEPTH OF HORIZONTAL ARTICULATION (BLDG HT x 5%) = 1'-10 3/4"	5'-0" PROVIDED
REQUIRED COLONNADE LENGTH 50% = 126' - 10 3/4"	177'-4" [75% PROVIDED]
REQUIRED GLASS STOREFRONT AREA 15% = 1,413 SF	884 SF [62% PROVIDED]



MATERIALS LEGEND	
AL-21 ALUMINUM STOREFRONT	
MTL-21 PRE-FINISHED ALUMINUM	
PPH-1 BELD PAINT (3M 700 PURE WHITE)	
PPH-2 ACCENT PAINT (COLOR TBD)	
PPH-3 ACCENT PAINT (3M 700 PURE WHITE)	
GL-1 GLASS - VERTICALLY TINTED	



ISSUE FOR:
SITE PLAN APPROVAL
REVISIONS:

HAMILTON - GSW AR LN - BUILDING-1 NORTH
0000 GREAT SOUTHWEST
GRAND PRAIRIE, TEXAS

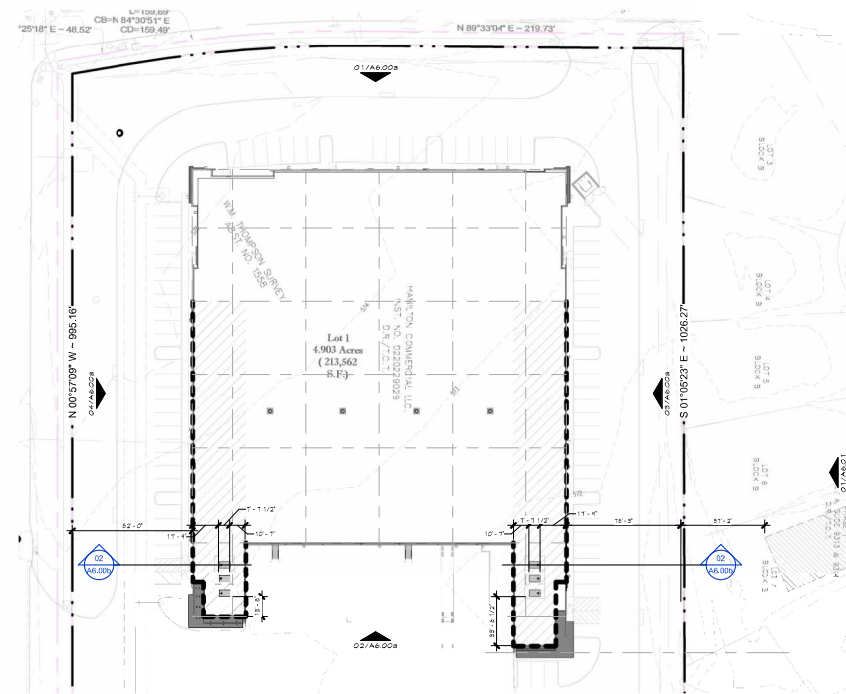
HAMILTON
COMMERCIAL

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.

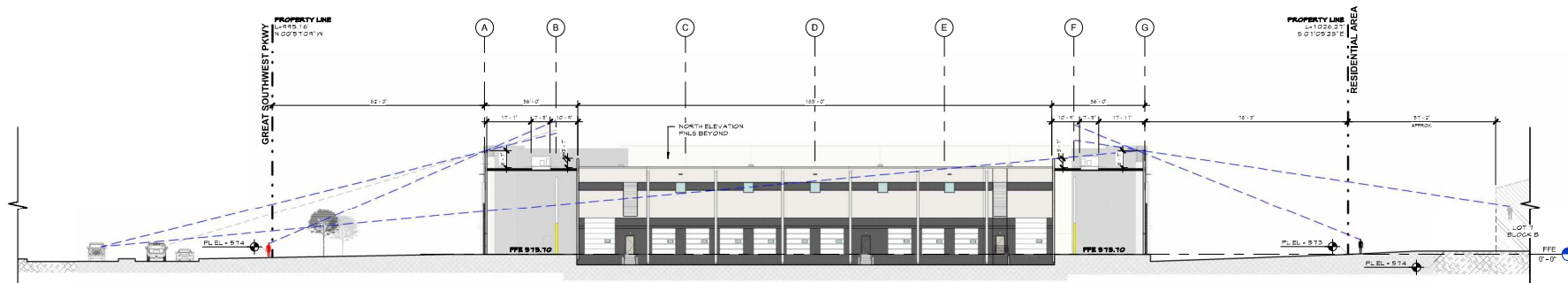


PROJECT NO: 25348.000
DATE: 04/12/25
DRAWN BY: DRG
CHECKED BY: -
SHEET: OVERALL BUILDING ELEVATIONS

A6.00a



03 L.O.S. PLAN DIAGRAM
SCALE: 1" = 40'-0"
36" HIGH PARAPET AREA



02 LINE OF SIGHT - SECTION
SCALE: 1" = 20'-0"

ISSUE FOR:
SITE PLAN APPROVAL
REVISIONS:

HAMILTON - GSW AR LN - BUILDING-1 NORTH
GRAND PRAIRIE, TEXAS

HAMILTON
CORPORAL

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.



PROJECT NO: 25348.000
DATE: 04-17-25
DRAWN BY: DBC
CHECKED BY: DOM
SHEET: LINE OF SIGHT DIAGRAM

CASE NUMBER
875-Y80

A6.00b

Exhibit D - Building Elevations

Page 3 of 9

APPENDIX X: INDUSTRIAL DEVELOPMENT STANDARDS

SECTION 4 - BUILDING DESIGN STANDARDS FOR INDUSTRIAL DEVELOPMENT - ELEMENTS										
ELEVATION	TYPE	a	b	c	d	e	f	g	h	TOTAL
NORTH	SECONDARY	Y	N	N	Y					2
SOUTH	SECONDARY	Y	N	N	Y					2
EAST	PRIMARY	N	N	N	N	Y	Y	Y	N	3
WEST	PRIMARY	N	N	N	N	Y	Y	Y	N	3

ELEVATION + MATERIAL CALLS

BUILDING HEIGHT = 40'-0" ONE STORY

NORTH ELEVATION - DOGS		SOUTH ELEVATION - SECONDARY FACADE	
TOTAL FACADE AREA = 13,800 SF	100%	TOTAL FACADE AREA = 10,791 SF	100%
CONCRETE TILT WALL = 7,470 SF	79.13%	CONCRETE TILT WALL = 10,791 SF	100.00%
GLASS = 400 SF	2.90%	GLASS = 400 SF	3.71%
MTL CANOPY = 25 SF	0.18%	MTL CANOPY = 25 SF	0.23%
MTL LOUVER = 228 SF	1.66%	MTL LOUVER = 228 SF	2.12%
HM DOORS = 119 SF	0.86%	MTL LOUVER = 119 SF	1.10%
CH DOORS = 1,146 SF	8.33%	HM DOORS = 45 SF	0.42%
COLOR ACCENT % OF TOTAL FACADE = 2.58% [27.23%]		COLOR ACCENT % OF TOTAL FACADE = 2.52% [26.18%]	

EAST ELEVATION - PRIMARY FACADE		WEST ELEVATION - PRIMARY FACADE	
TOTAL FACADE AREA = 13,800 SF	100%	TOTAL FACADE AREA = 13,800 SF	100%
CONCRETE TILT WALL = 13,344 SF	96.30%	CONCRETE TILT WALL = 13,344 SF	96.30%
GLASS = 301 SF	2.19%	GLASS = 301 SF	2.19%
MTL CANOPY = 25 SF	0.18%	MTL CANOPY = 25 SF	0.18%
MTL LOUVER = 228 SF	1.66%	MTL LOUVER = 228 SF	1.66%
HM DOORS = 119 SF	0.86%	MTL LOUVER = 119 SF	0.86%
CH DOORS = 1,146 SF	8.33%	HM DOORS = 45 SF	0.32%
COLOR ACCENT % OF TOTAL FACADE = 2.58% [27.23%]		COLOR ACCENT % OF TOTAL FACADE = 2.52% [26.18%]	

LENGTH OF ALL BUILDING FACADES = 1,341'-9"

CANOPY SHADE SYSTEM = 15'-0" OF LENGTH | 15'-0" x 1,341'-9" = 11.7%

BLOG - ARTICULATION CALCCS

NORTH ELEVATION - PRIMARY FACADE	
ELEVATION LENGTH = 304'-0"	3'-0" PROVIDED
REQUIRED MIN VERTICAL ARTICULATION (BLOG HT x 5%) = 1'-9 1/2"	3'-0" PROVIDED
ELEVATION LENGTH = 304'-0"	3'-0" PROVIDED
REQUIRED MIN SPAN OF VERTICAL ARTICULATION (BLOG LENGTH x 15%) = 34'-0"	30'-0" PROVIDED
ELEVATION ACCELT COLOR	2.19% PROVIDED
REQUIRED AREA (10% - 25%) = 914.8 SF MIN 2.28% SF MAX	2.19% PROVIDED

SOUTH ELEVATION - SECONDARY FACADE	
ELEVATION LENGTH = 304'-0"	3'-0" PROVIDED
REQUIRED MIN VERTICAL ARTICULATION (BLOG HT x 5%) = 1'-9 1/2"	3'-0" PROVIDED
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EAST ELEVATION - PRIMARY FACADE	
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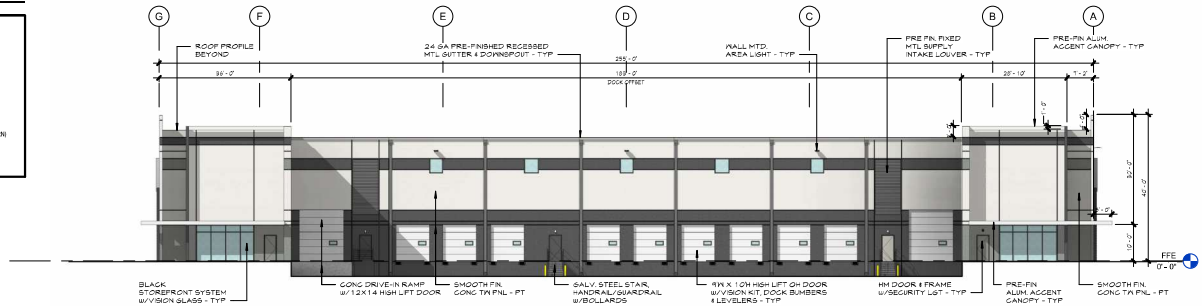
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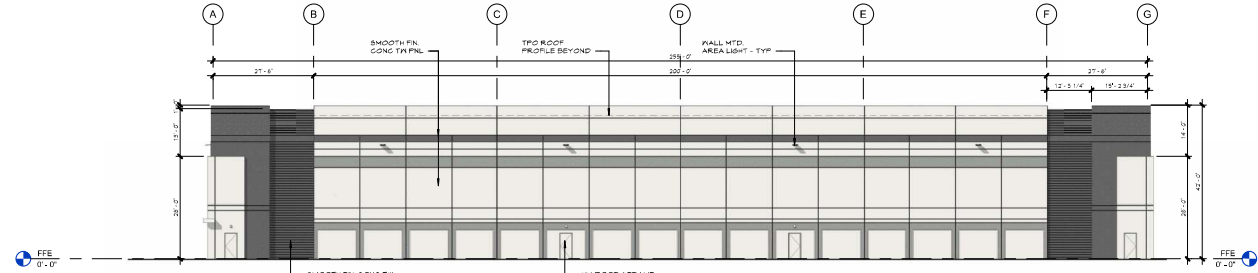
MATERIALS LEGEND

AL-21 ALUMINUM STOREFRONT
MTL-21 PRE-FINISHED ALUMINUM
PPH-1 REBEL PAINT (SW 700 PURE WHITE)
PPH-2 ACCENT PAINT (COLOR TBD)
PPH-3 ACCENT PAINT (SW 700 PURE WHITE)
GLA-1 GLASS - VERTICALLY TINTED



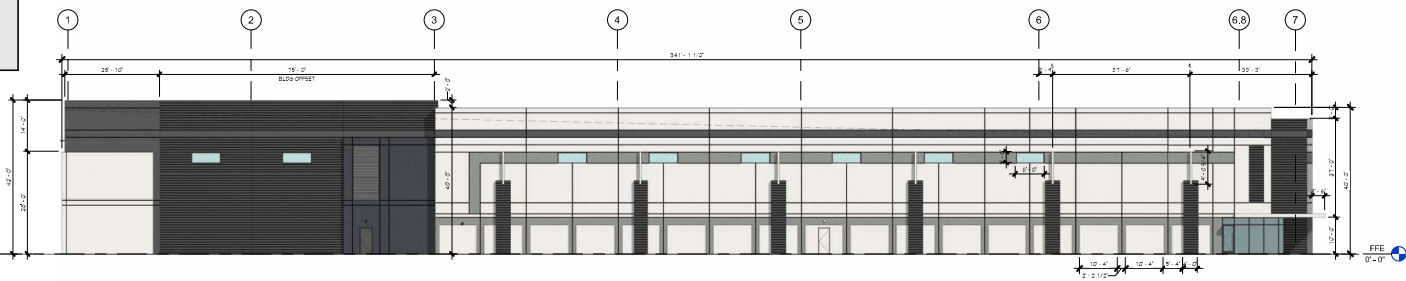
01 OVERALL ELEVATION - NORTH

SCALE: 1/16" = 1'-0"



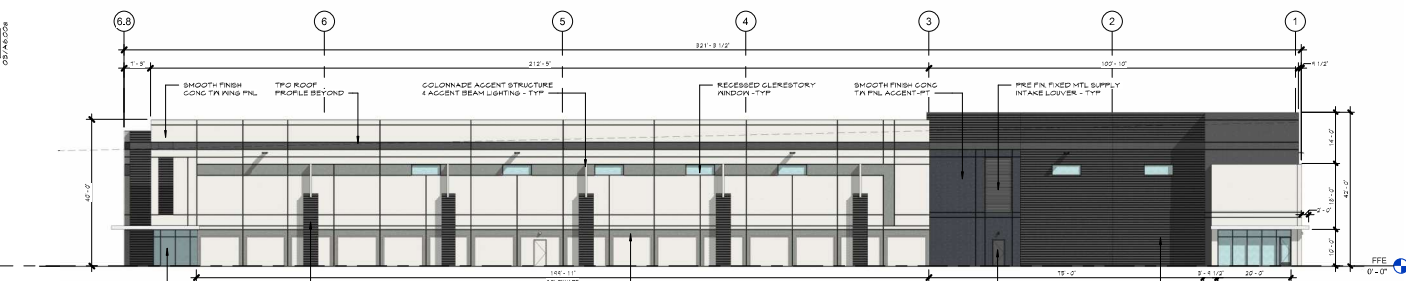
02 OVERALL ELEVATION - SOUTH

SCALE: 1/16" = 1'-0"



03 OVERALL ELEVATION - EAST

SCALE: 1/16" = 1'-0"



04 OVERALL ELEVATION - WEST

SCALE: 1/16" = 1'-0"

05 OVERALL FLOOR PLAN

SCALE: 1" = 50'-0"



ISSUE FOR:
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HAMILTON - GSW AR LN - BUILDING-2 SOUTH
0000 GREAT SOUTHWEST
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HAMILTON COMMERCIAL

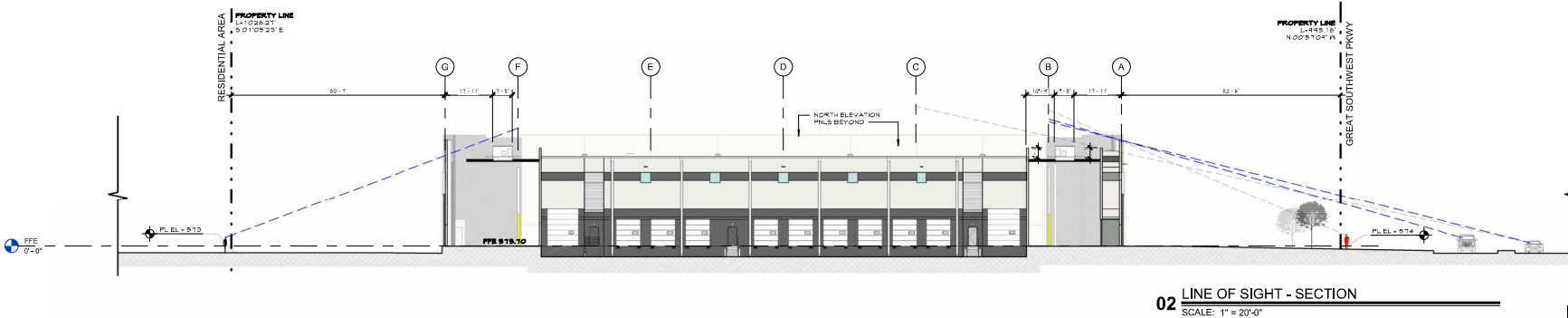
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.

PROFESSIONAL ARCHITECT
STATE OF TEXAS
041725

PROJECT NO: 25346.000
DATE: 04/17/25
DRAWN BY: DRG
CHECKED BY: -
SHEET: OVERALL BUILDING ELEVATIONS

CASE NUMBER
875-180

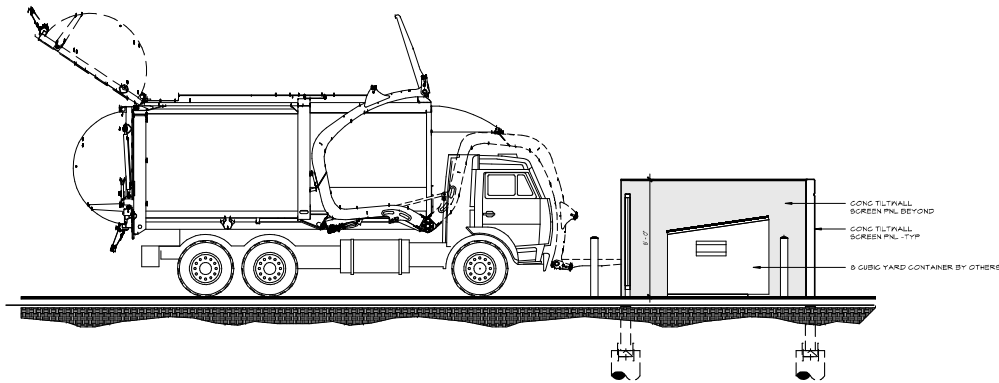
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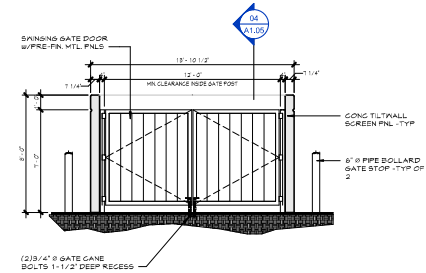




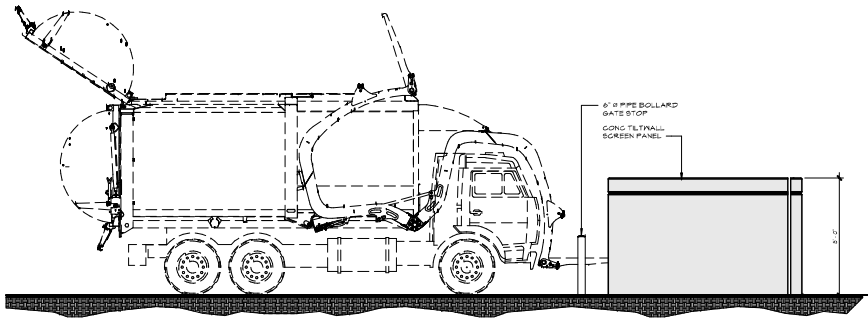




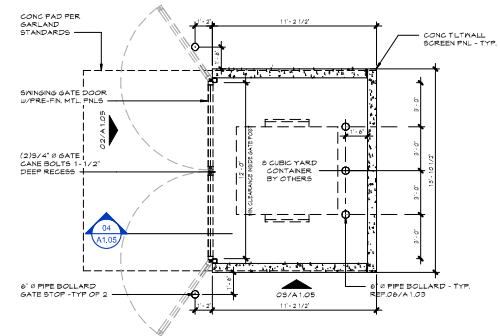
04 DUMPSTER SCREEN SECTION
SCALE: 1/4" = 1'-0"



02 DUMPSTER SCREEN GATE ELEVATION
SCALE: 1/4" = 1'-0"



03 DUMPSTER SCREEN ELEVATION
SCALE: 1/4" = 1'-0"



01 DUMPSTER SCREEN PLAN
SCALE: 1/4" = 1'-0"

ISSUE FOR:
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REVISIONS:

HAMILTON - GSW AR LN - BUILDING-1 NORTH
0000 GREAT SOUTHWEST
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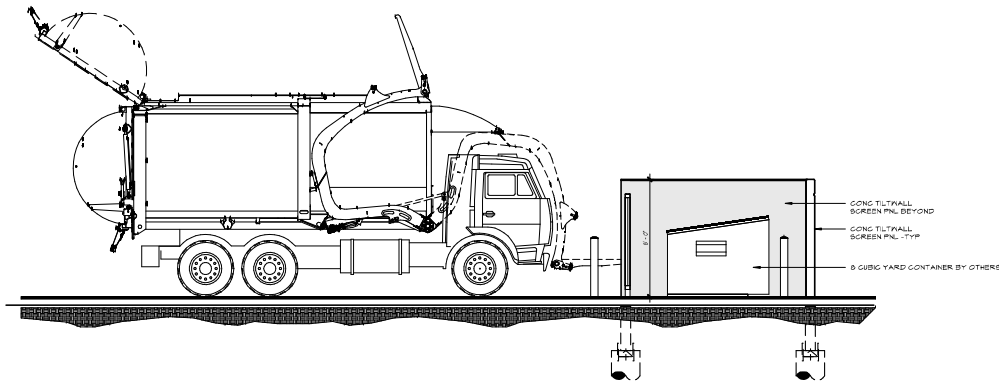
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
2100
OF TEXAS
04.17.25

REGISTERED ARCHITECT
2100
OF TEXAS
04.17.25

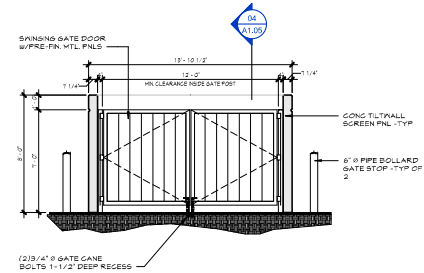
PROJECT NO: 25346.000
DATE: 04.17.25
DRAWN BY: DBC
CHECKED BY: DOM
SHEET: DUMPSTER ENCLOSURE PLANS
& DETAILS

CASE NUMBER
875-180

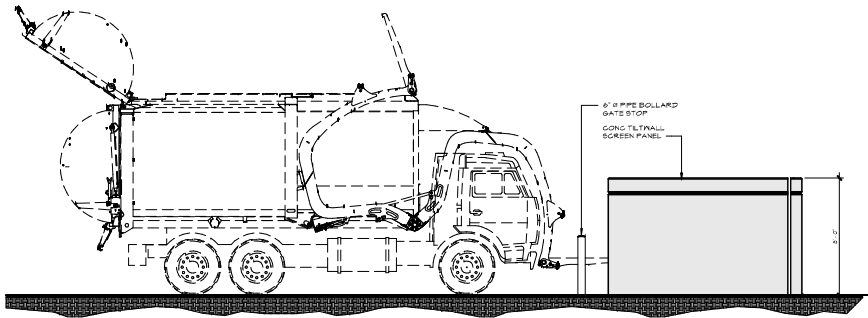
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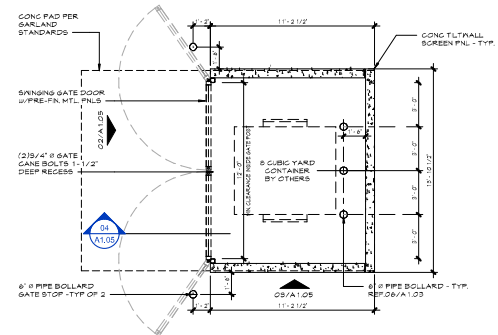
04 DUMPSTER SCREEN SECTION
SCALE: 1/4" = 1'-0"



02 DUMPSTER SCREEN GATE ELEVATION
SCALE: 1/4" = 1'-0"



03 DUMPSTER SCREEN ELEVATION
SCALE: 1/4" = 1'-0"



01 DUMPSTER SCREEN PLAN
SCALE: 1/4" = 1'-0"

ISSUE FOR:
SITE PLAN APPROVAL
REVISIONS:

HAMILTON - GSW AR LN - BUILDING-2 SOUTH
0000 GREAT SOUTHWEST
GRAND PRAIRIE, TEXAS

HAMILTON
CORPORAL

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FARMER, TEXAS 75046



PROJECT NO: 25346.000
DATE: 04.17.25
DRAWN BY: DBC
CHECKED BY: DOM
SHEET: DUMPSTER ENCLOSURE PLANS
& DETAILS

CASE NUMBER
875-TBD

A1.05