

PLANNING COMMISSION PACKET



**PLANNING & DEVELOPMENT DEPARTMENT
STAFF REPORT
AUGUST 13, 2024 (applicant requested a continuance)
SEPTEMBER 10, 2024 (applicant requested a continuance)
OCTOBER 8, 2024**

Application #: 2024-08
Project Name: 6683 Transmission Line Rebuild
Application Type: Conditional Use Permit
Applicant: XCEL Energy
Location: From the Fruita Substation to the Uintah Substation
Description: This is a request for approval of a Conditional Use Permit to reroute and rebuild approximately four (4) miles of transmission lines from the Fruita substation to the Uintah Substation.

Procedural History:

This Staff Report has been amended since the original Staff Report issued for the August 13, 2024, to reflect the discussions held with representatives from XCEL and the City of Fruita since that time.

XCEL Energy applied for a conditional use permit to reroute and rebuild approximately four (4) miles of transmission lines from the Fruita Substation to the Uintah Substation (“Application”) which was noticed and scheduled to be heard at the regularly scheduled Planning Commission meeting on August 13, 2024. On August 12, 2024, the applicant requested that this application be continued from the August 13, 2024, Planning Commission meeting to the September 10, 2024, Planning Commission meeting (letter attached with packet). The Planning Commission made a motion to accept the continuance request by a vote of 6-0.

The Applicant requested an additional continuance prior to the September 10, 2024, Planning Commission meeting to the October 8, 2024, Planning Commission meeting (letter attached and dated September 5, 2024). At the September 10, 2024, Planning Commission meeting, the Planning Commission granted the public an opportunity to provide public comments/testimony on this application at their September 10, 2024, public meeting (draft meeting minutes attached).

Planning Commission then continued the hearing until the October 8, 2024, meeting. Because these continuances were granted, the public hearing for October 8, 2024, did not require re-noticing as the original notice was continued as well.

The Applicant requested these continuances to have more time to discuss the conditions of approval presented in the Staff Report. City Staff and Xcel Energy representatives have been discussing the condition of approval to require the undergrounding the transmission lines in certain locations along the route as the lines cross the Fruita Riverfront Park. City Staff has requested specific cost estimates for this undergrounding, but Applicant has yet to provide those. City Staff and Applicant had also discussed alternative routes for the new transmission lines that did not go through the Riverfront Park but would have been based on undergrounding in either Kingsview Road or through the Emergency Access Location proposed in the Sunset Pointe Subdivision. Applicant has indicated that the current proposed route in the Application is the preferred route.

Project Description

This is a request by XCEL Energy (“XCEL” or “Applicant”) for a Conditional Use Permit (CUP) to reroute and rebuild approximately four (4) miles of transmission lines from the Fruita substation to the Uintah Substation. Constructed in 1956, transmission line 6683 runs from the Fruita Substation, located at 917 Highway 340 which is just east of the Rimrock Rodeo, to the Uintah Substation, located in the Industrial zone at address 1527 Highway 6 & 50 between 15 Road and 16 Road on the south side of the highway, and is approximately four (4) miles long. Because the original transmission line is reaching the end of its useful life, and in order to update the lines with fire-hardened facilities that meet current federal and XCEL design standards and criteria, a full rebuild is necessary to provide safe and reliable service to the citizens of Fruita. Due to the location of the lines, Applicant has stated that rerouting, rather than rebuilding in the current location, is required in order to ensure that there will be no service outages for the City. Other entities involved in this transmission line reroute include BLM, the Bureau of Reclamation, and Mesa County. Xcel is required to follow the protocol and permitting required by those entities.

According to the Fruita Land Use Code section 17.05.090 Land Use Table in the Utility Corridors section, both above and underground Transmission Lines require a Conditional Use Permit (CUP) in the Industrial Zone District and PUD (considered residential) Zone District with the decision-making authority being the Planning Commission as shown in the table located in Section 17.07.020. Although an allowed use in the CSR Zone District, Planning Commission must still find that the use is compatible with existing uses in accordance with Sections 17.05.080(C) and (E). Since that is an overlapping criterion with the requirements for a CUP, this Staff Report will address that issue for all zone districts together.

Because the project consists of many different property owners and zoning districts, a conditional use permit process is necessary to ensure the public is aware of the project , including the property owners directly affected by the project.. As shown in the documents submitted, the transmission line project runs through property owned by the City of Fruita, BLM, The United States of America, and a number of other private property parcels along the way.

Staff has asked XCEL to explore other alternative underground routes that avoided the Riverfront Park. The alternative routes were both Kings View Road and through the approved Emergency Access route from the Sunset Pointe PUD Subdivision. The alternative routes

appeared to be cost prohibitive and thus this application is considering the aboveground proposal through the Riverfront Park.

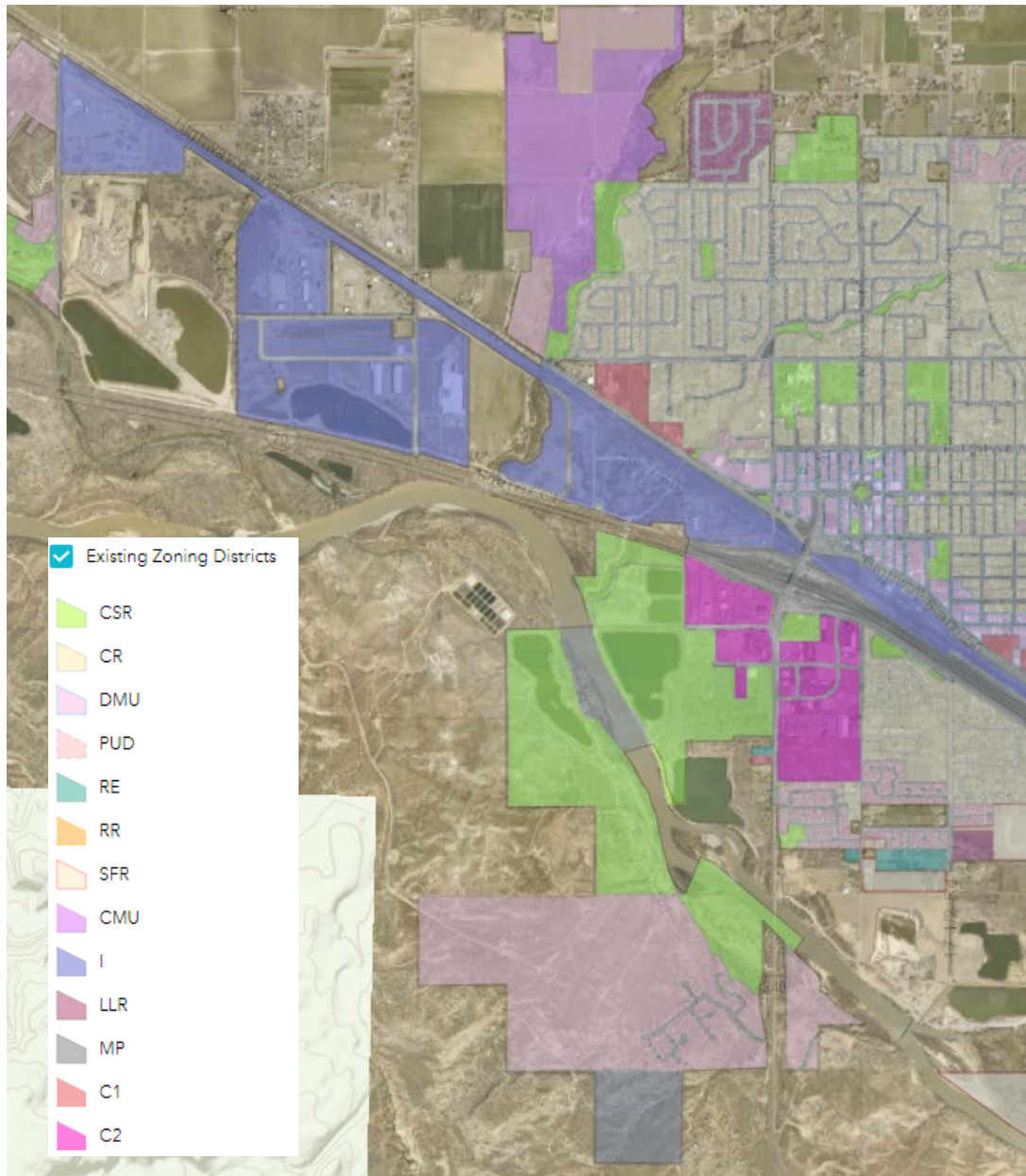
Table 17.05.090 - LAND USE TABLE												
	RE	LLR	CR	SFR	MP	DMU	C-1	C-2	I	CSR	NCO	FLU
Utility Corridors												
Transmission Lines (above ground)	C	C	C	C	C	C	C	C	C	A	C	*
Transmission Lines (underground)	C	C	C	C	C	C	C	C	C	A	C	*
All Other	C	C	C	C	C	C	C	C	C	C	C	*

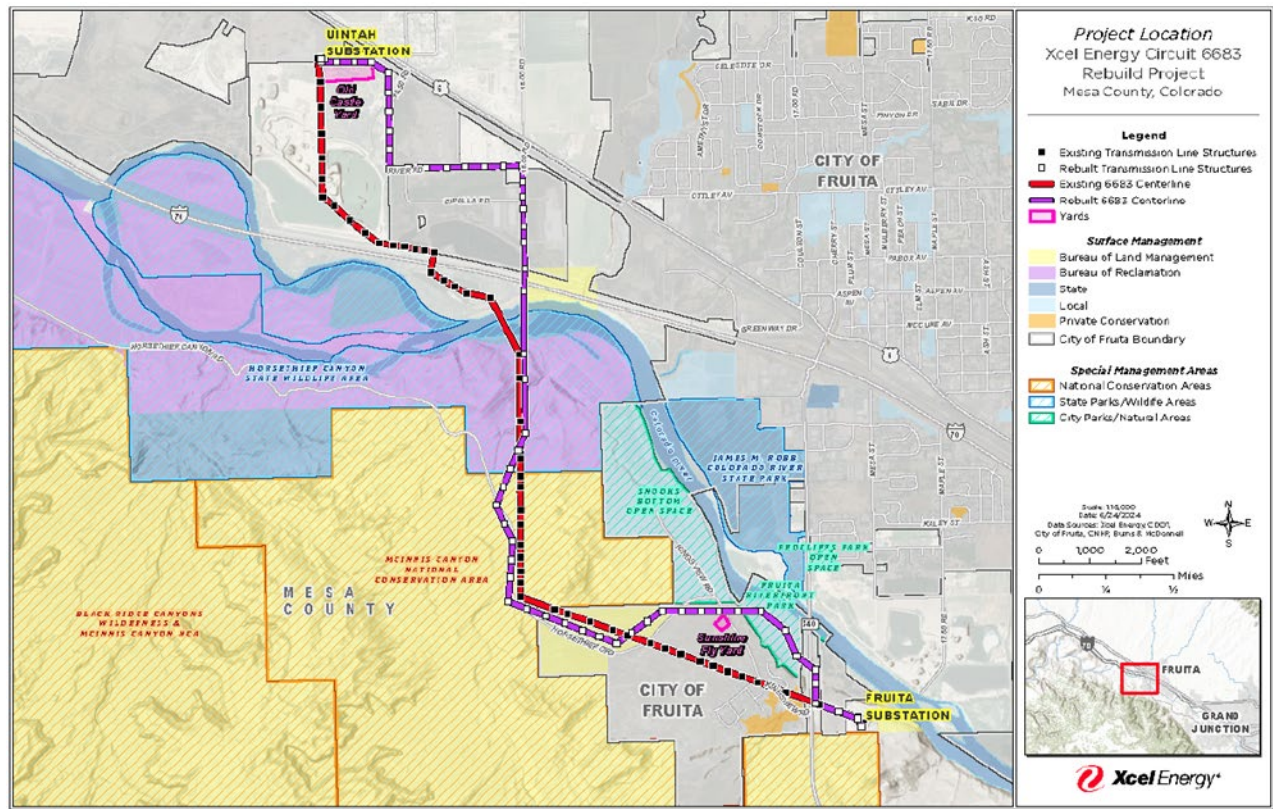
Table 17.07.020, Summary of Review Procedures						
Application Review Procedure (Does not include all application types)	Pre-Application Meeting	Neighborhood Meeting	Staff Review	Planning Commission	Board of Adjustment	City Council
	M = Mandatory O = Optional		R = Recommendation D = Decision			
Land Development Applications						
Conditional Use Permit	M	O/M	R	D	-	-

Surrounding Land Uses and Zoning:

The 6683 Transmission line rebuild will be approximately four miles long and encompasses multiple land use, zone districts and ownership. This route includes the Rimrock Rodeo area, down Highway 340, through the City's Riverfront Park, skirting around Kings View Estates and Sunset Pointe PUDs, through BLM land north and west of Kingsview Estates and Sunset Pointe, through the Pabco Industrial Park and ending at 1527 Highway 6 & 50 just east of Patterson UTI, thus crossing properties within the City limits located in PUD/residential Zone Districts, the Industrial Zone District and the CSR Zone District.

ZONING MAP AND AERIAL PHOTO





Review of Applicable Land Use Code Requirements:

A Conditional Use is defined in Section 17.57 of the Fruita Land Use Code as a use which, because of its unique or varying characteristics, cannot be properly classified as an allowed use in a particular zone district. After due consideration, as provided for in Section 17.09.030 of the proposed use's impact upon neighboring land and of the public need for the particular use at a particular location, such conditional use may or may not be approved. Allowed uses must also be compatible with existing adjacent uses, the zone district and the Fruita Comprehensive Plan in accordance with Section 17.05.080(C). As these criteria overlap with CUP approval criteria they are considered together in this report.

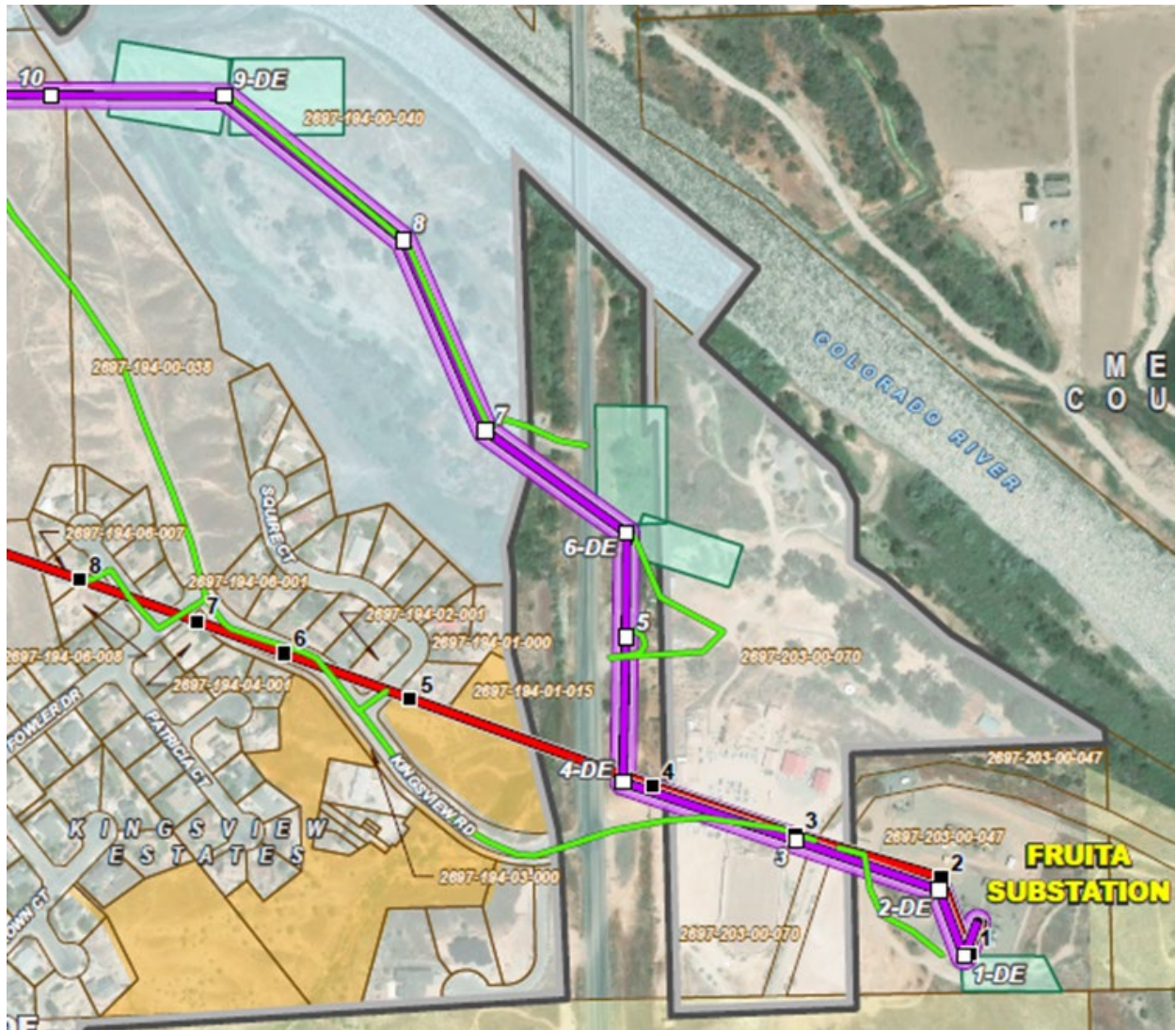
17.09.030 CONDITIONAL USES.

- A. **Applicability.** A Conditional Use Permit is required for any use identified as a conditional use on the Land Use Table in Section 17.05.090 of this Title.
- B. **Procedure.** Conditional Use Permit applications shall be processed and reviewed through the public hearing process in accordance with Section 17.07.040.
- C. **Approval Criteria for Conditional Use Permits.** A Conditional Use Permit may be granted for a conditional use in a particular zone provided the Planning Commission finds as follows:

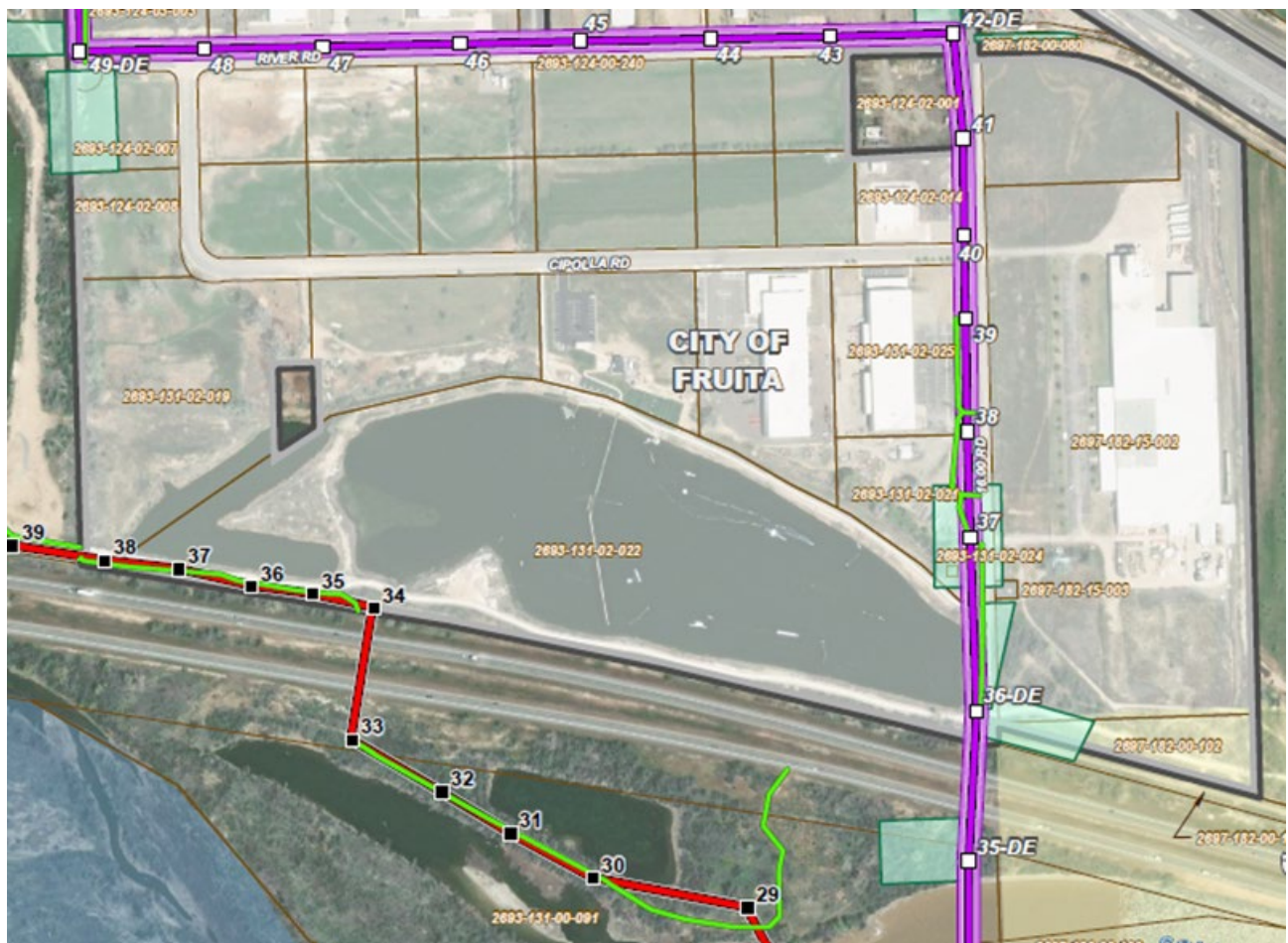
1. The proposed use is consistent with the provisions and purposes of this Title, with the purposes of the zone in which it is located, and with the city's Comprehensive Plan;

With conditions, the proposed use can be consistent with the provisions and purposes of the Land Use Code and with the city's Comprehensive Plan. Some of the community values include, *"Fruita is a community where people are invested and constantly working to make the community better"* and, *"Fruita provides quality services efficiently to its residents and businesses."* The Comprehensive Plan contains statements and goals related to Parks, Health, Recreation, Open Space, and Trails in Chapter 5. It's important to mention this because the application proposes new locations in the Fruita Riverfront Park. The Plan speaks to enhancement and preservation for new and existing park spaces and protecting the natural environment. Goal #6 on page 69 of the Comprehensive Plan states, *"Preserve the natural features of the city and surrounding landscape through partnerships with local land managers and organizations."* In order to be consistent and in conformance with this goal of preservation of recreational facilities and natural environment, the Planning Commission must investigate and determine that the project meets this goal. Although an allowed use in the CSR zone district, Staff has concerns related to how the proposed lines and new poles will impact the Fruita Riverfront Park which must be addressed pursuant to Section 17.05.080(C).

The routes through the Riverfront Park (see image below, Structure Numbers 7, 8, and 9DE) can be in conformance with this criteria if placed underground. Underground transmission lines are also an allowed use in the CSR zone district and in this instance would meet the compatibility requirements of Section 17.05.080(C). Therefore, Staff recommends that undergrounding through the park be a condition of approval.



The route through the Industrial zoned properties, as proposed (overhead transmission lines) (see images below, Structure Numbers 36DE-52) does meet this criterion.





If all requirements of the Land Use Code are met, including issues identified by review agencies and Staff's request for undergrounding through the Park, this criterion can be met.

2. The proposed use is compatible with existing and allowed uses surrounding or affected by the proposed use, pursuant to the criteria in Section 17.05.080.C; and

Chapter 17.05.080 (C)(1) states that for all land uses, whether allowed or conditional, "compatibility" is provided when a proposed land use can coexist with other existing uses in the vicinity without one use having a disproportionate or severe impact on the other use(s). The City decision-making body may consider other uses existing and approved in the area, and may consider all potential impacts relative to what customarily occurs in the applicable zone and those which are foreseeable, given the range of land uses allowed in the zone. The review authority may require conditions of approval to promote compatibility between uses.

The proposed transmission line rebuild can be compatible with the existing uses with certain conditions. It is currently an existing use in many of the areas Xcel is proposing to reroute and rebuild the energy infrastructure. It should be mentioned that Xcel performed community outreach and held public meetings on February 16, 2022, and July 27, 2022, at the Fruita Community Center and virtually where they introduced their project along with several routing options. The application reflects the most favorable route for XCEL.

As noted above, Staff is concerned about the proposed reroute through the Fruita Riverfront Park. The concerns are with regard to the proposed above ground poles that conflict with the existing disc golf course and the aesthetics and conservation values of the park. Staff's recommendation for the open space area, is to underground the transmission lines to meet the compatibility requirement. Fruita's Parks, Health, Open Space, and Trails Master Plan (PHROST) says this about the Fruita Riverfront Park, "*Fruita Riverfront Park was previously named Kingsview Open Space. This parcel is located adjacent to Snooks Bottom along the Colorado River and SH340. Fruita Riverfront Park is approximately 37 acres in size. This park provides a high-quality open space resource for the Fruita community and is an important riparian location. Fruita Riverfront Park contains a disc golf course, social trails, and natural, undeveloped river access.*" (page 50, PHROST Plan). Also as noted above, underground transmission lines are also an allowed use in the CSR Zone District and would demonstrate compatibility with these existing uses.

Staff has requested numerous times that XCEL provide a written, substantiated estimate of the costs of undergrounding the transmission lines through Riverfront Park and Sunset Pointe for the City's preferred route that would avoid the Park. As of the date of this Staff Report (10/4/2024), Staff has not received such estimate.

Through the Riverfront Park, CSR zone district, Structure numbers 7, 8, 9-DE placed underground will be compatible with surrounding area if placed underground.

The Structure numbers 36-DE through 52 in the Industrial Zone areas are compatible to be above ground.

This criterion can be met with the condition of undergrounding through Riverfront Park and can compatible as aboveground through the Industrial zone areas as described above.

3. The proposed use will not materially endanger the public health or safety; and

According to the 6683 Transmission Line Rebuild CUP project narrative, “The rebuilding of Line 6683 is also part of PSCo’s efforts to update transmission lines with fire-hardened facilities that meet current federal and PSCo design standards and criteria to maintain system reliability.” The rebuilding of the transmission lines is necessary for critical updates for safety. Rerouting the lines around and not through Kingsview will increase the viewshed of the Colorado National Monument and avoid sensitive recreational resources. Additionally, rerouting the transmission lines down Highway 340 will enable XCEL to utilize current right of way and limit impacts on current and future City of Fruita neighborhoods.

This criterion can be met.

4. Public services and facilities including, but not limited to, transportation systems, wastewater disposal and treatment, domestic water, fire protection, police protection, and storm drainage facilities are adequate to serve the proposed use.

Not only will services be adequate, but they will also be updated with the most current system available. This criterion can be met.

- D. Expiration. A use requiring a Conditional Use Permit must commence within three (3) years of approval or the Conditional Use Permit approval will expire. Conditional uses that have ceased for more than one (1) year cannot be re-established without re-approval of the Conditional Use Permit.

Based on this review, this requested Conditional Use Permit meets or can meet all approval criteria for a Conditional Use Permit.

LEGAL NOTICE	
Postcards	July 19, 2024
Newspaper	July 24, 2024
Site Postings	July 23, 2024
City Hall	July 26, 2024

NOTICE OF PUBLIC HEARING

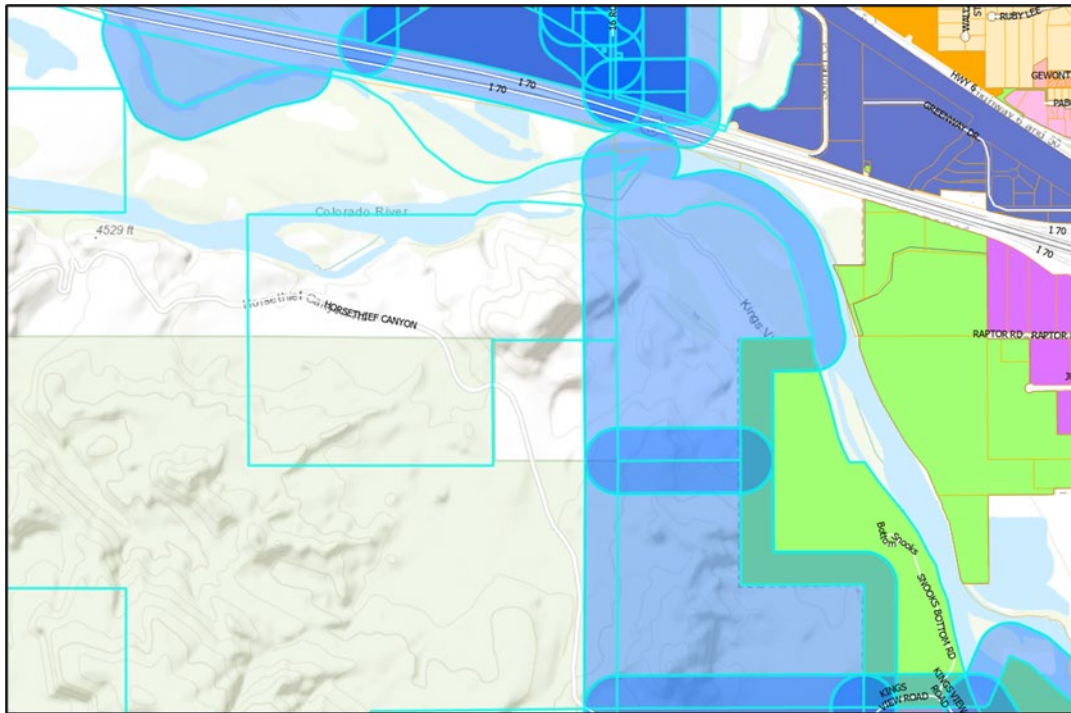
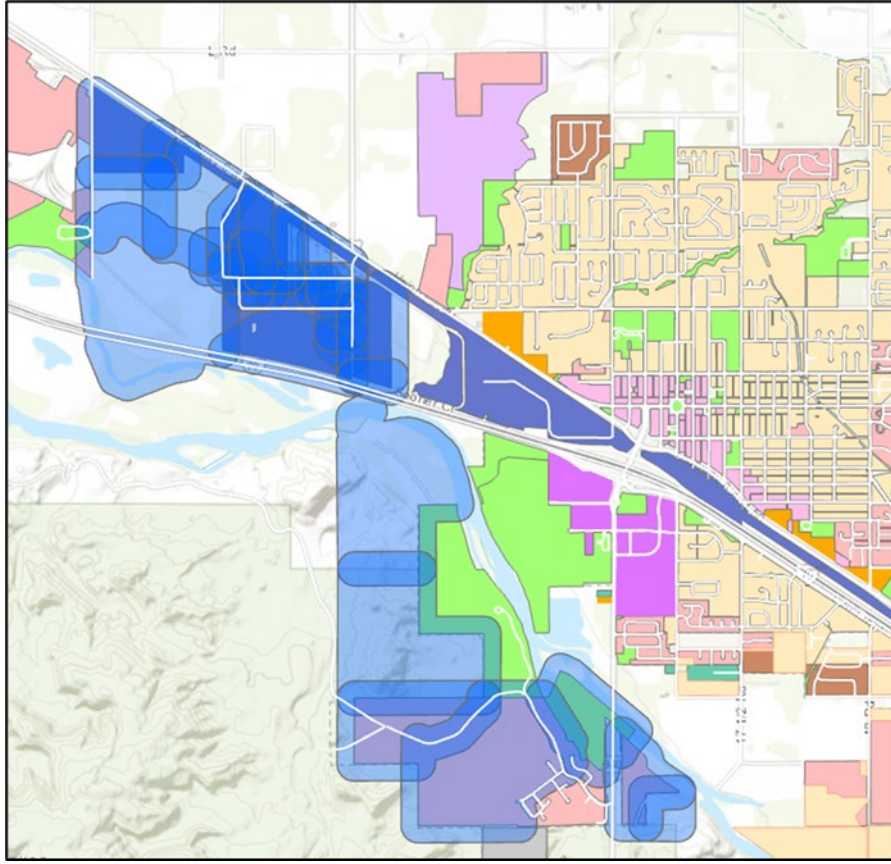
The Fruita Planning Commission will hold a public hearing **Tuesday, August 13, 2024, at 6:00 p.m.** Details on how to access this meeting will be found at www.fruita.org. The following item will be presented at the public hearing. For Conditional Use Permits the Planning Commission is the decision-making body and will be formulating the decision on the application. Please check www.fruita.org for more details. If you have an interest in the [item](#) please call 858-0786 or come to the Planning & Development Department office located at 325 E. Aspen Avenue to review the information in the file. Your appearance at the hearing is encouraged to ensure your concerns are accurately represented or you can write a letter outlining your concerns and submit it to the Planning & Development Department.

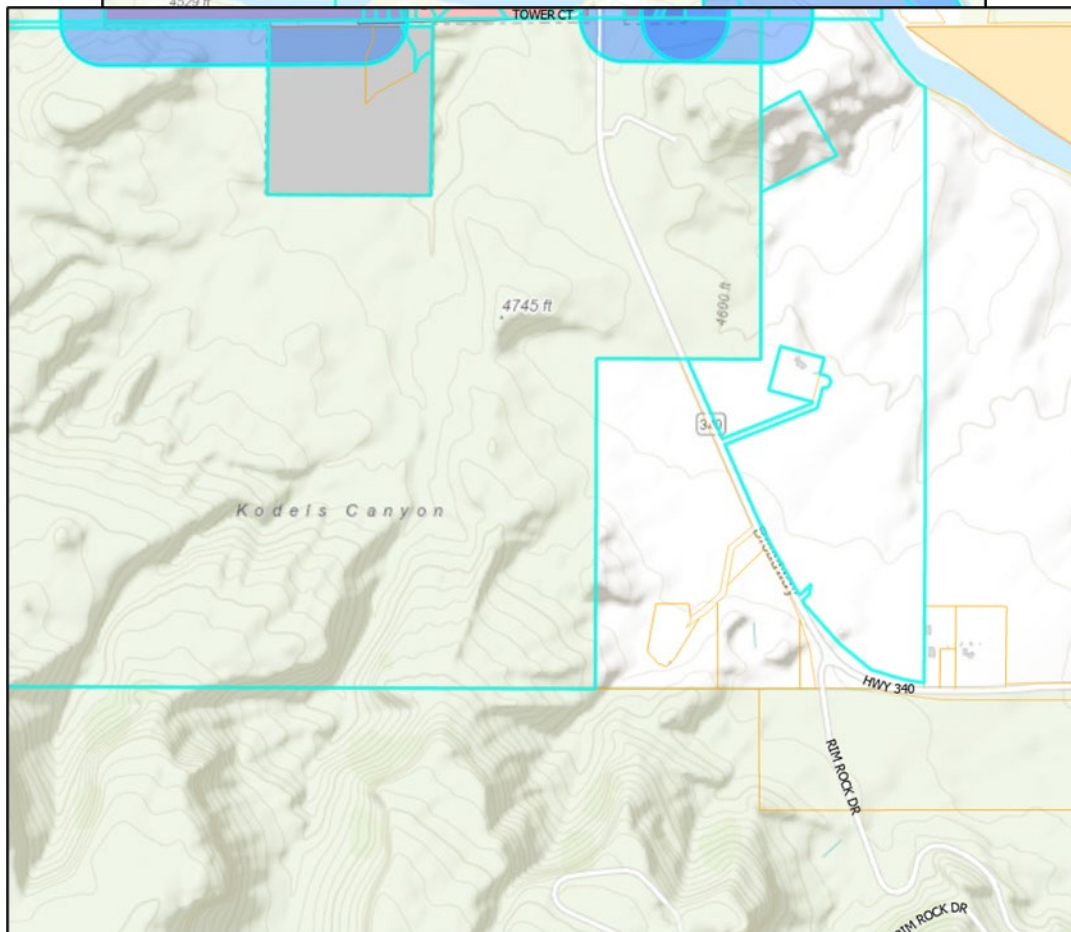
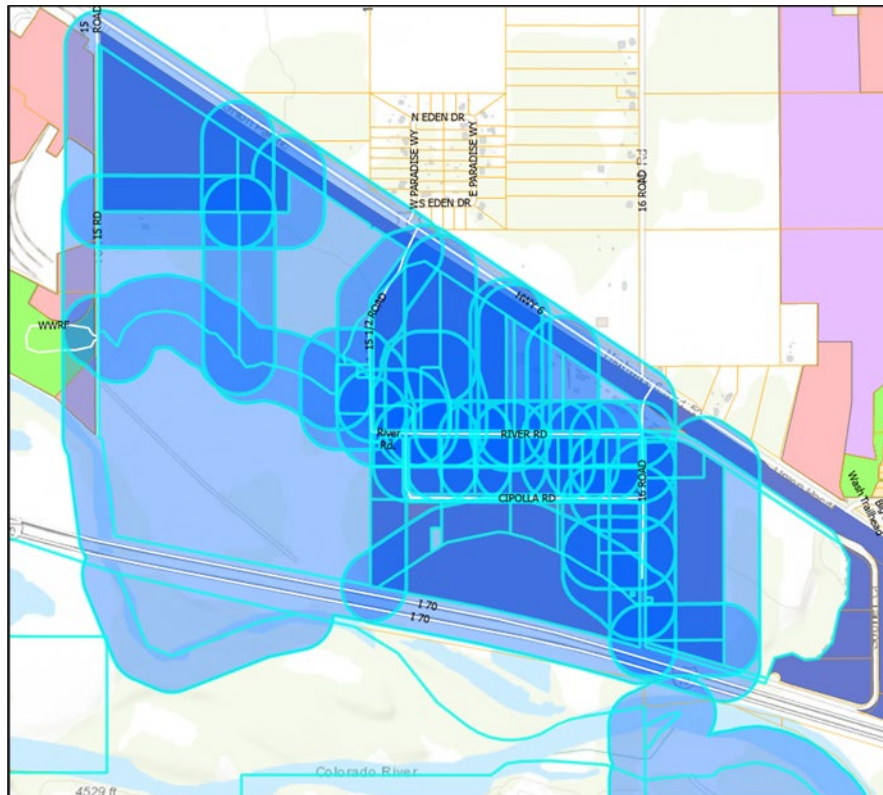
Application #:	2024-08
Application Name:	6683 Transmission Line Rebuild
Application Type:	Conditional Use Permit
Applicant:	XCEL Energy
Location:	From the Fruita Substation to the Uintah Substation
Description:	This is a request for approval of a Conditional Use Permit to reroute and rebuild approximately four (4) miles of transmission lines from the Fruita substation to the Uintah Substation.

Physically disadvantaged persons who wish to obtain information may call (970) 858-0786, the hearing impaired may call Relay Colorado at 1-800-659-2656, or visit our website: www.fruita.org









Review Comments:

All review comments received are included with this Staff Report as consolidated review comments. Review Comments were received by Public Works, Engineering, Ute Water, Parks & Recreation, Lower Valley Fire District, and Colorado Parks and Wildlife. Review comments from these entities should be adequately addressed/resolved before construction.

Public Comments:

Public comments have been received by Staff and all that have been received are included with the application materials. Public comments were also entered into the record at the September 10, 2024, Planning Commission meeting.

Conditions of Approval:

1. Underground transmission line Structure numbers 7, 8, 9-DE.
2. Adequately address/resolve any outstanding review agency comments.

Staff Recommendation:

Because the application meets or can meet the criteria in Section 17.09.030 of the Fruita Land Use Code, Staff recommends approval of the proposed Conditional Use Permit for the 6683 Transmission Line Rebuild as proposed with the condition that all review comments and issues identified in the Staff Report be adequately resolved, including a condition that the transmission lines be undergrounded for line Structure numbers 7, 8, 9-DE as depicted in the application.

Suggested Motion:

Mr. Chair, because the application meets or can meet the criteria in Section 17.09.030 of the Fruita Land Use Code, I move we approve the proposed Conditional Use Permit application for the 6683 Transmission Line Rebuild with the condition that all review comments be adequately resolved prior to the start of construction and that the transmission lines be undergrounded for line Structure numbers 7, 8, 9-DE as depicted in the application.

*The Planning Commission may place additional conditions on this application in accordance with Fruita Land Use Code and to protect the public health, safety, and welfare of the City of Fruita.

Planning Commission:

1. August 13, 2024 (continuance requested)
2. September 10, 2024 (continuance requested)
3. October 8, 2024 (public hearing on Application)

From: "Stencel, Julie A" <Julie.A.Stencel@xcelenergy.com>
Date: September 5, 2024 at 7:53:30 AM MDT
To: Mary Elizabeth Geiger <megeiger@garfieldhecht.com>
**Subject: Re: City of Fruita- Xcel Energy CUP Application for 6683
Transmission Line Project**

Yes. Piesco would like to request an additional continuance to October 8 to continue working with property owners on micro siding adjustments to the line. We can have a representative there in person to confirm that is our position as a follow up to the last hearing that discussions and work on resolving landowner concerns is ongoing .

Julie A. Stencel
Assistant General Counsel
Xcel Energy



Siting and Land Rights
1800 Larimer Street
Denver, CO 80202

August 12, 2024

Sent via email to hhemphill@fruita.org

City of Fruita
Attn: Henry Hemphill, City Planner
Fruita Planning and Development Department
325 E. Aspen Avenue
Fruita, CO 81521

RE: Request for Continuance of Planning Commission Hearing for 6683 Transmission Line Rebuild –
CUP (2024-08)(Application)

Dear Mr. Hemphill:

Public Service Company of Colorado, a Colorado corporation conducting business as Xcel Energy (Xcel Energy), is seeking approval of a Conditional Use Permit for its rebuild of the existing 6683 transmission line that runs between the Fruita and Uintah Substations (Project). On July 5, 2024, Xcel Energy submitted a Conditional Use Permit Application (2024-08), and on 7/26/2024, the City of Fruita (Fruita) staff provided comments on the Application, including comments about the proposed route, and set a hearing before the Planning Commission to consider the Application on 8/13/2024.

Subsequently, Xcel Energy and Fruita staff met on 8/6/24 to discuss Fruita's comments and the Project. Xcel Energy is working on materials in response to staff's comments and questions relating to the Project and the application and believes that additional time to continue its discussions with Fruita staff will be helpful for both Xcel Energy and Fruita staff. Xcel Energy therefore requests a continuance of the Application's hearing before the Planning Commission to the next Planning Commission hearing on 9/10/24. This will allow Xcel Energy to continue its discussions with Fruita staff regarding the comments provided on the Application.

If you have any questions or concerns, please contact me by telephone at (303) 285-6533 or email at Jennifer.L.Chester@XcelEnergy.com or contact Delaney Selvidge at (303) 285-6467 or Delaney.L.Selvidge@XcelEnergy.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jennifer L. Chester'.

Jennifer Chester
Xcel Energy
Siting & Land Rights, Senior Manager
Telephone: (303) 285-6533
Jennifer.L.Chester@XcelEnergy.com

6683 Transmission Line Rebuild Consolidated Review Comments

City of Fruita Public Works

Utility Plan:

a. There are several places where the proposed structures are in the same alignment as the City's sewer infrastructure. The applicant will need to have existing utilities located prior to construction. This may include utility potholing/verification.

The City recently replaced 17 sanitary sewer manholes in poor condition due to high levels of H₂S along this proposed route.

RECOMMENDATION:

The Public Works Dept. recommends approval of this Conditional Use Plan upon the satisfactory resolution of the items cited above.

CDOT

CDOT assumes they will use the excising access to the rodeo grounds. No new accesses to the highway will be permitted.

Ute Water

Along River Road, there appear to be several conflicts between proposed UPs and existing water facilities owned/maintained by Ute Water Conservancy District that must be addressed.

Waterline needs to be located to avoid conflict, see markup.

City of Fruita Parks & Rec

RECOMMENDATION:

The Parks and Recreation Dept. recommends that the transmission lines that are in the open space and conservation areas to be buried.

We want to maintain the land in a natural, scenic or open condition managed in a way that protects, preserves, enhances, and provides enjoyment of the visitors of this area.

Burying transmission lines in open spaces and conservation areas can offer several advantages over traditional overhead lines. The underground lines will not disrupt the visual landscape, preserving the natural beauty of the conservation area. The lines will be less intrusive on wildlife and vegetation compared to overhead lines, which require clearing and maintenance of rights-of-

way. The underground lines also have a reduced risk of fires and electrical hazards important in dry areas.

City of Fruita Planning

The Community Development Department recommends that in order to remove any conflicts with the Open Space and disc golf course near the sewer lift station area, that the Transmission Line be placed underground for this portion of the project (this would apply to Transmission Line Structures 8 and 9-DE as identified on the Site Location Mapbook) and then may continue to be above ground thereafter. This may also allow for the project to avoid sewer and other utility conflicts that have been commented on already in this review. With the undergrounding, the City of Fruita would provide easements where reasonably necessary. After staking out the location of the proposed Structure locations, the comment above must also include Structure number 7 as well.

The Community Development Department reserves the right to place additional conditions on this Conditional Use Permit application as it sees necessary to ensure protection of existing utilities, open space, residential properties, and the like.

City of Fruita Engineering

1. Utility Plan:

a. There are several places where the proposed structures are in the same alignment as the City's sewer infrastructure. The applicant will need to have existing utilities located prior to construction.

RECOMMENDATION:

The Engineering Department recommends approval of this Conditional Use Plan upon the satisfactory resolution of the items cited above.

Lower Valley Fire District

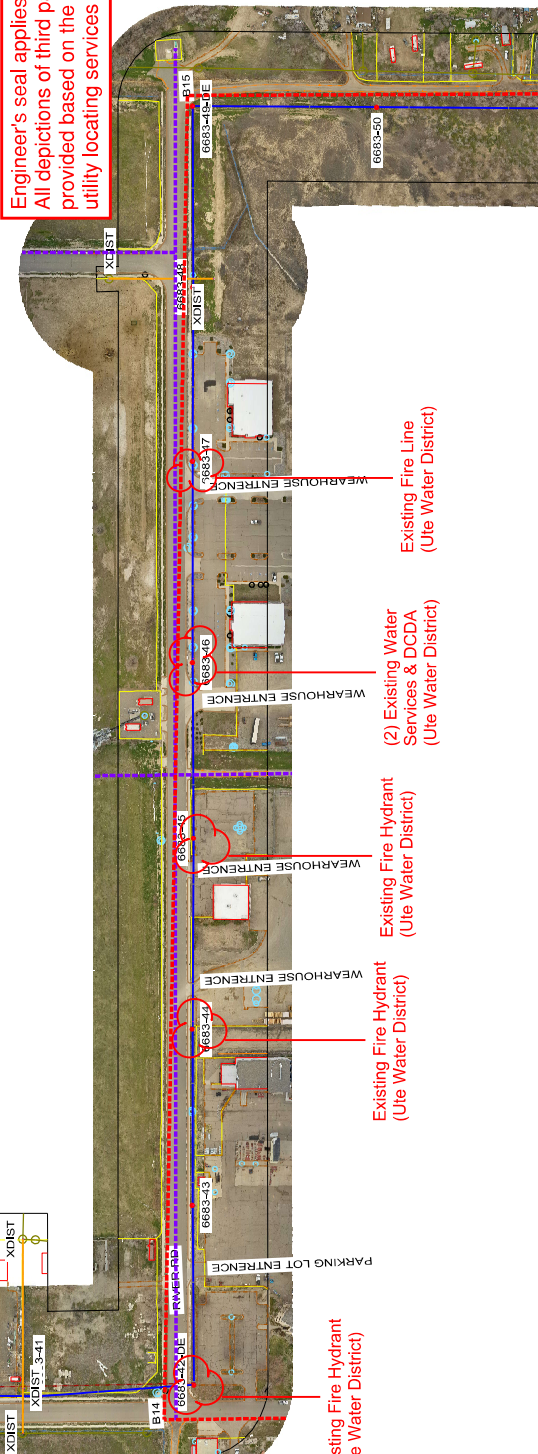
LVFD has no issues with the submittal of reconstruction of power line 6683. LVFD will require an emergency plan that will designate emergency contacts for the project. LVFD is looking forward to collaborating with you on fire mitigation plan.

Colorado Parks and Wildlife

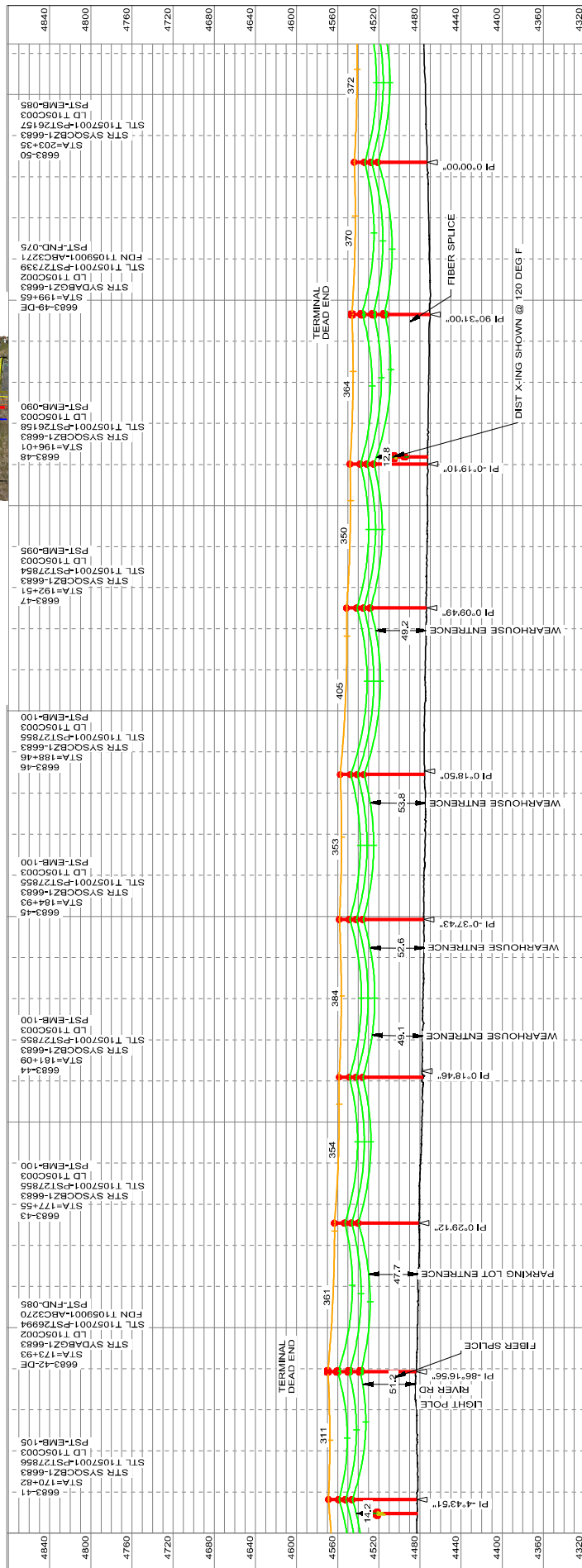
Please see attached comments.



Engineer's seal applies to transmission design only.
All depictions of third party utility locations are provided based on the best available information from utility locating services and publicly available sources.



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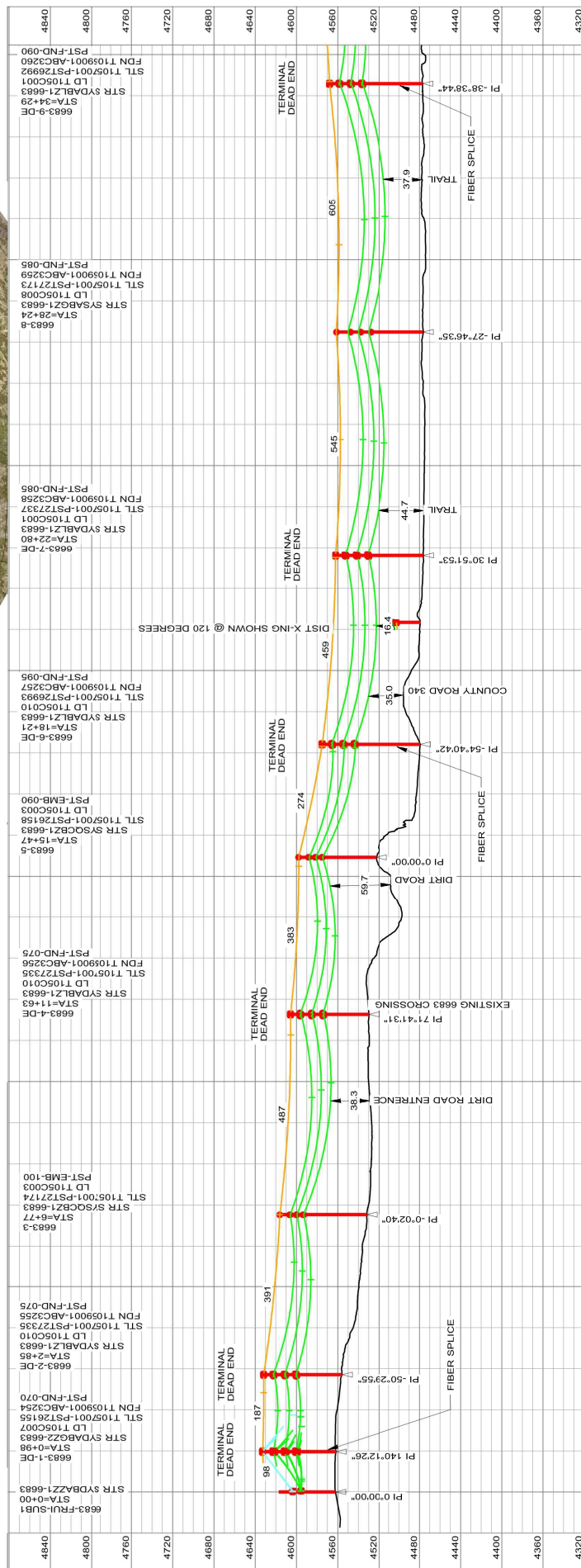
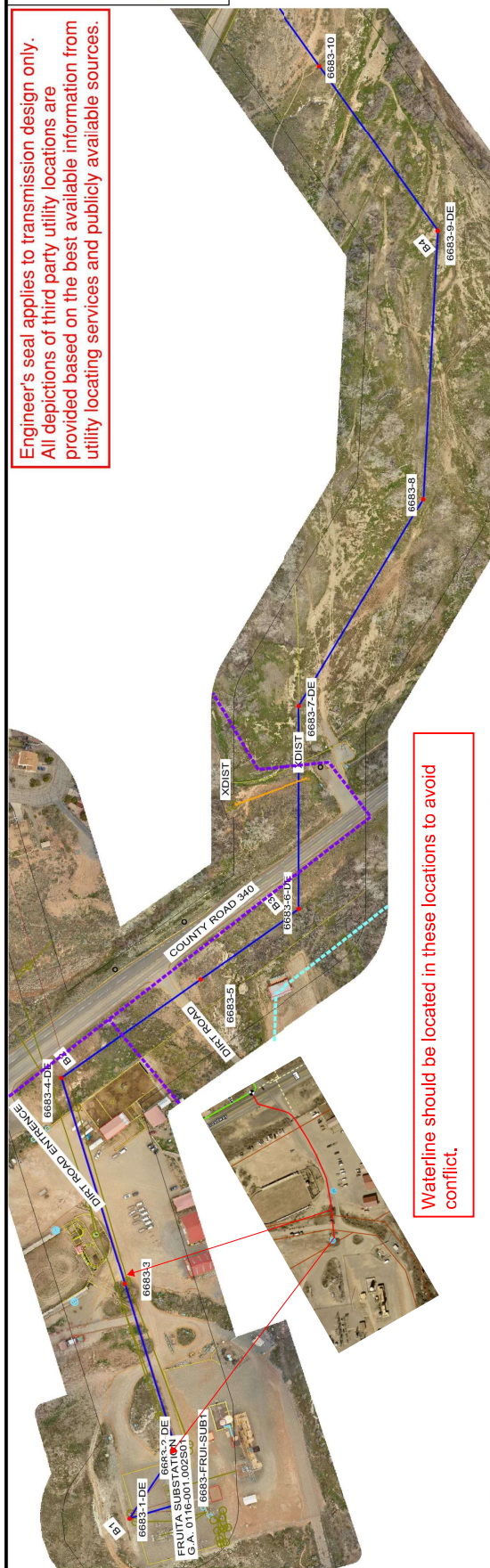
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Waterline should be located in these locations to avoid conflict.



	0400	5+00	10+00	15+00	20+00	25+00	30+00	35+00
REVISION DESCRIPTION								
WBS#								
REV#								
DATE								
ISSUED BY ENGINEERING DEPT FOR PERMITTING								
THIS WORKSHEET IS A TOOL TO ASSIST EMPLOYEES IN THE PERFORMANCE OF THEIR JOBS. YOUR PERSONAL SAFETY IS PROVIDED FOR BY THE WORKSHEET. IT IS NOT TO BE USED AS A SUBSTITUTE FOR ANY OTHER DOCUMENT OR PROCEDURE. NO COPY OR REPRODUCE WITHOUT EXPRESS WRITTEN CONSENT FROM Xcel Energy.								
								
CIRCUIT 6683 FRUI SUB TO UINT SUB								
HORIZ SCALE 250.0 FT. VERT SCALE 100.0 FT.								
T105G006 OP 12 NO								
6683-FRUI-SUB1 TO 6683-9-DE 0 2/20/2024 A 0004042 F102 001 ISSUE FOR PERMITTING - 6683 WORK LINE REMOVED								
JACK PERMITTING 2/20/2024								



COLORADO

Parks and Wildlife

Department of Natural Resources

Grand Junction (Area7) Service Center
711 Independent Avenue
Grand Junction, Colorado 81505
970.255.6100

July 30, 2024

City of Fruita
325 E. Aspen Avenue
Fruita CO 81521

RE: Xcel Transmission Line Rebuild 6683 CUP

Dear Mr. Caris,

Thank you for the opportunity to comment on the proposed Xcel Electric Transmission Line 6683 Project (Project) rebuild and realignment. Colorado Parks and Wildlife (CPW) has a statutory responsibility to manage all wildlife species in Colorado. This responsibility is embraced through our mission to perpetuate the wildlife resources of Colorado and provide sustainable outdoor recreation opportunities that educate and inspire future generations. CPW fulfills this mission by responding to requests for comments on wildlife impact reports, land use proposals, and consultations through public-private partnerships.

CPW understands from the permit application material that Xcel is replacing approximately 4 miles of 69 kV transmission lines with 115 kV electrical transmission lines between the Fruita and Uintah substations. This Project is part of a large-scale replacement effort in Western Colorado that has reached the end of its serviceable life and crosses both public and private ownership. Existing wooden poles will be replaced with weathered monopoles that support a longer span resulting in fewer structures on the landscape. The proposed alignment will re-route the transmission line from its current path in several places: a section north of the Kingsview Neighborhood and a section along 16 Road east of the existing alignment, avoiding an active Bald Eagle nest near I-70 and 15 ½ Road. Expected construction activities could include ground crews, truck support, line-pulling stations, and helicopter operations with material stored in the Old Castle Yard near 15 ½ road and L road and the Sunshine Fly Yard just south of Snooks Bottom Open Space.

In reviewing the application material, the Project follows the existing alignment through scrub/shrub and woody wetland or riparian habitat types. In many areas of the Intermountain West, more than 80% of wildlife species depend on wetland and riparian areas at some point in their lives. CPW has identified that this project area is located within the following CPW-mapped High Priority Habitats (HPH) with sound, spatial data and scientifically backed Best Management Practices (BMPs).



Jeff Davis, Director, Colorado Parks and Wildlife
Parks and Wildlife Commission: Dallas May, Chair · Richard Reading, Vice-Chair · Karen Bailey, Secretary · Jessica Beaulieu
Marie Haskett · Jack Murphy · Gabriel Otero · Duke Phillips, IV · James Jay Tutchton · Eden Vardy

- **Native Species Conservation and Sportfish Management Waters:** Ephemeral or intermittent streams and rivers that serve as aquatic habitats with flowing and without flowing water.
 - Avoid instream disturbances or water crossings before August 15th and after September 30th to prevent impacts to spawning and recruitment efforts of resident fish species.
 - Prioritize erosion control measures in and around stream channels to minimize sediment transport.
 - Utilize fresh water only for dust suppression efforts.
 - Restrict traffic crossing Native Species Conservation or Sportfish Management Waters to a single, perpendicular crossing point to minimize damage to the banks and channel bed.
 - Remove any plants, mud, or debris and disinfect equipment, hand tools, pumps and hoses, boots, and any other equipment, rented or owned, before and after use in the project area following the [Inspection and Cleaning Manual for Equipment and Vehicles to Prevent the Spread of Invasive Species](#) to avoid transporting Invasive plants and Aquatic Nuisance Species recently found in this area.
- **Active Bald Eagle Nest or Roost site:** defined as groups of individual trees that provide nesting habitat or diurnal or nocturnal perches and are usually the tallest available trees in the wintering area located primarily in riparian habitats.
 - Conduct a nest survey along the project area two weeks before construction to identify potential raptor nests, perching, foraging, and winter roosting areas.
 - No surface occupancy within 660 feet of an active nest and no permitted or authorized human activities within .25 miles of an active nest from December 1st to July 31st.
 - No permitted or authorized human activities within .25 miles of winter night roost or communal roost site from November 15th to March 15th.
- **Horsethief Canyon State Wildlife Area**
 - Maintain access to the river for hunting, fishing, and recreation along Kingsview Road, Horsethief Canyon Road, and other access points.
 - Include visibility markers on wires that cross the river to avoid waterfowl collisions in this active movement corridor.
 - Work with Colorado Parks and Wildlife, The U.S. Fish and Wildlife Service, and the Bureau of Reclamation to establish or update access easements to pole locations and right-of-ways.
 - Improve water conveyance through the wash at pole location 32-DE by placing appropriately sized culverts similar to the City of Fruita placed culverts upstream to protect the location and the access road from debris build-up, erosion, and deposition that occurs frequently in this area. Further collaboration with CPW, USFWS, BoR, Mesa County, and the City of Fruita is advised.



Jeff Davis, Director, Colorado Parks and Wildlife

Parks and Wildlife Commission: Dallas May, Chair · Richard Reading, Vice-Chair · Karen Bailey, Secretary · Jessica Beaulieu
Marie Haskett · Jack Murphy · Gabriel Otero · Duke Phillips, IV · James Jay Tutchton · Eden Vardy

- Install a low-tech water diversion structure at the corner of the USFWS ponds to protect access to pole locations 32-DE and 34-DE that would direct wash flows to a more direct route to the river. Further collaboration with CPW, USFWS, BoR, Mesa County, and the City of Fruita is advised.
- Reclamation of pull sites 6-DE, 9-DE, and 35-DE and the access roads should include native woody riparian species such as cottonwood, willow, and shrubs to re-establish bank stability and quality wildlife habitat.
- Avoid using rip-rap to add stability to banks or unstable slopes.
- **General Construction BMPs to Protect Wildlife Resources**
 - Submit and follow a robust restoration plan that includes a removal plan for the decommissioned infrastructure, grading that blends into the landscape, and incorporates a wildlife-friendly mix of grasses and shrubs to revegetate disturbed areas referencing [CPW's CO Seed Mix App](#), including a weed management component for disturbed areas, riparian habitats, and treatment of any topsoil stockpiles or materials.
 - Install erosion control measures before any ground disturbance, such as clearing, grubbing, construction, and reclamation; survey work will be exempt.
 - Prohibit dogs at the Project location.
 - Remove trash and debris daily.
 - Cap lighting from above to help reduce night-sky light pollution and avoid interference with nocturnal wildlife behavior.
 - Conduct work during daylight hours to minimize disturbance to wildlife that utilize this area.

Colorado Parks and Wildlife appreciates the opportunity to review this project application material and provide recommendations to avoid and minimize adverse impacts on wildlife. If there are any questions or needs for additional information, don't hesitate to contact CPW staff:

Mark Richman, District Wildlife Manager, 970-250-4501, mark.richman@state.co.us

Zach Chrisman, District Wildlife Manager. 970-250-4506, zachary.chrisman@state.co.us

Molly West, Land Use Specialist 970-250-3818 molly.west@state.co.us

Sincerely,



Kirk Oldham
Area Wildlife Manager

CC List

Kristina Morben, Aquatic Biologist
Genevieve Fuller, Terrestrial Biologist
Sarah Caskie, Mesa County Senior Planner





**6683 TRANSMISSION LINE
REBUILD
CITY OF FRUITA, COLORADO**

PUBLIC SERVICE COMPANY OF
COLORADO

CONDITIONAL USE PERMIT
APPLICATION

JUNE 2024

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Attachment E: Transmission Line Structure Details
Attachment F: Utility Composite

LIST OF ACRONYMS/ABBREVIATIONS

Abbreviation	Term/Phrase/Name
BLM	Bureau of Land Management
BMPs	Best management practices
CDOT	Colorado Department of Transportation
City	City of Fruita
Code	City of Fruita Municipal Code
Comprehensive Plan	City of Fruita Comprehensive Plan: Fruita in Motion
CSR	Community Services/Recreational
CUP	Conditional Use Permit
CPW	Colorado Parks and Wildlife
EA	Environmental Assessment
FAA	Federal Aviation Administration
FEMA	Federal Emergency Management Agency
FIRM	Flood Insurance Rate Map
GIS	Geographic Information System
GJFO	Grand Junction Field Office
kV	Kilovolt
MCNCA	McInnis Canyons National Conservation Area
NEPA	National Environmental Policy Act
NESC	National Electrical Safety Code
POST	Parks, Open Space, and Trails Master Plan

Abbreviation	Term/Phrase/Name
PHROST	Parks, Health, Recreation, Open Space, and Trails Master Plan
Project	Rebuild of the 4-mile Transmission Line 6683 between Fruita and Uintah Substations
PSCo	Public Service Company of Colorado, a Colorado corporation conducting business as Xcel Energy
PUD	Planned Unit Development
Reclamation	Bureau of Reclamation
ROW	Right-of-way
SWA	State Wildlife Area
USFWS	U.S. Fish and Wildlife Service
USGS	U.S. Geological Survey

INTRODUCTION

Xcel Energy owns the fourth largest transmission system in the United States, with more than 20,000 miles of electric transmission lines and nearly 1,200 transmission and transmission/distribution substations in eight states, including Colorado (Xcel Energy Wildfire Mitigation Plan 2020). Public Service Company of Colorado (PSCo), a Colorado corporation conducting business as Xcel Energy, is the owner and operator of 4,718 miles of transmission lines in Colorado. Transmission lines constructed by PSCo in the 1940s through the 1960s are approaching the end of their serviceable lives. PSCo is a regulated utility that serves multiple communities in Mesa County, including Fruita, Grand Junction, De Beque, and Palisade. Federal and state law require PSCo to provide reliable electric service to customers in these communities.

Constructed in 1956, transmission line 6683 (Line 6683) is a 69 kilovolt (kV) line that runs approximately 4 miles from the Fruita Substation to the Uintah Substation and is located west of Fruita, Colorado (Figure 1). PSCo proposes to rebuild Line 6683 between the Fruita and Uintah Substations (Project). Line 6683 crosses Bureau of Land Management (BLM) land under the jurisdiction of the Grand Junction Field Office (GJFO) within the McInnis Canyons National Conservation Area (MCNCA), the Colorado Parks and Wildlife (CPW) managed Horsethief Canyon State Wildlife Area (SWA) within Bureau of Reclamation (Reclamation) land, and private lands within Mesa County and the City of Fruita (City). Table 1 lists the existing centerline and rebuild centerline mileage by jurisdiction.

While the existing Line 6683 facilities are currently operational, they have reached the end of their useful life, therefore, a full rebuild of Line 6683 is required to continue providing safe and reliable service to the area. The rebuilding of Line 6683 is also part of PSCo's efforts to update transmission lines with fire-hardened facilities that meet current federal and PSCo design standards and criteria to maintain system reliability.

The Project includes constructing a Line 6683 replacement within a primarily new right-of-way (ROW) . The Kingsview Estates Neighborhood in the City of Fruita was built around the existing Line 6683. Due to the location of the existing transmission line and surrounding terrain, PSCo cannot install the new facilities within the existing ROW without taking the existing transmission line out of service. If the existing transmission line is out of service, facility and redundancy limitations in the area will result in extended service outages for the City. During the planning process, PSCo worked with BLM, Reclamation, the City, Mesa County, and the public and determined that the best option for affected stakeholders is to relocate Line 6683 to a new ROW to continue to provide electric service during construction and to avoid sensitive resources. Information about the alternatives PSCo considered will be provided in the Environmental Assessment (EA) being prepared by the BLM GJFO.

The existing Line 6683 consists of 53 wooden H-frame transmission line structures. Table 1 lists the number of existing and rebuild transmission line structures by jurisdiction. The existing transmission line structures are within a 50-foot-wide ROW on BLM land and are within a 30-foot-wide ROW on Reclamation and private lands. The portions of Line 6683 on BLM and Reclamation lands are authorized under ROW Grant COC 013928 (in perpetuity) as The Gilsonite 69 kV Electric Transmission Line.

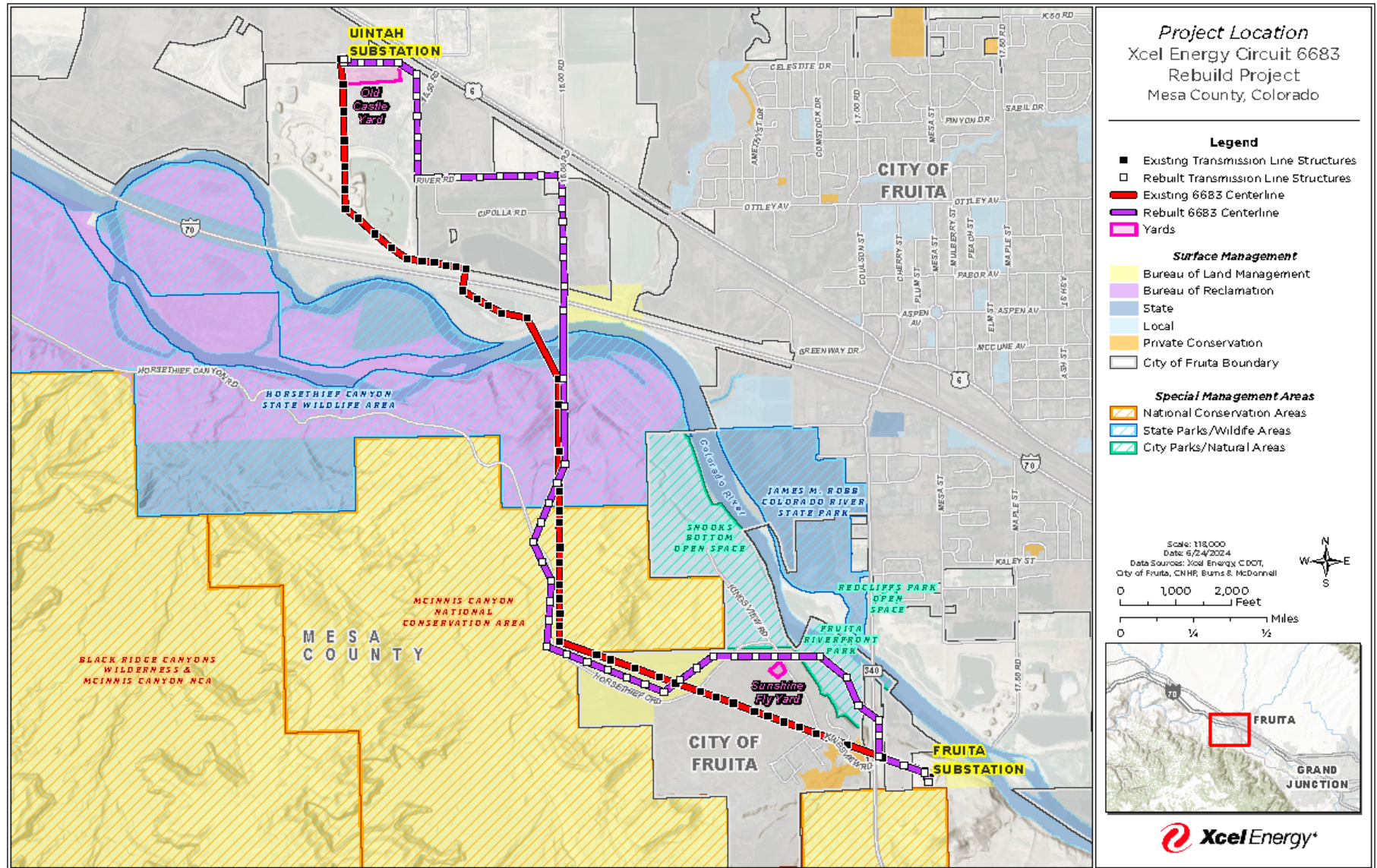
The Project involves removing all existing transmission line structures and cables (conductor and shield wires) between the Fruita Substation and Uintah Substation. The rebuilt Line 6683 and related facilities will include 59 new transmission line structures and conductors, insulators, and shield wires. The rebuilt Line 6683 will continue to operate at 69 kV. To meet current clearance requirements, PSCo is seeking a 50-foot-wide ROW for the rebuilt Line 6683 (Figure 1).

Table 1: Number of Existing and Rebuilt Transmission Line Structures and Centerline Mileage by Entity

Entity	Existing Transmission Line Structures	Existing ROW width	Existing Length (miles)	Rebuild Transmission Line Structures	Rebuild ROW width	Proposed Length (miles)
Mesa County	18	30 feet	1.37	13	50 feet	0.77
Mesa County and BLM	9	50 feet	0.59	8	50 feet	0.61
City of Fruita	17	30 feet	0.92	25	50 feet	1.86
City of Fruita and BLM	5	50 feet	0.37	8	50 feet	0.56
Reclamation ^a	4	30 feet	0.58	5	50 feet	0.60
Total	53	--	3.83	59	--	4.40

^a Managed by Colorado Parks and Wildlife

Figure 1: Project Location



This Conditional Use Permit (CUP) application package was prepared per the requirements of Title 17: Land Use Code of the City of Fruita Municipal Code (“Code”) and a Pre-Application Conference held on May 18, 2022, between City of Fruita Planning and Development Staff and PSCo representatives.

REGULATORY FRAMEWORK

Mesa County, City, Reclamation, and BLM land use regulations apply to the Project. Descriptions of the regulatory requirements are provided in the following sections and in Table 2. PSCo will obtain all applicable land use, environmental, and construction permits prior to the start of and/or during construction as dictated by these regulatory requirements.

CITY OF FRUITA

PSCo is submitting this City CUP application for the portion of Line 6683 within the City.

MESA COUNTY

PSCo will submit a Mesa County CUP application in June 2024 for the portion of Line 6683 within unincorporated Mesa County and BLM managed land.

BLM

In November 2021, PSCo submitted a BLM ROW grant application to BLM GJFO for the portion of Line 6683 within BLM jurisdiction in Mesa County. After the original application submittal, BLM GJFO requested a route change through the MCNCA to site the transmission line parallel to an existing developed road corridor to minimize new disturbance within the area. PSCo submitted a revised BLM ROW grant application in July 2023. The BLM GJFO is in the process of preparing an EA under the National Environmental Policy Act (NEPA) to evaluate Project impacts.

RECLAMATION

In 1956, the BLM authorized the original Line 6683 in perpetuity for the approximately 1.5 miles across federal lands. In the 1990s, Reclamation received the northern 0.50-mile portion of the lands occupied by Line 6683, and CPW took over management as a SWA. Because the ROW was granted prior to the passage of the Federal Land Policy Management Act (FLPMA) of 1976 the ROW cannot be amended, therefore a new land license agreement between PSCo and Reclamation is required. There are five rebuilt transmission line structures on Reclamation-managed land. Reclamation is a cooperating agency for the EA the BLM is preparing. The EA will analyze the Reclamation land license agreement.

Table 2: Land Use Permit Requirements and Applicability to the Project

Jurisdiction	Title	Trigger	Statutory Reference	Status
Mesa County	CUP	Utility corridors for the purpose of transmitting electricity are a Conditional Use	Mesa County Land Development Code, Sections 6.01 and 12.04J	PSCo will submit the required application in June 2024.
City of Fruita	CUP	Transmission Lines (above ground)	City of Fruita Land Use Code, Sections 17.05.080 and 17.05.090	PSCo is complying through this permit application and subsequent process for approval.
BLM	ROW Grant	A new ROW grant will be issued for the Project	43 CFR 2807.20	PSCo submitted the updated ROW Grant application in July 2023. The BLM is currently preparing an EA.
Reclamation	Land License Agreement	A new land license agreement will be issued for the Project as none currently exists	43 CFR 2807.20	PSCo submitted the updated land license agreement application in July 2023. Reclamation is currently a cooperating agency in the preparation of an EA.

SUBMITTAL REQUIREMENTS

A checklist of the application submittal requirements for the Project, provided by the City Planning and Development Department, is presented in Table 3.

In compliance with the guidelines for conditional use permits in the Conditional Use Permit Application (Attachment A) and the requirements for conditional use permits in Code Section 17.09.030, this application includes the following:

- Project description including location, acreage, proposed use (pg. 9-10.)
- Neighborhood meeting notes and attendance if one was held including date, time, and place of meeting (pgs. 13-14)
- Project compliance with, compatibility with, and impacts on:
 - Adopted plans and policies (pgs. 23-31)
 - Land use in surrounding area including parks and open space (pgs. 14-16)
 - Site access and traffic patterns (pgs. 17-19)
 - Availability of utilities (pg. 19)
 - Special or unusual demands on utilities (high water usage, grease, sedimentation, pre-treatment needs, etc.) (pg. 19)
 - Effects on public facilities and services (police, fire, sanitation, roads, parks, schools, irrigation, etc.) (pgs. 19-20)
 - Site soils and geology (pgs. 20-21)
 - Natural areas (pgs. 21-22)
- Development schedule and phasing plan (pg. 23)
- If credits against impact fees are requested, the Project Narrative must specifically identify what credit is requested and justify the request.
 - This requirement is not addressed below because no credits are requested.
- The Project Narrative should address the approval criteria that must be considered for Conditional Use Permits (Code Section 17.09.030(C)) (pgs. 14-16):
 - The proposed use is consistent with the provisions and purposes of this Title, with the purposes of the zone in which it is located, and with the City's Master Plan (pgs. 14, 23-31)
 - The proposed use is compatible with existing and allowed uses surrounding or affected by the proposed use, pursuant to the criteria in Code Section 17.05.080 (C) (pgs. 14-16)
 - The proposed use will not materially endanger the public health or safety (pgs. 19-20), and
 - Public services and facilities including, but not limited to, transportation systems, wastewater disposal and treatment, domestic water, fire protection, police protection, and storm drainage facilities are adequate to serve the proposed use (pgs. 19-23)

Table 3: City of Fruita Conditional Use Permit Application Submittal Requirements

Requirement	Location in Application Package
Submittal Checklist	Attachment A
Site Plan	Attachment B
Application Form	Attachment C
Project Narrative	Pg. 8
Project Description and Location	Pg. 9
Public Outreach	Pg. 12
Land Use	Pg. 13
Transportation and Access	Pg. 17
Utilities	Pg. 19
Public and Emergency Services	Pg. 19
Soils and Geology	Pg. 20
Natural Areas	Pg. 21
Drainage	Pg. 22
Development Schedule	Pg. 22
Compliance with Adopted Plans and Policies	Pg. 23
Construction Drawings	Attachment D
Transmission Line Structure Details	Attachment E
Utility Composite	Attachment F

APPLICATION COMPONENTS

The following sections outline the components of the CUP application.

SUBMITTAL CHECKLIST

The CUP Submittal Checklist is provided in Attachment A. At the Pre-Application Conference, City Staff determined that a CUP is the appropriate review process for the Project and is consistent with State Statutes.

SITE PLAN

The site plan is provided in Attachment B and includes details for the entire Project area.

APPLICATION FORM

A copy of the Land Development Application can be found in Attachment C.

PROJECT NARRATIVE

The Project involves rebuilding the existing Line 6683 between the Fruita Substation and Uintah Substation in Mesa County, Colorado. New transmission line structures, conductor, and shield wires will be installed within a new ROW. The existing Line 6683 will be removed and the area restored. The Project intersects land under the jurisdiction of the City, BLM GJFO, Reclamation, and unincorporated Mesa County. See Table 1 for the centerline mileage across each jurisdiction.

Currently, Line 6683 has a permanent ROW width of 50 feet on BLM land and 30 feet on Reclamation and private land. PSCo cannot rebuild Line 6683 within the existing ROW because the current transmission line would need to be removed from service during construction. Therefore, a new route for Line 6683 is necessary. PSCo conducted a routing study and created a public outreach plan to include the surrounding community in the selection of alternatives analysis. The proposed ROW location moves Line 6683 away from the Kingsview Estates neighborhood and reduces impacts on natural resources by moving Line 6683 closer to an existing disturbed corridor, Horsethief Canyon Road, within Federal managed lands. Line 6683 will continue to operate at 69 kV. Pending permit approval, construction is scheduled to begin in the fall of 2024. A 50-foot ROW is necessary for the Project.

The following sections provide additional details about the Project.

PROJECT DESCRIPTION AND LOCATION

The Project includes the construction of Line 6683 within a primarily new ROW . The rebuilt Line 6683 and related facilities will include 59 new transmission line structures as well as conductors, insulators, and shield wires (Table 4). The legal descriptions for the properties crossed by the rebuilt transmission line ROW in the City are in Attachment C.

Due to the location of the existing transmission line and surrounding terrain, PSCo cannot install the new facilities within the existing ROW without taking the existing Line 6683 out of service. In addition, facility and redundancy limitations in the area will result in extended service outages for the Kingsview Estates neighborhood if Line 6683 is taken out of service. PSCo, City, Mesa County, BLM, and Reclamation have, therefore, coordinated since May 2021 to evaluate and determine route options.

Components of the Project include:

- Rebuild Line 6683 across BLM and Reclamation managed land, Mesa County land, and land in the City (Table 1).
- Secure a new 50-foot ROW for the rebuilt transmission line.
- Remove existing conductor and 53 transmission line structures (Table 1).
- Construct 59 (Table 1) new transmission line structures made of weathered steel (rust color), single pole, H-frame, and three-pole dead-end transmission structures that may be guyed or un-guyed.
- Install approximately 24,800 feet of conductor, approximately 2,000 feet of shield wire, approximately 3,000 feet of ground wire, approximately 3,000 feet of optical ground wire, and 96 insulators.
- Utilize braced post insulators on new transmission line structures and install structures with ranges in height of 60 to 85 feet above grade (70 feet average), or 10 to 25 feet taller than existing structures. This height increase is necessary to meet the National Electrical Safety Code (NESC) and PSCo clearance requirements, which have increased since Line 6683's construction.

Access to the ROW will be primarily from existing public ROWs, such as state or county roads. Most new access locations will be from Horsethief Canyon Road.

The rebuilt Line 6683 will be in operation 24 hours/day and 365 days/year. Accordingly, PSCo requires access to the line at any time to address potential maintenance needs.

TRANSMISSION LINE STRUCTURE CONSTRUCTION

Line 6683 construction includes brown weathered steel single, H-frame, and three-pole dead-end transmission poles strung with new conductor and optical ground wire. The structures may be self-supporting or guyed. Transmission line structure details are in Attachment E. The rebuilt Line 6683 will operate at 69 kV. Table 4 provides a description of the existing and new transmission line poles along with details regarding the proposed changes.

Table 4: Descriptions of Existing and New Transmission Line Structures

Characteristic	Existing Transmission Line Structures	Rebuilt Transmission Line Structures	Additional Details
Color and Material	Brown wood	Brown/Rust weathered steel	Steel poles comply with design standards, including wildfire protection, and may increase longevity
ROW Width	30 to 50 feet for existing transmission line	50 feet for rebuilt transmission line	A 50-foot ROW easement is necessary based on the transmission line design to provide sufficient clearance for existing buildings and to avoid the need for an outage on the existing transmission line
Height of Transmission Line Poles	50 to 60 feet, average 50 feet	60 to 85 feet, average 80 feet	Increased height is necessary to comply with current design standards
Number of Transmission Line Poles	53 existing	59 rebuilt	The new route increases the number of poles needed
Access Required	Ground access for maintenance	Ground and helicopter access for construction, ground access for maintenance	PSCo can use a helicopter where ground access is difficult to avoid disturbance and the creation of new roads
Additional Easements	Existing easements currently under review	Temporary easements will be acquired for ground access to construction and	-

Characteristic	Existing Transmission Line Structures	Rebuilt Transmission Line Structures	Additional Details
		staging areas and pulling/tensioning sites	

CONSTRUCTION METHODS

Construction of the Project will occur in stages and include the following activities:

- Construction access development and vegetation clearing
- Equipment mobilization and material delivery
- Hole auguring and foundation construction
- Transmission line structure placement
- Conductor stringing
- Restoration of temporary disturbance areas

Prior to construction, access road improvements, grading, temporary staging area set-up, and vegetation work are required. Access routes will allow construction crews and vehicles to access transmission line structure locations, pulling/tensioning sites, and material staging areas. Staging areas will be used to stage construction equipment and materials such as temporary construction trailers, cranes, and transmission line structures.

Vegetation management may be required prior to, or in conjunction with, construction within the existing and new ROW. Trees and vegetation growing near the ROW could cause downed lines, power outages, and wildfires. Vegetation management crews prevent the risk of these occurrences by implementing various types of treatment including removing, pruning, and mowing vegetation and using approved herbicides. The extent of vegetation management will vary along the rebuilt Line 6683 corridor depending on current levels of vegetation encroachment and ROW needs. Vegetation management within the new ROW is necessary to create a safe working and operational space around Line 6683.

Following initial preparations, PSCo will auger holes for transmission line structures. Once PSCo augers the holes, the transmission line structures will be set and backfilled.

Some transmission line structures may require foundations set in the augured holes with a concrete-enforced steel cage. Transmission line structures will be placed in the holes or on the foundations using a crane or helicopter. Ground installation involves assembling transmission line structures in the material staging area. Once assembled, transmission line structures are transported via truck to the installation locations where a crane lifts the transmission line structure into place. Helicopter installation involves assembling transmission line structures in a material staging area, then transporting them via helicopter to installation locations and lowering them into the hole or onto a foundation. Depending on terrain and access, some existing transmission line structures will be removed by helicopter and flown to the staging area for off-site disposal.

Using a helicopter for installation can access areas that are not feasible for vehicle ground access, minimize construction impacts due to erosion and disturbance, and improve construction efficiency. Any areas requiring helicopter construction methods will follow Federal Aviation Administration (FAA) safety requirements such as evacuation of residences located near transmission line structures where work will occur. PSCo and their construction contractor will coordinate with the FAA during helicopter operations and obtain any necessary permits. PSCo and the construction contractor will provide residents with prior notice if evacuation is required.

Following the setting of the transmission line structures, PSCo will string conductor wire using a temporary pulley system which is attached to the insulators. Pulling/tensioning sites are required at specific angles, so the conductor wire is pulled in line with the transmission line structures, remaining aligned. The Project will have energy once the conductor is in place then, depending on terrain and access, PSCo will remove existing transmission line structures by crane or helicopter. Throughout construction, PSCo will implement wind erosion control best management practices (BMPs) including the application of water or other dust palliatives, if needed. Following construction, PSCo will restore all temporary work areas within the ROW to a condition reasonably similar to pre-construction.

PUBLIC OUTREACH

A public outreach plan was created to include the surrounding community in the alternatives analysis and solicit public feedback on the Project. A mailing list was created by buffering the eight alternative routes by 2,500 feet and extending this buffer where necessary to avoid bisecting a neighborhood. Approximately 1,500 properties were contacted with a letter describing the Project and the public involvement process. PSCo also created a website with Project details and handouts including a Project fact sheet, information about easements and working in the ROW, construction process, birds and power lines, electric magnetic field, safety around power lines, wildfire mitigation, collaborating with landowners, siting, and routing, and overhead versus

underground electric lines. In addition, PSCo created a Project hotline and email address to collect comments. PSCo also published a half-page newspaper ad in the Daily Sentinel on February 6, 2022. The ad included Project details, website address, hotline phone number and email address, and a map with the existing route and other route options.

An in-person open house was held on February 16, 2022, at the Fruita Community Center. A virtual open house in the form of a video presentation was uploaded to the Project website on March 21, 2022. Another public meeting was held on July 27, 2022, following selection of the preferred route. The meetings were held to provide information to the public about the Project, including route options, construction activities, and timing. An email address and hotline number were established where questions or comments regarding the Project could be provided.

Public comments were received primarily from the residents of Kingsview Estates. PSCo received a total of 11 comments via public open house, email, and voicemail. The comments ranged from concerns about visual, recreational, wildlife, and health (i.e., electromagnetic fields) impacts to property value, design, and cost. PSCo considered the public comments during the final route selection.

LAND USE

In compliance with the City of Fruita Land Use Code, the criterion for conditional use permits in Code Section 17.09.030C includes the following:

- The proposed use is consistent with the provisions and purposes of this Title, with the purposes of the zone in which it is located, and with the City's Comprehensive Plan.
- The proposed use is compatible with existing and allowed uses surrounding or affected by the proposed use, pursuant to the criteria in Code Section 17.05.080.C.
- The proposed use will not materially endanger the public health or safety.
- Public services and facilities including, but not limited to, transportation systems, wastewater disposal and treatment, domestic water, fire protection, police protection, and storm drainage facilities are adequate to serve the proposed use. These criteria are addressed in the following sections.

The rebuilt Line 6683 crosses 19 parcels within the City as provided in Attachment C. Within the City, existing land uses surrounding the Project include Xcel Energy Uintah Substation and undeveloped, residential, industrial, and commercial lands.

The Project meets the first approval criteria for a CUP (Code Section 17.09.030(C)) as the proposed use is consistent with the provisions and purposes of the Specific Review Procedures detailed in Section 17.09 of the Code, with the purposes of the zone in which it is located, and with the City's Comprehensive Plan. The Project is consistent with the purposes and criteria of Code Section 17.09 because it complies with all provisions and requirements for conditional use permits. The Project is also consistent with the purposes of the zones in which it is located. The Project crosses industrial, planned unit development (PUD), and community services and recreation (CSR) zone land see Figure 2 below. The purpose of the industrial district is to encourage non-polluting industrial, research, and development activities designed to meet applicable state and local standards for impacts associated with industrial uses. (Code Section 17.03.070). The community services and recreation zone district's purpose are to "provide public and private recreational land, facilities, schools, fire stations, libraries, fairgrounds and other public and quasi-public lands and buildings." (Code Section 17.03.080(A)). The purpose of PUD districts is "to encourage flexibility and innovation in developments in exchange for a community benefit that could not otherwise be realized through the strict adherence to the code." (Code Section 17.19.010). The Project is consistent with these purposes because it encourages these objectives by providing the community members in these zones with safe and reliable electricity, as further described throughout this application. Finally, the Project is consistent with the City's Comprehensive Plan, as explained further below (see pgs. 24-32).

The Project meets the second approval criteria (Code Section 17.09.030C) as the proposed use is compatible with existing and allowed uses surrounding or affected by the proposed use, pursuant to the criteria in Code Section 17.05.080.C The Project use is a Utility Corridor as defined in Code Section 17.05.070D. According to the land use table in Section 17.05.090 of the Code, aboveground transmission lines are an allowed use in the CSR zoning designation and a conditional use in the Industrial zoning designation.

The Project also crosses a PUD district that includes: (1) King's View Estates I, II, and III; and (2) the newly approved Sunset Pointe Preliminary PUD. Line 6683 is compatible with the uses allowed within this PUD district. First, Line 6683 pre-exists this PUD District and is a use that has been in place throughout its development. The Sunset Pointe Preliminary PUD includes primarily residential uses that despite a few requirements not applicable here, "utilizes the residential requirements of the Fruita Land Use Code." The land use table in Code Section 17.05.090 lists transmission lines as a conditional use in residential zone districts and this application satisfies that requirement. Additionally, nothing in the PUD prohibits, prevents, or modifies the requirements for above-ground transmission lines.

Second, with respect to Kings View Estates I, II, and III, that subdivision similarly was entitled and built around the preexisting Line 6683. According to City Staff, in the 1970's, Mesa County approved the initial stages of the King's View Estates Subdivision under their PD-1 zoning classification. Then in 1995, the City of Fruita annexed King's View Estates Filings No. 1 and 2, with the intent that it remain subject to the previous Mesa County PUD zoning requirements and Development Plan. None of those requirements prohibit, prevent, or modify the requirements for above-ground transmission lines.

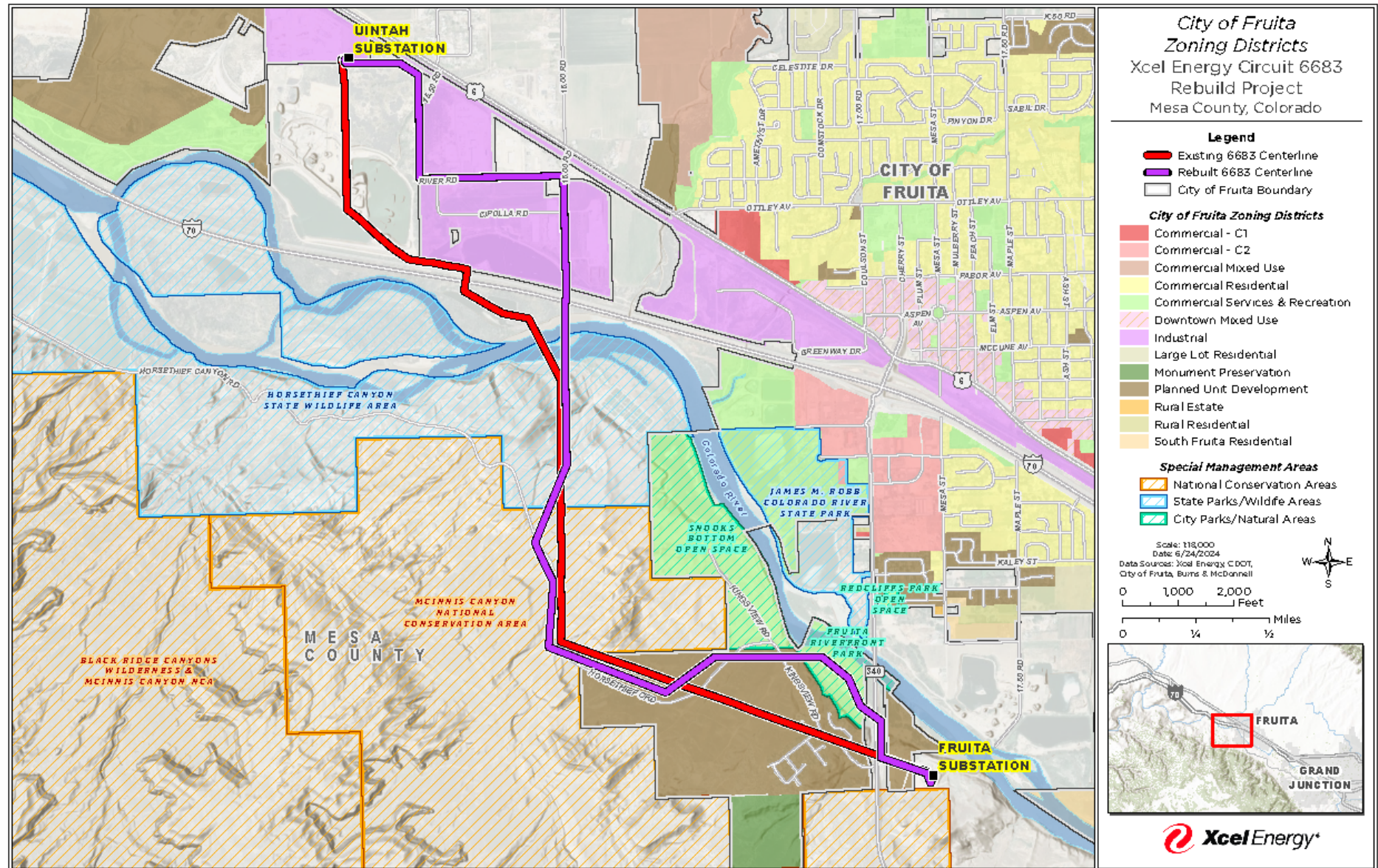
Notably, while the original Line 6683 ran through the middle of the King's View Estates and very close to several now-built homes, the rebuilt Line 6683 will be re-routed away from existing homes within that subdivision.

The Project does not require a subdivision within a PUD and will follow the Conditional Use application procedures in Chapter 17.09.030 of the Code, with review through the public hearing process in accordance with Code Section 17.07.040.

The Project meets the third approval criteria for a CUP (Code Section 17.09.030(C)) as explained in the Public Health and Emergency Services Section below (see pgs. 20-21).

The Project meets the fourth approval criteria for a CUP (Code Section 17.09.030(C)) as explained in the Public Health and Emergency Services Section (see pgs. 16-17) and Transportation and Access Section (see pgs. 18-20).

Figure 2: City of Fruita Zoning Districts



TRANSPORTATION AND ACCESS

The following sections outline access and transportation impacts.

EASEMENT AND ACCESS INFORMATION

Construction access routes allow construction crews and vehicles to safely access transmission line structure locations, pulling/tensioning sites, and material staging areas. Where permitted, PSCo will develop unimproved (two-track) or previously graded routes and some new access routes. PSCo will utilize existing public and private roads during construction, operation, and maintenance of the Project. PSCo is in the process of obtaining access from landowners through private property.

PSCo will construct new roads using a dozer and grader to develop up to a 12-foot-wide roadbed that will be left primitive with no added road base. The Project requires upgrades of roads outside of the ROW with limited disturbance to improve access to transmission line structure locations. Access improvements to roads may include additions of culverts (if necessary), temporary matting for wet areas, water bars or drain drips (if necessary), rock clearing, brush hogging/mowing of vegetation, installation of gates to prohibit public access, and grading and dirt work to smooth the roadbed.

Where road improvements are needed, PSCo will secure the necessary permits to comply with City regulations including grading, stormwater, and erosion control permits. If new access is required, PSCo will secure the necessary permits from Mesa County, City, or the Colorado Department of Transportation (CDOT).

Helicopter access for equipment and materials is necessary for sites that are inaccessible to vehicles. Helicopters will hover 200 to 300 feet above the ground surface and deliver equipment via a winch line. Helicopters are not expected to set down except in the case of emergency or where permission has been granted in the designated staging area or fly yard.

TEMPORARY ACCESS ROUTES AND IMPROVEMENTS

Construction access routes for the Project allow construction crews and vehicles to safely access transmission line structure locations, pulling/tensioning sites, and material staging areas. PSCo will utilize public and private roads that currently exist during construction, where feasible. PSCo will secure permits for grading, stormwater, and erosion control where road improvements are needed. PSCo will engage in landowner negotiations where access roads traverse private property and access is necessary. Access to existing and new transmission line structure locations is required during construction in the form of temporary access routes to remove old and install new

transmission line structures. Crews require temporary access to walk in and access the transmission line structure locations with light machinery. Prior to construction and as required, PSCo will provide a detailed Grading Plan outlining the locations of temporary access and the improvements needed.

STAGING AREAS AND ADDITIONAL EASEMENTS

PSCo plans to utilize two temporary staging areas for the delivery, storage, and distribution of materials to support the Project. Both staging areas are located within the City jurisdiction. The Old Castle Yard is located south of the Uintah Substation and Highway 6 on Parcel 2693-123-04-002 (Attachment B). The Sunshine Fly Yard is located off Kings View Road northwest of Kingsview Estates and Fruita Substation on Parcel 2697-193-00-037 (Attachment B).

PSCo will use the staging areas for approximately 12 to 14 months. Before construction, PSCo will use the yards only to store equipment. PSCo crews will deliver materials for the rebuild to the staging areas prior to and during construction by flat-bed truck or helicopter. The helicopter will travel to and from the staging areas to land and collect construction materials. Materials that PSCo may stage in the staging areas include transmission line structures and reels of conductor and shield wire. Equipment that PSCo may store in the staging areas include backhoes, bucket trucks, and crane trucks. During construction, personnel may park pick-up trucks at the staging areas during the day. PSCo personnel will use the staging areas during the typical construction workweek of 6 days per week and 10 hours per day.

Personnel will access the staging areas via Old U.S. Highway 6 (Old Castle Yard) and Highway 340 (Sunshine Fly Yard). PSCo anticipates approximately 40 to 50 material deliveries per month by semi-truck to the staging areas during construction. Deliveries will occur intermittently over the course of construction. During construction, PSCo crews may require up to 15 vehicle trips to and from the staging areas twice each day. For one week, construction may require approximately 12 helicopter trips to and from the staging areas.

PSCo will obtain and comply with any permits needed for the operation of the staging areas and fly yard. PSCo will fence the staging areas and fly yard for security and screening. Construction may require vegetation clearing and grading to level the areas for material and equipment placement. PSCo will implement BMPs to reduce stormwater-related impacts to nearby waterbodies. PSCo will implement wind erosion control BMPs including the application of water or other dust palliatives, if needed. Upon completion of construction, PSCo will remove any leftover material and restore the staging areas, if needed.

Additional easements are necessary for placement of pulling and tensioning machines for stringing conductor wire. The Project may require grading at some pulling/tensioning sites to level out the area for equipment placement. PSCo will obtain any required permits for grading these sites. Upon completion of construction, PSCo crews will remove all equipment and restore the sites consistent with preconstruction conditions.

TRAFFIC INFORMATION

The need for vehicle traffic controls in the City is not anticipated. If it is determined that roadway traffic controls are necessary, PSCo will submit a traffic control plan to the City as applicable. Construction may require up to 15 vehicle trips to and from the staging areas twice each day. While construction vehicles will enter and exit the Project during construction, the Project will have no continued impact on future traffic conditions.

UTILITIES

The Project will not utilize any local sanitary sewer connections or water sources and will not require any utility connections.

PUBLIC HEALTH AND EMERGENCY SERVICES

The Project meets the third conditional use approval criteria listed in Section 17.09.030(C) of the Land Use Code because the proposed use will not materially endanger public health or safety. The existing Line 6683 has reached the end of its useful life, and it is necessary for PSCo to rebuild for safety reasons. PSCo has sited and designed the Project with public health and safety in mind. Reliable electrical power is necessary for public safety for numerous reasons, such as powering homes and healthcare facilities, as well as, streetlights, traffic signals and aiding in communication during emergencies.

Transmission lines are built and maintained to meet or exceed safety standards, such as those specified by the NESC and the North American Electric Reliability Corporation. PSCo makes every effort to provide safety in construction, operation, and maintenance of transmission lines. Transmission lines and line infrastructure are designed to withstand extreme weather conditions. Protective devices at line terminals stop the electricity flow under abnormal operating circumstances.

The fourth conditional use approval criteria listed in Section 17.09.030(C) of the Land Use Code requires public services and facilities are adequate to serve the proposed use including, but not limited to, transportation systems, wastewater disposal and treatment, domestic water, fire protection, police protection, and storm drainage facilities. The Project will not utilize wastewater disposal, treatment, nor domestic water.

Transportation is discussed in the Transportation and Access Section. The Project will not permanently impact storm drainage facilities, and BMPs for sediment and erosion control will be in place during construction.

The Project will primarily utilize the existing roadway network for vehicle access during construction and operation. The Project may impact properties within the City that may be located in the Lower Valley Fire Protection District. Emergency services are available from the City Police Department, Lower Valley Fire Station, Colorado State Patrol, Mesa County Sheriff, and the Mesa County Emergency Management Department.

It is not expected that the Project will impact services provided by the City's emergency service districts. Given the small size of the crews needed for construction, no impacts on law enforcement or emergency medical services are anticipated. The potential use of local fire department services during construction or operation of the Project will have a negligible effect on the overall capability of responders to provide services because the Project will only need services in the unlikely event of an emergency. The Project will not impact other public services or facilities including schools, water and wastewater treatment, or water supply.

SOILS AND GEOLOGY

The U.S. Department of Agriculture, Natural Resources Conservation Service identified the following soil types in the 2-mile-long City portion of the Project. In the northern portion of the Project, spanning from the Uintah Substation to the north side of Interstate 70, near mile marker 18, the soil is predominantly Fruitland sandy clay loam and Turley clay loam. Both soils are well drained with a depth to water table of over 80 inches and there is no risk of ponding or flooding. At the southern portion of the Project, in the area south of Kings View Road and south of the Colorado River near Kingsview River Bottom Open Space, the soil consists primarily of Moffat Sheppard Pennell complex, which is a well-drained soil with a depth to water table of over 80 inches. Other soils present in the Project include Glenton very fine sandy loam, Blackston very gravelly sandy clay loam, and Zyme very stony-rock outcrop-Gladel complex. All three of these soils are also well drained with a depth to water table of over 80 inches. Located east of Highway 340, at the end of the Project area near the Fruita Substation, the soil has a similar composition of primarily Zyme very stony-rock outcrop-Gladel complex. Other soils include Glenton very fine sandy loam and Blackston very gravelly sandy clay loam. All these soils are well drained and have a depth to water table of over 80 inches.

Most of the land used for the Project within the City has gentle slopes except for a single rock ridge at the southern portion of the Kingsview River Bottom Open Space. The transmission line will span this ridge. This rock face is used for recreational rock

climbing, and according to the U.S. Geological Survey (USGS) U.S. Landslide Inventory, is not a landslide hazard (USGS, 2023-a). The nearest fault zone is the Redlands fault complex located outside the City limits, south of the Project, on BLM land (USGS, 2023-b).

Impacts on soils during construction may result from soil compaction, disturbance, and erosion. However, upon completion of Project construction and reclamation, long-term soil loss would only result from structure placement. PSCo will implement BMPs to prevent soil erosion and disturbance during construction to minimize temporary impacts to soils.

NATURAL AREAS

The Fruita Riverfront Park is a City Natural Area south of Snooks Bottom along the Colorado River and State Highway 340. Unlike Snooks Bottom, there is no conservation agreement on this parcel, therefore development in the park is permitted (City of Fruita, 2009). The Fruita Riverfront Park contains an 18-hole disc golf course and other trails. Rock climbers also utilize the cliffs in this park.

The Project is sited through the Fruita Riverfront Park to avoid the Kingsview Estates neighborhood. PSCo worked with the City to mitigate impacts relating to the construction and operation of the Project in the park. Specifically, PSCo worked with the City Parks and Recreation Director to microsite transmission line structures to avoid impacts to the disc golf course and minimize the removal of cottonwood trees within the park. Permanent visual impacts will occur within the Fruita Riverfront Park due to the addition of Line 6683, however, utility corridors and parks are compatible land uses and siting the transmission line within the park reduces visual impacts to the nearby neighborhood of Kingsview Estates.

The Project may cause temporary visual impacts to the park during construction due to the need for the presence of construction vehicles and active work areas. These visual disturbances are not anticipated to remain during the general operation of the Project. During construction, PSCo will continue to work with the City Recreation Department to notify recreational users of construction and to avoid disrupting park activities as much as possible.

The Project may also indirectly impact the Fruita Riverfront Park due to increased noise, vibration, and odor from the construction equipment and the visual presence of transmission line structures and construction activities. However, construction impacts will be short term. Construction requires two 1.4-acre (60,000 square foot) areas within the park pulling/tensioning sites to string the conductor and shield wire. These sites may

require minor ground disturbance; however, upon the Project's completion, PSCo will return the disturbed areas as close as possible to preconstruction conditions.

The Fruita Riverfront Park is within the 100-year floodplain. Transmission line structures will be permanently placed in the regulatory floodplain; PSCo will acquire the necessary Floodplain Development Permit from the City of Fruita.

DRAINAGE

According to the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM), the Project ROW extends through two parcels within the City that are located in Zone A, with a 1 percent annual chance of flooding (100-year floodplain). The remaining City parcels are located in Zone X outside of the 100-year floodplain (FEMA, 2023). The associated floodplain map is in Attachment B. Although some transmission line structures are within the 100-year floodplain, PSCo has designed them to withstand flood events. Most of the properties in the Project area are undeveloped or have very little impervious cover that will impact the probability of flooding. PSCo will acquire the necessary permit and implement appropriate mitigation as directed by the City for work conducted within the floodplain.

According to Mesa County's Geographic Information System (GIS), the Project crosses the Grand Valley Drainage District (Grand Valley Drainage District, 2023) north of I-70. The property in the northern portion of the Project drains south into the Colorado River. The properties in the southern portion of the Project area, near Kodels Canyon, drain into the Colorado River either directly or through various tributaries (Mesa County Open Data).

DEVELOPMENT SCHEDULE

Table 5: Project Schedule

Timeline	Activity
Fall 2024	Temporary Access Preparation and Vegetation Management
Winter 2025	Installation of New Transmission Line Structures
Winter 2025	Removal of Existing Line
Spring 2025	In Service
Spring 2025	Restoration

COMPLIANCE WITH ADOPTED PLANS AND POLICIES

The following sections discuss how the Project will comply with adopted plans and policies including those provided by the City Comprehensive Plan, Fruita in Motion (Comprehensive Plan) (Comprehensive Plan, 2020), and Parks, Health, Recreation, Open Space and Trails (PHROST) Master Plan (PHROST, 2021), presented as Chapter 5 in the Comprehensive Plan (Comprehensive Plan, 2020).

CITY OF FRUITA COMPREHENSIVE PLAN, FRUITA IN MOTION

This CUP application conforms with the Comprehensive Plan (Comprehensive Plan, 2020), updated from the City Community Plan (City of Fruita Community Plan 2008). The vision of the Comprehensive Plan is influenced heavily by community values and states:

The City of Fruita values quality of place. It is an inclusive city, with a small-town feel and vibrant downtown, surrounded by public lands. People love to live, work, and play in Fruita because the City facilitates community, safe neighborhoods, family-friendly events, and walking and biking. The City governs in a way that is responsive to its citizens and prioritizes high-impact services and projects. Fruita fosters a fun and funky ambiance around the arts, agriculture, and recreation.

(Comprehensive Plan, 2020 at pg. 3). The goals, policies, and actions of the Comprehensive Plan are based on the key themes of efficient development, community first tourism second, a thriving downtown, and connectivity and strategic economic development (Comprehensive Plan, 2020 at pg. 5). In addition, the Comprehensive Plan addresses sustainable recovery and diversification of the economy, economic growth and jobs, population growth, and housing growth and affordability (Comprehensive Plan, 2020 at pg. 10). The following sections provide a discussion of how the Project supports the vision and goals presented Comprehensive Plan.

Comprehensive Plan Chapter 3 – Land Use and Growth

Vision: *Fruita is a distinct city within the Grand Valley. It is an efficiently laid-out community with small-town character situated among agricultural lands and a breathtaking desert landscape. It has a thriving downtown vibrant with businesses, residents, and civic gathering spaces. Surrounding the downtown are well-connected neighborhoods that provide a variety of housing sizes, types, and styles* (Comprehensive Plan, 2020 at pg. 25).

Urban Growth Boundary

Within the Comprehensive Plan, the Urban Growth Boundary was developed to facilitate efficient development and reduce the demand for infrastructure and City services, support community connectivity, and encourage a thriving downtown core (Comprehensive Plan, 2020 at pg. 5). The Comprehensive Plan estimates that the City has room to grow by 12,810 dwelling units (Comprehensive Plan, 2020 at pg. 17). The Project will provide essential infrastructure to facilitate growth and to provide electricity to these future dwelling units and the commercial, industrial, and downtown areas.

Future Land Use Map

The rebuilding of Line 6683 complies with the Future Land Use Map. Line 6683 crosses the Monument Preservation, Community/Recreation, and Industrial future land uses. Line 6683 conforms with each of these land use categories because PSCo's developed the rebuild siting in collaboration with the BLM MCNCA and local jurisdictions to preserve the natural environment and visual corridor and is considered non-polluting industrial development.

Line 6683 fulfills applicable goals highlighted in Chapter 3 of the Comprehensive Plan as provided below.

Goal #2: Prioritize infill development over development at the edge of the City limits.

Line 6683 facilitates the goal of prioritizing infill development by providing safe and reliable electrical infrastructure to the center of the City.

Goal #5: Encourage and support commercial uses in existing commercial areas.

Rebuilding Line 6683 will encourage and support commercial growth in existing commercial areas by providing safe and reliable electrical power to businesses.

Goal #7: Ensure that development is compatible with the natural landscape and hazard areas and limit the risks of hazards to people and property.

PSCo developed the rebuild in coordination with federal agencies and local jurisdictions, taking into consideration compatibility with the natural landscape and hazard areas. Wildfire mitigation is a primary purpose of the rebuild because PSCo aims to limit the risk of wildfire to people and property.

PSCo sited the rebuild of Line 6683 primarily within the existing ROW and in coordination with BLM and local jurisdictions via meetings and site visits to develop the least impactful route to natural resources and the visual corridor. Furthermore, impacts to natural resources will be mitigated during construction in accordance with agency and jurisdiction requirements and permits.

Policy 7.A of the Comprehensive Plan discourages development in the 100-year floodplain (Comprehensive Plan, 2020 at pg. 44). However, Line 6683 must interconnect between the Fruita and Uintah Substations, and they are located on opposite sides of the Colorado River; therefore, the Project cannot avoid the associated floodplain. Consequently, Line 6683 will intersect the 100-year floodplain within the Fruita Riverfront Park; however, PSCo designed the transmission line rebuild to withstand any flood event and PSCo will obtain proper floodplain development permits prior to construction.

Policies 7.B and 7.C state that development must identify hazardous areas and place appropriate setbacks between environmental resources and proposed development to ensure that the development does not degrade the existing habitat or interfere with environmental resources (Comprehensive Plan, 2020 at pg. 44). PSCo conducted extensive habitat, wildlife, wetland, and rare plant surveys during the planning phase and efforts were made to avoid and/or mitigate impacts to sensitive environmental resources. In accordance with Policy 7.D, no development will occur in hazardous areas.

The rebuilding of Line 6683 conforms with Policy 7.E by addressing soil erosion and surface geologic characteristics through design, engineering, and construction. PSCo sited the rebuild to avoid impacts by planning construction primarily within the existing ROW and in coordination with BLM and local jurisdictions. Construction will occur in the minimal space required to complete the work safely and as designed to minimize impacts. PSCo will implement soil erosion BMPs and a Stormwater Management Plan (SWMP) and reclaim temporary disturbance areas following construction to protect soils.

Policy 7.H aims to maintain the visual integrity of the City's landscape by avoiding distinctive and scenic features. Line 6683 was originally sited within the MCNCA to follow Horsethief Canyon Road, an existing disturbed corridor. However, moving the line lower on the landscape will reduce the visual impact on recreational visitors to this open space and residents of the nearby neighborhood. One of the goals of the rebuild is to remove the existing Line 6683 from the Kingsview Estates neighborhood, and the proposed Sunset Point neighborhood, a City of Fruita approved PUD plan adjacent to Kingsview Estates. The option to move the line south of the neighborhood would impede the residents' view towards the Colorado National Monument. Line 6683 already exists on the landscape but micro-siting the line to lower elevations whenever possible reduces the overall visibility on the landscape.

Policies 7.I and 7.J encourage the strengthening of partnerships with Lower Valley Fire District, RiversEdge West, and Grand Valley Irrigation Company toward hazard

mitigation, and collaboration with BLM, Mesa County, and Grand Valley communities to identify regional solutions to hazards and mitigation planning. PSCo coordinated with BLM, Mesa County, and the greater community to site the rebuilt transmission line in consideration of public health and safety and to meet or exceed safety standards. PSCo will coordinate with these stakeholders during ongoing permitting to mitigate the potential need for emergency services during the construction of the Project.

Comprehensive Plan Chapter 4 - Economic Development

Vision: *Economic development, and the relationship between land use, community character, and the long-term economic health of Fruita* (Comprehensive Plan, 2020 at pg. 46).

The rebuilding of Line 6683 will encourage economic development that strengthens the City's identity by providing a safe and reliable source of electricity for years to come. Replacing the current transmission line that was near the end of its life increases overall reliability. In addition, fire hardening the transmission line reduces the risk of economic damage due to wildfires. During construction, workers may use City lodging and amenities, which will support the local economy.

Under Chapter 4 of the Comprehensive Plan, rebuilding of Line 6683 will support Goal #7 as discussed below.

Goal #7: Support local business growth through business retention and support programs and assistance with real estate.

The rebuild will ensure that PSCo continues to provide reliable and safe electric service to existing businesses to support growth and retention of local commerce in the City.

Comprehensive Plan Chapter 6 - Transportation

Vision: *The City of Fruita has well maintained and safe roadways, intersections, sidewalks, and trails. It has a transportation system that balances access and mobility through multimodal improvements on existing roads as well as coordinated planning with new development. Transportation facilities contribute to the character of the community by providing inviting streetscapes, off-street connections, and attractive gateways to the community* (Comprehensive Plan, 2020 at pg. 74).

The main transportation routes for the rebuild of Line 6683 include I-70, U.S. Highway 6, and Highway 340. During construction, workers will travel to and from the Project and materials will be transported on and off site. Helicopter and construction activities will cause minor increases in traffic and possible temporary delays, but the impacts will be temporary and will not impact future traffic conditions. The need for vehicle traffic

controls in the City is not anticipated by PSCo. If it is determined that roadway traffic controls are necessary, PSCo will submit a traffic control plan to the City as applicable. Prior to construction, PSCo will acquire permits and comply with any coordination or traffic control required by CDOT or Mesa County.

CITY OF FRUITA PARKS, HEALTH, RECREATION, OPEN SPACE, AND TRAILS MASTER PLAN

Comprehensive Plan Chapter 5 – Parks, Health, Recreation, Open Space, and Trails

Chapter 5 of the Comprehensive Plan is the original iteration of the PHROST Master Plan. The PHROST Master Plan in Chapter 5 of the Comprehensive Plan was updated in 2021 in a separate document, cited here as PHROST, 2021. The vision of PHROST in the Comprehensive Plan is to provide parks and recreational facilities that are accessible to all for world-class outdoor recreation opportunities and regional connectivity while protecting the natural environment (Comprehensive Plan, 2020 at pg. 64). The rebuilding of Line 6683 complies with Chapter 5 of the Comprehensive Plan and Goal #6 by preserving recreational facilities and the natural environment.

In conformance with the vision of the Comprehensive Plan, PSCo will avoid and mitigate impacts to recreational facilities. Line 6683 intersects the Kokopelli Section of the Colorado Riverfront Trail north of the Colorado River. The Kokopelli Trail is a multi-purpose trail that intermittently runs adjacent to I-70 and the Colorado River through the City. During construction, vehicles will cross the trail, however, PSCo will place signs and/or flaggers at the crossing to inform trail users to watch for vehicles and equipment. Upon completion of construction, PSCo will repair any impacts to Kokopelli Trail to pre-construction conditions.

PSCo sited the rebuild of Line 6683 within the Fruita Riverfront Park. Unlike Snooks Bottom, no conservation agreement exists on the property, allowing some development (PHROST, 2021 at pg. 51). Transmission lines and parks/open space are compatible land uses. PSCo and the City worked together to minimize impacts to the disc golf course, trees, and other natural environmental features within the park.

Construction of Line 6683 will not negatively impact recreational opportunities. Furthermore, PSCo will implement BMPs and mitigation measures to minimize any impacts on the natural environment as discussed below under Goal #6. PSCo designed the transmission line to be fire resistant, lessening the risk of wildfires that may impact the open space, parks, and recreation system.

A bald eagle nest is located north of I-70 and approximately 500 feet south of rebuilt Line 6683. Based on communication with USFWS, this highly developed area requires a 1/8 mile no surface occupancy and a 1/4 mile seasonal buffer. The Project is just outside of the no surface occupancy area. The USFWS recommends that construction occur outside of the December 1 to July 31 time frame and PSCo will comply with this recommendation.

Goal #6: Preserve the natural features of the city and surrounding landscape through partnerships with local land managers and organizations.

Policies 6.A through 6.D of Goal #6 concern protection of the natural environment including hydrology and sensitive areas such as geologic hazard areas, floodplains, land with important scenic, cultural, and historic values, rare vegetation, wetlands, severe slopes, wildlife areas (e.g., nesting and production areas, winter ranges, feeding areas, concentration areas for threatened and endangered species, species of special concern or indicator species, and wildlife migration corridors), and lands that have important recreational values.

PSCo sited Line 6683 in coordination with regional land managers to avoid impacts to natural resources by rebuilding primarily within the existing transmission line ROW and along previously disturbed corridors. Rebuilding Line 6683 will not have major long-term impacts on drainages, steep slope areas, geological fault areas, or other areas hazardous to life or property. Multiple resource studies were conducted during the planning period in coordination with regional land managers to evaluate impacts on natural resources such as wetlands, botany, cultural resources, and wildlife. Based on these studies, the Project will avoid wetlands, impacts to wildlife will be minor and mitigated, and no federal or state protected plants are present. Mitigation for cultural resources will occur based on the outcome of consultation with federal and state agencies. BMPs will be in place to address erosion control and stormwater impacts. When the Project cannot avoid natural resources, impacts will be minimized by implementing BMPs and mitigation measures such as adhering to timing and/or spatial buffers to protect resources, and pre-construction nesting bird surveys to identify nests for avoidance. PSCo will acquire all required permits to mitigate and protect from impacts to hydrology and other natural resources.

Policy 6.E under Goal #6 emphasizes working closely with regional land managers to preserve natural features in the lands surrounding the City. During development of the Line 6683 rebuild, PSCo worked with all the regional land managers including BLM, Reclamation, CPW, and Mesa County to site the transmission line in the best location possible. PSCo conducted a routing study and created a public outreach plan to include

the surrounding community in the alternatives analysis, which led to the rebuild route presented in this application.

Parks, Health, Recreation, Open Space, and Trails Master Plan (2021)

The PHROST Master Plan (PHROST, 2021) builds on advancing the lifestyle boasted in the City and seizes the opportunity to describe what it means to play like a local by creating an action-oriented plan geared at propelling collective healthy, active lifestyles for all. The PHROST Master Plan intends to further the policies and actions of the Comprehensive Plan by identifying the initiatives, partnerships, and infrastructure needed by the community to create successful playing grounds (PHROST, 2021). The mission of the PHROST Master Plan is to enhance quality of life and play in the City through healthy lifestyle programs and high-impact parks, open spaces, trails, and recreation facilities. The vision of the PHROST Master Plan is “to be the Best in the West by providing safe facilities and engaging programs and events that reflect community priorities.” (PHROST, 2021). The rebuild of Line 6683 is in conformance with the PHROST Master Plan based on the goals and policies discussed below.

Goal #3: Protect and Preserve Natural Areas and Resources

Policy 3.1: Protect and increase natural areas that support nature experiences and provide space and management for environmental functions and benefits (PHROST, 2021).

PSCo sited Line 6683 to avoid impacts on natural resources by rebuilding within the existing transmission line ROW where possible and along previously disturbed corridors. Where the Project cannot avoid natural resources, PSCo will minimize impacts by implementing BMPs and mitigation measures including adherence to required spatial buffers to protect sensitive areas.

Policy 3.1.2 requires the management of parks and open spaces as functional landscapes that perform flood mitigation and green stormwater infrastructure roles. The two substations where Line 6683 interconnects, Fruita and Uintah, are on opposite sides of the Colorado River. The Project cannot avoid the associated floodplain, so Line 6683 will intersect the 100-year floodplain within the Fruita Riverfront Park. However, the transmission line rebuild was designed to withstand any flood event and PSCo will obtain proper floodplain development permits prior to construction. The Project will impede the floodplain minimally, and no fill will occur.

Policy 3.4: Work independently or with partners when appropriate to protect and manage natural resources in the region.

PSCo worked with all the regional land managers including BLM, Reclamation, CPW, and Mesa County to site the transmission line in the best possible location. PSCo conducted a routing study and created a public outreach plan to include the surrounding community in the alternatives analysis, which led to the rebuilt route presented in this application. The selected route identified and protected visual resources by preserving view sheds and corridors and enhanced outdoor recreation opportunities while managing environmental impacts to plants and wildlife.

Goal #4: Linkages to Play Opportunities

Policy 4.3: Support trail planning and infrastructure projects

The City is focused on maintaining and expanding the primary trail system while providing secondary trail linkages through the development process. In accordance with Policy 4.3.3, PSCo coordinated with the City to provide connections from trails and pathways to existing and planned primary and regional trails as development referrals are evaluated.

North of the Colorado River, Line 6683 intersects the Kokopelli Section of the Colorado Riverfront Trail, which is a multi-purpose trail that intermittently runs adjacent to I-70 and the Colorado River through the City. During construction, vehicles will cross the trail, however, PSCo will place signs and/or flaggers to inform trail users for safety purposes. Upon completion of construction, PSCo will restore any impacts to the trail resulting from activities will be restored to pre-construction conditions.

PSCo sited the rebuild within the Fruita Riverfront Park. Unlike Snooks Bottom, no conservation agreement exists on the property, allowing some development (PHROST, 2021 at pg. 51). Transmission lines and parks/open spaces are compatible land uses. PSCo and the City worked together to minimize impacts to the disc golf course, trees, and other natural environmental features within the park. Construction of Line 6683 will not negatively impact linkages to recreational opportunities other than minor temporary disruptions during construction due to vehicles and equipment.

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Attachment B: Site Plan

Fruita Site Location

Xcel Energy Circuit 6683

Rebuild Project

Mesa County, Colorado

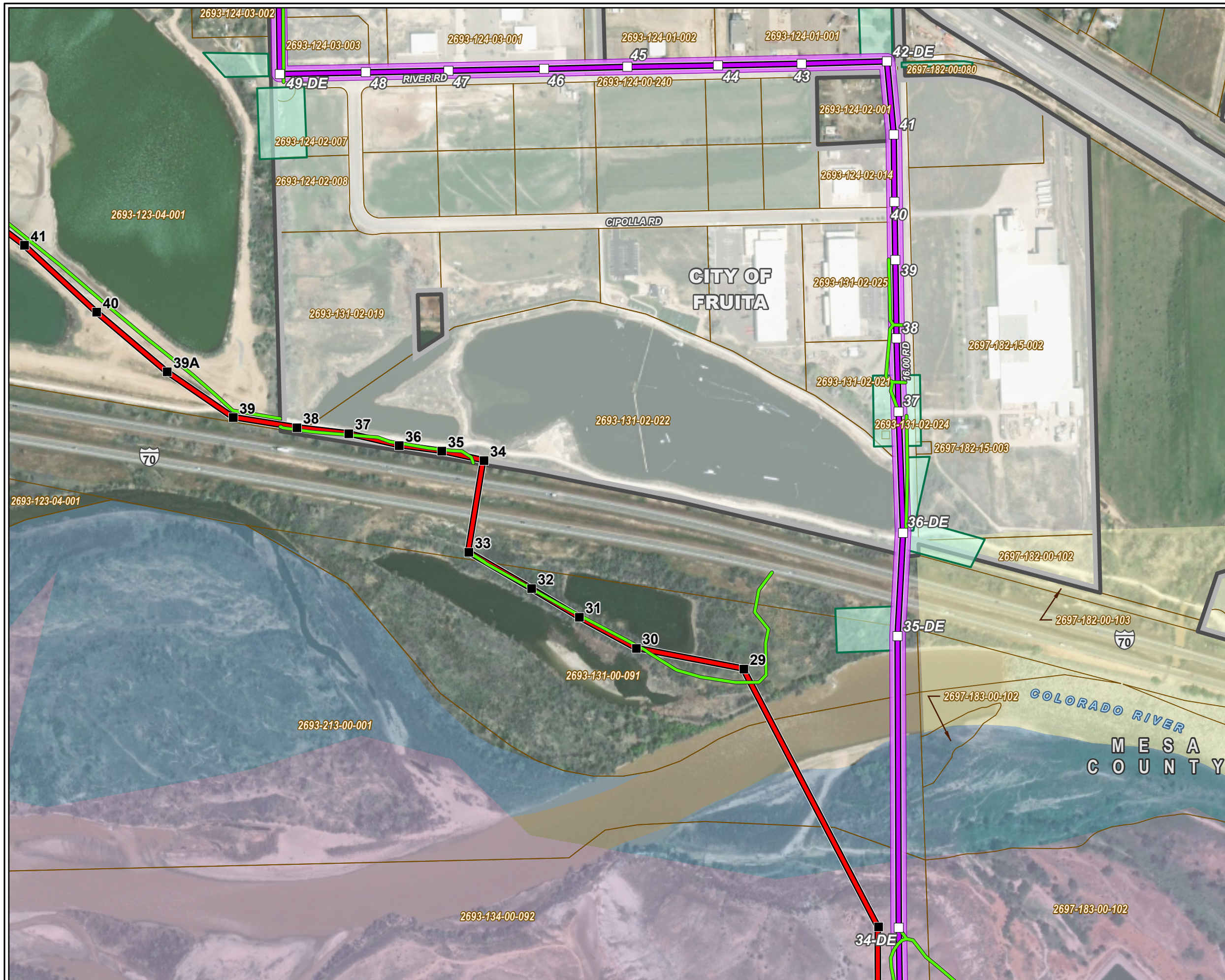
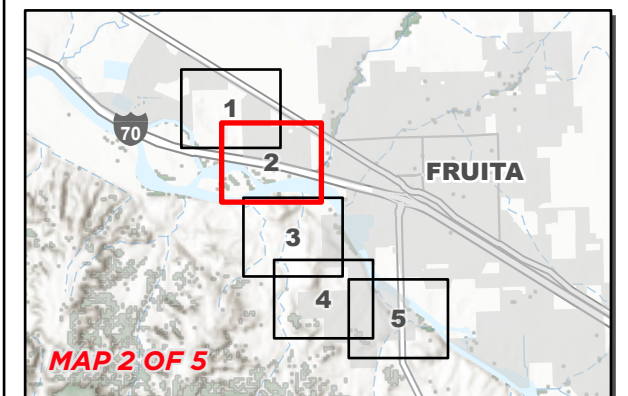
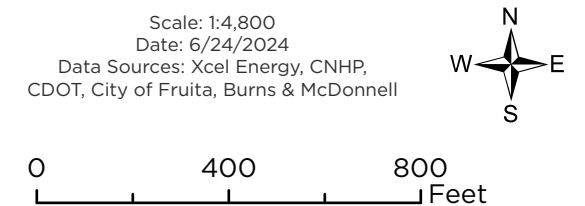
Map 2 of 5

Legend

- Existing Transmission Line Structures
- Rebuilt Transmission Line Structures
- Existing 6683 Centerline
- Rebuilt 6683 Centerline
- Access Roads
- Proposed Right-of-Way
- Pull Sites

Surface Management

- Bureau of Land Management
- Bureau of Reclamation
- State
- City of Fruita Boundary
- Parcel Boundaries



Fruita Site Location

Xcel Energy Circuit 6683

Rebuild Project

Mesa County, Colorado

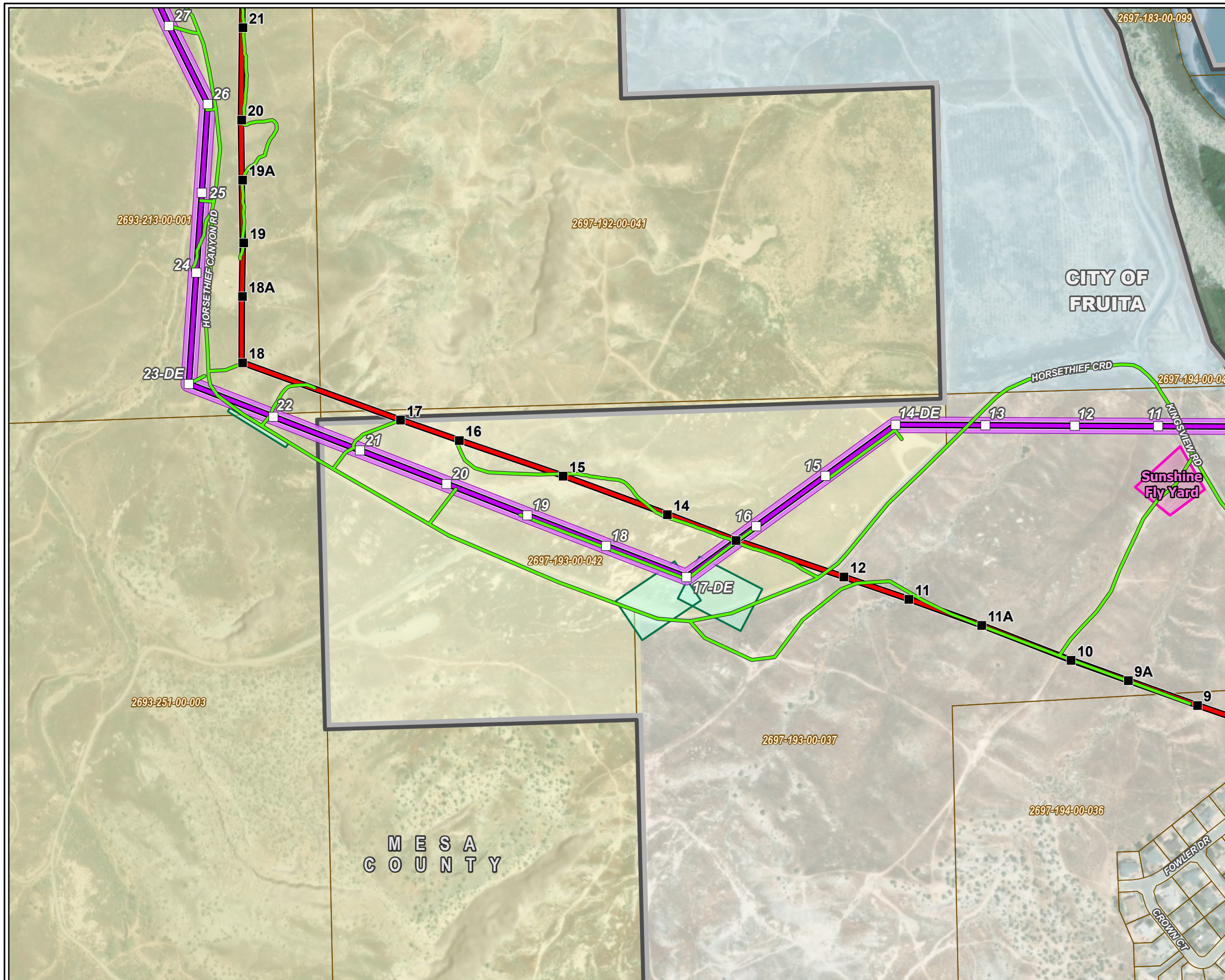
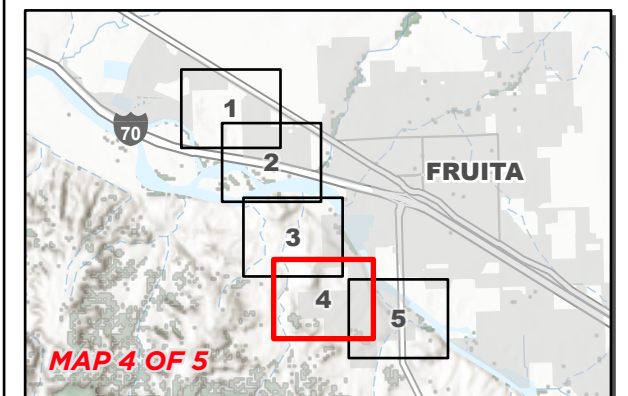
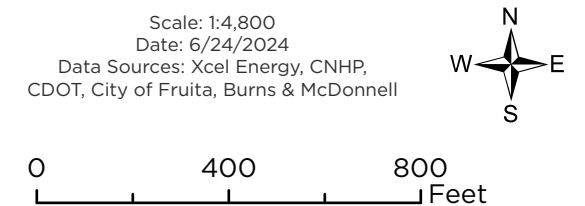
Map 4 of 5

Legend

- Existing Transmission Line Structures
- Rebuilt Transmission Line Structures
- Existing 6683 Centerline
- Rebuilt 6683 Centerline
- Access Roads
- Proposed Right-of-Way
- Yard
- Pull Sites

Surface Management

- Bureau of Land Management
- State
- Local
- City of Fruita Boundary
- Parcel Boundaries



Fruita Site Location

Xcel Energy Circuit 6683 Rebuild Project

Mesa County, Colorado

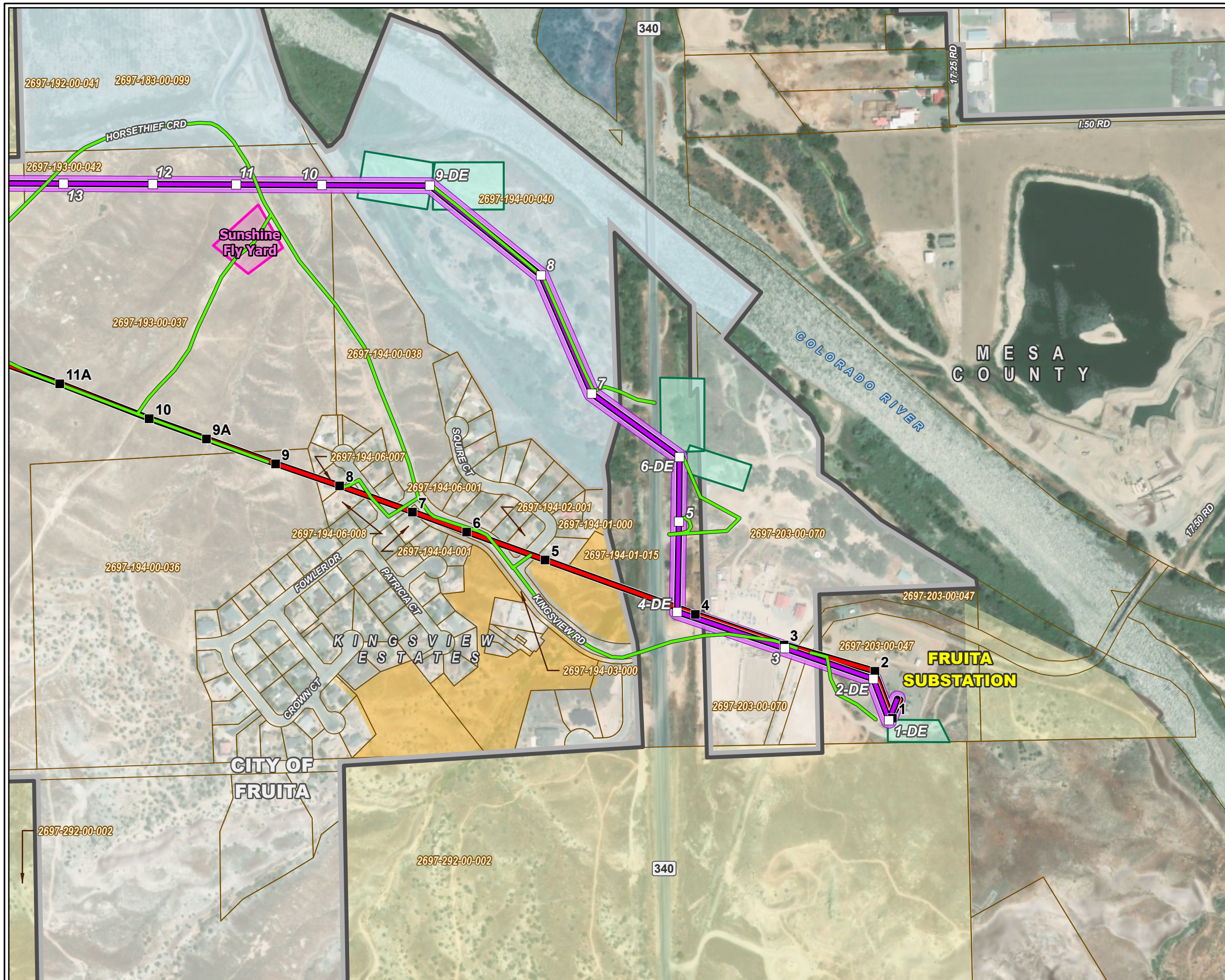
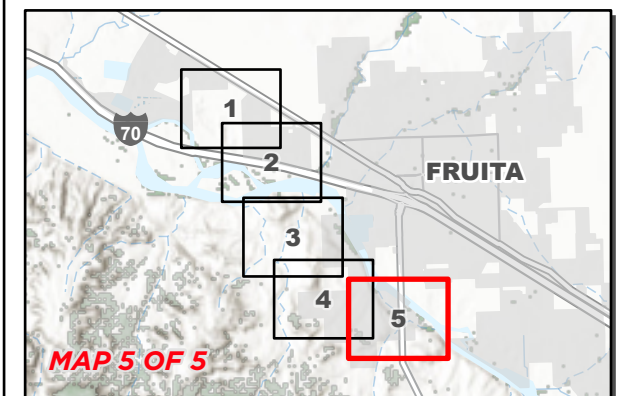
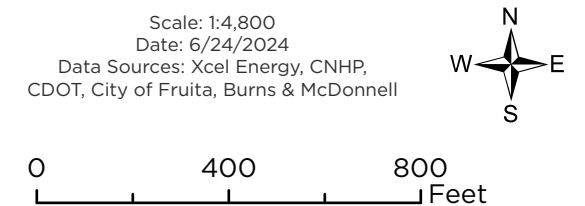
Map 5 of 5

Legend

- Existing Transmission Line Structures
- Rebuilt Transmission Line Structures
- Existing 6683 Centerline
- Rebuilt 6683 Centerline
- Access Roads
- Proposed Right-of-Way
- Yard
- Pull Sites

Surface Management

- Bureau of Land Management
- State
- Local
- Private Conservation
- City of Fruita Boundary
- Parcel Boundaries



XCEL ENERGY
ELECTRICAL TRANSMISSION LINE
FRUITA SUBSTATION (FRUI) TO UINTAH SUBSTATION (UINT)
CIRCUIT NUMBER 6683 - 69kV

UTILITY
LEGEND

--- GAS

--- SEWER

--- FIBER OPTIC

TRANSMISSION LINE
LEGEND

) - ANCHOR

×) - ANCHOR REMOVE

—(- PUSH BRACE

⊙ - SOIL BORING

↗ - SWITCH

● - TRANSMISSION POLE

⊗ - TRANSMISSION POLE REMOVE

■ - TRANSMISSION TOWER

⊗ - TRANSMISSION TOWER REMOVE

WOOD POLE DESCRIPTION ON PROFILE VIEW:
PXX-XXX-XXX

STRUCTURE HEIGHT

CLASS = 2, 1, H1, H2, ETC.

SPECIES = DF, SP, WC, ETC.

POLE

STEEL POLE DESCRIPTION ON PROFILE VIEW:
PST-XXX-XXX

STRUCTURE HEIGHT

FND = ON FOUNDATION

EMB = DIRECT EMBEDDED

POLE - STEEL

TRANSMISSION CONSTRUCTION

☐ BUILT AS DESIGNED

☐ REVISE PER MARK-UP

FOREMAN / INSPECTOR SIGNATURE

DATE:

GENERAL NOTES

1. COORDINATES ARE UTM ZONE 12N (WGS84)

2. PLS-CADD MODEL NAME(S) USED TO CREATE THESE P&P DRAWINGS:
6683_FRUI-UINT

DRAWING REFERENCE

PHASING DIAGRAM - CIRCUIT 6683	T105P001
GENERAL ARRANGEMENT - FRUI	0116-001.002S01
GENERAL ARRANGEMENT - UINT	0001-001.001S01
SUBASSEMBLY DRAWING INDEX	T105X001
GEOTECH REPORT	T105V001
SAG CHARTS	T105A001-T105A003

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CIRCUIT 6683 69 kV

PLAN AND PROFILE - COVER SHEET

FRUITA SUB TO UINTAH SUB

XcelEnergy

T105G001

SCALE
NONE

REV
0

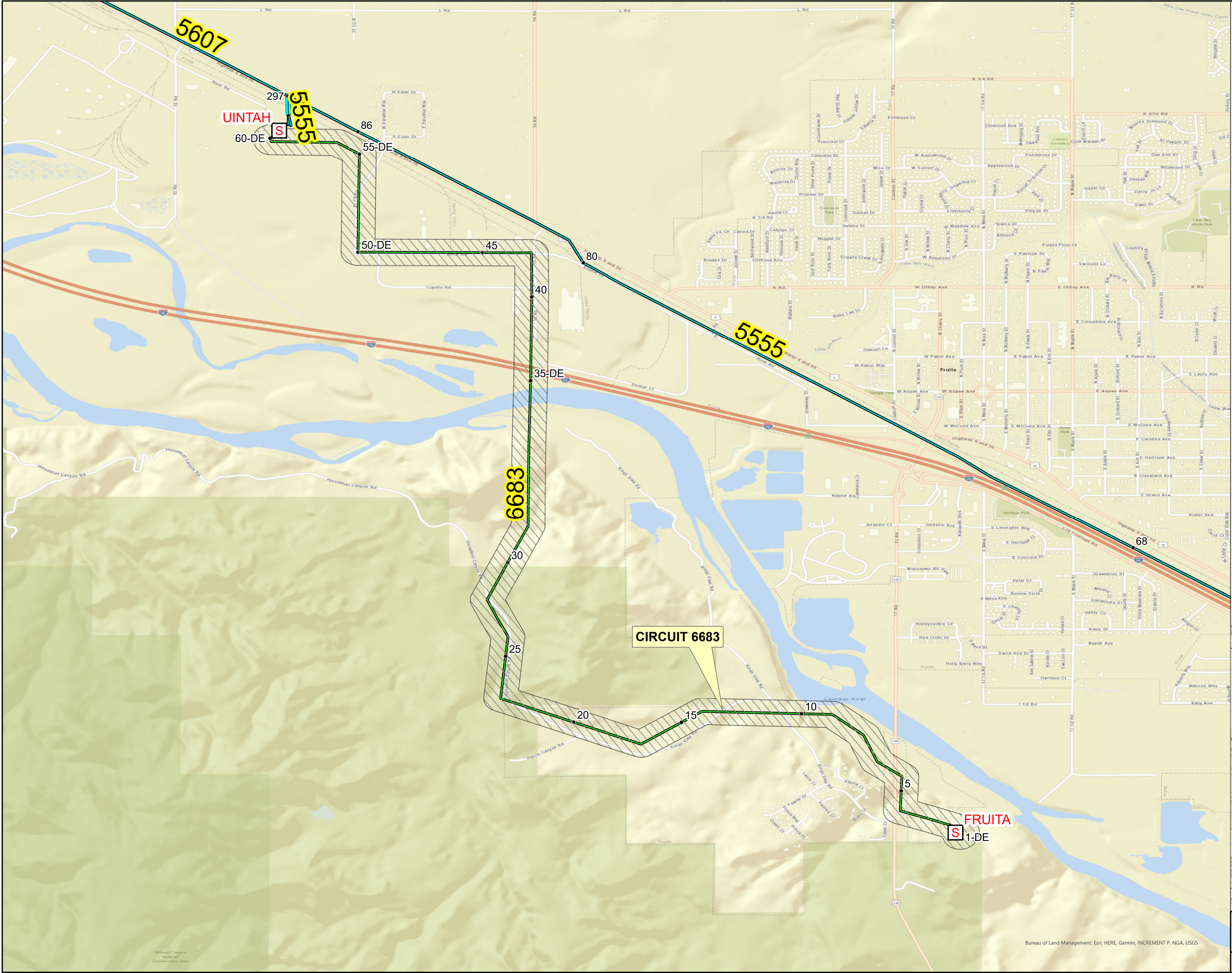
Engineer's seal applies to transmission design only.
All depictions of third party utility locations are
provided based on the best available information from
utility locating services and publicly available sources.

2024.02.09 12:37:35-07'00'

REV	DATE	WBS 4	REVISION DESCRIPTION
0	2/9/2024	A.0000402.012.001.001	ISSUE FOR PERMITTING - 6683 MAJOR LINE REBUILD

T105G001.DGN

3/30/2023 7:56:34 AM



Landbase

- Major Highways
- Major Roads
- Local Traffic
- State Boundary
- County Boundary
- PLS-Township/Range
- PLS-Section Line

Legend

- Airport area
- Government
- Water Body
- Forest
- Local Parks
- Urban Areas
- Swamp/Marsh

Electric Transmission

- Substations
- Model Structures

Transmission Oh Cond.(kV)

Xcel Owned	Foreign Owned	
34.5		34.5
44		44
69		69
88		115
115		161
138		230
161		
230		
345		
500		
Unknown		

Transmission Ug Cond. (kV)

N

0

0.25

0.5

1

Miles

Bureau of Land Management, Esri, HERE, Garmin, NGA, USGS, NPS

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CIRCUIT 6683
PLAN AND PROFILE - LOCATION MAP
FRUITA SUB TO UINTAH SUB

69kV

T105G002

SCALE
AS NOTED

REV
0

PSC_Line6683_FRUITA-to-UINTAH

9/16/2023

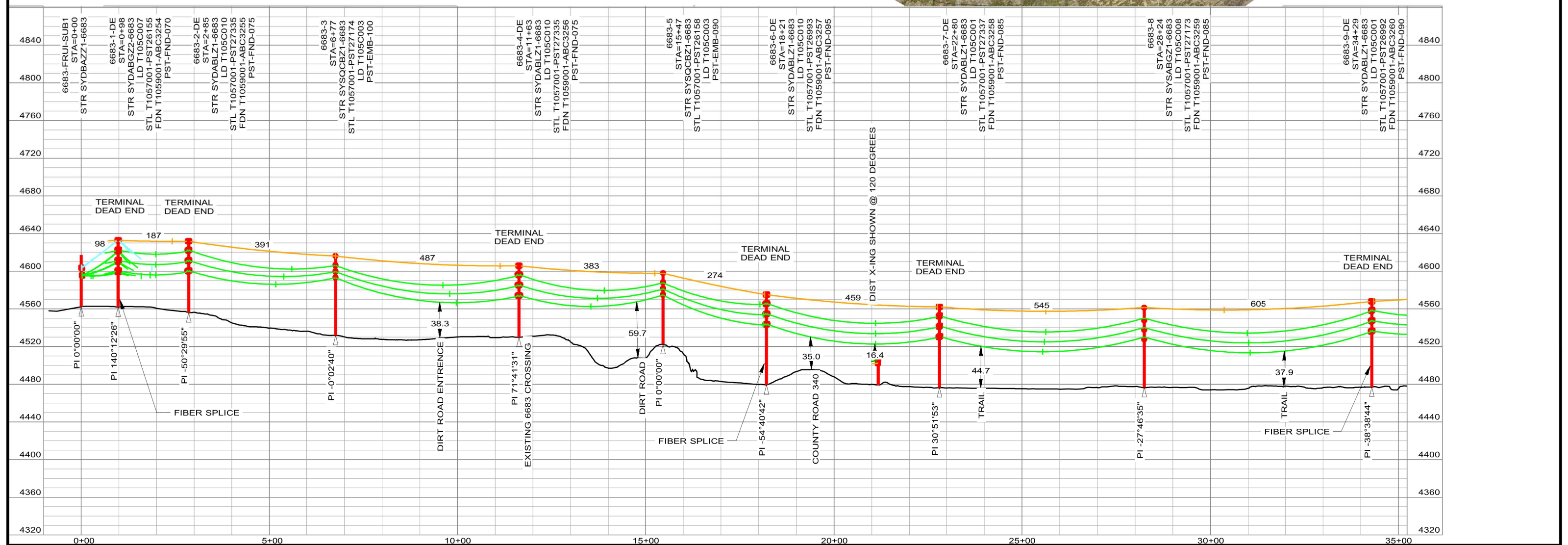


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utility locating services and publicly available sources.



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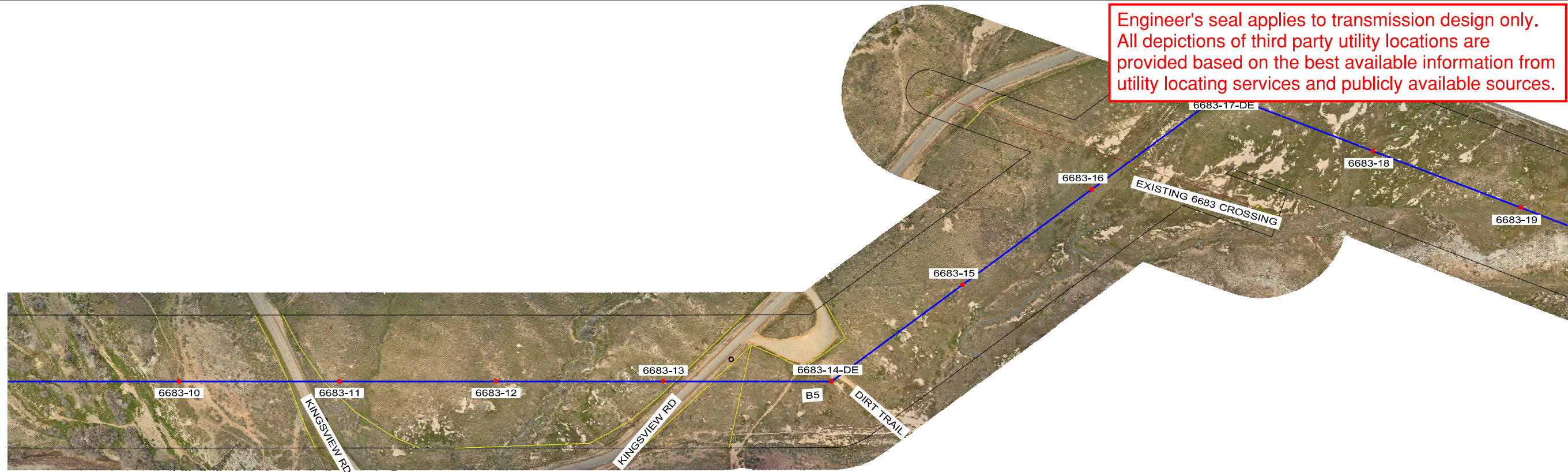
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THE CURRENT CONSTRUCTION REVISION



REV	DATE	WBS4	REVISION DESCRIPTION
0	2/9/2024	A.0000402.012.001.001	ISSUE FOR PERMITTING - 6683 MAJOR LINE REBUILD

ISSUED BY ENGINEERING DEPT FOR: PERMITTING		TRANSMISSION ENGINEERING DEPARTMENT	250.0 FT. HORIZ. SCALE	CIRCUIT 6683 FRUITA SUB TO UIN SUB	69 KV	T105G006	REV 0
THIS MAP/DOCUMENT IS A TOOL TO ASSIST EMPLOYEES IN THE PERFORMANCE OF THEIR JOBS. YOUR PERSONAL SAFETY IS PROVIDED FOR BY USING SAFETY PRACTICES, PROCEDURES AND EQUIPMENT AS DESCRIBED IN THE SAFETY TRAINING PROGRAMS, MANUALS AND SPARS.		Xcel Energy	100.0 FT. VERT. SCALE				
INTERNAL INFORMATION: DO NOT COPY OR DISTRIBUTE TO OTHERS WITHOUT EXPRESS WRITTEN CONSENT FROM XCEL ENERGY.							

6683-FRUITA-SUB1 TO 6683-9-DE
OF 12
2/9/2024

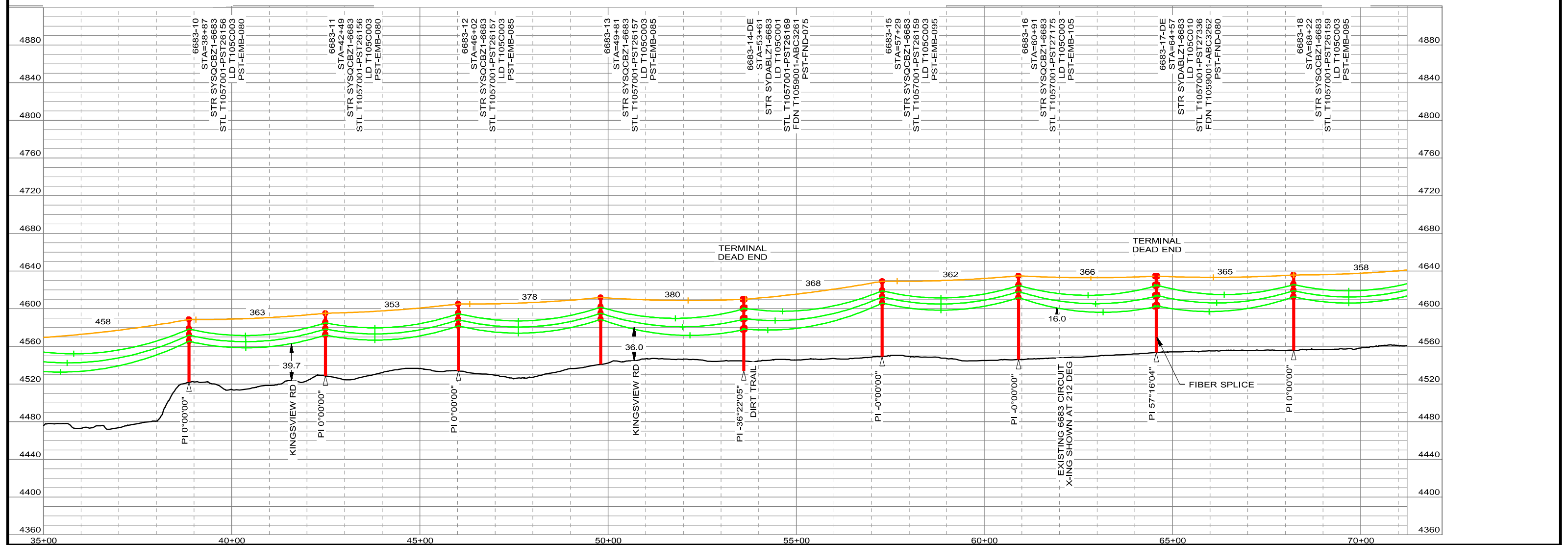


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2024.02.09 12:38:25-07'00'

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REV	DATE	WBS4	REVISION DESCRIPTION
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-	-	-	-
0	2/9/2024	A.0000402.012.001.001	ISSUE FOR PERMITTING - 6683 MAJOR LINE REBUILD

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TRANSMISSION ENGINEERING DEPARTMENT

250.0 FT. HORIZ. SCALE
100.0 FT. VERT. SCALE

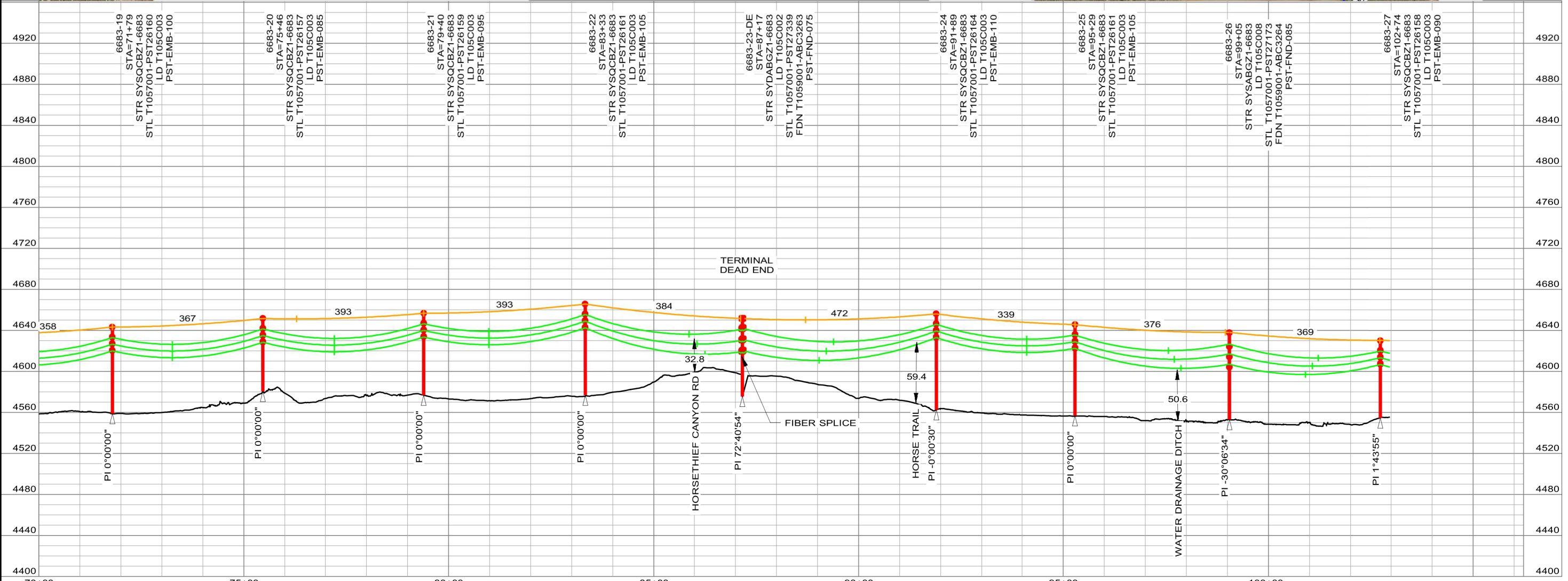
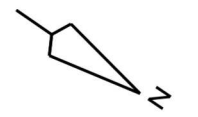
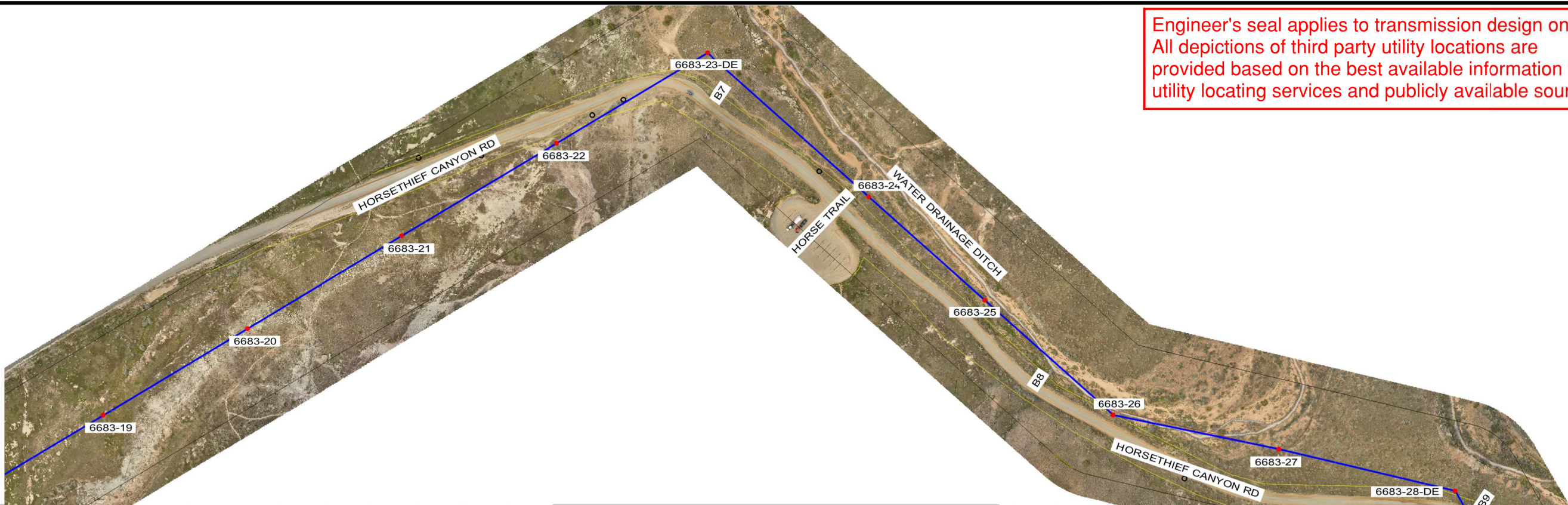
CIRCUIT 6683
FRUI SUB TO UINT SUB

69 KV
T105G007
6683-10 TO 6683-18
OF 12
REV 0

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utility locating services and publicly available sources.



2024.02.09 12:39:03-07'00'
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REV	DATE	WBS4	REVISION DESCRIPTION	ISSUED BY ENGINEERING DEPT FOR: PERMITTING	TRANSMISSION ENGINEERING DEPARTMENT	250.0 FT.	100.0 FT.	HORIZ. SCALE	VERT. SCALE	CIRCUIT 6683	69 KV	6683-19 TO 6683-27	OF 12	REV
-	-	-	-	THIS MAP/DRAWING IS A TOOL TO ASSIST EMPLOYEES IN THE PERFORMANCE OF THEIR JOBS. YOUR PERSONAL SAFETY IS PROVIDED FOR BY USING SAFETY PRACTICES, PROCEDURES AND EQUIPMENT AS DESCRIBED IN THE SAFETY TRAINING PROGRAMS, MANUALS AND SPARS.	Xcel Energy					FRUI SUB TO UIN SUB		T105G008		0
0	2/9/2024	A.0000402.012.001.001	ISSUE FOR PERMITTING - 6683 MAJOR LINE REBUILD	INTERNAL INFORMATION: DO NOT COPY OR DISTRIBUTE TO OTHERS WITHOUT EXPRESS WRITTEN CONSENT FROM XCEL ENERGY.										2/9/2024

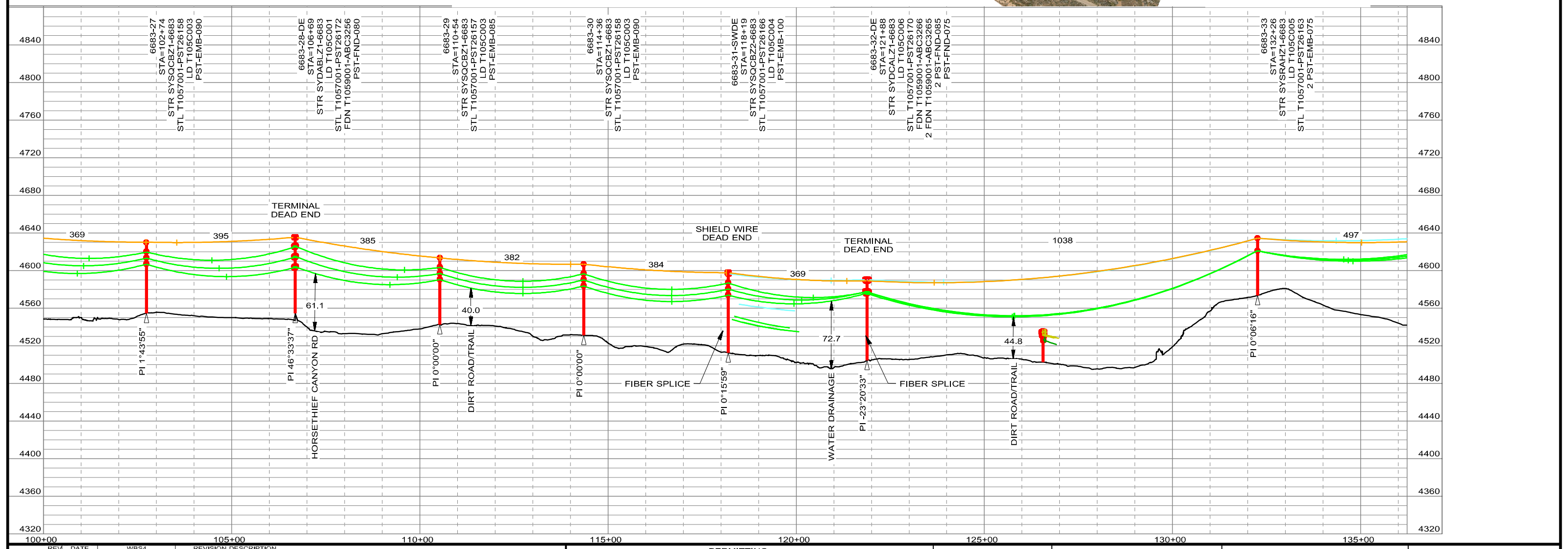


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utility locating services and publicly available sources.



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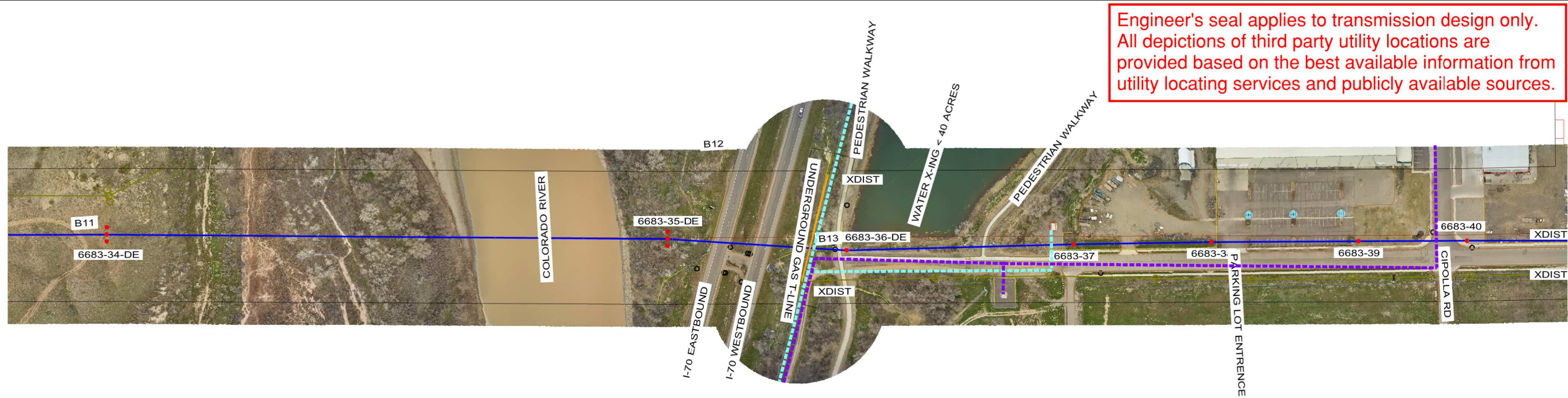


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-	-	-	-
0	2/9/2024	A.0000402.012.001.001	ISSUE FOR PERMITTING - 6683 MAJOR LINE REBUILD

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250.0 FT. HORIZ. SCALE		CIRCUIT 6683		69 KV		6683-27 TO 6683-33	
100.0 FT. VERT. SCALE		FRUI SUB TO UINT SUB		T105G009		OF 12	
						REV 0	

6683_FRUI-UINT 2/9/2024

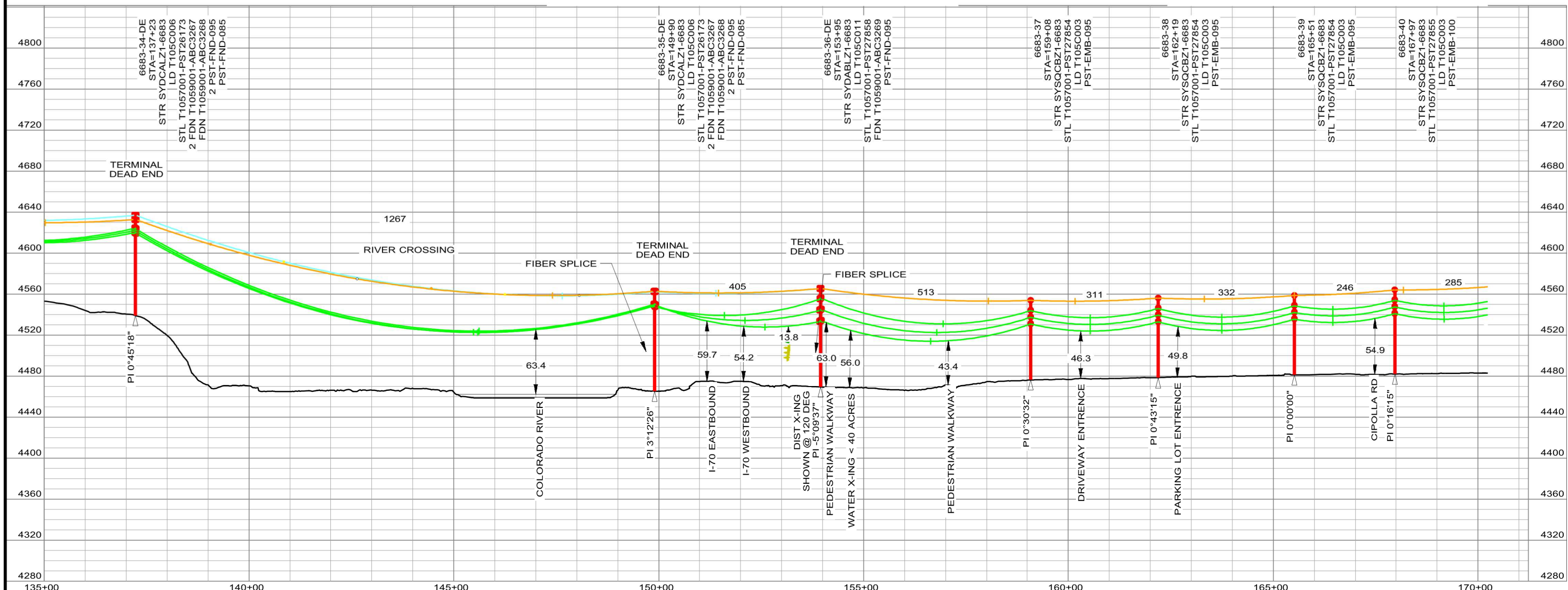


Engineer's seal applies to transmission design only.
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utility locating services and publicly available sources.



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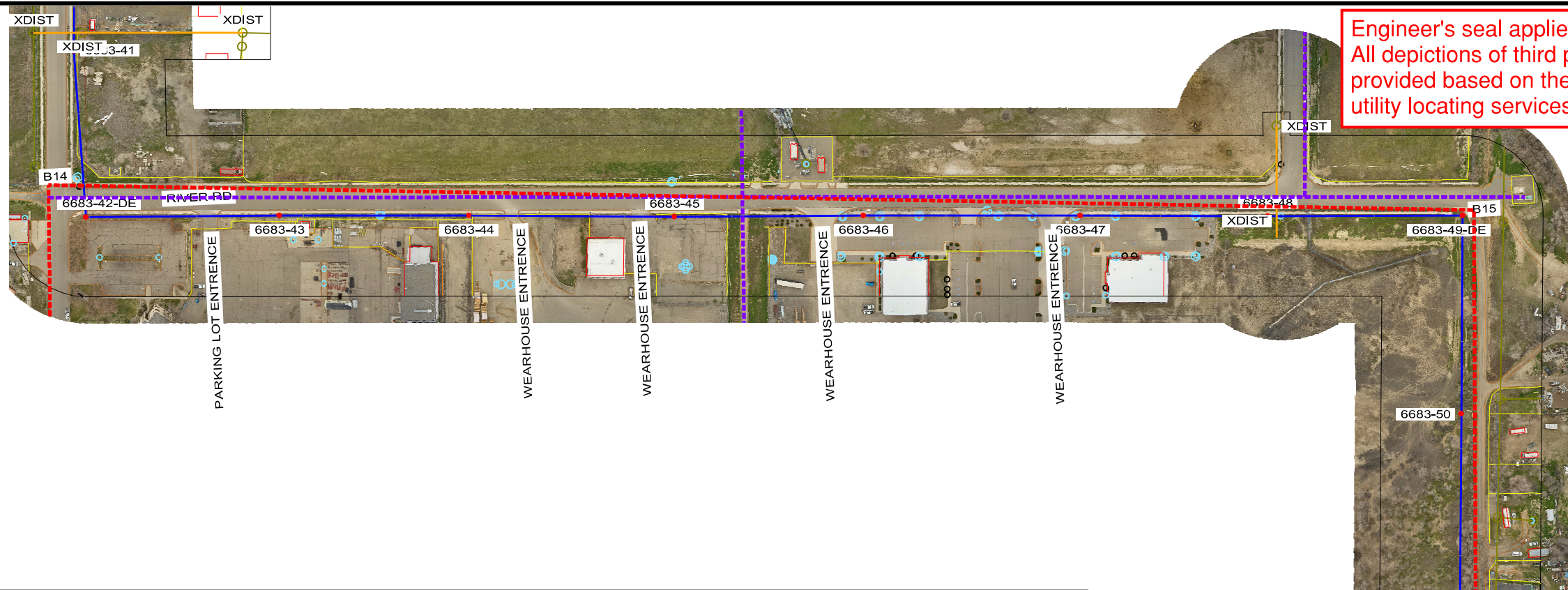
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0	2/9/2024	A.0000402.012.001.001	ISSUE FOR PERMITTING - 6683 MAJOR LINE REBUILD

ISSUED BY ENGINEERING DEPT FOR: PERMITTING		TRANSMISSION ENGINEERING DEPARTMENT	
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250.0 FT.	HORIZ. SCALE
100.0 FT.	VERT. SCALE

CIRCUIT 6683	69 KV	6683-34-DE TO 6683-40
FRUI SUB TO UINT SUB		OF 12
T105G010		REV 0

6683_FRUI-UINT 2/9/2024

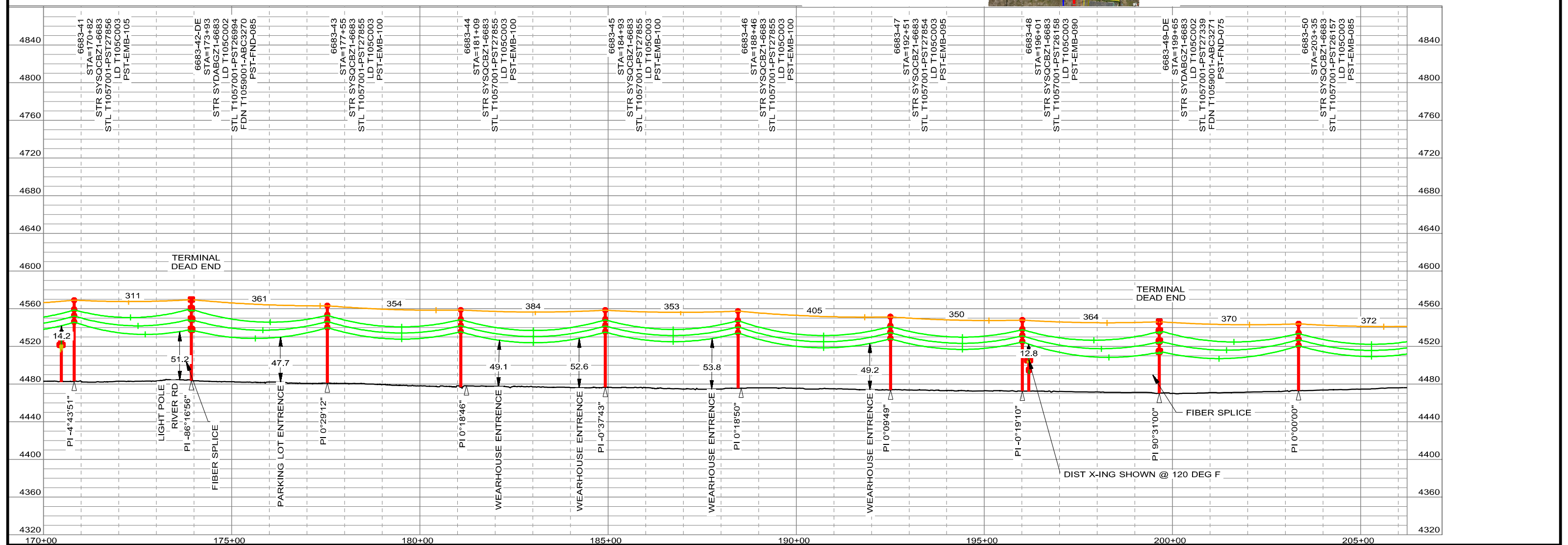



Engineer's seal applies to transmission design only.
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utility locating services and publicly available sources.



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REV	DATE	WBS4	REVISION DESCRIPTION	ISSUED BY ENGINEERING DEPT FOR: PERMITTING	TRANSMISSION ENGINEERING DEPARTMENT	250.0 FT. HORIZ. SCALE		CIRCUIT 6683 FRUI SUB TO UINT SUB	69 KV	6683-41 TO 6683-50	
-	-	-	-	THIS MAP/DOCUMENT IS A TOOL TO ASSIST EMPLOYEES IN THE PERFORMANCE OF THEIR JOBS. YOUR PERSONAL SAFETY IS PROVIDED FOR BY USING SAFETY PRACTICES, PROCEDURES AND EQUIPMENT AS DESCRIBED IN THE SAFETY TRAINING PROGRAMS, MANUALS AND SPARS.		100.0 FT. VERT. SCALE				OF 12	REV
-	-	-	-								
0	2/9/2024	A.0000402.012.001.001	ISSUE FOR PERMITTING - 6683 MAJOR LINE REBUILD	INTERNAL INFORMATION: DO NOT COPY OR DISTRIBUTE TO OTHERS WITHOUT EXPRESS WRITTEN CONSENT FROM XCEL ENERGY.						6683_FRUI-UINT 2/9/2024	

Attachment E: Transmission Line Structure Details

<p>ASSEMBLY</p> <p>STR SYDABGZ1-6683</p> <p>FOR STEEL POLE</p> <p>STL T1057002-PS26167</p> <p>STL T1057002-PS26171</p> <p>LD T105C002</p>	
SUBASSEMBLIES	
1**	FIB-SBX-001-030
2	FIT-DEB-016-003
6	FIT-DEC-067-003
2	GND-WIR-015-022
1	GND-WIR-341-006
2*	GND-WIR-341-007
6	ING-BEL-004-001
1	MRK-HDT-003-007

Side elevation drawing of a 15-foot tall antenna tower. The tower is a vertical mast with three horizontal arms. The top arm is 10 feet above the base, the middle arm is 11 feet above the base, and the bottom arm is 11 feet above the base. The total height is 15 feet. The top arm has a label "MRK-HDT-003-007" and a dimension of 1'-0". The middle arm has a label "ING-BEL-004-001". The bottom arm has a label "FIB-SBX-001-030**". The tower is supported by a base labeled "GND-WIR-341-006". The tower is labeled "GND-WIR-341-007 (TYP ALL SLIP JOINTS)". The tower is labeled "15'-0"

Diagram illustrating the OPGW Deadend assembly (Section 1-1) with the following components and labels:

- SEE PLAN AND PROFILE DRAWINGS**: Indicated by a dashed line and an arrow pointing to the top of the assembly.
- FIT-DEB-016-003**: Label pointing to the curved cable assembly.
- GND-WIR-015-022**: Label pointing to the ground wire assembly.
- SECTION 1-1**: Section cut indicator.
- OPGW DEADEND**: Title of the assembly.
- SCALE: N.T.S.**: Not To Scale.

FIT-DEC-067-003

ING-BEL-004-001

SEE PLAN AND PROFILE DRAWINGS

10/25/2011

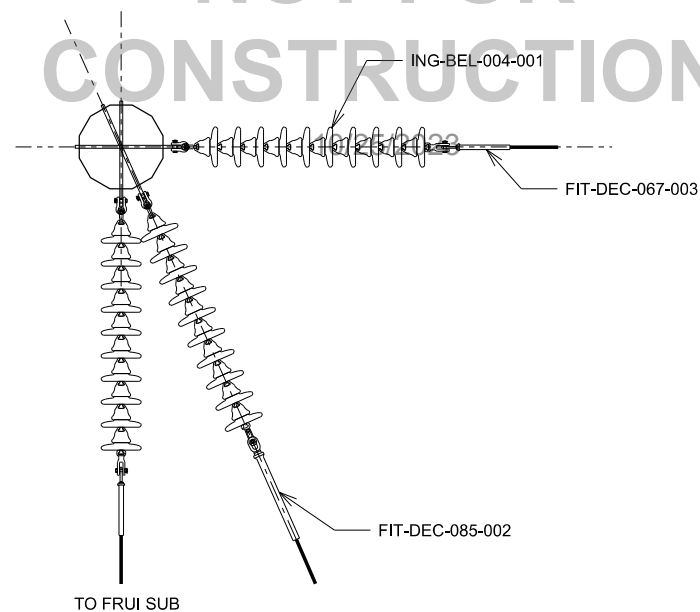
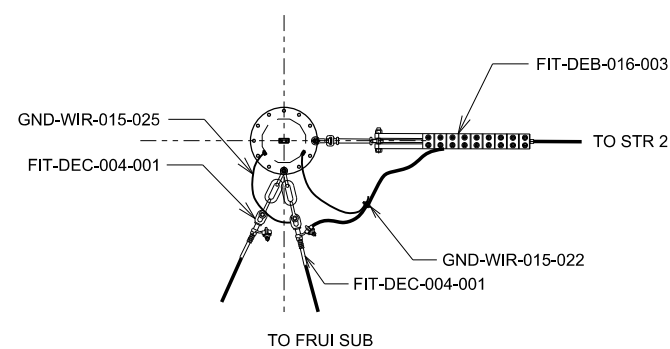
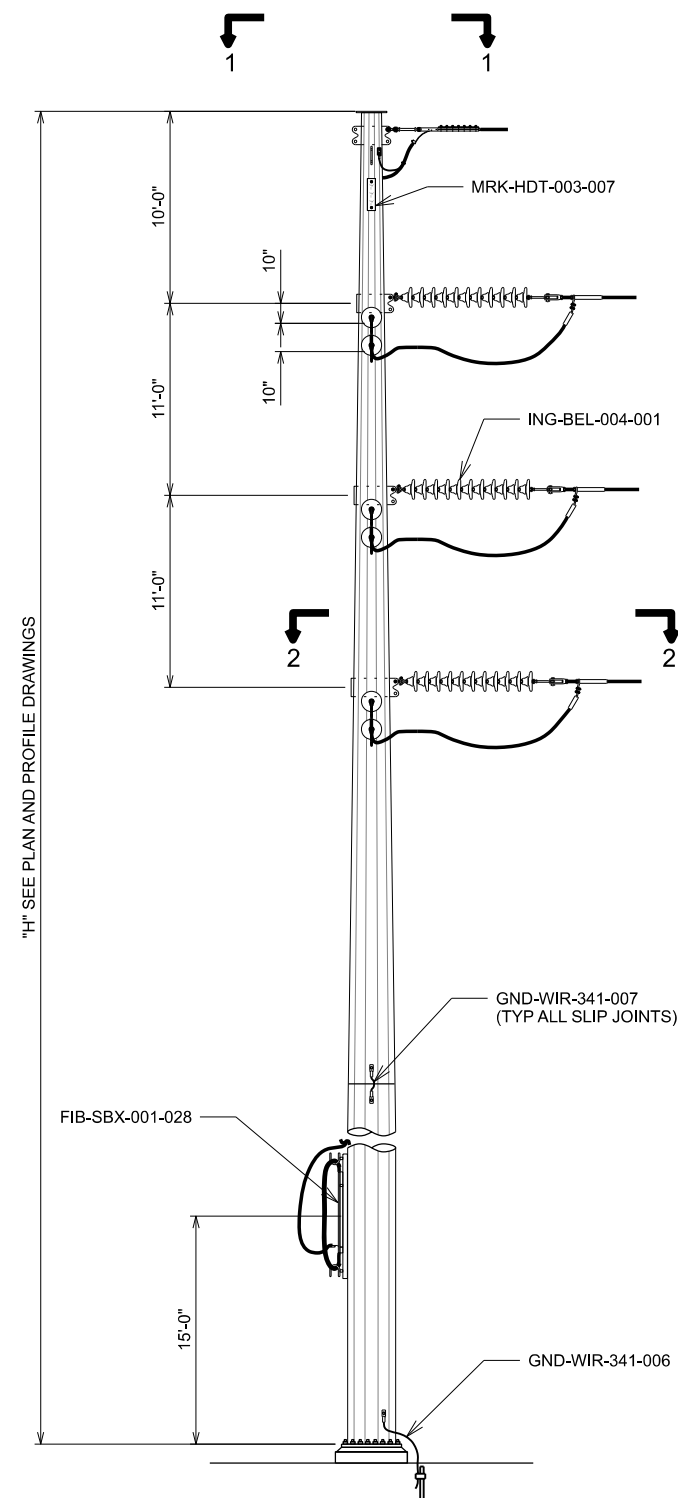
<u>DRAWING REFERENCE</u>	
PLAN & PROFILE _____	T105G001
GEOTECH REPORT _____	T105V001
STEEL & ANCHOR BOLT DESIGN CALC'S _____	T105V002
STEEL DETAILS _____	T1057002
FOUNDATION DETAILS _____	T1059001
ANCHOR BOLT DETAILS _____	T1059002
LOAD & DESIGN DRAWING _____	T105C002
DAMPER DRAWINGS _____	T105W001 & T105W002
SAG CHARTS _____	T105A001, T105A002 & T105A003
SUBASSEMBLY INDEX _____	T105X001

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 Xcel Energy®	SYDABGZ1-1	SCALE NONE	REV 0
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9/15/2022 12:59:42 PM	SYDABGZ-1 DGN
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ASSEMBLY	
STR SYDABG22-6936	
FOR STEEL POLE	
STL T1057002-PS26155	
LD T105C007	
QTY	SUBASSEMBLIES
1	FIT-DEB-016-003
2	FIT-DEC-004-001
6	FIT-DEC-067-003
3	FIT-DEC-085-002
1	FIT-SBX-001-030
1	GND-WIR-015-022
1	GND-WIR-015-025
1	GND-WIR-341-006
2*	GND-WIR-341-007
9	ING-BEL-004-001
1	MRK-HDT-003-007

* SEE NOTE 2

NOTE:

1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.

DRAWING REFERENCE

PLAN & PROFILE _____	T105G001
GEOTECH REPORT _____	T105V001
STEEL & ANCHOR BOLT DESIGN CALC'S _____	T105V002
STEEL DETAILS _____	T1057002
FOUNDATION DETAILS _____	T1059001
ANCHOR BOLT DETAILS _____	T1059002
LOAD & DESIGN DRAWING _____	T105C007
DAMPER DRAWINGS _____	T105W001 & T105W002
SAG CHARTS _____	T105A001, T105A002, & T105A003
SUBASSEMBLY INDEX _____	T105X001

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CIRCUIT 6683
STRUCTURE DRAWING – DEADEND – STEEL
VERTICAL, DEF. ANGLE >90 DEG.

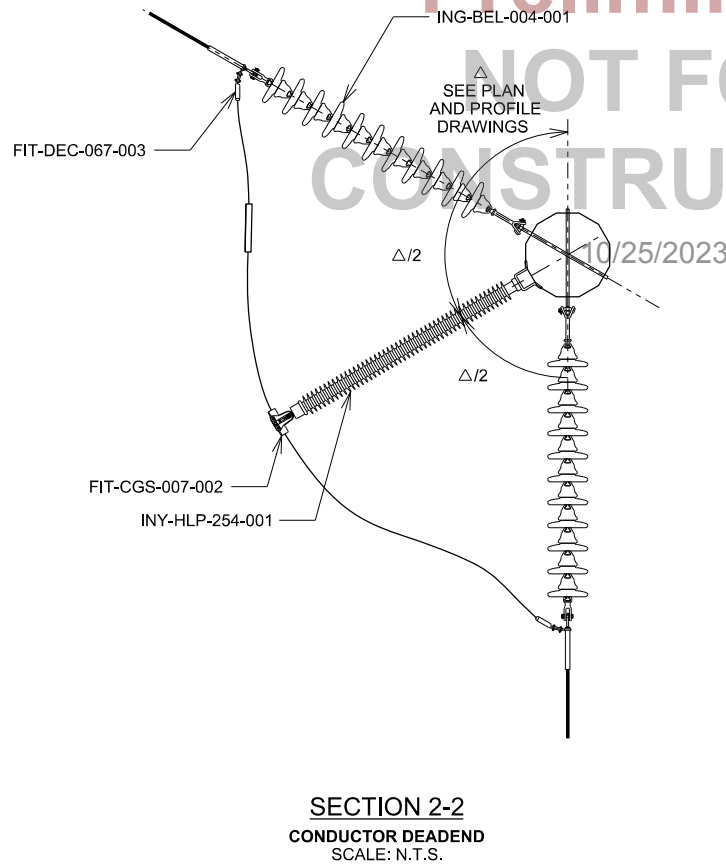
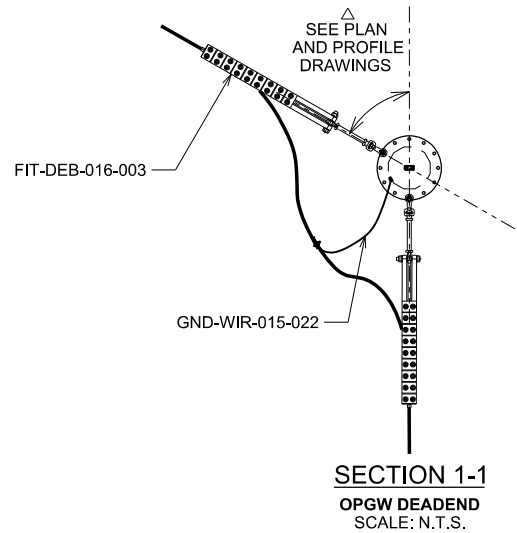
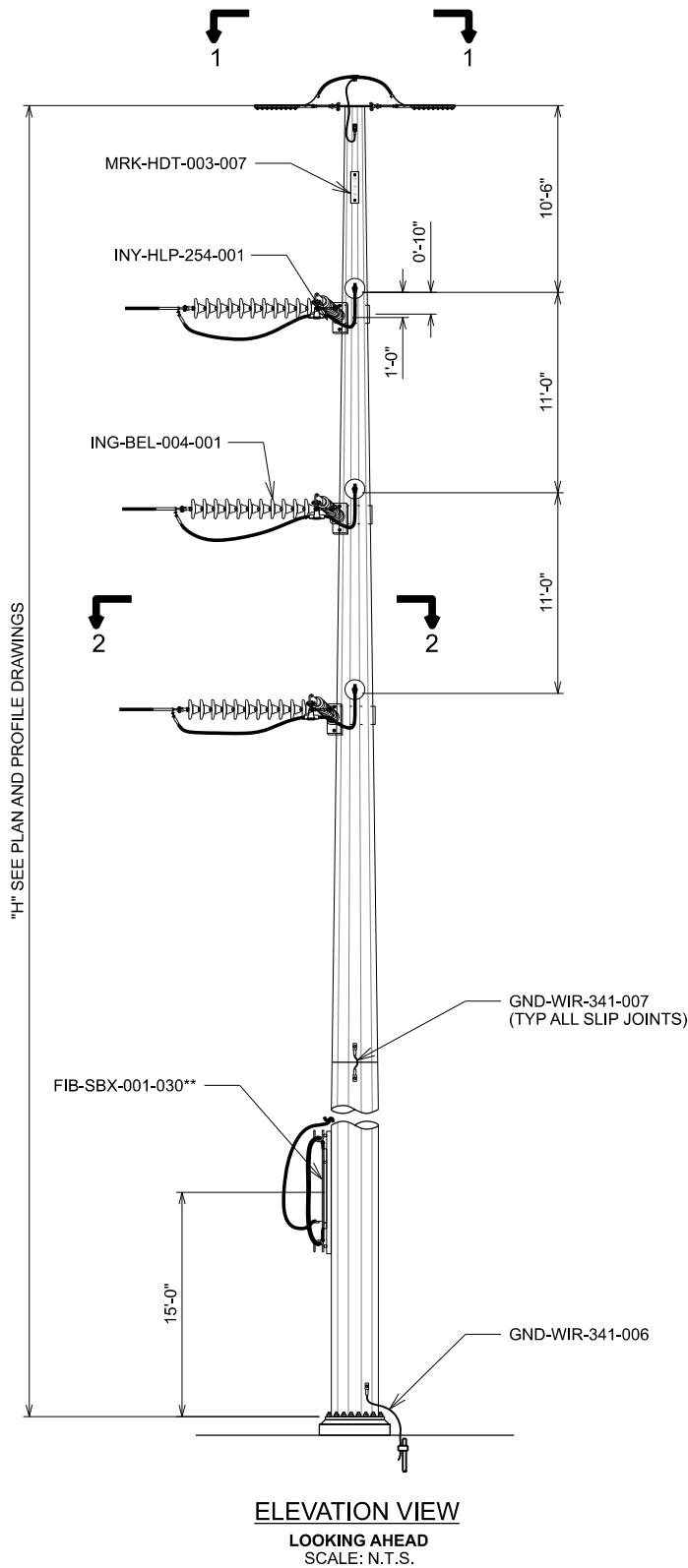
115 kV



SYDABGZ2-1

SCALE
NONI

RE
C



SYDABLZ1		
STR #	ANGLE (Δ)	SPLICE BOX
6683-2-DE	-45	X
6683-11-DE	-39	X
6683-24-DE	71	X
6683-55-DE	-56	X

ASSEMBLY	
STR SYDABLZ1-6683	
FOR STEEL POLE	
STL T1057002-PST26168	
STL T1057002-PST26169	
STL T1057002-PST26172	
STL T1057002-PST26174	
LD T105C001	
QTY	SUBASSEMBLIES
1**	FIB-SBX-001-030
3	FIT-CGS-007-002
2	FIT-DEB-016-003
6	FIT-DEC-067-003
2	GND-WIR-015-022
1	GND-WIR-341-006
2*	GND-WIR-341-007
6	ING-BEL-004-001
3	INY-HLP-254-001
1	MRK-HDT-003-007
* SEE NOTE 2	
** SEE NOTE 3	

NOTE:
1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.
3. SEE PLAN AND PROFILE DRAWINGS FOR OPGW SPLICE BOX LOCATIONS.

DRAWING REFERENCE	
PLAN & PROFILE	T105G001
GEOTECH REPORT	T105V001
STEEL & ANCHOR BOLT DESIGN CALC'S	T105V002
STEEL DETAILS	T1057002
FOUNDATION DETAILS	T1059001
ANCHOR BOLT DETAILS	T1059002
LOAD & DESIGN DRAWING	T105C001
DAMPER DRAWINGS	T105W001 & T105W002
SAG CHARTS	T105A001, T105A002 & T105A003
SUBASSEMBLY INDEX	T105X001

ISSUED BY ENGINEERING DEPT FOR: CONSTRUCTION

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CIRCUIT 6683
STRUCTURE DRAWING – DEADEND – STEEL
VERTICAL W/POST JUMPERS, DEF. ANGLE >90 DEG.

115 kv



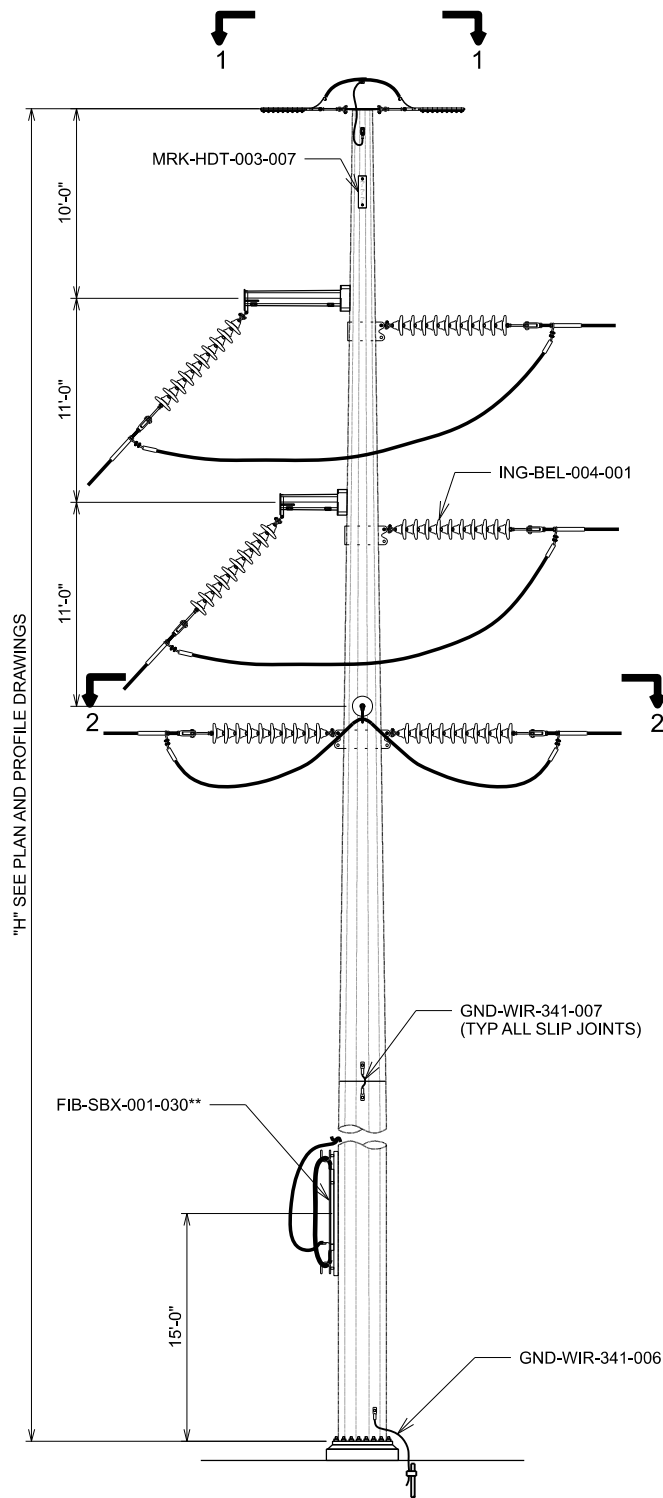
SYDABLZ1-1

SCALE
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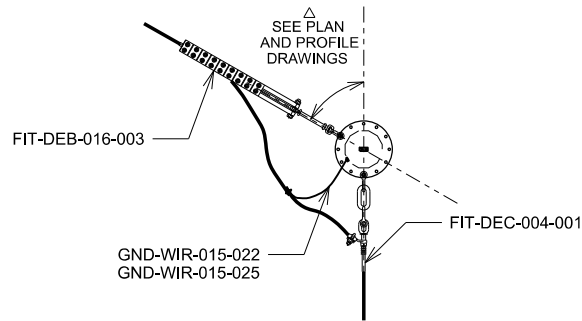
REV
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REV	DATE	WBS 4	REVISION DESCRIPTION
0		A.0000402.012.001.001	IFC - 6683 MAJOR LINE REBUILD

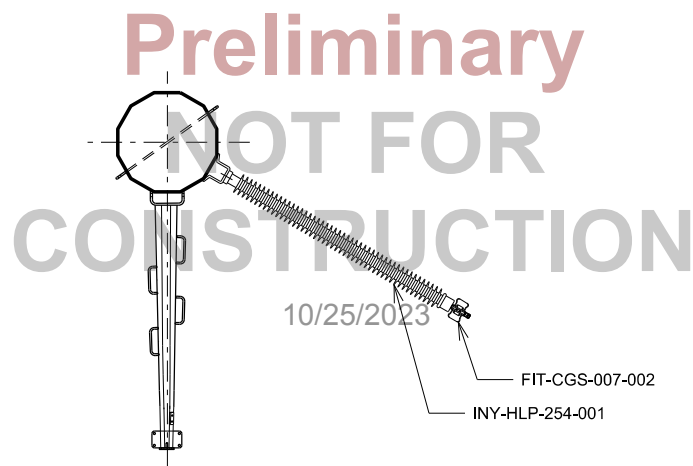
SYDABLZ1-1.DGN 9/15/2022 1:18:26 PM



ELEVATION VIEW
LOOKING AHEAD
SCALE: N.T.S.



SECTION 1-1
SW & OPGW DEADEND
SCALE: N.T.S.



SECTION 2-2
CONDUCTOR DEADEND
SCALE: N.T.S.

NOTE:
1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.
3. SEE PLAN AND PROFILE DRAWINGS FOR OPGW SPLICE BOX LOCATIONS.

DRAWING REFERENCE	
PLAN & PROFILE	T105G001
GEOTECH REPORT	T105V001
STEEL & ANCHOR BOLT DESIGN CALC'S	T105V002
STEEL DETAILS	T1057002
FOUNDATION DETAILS	T1059001
ANCHOR BOLT DETAILS	T1059002
LOAD & DESIGN DRAWING	T105C009
DAMPER DRAWINGS	T105W001 & T105W002
SAG CHARTS	T105A001, T105A002, & T105A003
SUBASSEMBLY INDEX	T105X001

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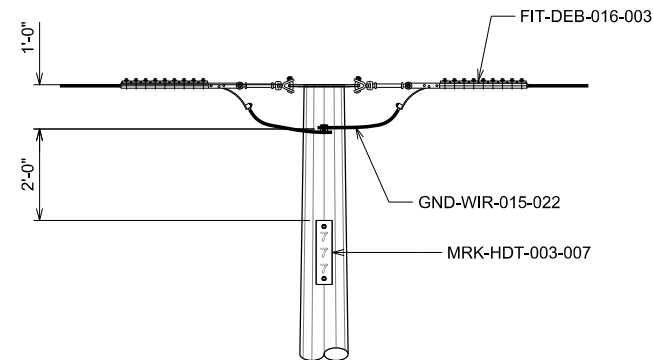
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CIRCUIT 6683 115 kV
STRUCTURE DRAWING – DEADEND – STEEL
VERTICAL, DAVIT ARMS

	SYDABSZ1-1	SCALE NONE	REV 0
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REV	DATE	WBS 4	REVISION DESCRIPTION
0		A.0000402.012.001.001	IFC - 6683 MAJOR LINE REBUILD

SYDABLZ4-1.DGN
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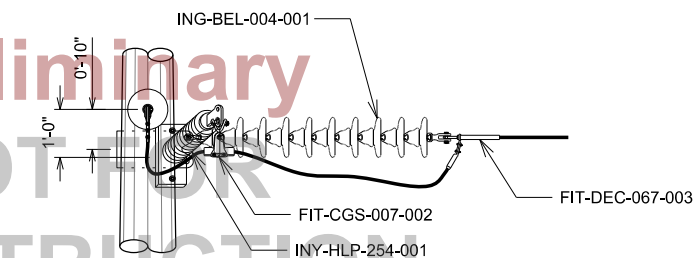


ASSEMBLY	
	STR SYDICALZ1-6683
	FOR STEEL POLE
	STL T1057002-PS26162
	STL T1057002-PS26170
	STL T1057002-PS26173
	LD T105C006
QTY	SUBASSEMBLIES
1**	FBX-SBX-001-030
3	FIT-CGS-007-002
2	FIT-DEB-016-003
2	FIT-DEC-004-001
6	FIT-DEC-067-003
2	GND-WIR-015-022
2	GND-WIR-015-025
3	GND-WIR-341-006
6*	GND-WIR-341-007
1	ING-BEL-004-001
1	INY-HLP-254-001
3	MRK-HDT-003-007

* SEE NOTE 2

** SEE NOTE 4

SYDCALZ1		
STR #	ANGLE (Δ)	SPLICE BOX
6683-34-DE	0	X
6683-35-DE	0	X
6683-36-DE	0	X



10/25/2023

DETAIL C
CONDUCTOR DEADEND
SCALE: N.T.S.

NOTE:

1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.
3. REFER TO PHASING DIAGRAM FOR LOCATION OF OPGW.
4. SEE PLAN AND PROFILE DRAWINGS FOR OPGW SPLICE BOX LOCATIONS.

DRAWING REFERENCE

PLAN & PROFILE _____	T105G001
STEEL & ANCHOR BOLT DESIGN CALC'S_____	T105V002
GEOTECH REPORT _____	T105V001
STEEL DETAILS _____	T1057002
FOUNDATION DETAILS _____	T1059001
ANCHOR BOLT DETAILS _____	T1059002
LOAD & DESIGN DRAWING _____	T105C006
DAMPER DRAWINGS _____	T105W001 & T105W002
SAG CHARTS _____	T105A001, T105A002 & T105A003
SUBASSEMBLY INDEX _____	T105X001

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CIRCUIT 6683 115 kV
 STRUCTURE DRAWING – DEADEND – STEEL
 SINGLE CIRCUIT, HORIZONTAL, W/ POST JUMPERS



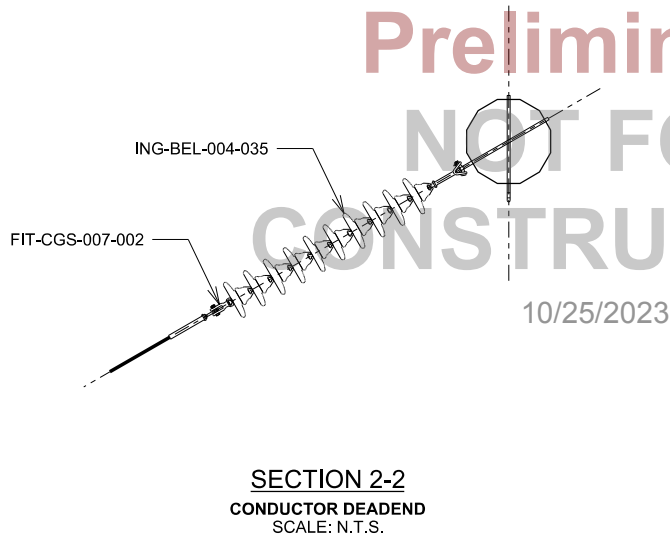
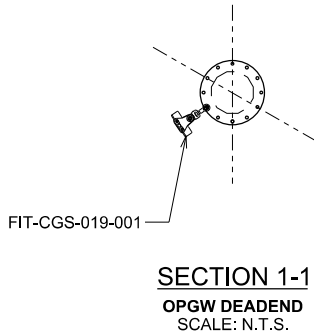
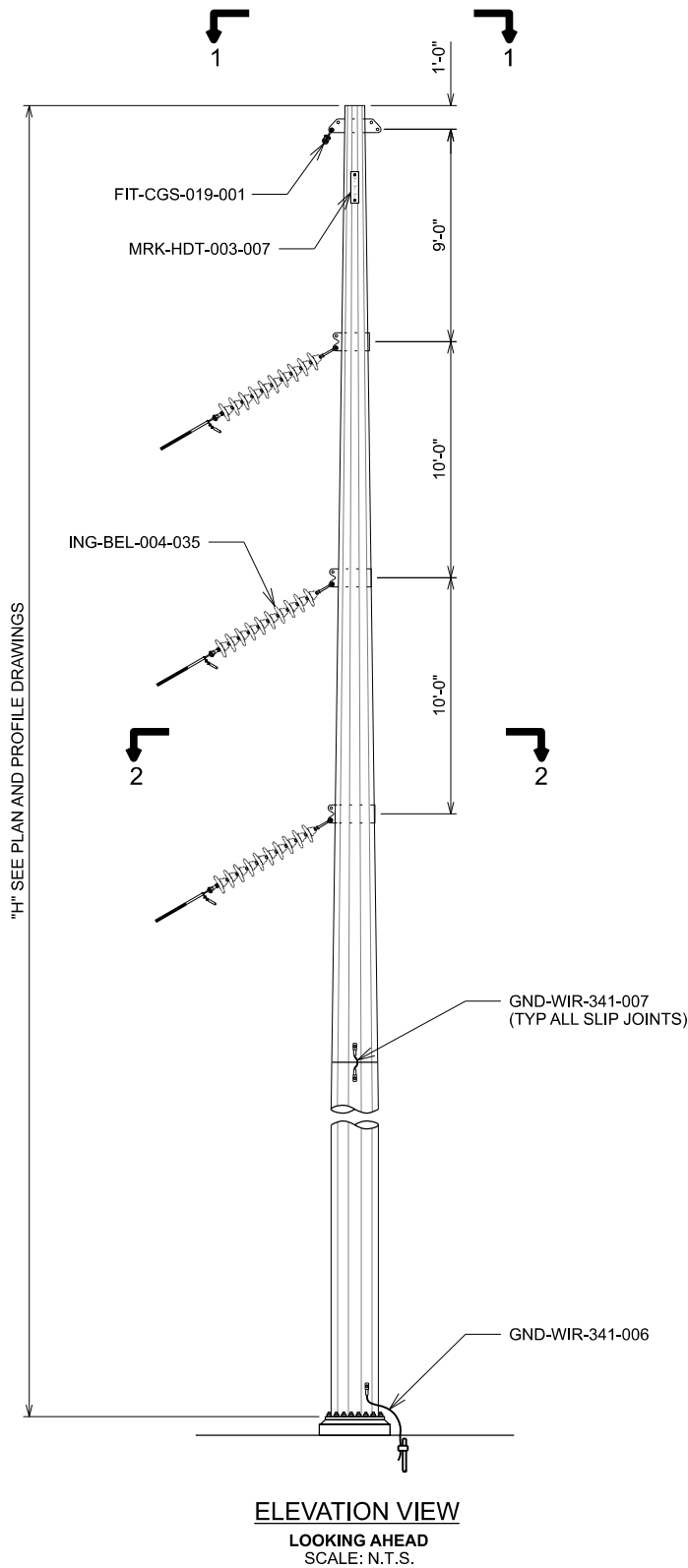
SYDCALZ1-1

SCALE	REV
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REV	DATE	WBS 4	REVISION DESCRIPTION
0		A.0000402.012.001.001	IFC - 6683 MAJOR LINE REBUILD

ASSEMBLY STR SYSABGZ1-6683 FOR STEEL POLE STL T0157001-PST26994 LD T105C008	
QTY	SUBASSEMBLIES
1	FIT-CGS-019-001
3	FIT-CGS-007-002
1	GND-WIR-015-022
1	GND-WIR-341-006
2*	GND-WIR-341-007
3	ING-BEL-004-035
1	MRK-HDT-003-007

* SEE NOTE 2



Preliminary
NOT FOR
CONSTRUCTION
10/25/2023

NOTE:
1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.

DRAWING REFERENCE	
PLAN & PROFILE	T105G001
GEOTECH REPORT	T105V001
STEEL & ANCHOR BOLT DESIGN CALC'S	T105V002
STEEL DETAILS	T1057002
FOUNDATION DETAILS	T1059001
ANCHOR BOLT DETAILS	T1059002
LOAD & DESIGN DRAWING	T105C008
DAMPER DRAWINGS	T105W001 & T105W002
SAG CHARTS	T105A001, T105A002 & T105A003
SUBASSEMBLY INDEX	T105X001

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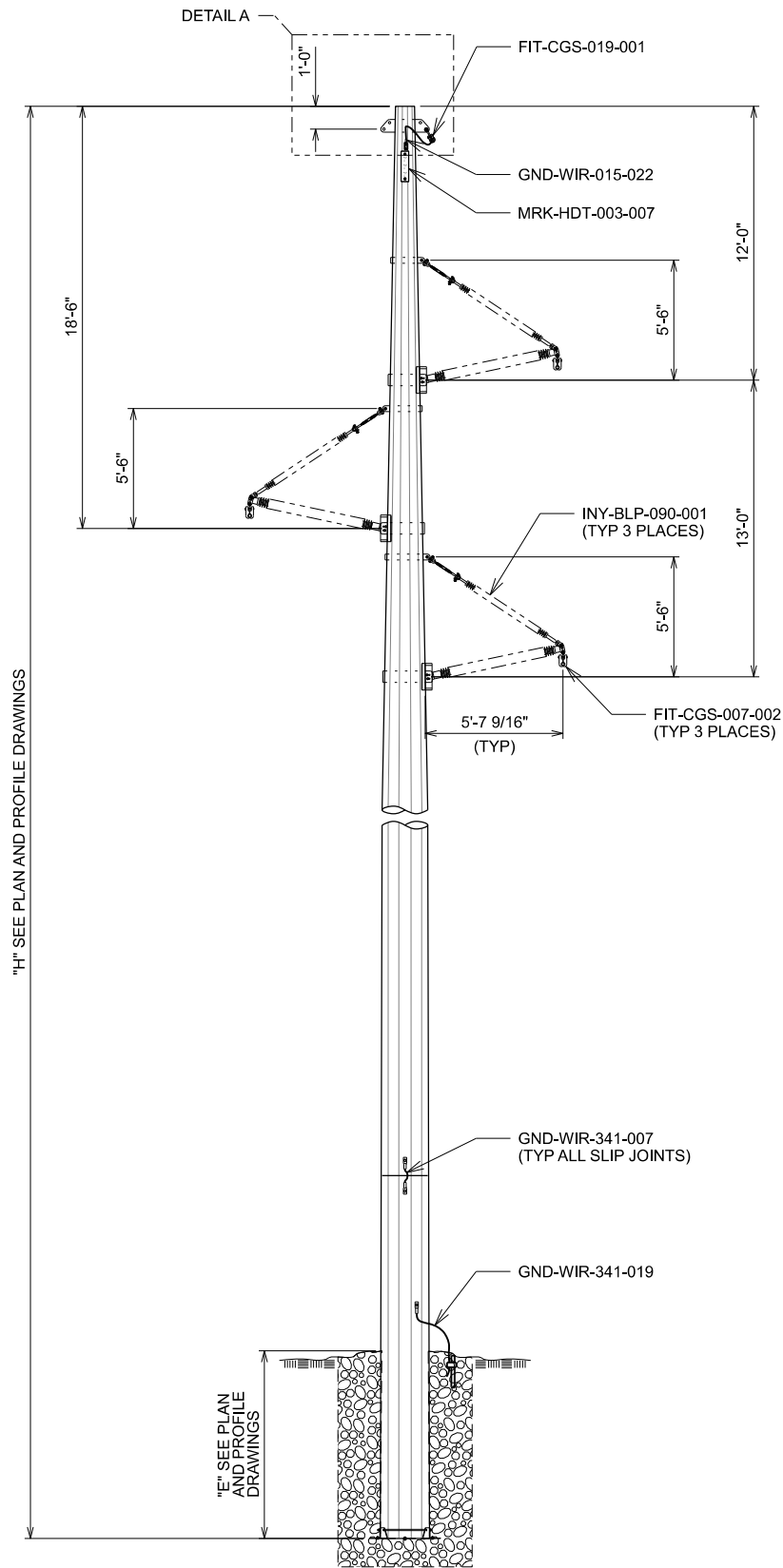
CIRCUIT 6683 115 kV
STRUCTURE DRAWING - ANGLE - STEEL
VERTICAL, DEF. ANGLE <90 DEG.

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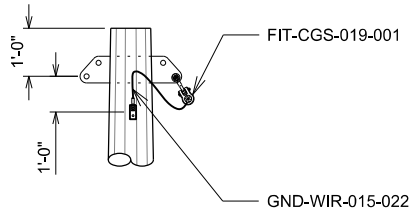
REV	DATE	WBS 4	REVISION DESCRIPTION
0		A.0000402.012.001.001	IFC - 6683 MAJOR LINE REBUILD

SYSABGZ1-1.DGN

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ELEVATION VIEW
LOOKING AHEAD
SCALE: N.T.S.



DETAIL A
OPGW
SCALE: N.T.S.

Preliminary
NOT FOR
CONSTRUCTION

10/25/2023

NOTE:
1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.

DRAWING REFERENCE	
PLAN & PROFILE	T105G001
GEOTECH REPORT	T105V001
STEEL DETAILS	T1057001
FOUNDATION DETAILS	T1059001
LOAD & DESIGN DRAWING	T105C003
DAMPER DRAWINGS	T105W001 & T105W002
SAG CHARTS	T105A001, T105A002 & T105A003
SUBASSEMBLY INDEX	T105X001

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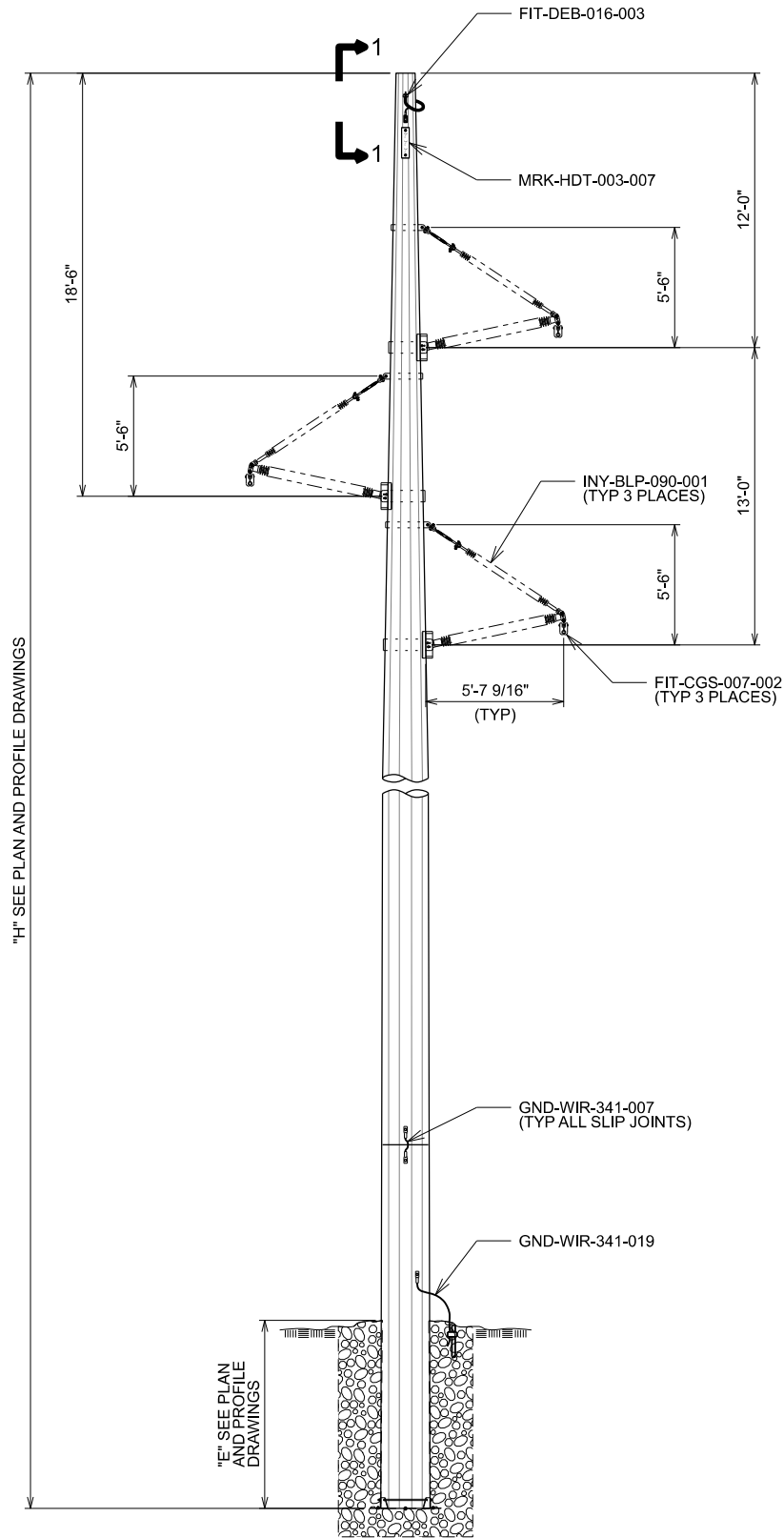
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CIRCUIT 6683 115 kV
STRUCTURE DRAWING - TANGENT - STEEL - S.C. - SINGLE POLE
DELTA BRACED LINE POST, DIRECT EMBED

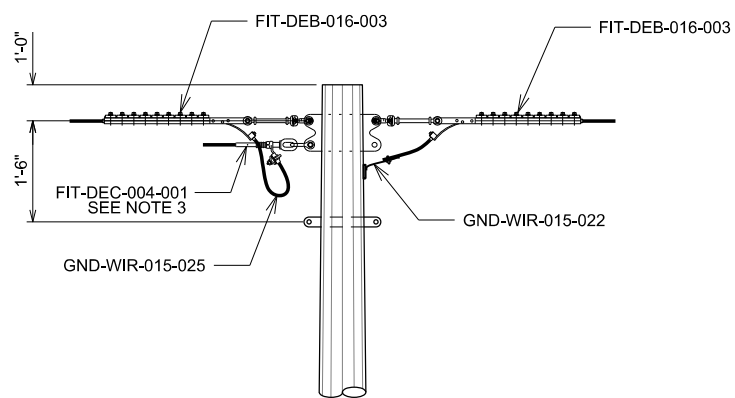
	SYSQCBZ1-1	SCALE	REV
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REV	DATE	WBS 4	REVISION DESCRIPTION
0		A.0000402.012.001.001	IFC - 6683 MAJOR LINE REBUILD

SYSQCBZ1-1.DGN9/15/2023 1:45:35 PM



ELEVATION VIEW
LOOKING AHEAD
SCALE: N.T.S.



SECTION 1-1
SHIELDWIRE DEADEND
SCALE: N.T.S.

Preliminary
NOT FOR
CONSTRUCTION

10/25/2023

NOTE:
1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.
3. FIT-DEC-004-001 TO BE ON AHEAD SPAN FOR STR 6683-31-SWDE AND ON THE BACK SPAN FOR STR 6683-37-SWDE.

DRAWING REFERENCE	
PLAN & PROFILE	T105G001
GEOTECH REPORT	T105V001
STEEL DETAILS	T1057001
FOUNDATION DETAILS	T1059001
LOAD & DESIGN DRAWING	T105C004
DAMPER DRAWINGS	T105W001 & T105W002
SAG CHARTS	T105A001, T105A002 & T105A003
SUBASSEMBLY INDEX	T105X001

REV	DATE	WBS 4	REVISION DESCRIPTION
0		A.0000402.012.001.001	IFC - 6683 MAJOR LINE REBUILD

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CIRCUIT 6683115 kV
STRUCTURE DRAWING - TANGENT - STEEL - S.C. - SINGLE POLE
BRACED LINE POST W/ OPGW DEADEND

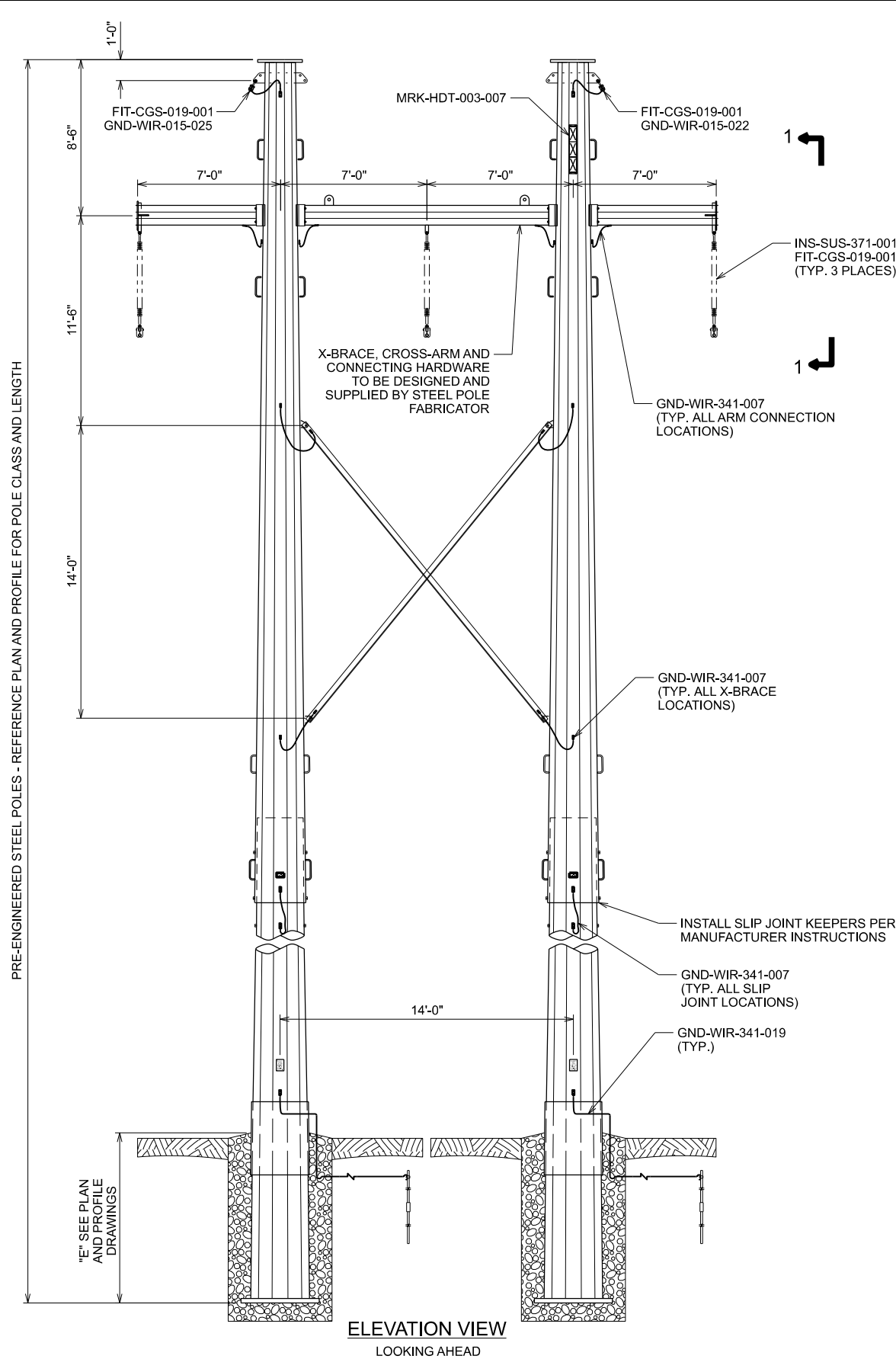
Xcel Energy

SYSQCBZ2-1

SCALE
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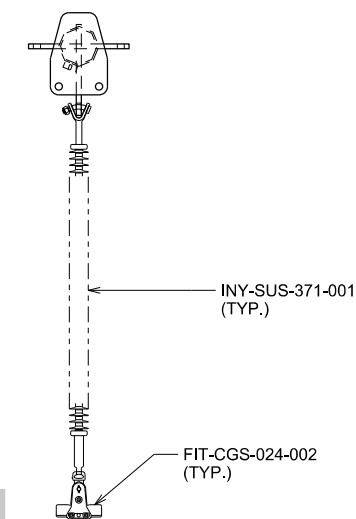
REV
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Preliminary
NOT FOR
CONSTRUCTION

10/25/2023



NOTES:

1. SEE SUBASSEMBLY DRAWING INDEX FOR PROJECT SPECIFIC MATERIAL.
2. ADJUST QUANTITY BASED ON NUMBER OF SLIP JOINTS.
3. SEE DAMPER DRAWING SHEETS FOR DAMPER PLACEMENT ON SHIELD WIRE AND CONDUCTOR.
4. REFER TO PHASING DIAGRAM FOR PLACEMENT OF OPGW & SHIELD WIRE.

DRAWING REFERENCE

PLAN & PROFILE	T105G001
SUBASSEMBLY INDEX	T105X001
LOAD & DESIGN	T105C005
STEEL DETAILS	T1057001
DAMPER DRAWINGS	T105W001 & T105W002
SAG CHARTS	T105A001, T105A002 & T105A003

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CIRCUIT 6683
STRUCTURE DRAWING - TANGENT - STEEL
H-FRAME, DIRECT EMBED

115 kV

XcelEnergy® SYSRAHZ1-1

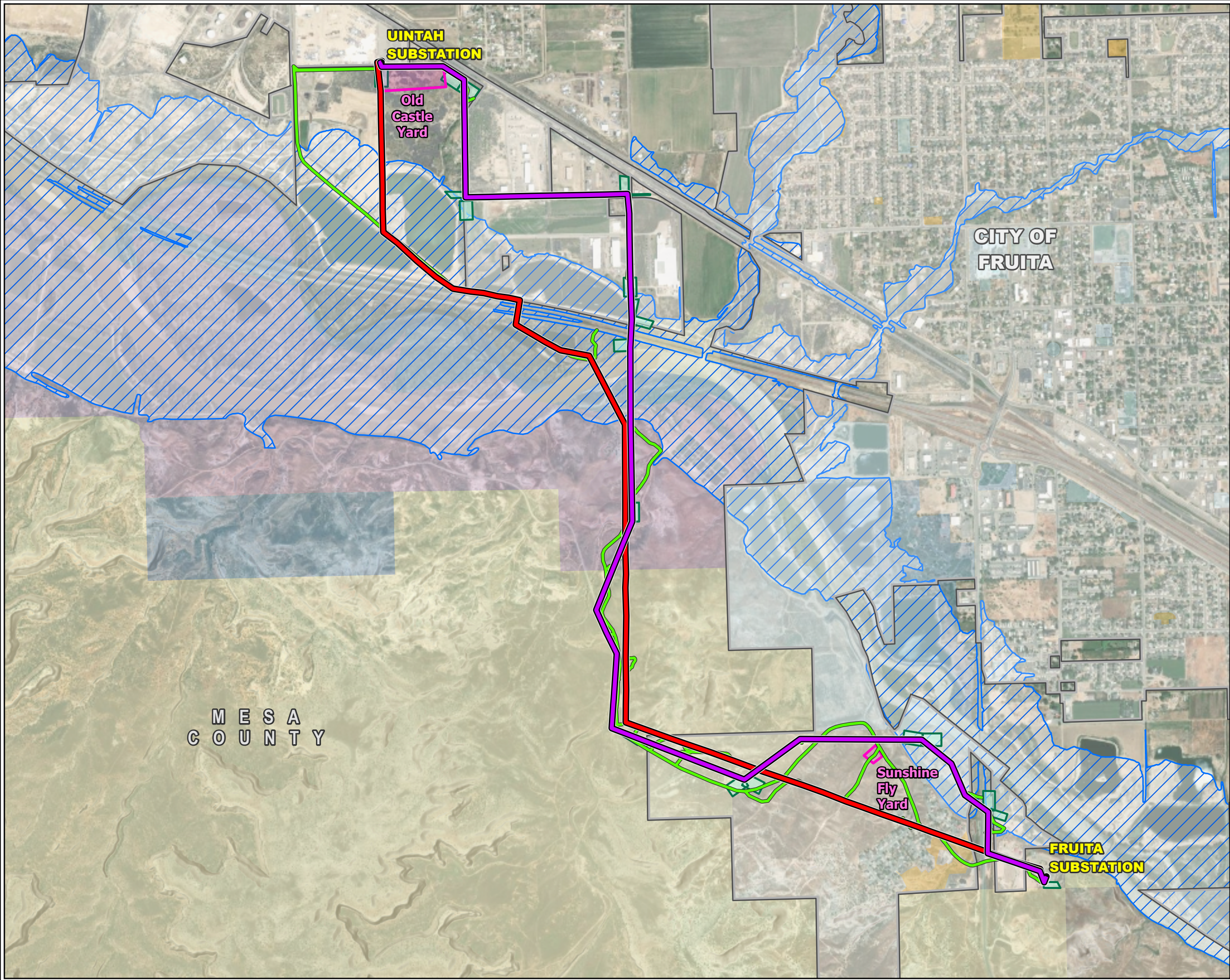
SCALE
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REV
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REV	DATE	WBS 4	REVISION DESCRIPTION
0		A.0000402.012.001.001	IFC - 6683 MAJOR LINE REBUILD

SYSRAHZ1-1.DGN

7/31/2023 10:54:52 AM



FEMA Floodplains
Xcel Energy Circuit 6683
Rebuild Project
Mesa County, Colorado

Legend

- Existing 6683 Centerline
- Rebuilt 6683 Centerline
- Access Roads
- Yards
- Pull Sites
- FEMA Flood Hazard Area

Surface Management

- Bureau of Land Management
- Bureau of Reclamation
- State
- Local
- Private Conservation
- City of Fruita Boundary

Scale: 1:18,000
Date: 6/24/2024

Data Sources: Xcel Energy, FEMA,
CDOT, City of Fruita, Burns & McDonnell

0 1,000 2,000
Feet

0 1/4 1/2
Miles



Palin resumes court battle with Times after COVID illness

By TOM HAYS
The Associated Press

NEW YORK — Sarah Palin’s libel suit against The New York Times went to trial Thursday in a case over the former Alaska governor’s claims the newspaper damaged her reputation with an editorial linking her campaign rhetoric to a mass shooting.

The trial is a rare example of a jury deciding the validity of a persistent refrain from Palin and other Republicans: That a biased news media is willing to bend the truth to make conservatives look bad.

Palin, a onetime Republican vice presidential nominee, told

journalists as she arrived at the courthouse that she was looking for “justice for people who expect truth in the media.”

A lawyer for The Times, David Axelrod, told jurors the editorial was primarily about gun laws, not Palin, and was not a “political hit job.”

Opening statements to the jury were postponed when Palin tested positive for COVID-19.

The trial is happening on The Times’ home turf, in Democrat-friendly New York City, but Palin attorney Shane Vogt asked jurors in his opening statement to put aside any personal opinions they might have about Palin’s politics.

“We come to this case with

our eyes wide open and keenly aware of the fact we’re fighting an uphill battle,” Vogt said. “Give us a fair shot. We’re not here trying to win your votes for Governor Palin or any of her policies.”

Palin will be the trial’s star witness. She’s seeking unspecified damages.

Axelrod, an attorney for the Times, acknowledged the newspaper made a factual mistake in the editorial, but said it was not malicious and the paper “acted as quickly as possible to correct that mistake.”

Palin sued the Times in 2017, accusing it of damaging her career as a political commentator with an editorial.



THE ASSOCIATED PRESS

Former Alaska Gov. Sarah Palin arrives last week at federal court in New York. She is due back in a New York City courtroom more than a week after her libel trial against The New York Times was postponed because she tested positive for COVID-19.

BLAMES: Peters’ website says offices are closed because of staffing shortages

► Continued from page 1A

you are down 6 staff, although none of those staff are from the DMV.”

Reopening the two offices, which were closed in 2016 due to budget constraints, was the centerpiece of Peters’ campaign for office in 2018, and something she’s heavily touted since reopening them in 2019.

But the two offices have been closed for some months now, and Peters’ office has given varying reasons for why, such as workers out sick. Her website, clerk.mesacounty.us/mv/, only says they are closed due to “staffing shortages.”

Last July, the commissioners approved adding three new positions to the motor vehicles division. At the time, Peters argued she needed the new jobs because of staffing shortage in the division, but she made that request after eliminating three DMV positions and creating three new ones in the Elections Division.

The latest county position report for January shows that Peters has 16 full-time workers in DMV. She also has eight elections workers, twice as many as when she took the job in 2018. At that

time, there were 18 full-time DMV jobs.

That monthly report also shows that all positions in her 35-person office are filled, only the third time in any given month since she took office.

In Peters’ letter, she also blames the commissioners for the firing of Elections Manager Sandra Brown and the sidelining of Knisley, saying the county has no say-so over hiring and firing of her workers.

But Rowland said that both are subjects of criminal investigations and a grand jury probe into tampering with elections equipment. Knisley also is the subject of state burglary and cybercrime charges, both of which stem from numerous county Human Resources complaints alleging that she created a hostile work environment, allegedly for ordering clerk employees not to cooperate with the state and federal criminal investigations.

As a result, Brown was fired by county officials late last year, and Knisley was placed on paid administrative leave last summer and barred from entering the office.

“The wholly unjustified ‘firing’ and ‘administrative leave’ you have



SPECIAL TO THE SENTINEL

Tina Peters, right, Mesa County clerk and recorder, blames the county commissioners for sidelining her Deputy Clerk Belinda Knisley, left. Peters says the county has no say over hiring and firing of her workers.

attempted to impose on my senior staff, in direct violation of statute, has undermined my ability to administer my office efficiently,” Peters wrote. “Specifically, you have targeted Ms. Sandra Brown and Ms. Belinda Knisley solely because they are my trustworthy deputies.”

Rowland, however, wrote that both are subjects of court orders barring them from working because of things that Peters herself initiated.

“Regarding Belinda’s access to your office, there is a court order that currently prohibits her from

any access to your office,” Rowland wrote.

“Regarding the employment status of Sandra Brown, by court order she has been prohibited from working in elections,” Rowland added. “This caused her to be terminated for cause because she could not perform the essential functions of her position. Additionally, she is under investigation for criminal conduct for actions that occurred while employed as a Mesa County employee regarding Mesa County business. As such, she is not eligible to be rehired elsewhere in the county.”

Both Brown and Knisley have been implicated in aiding Peters in the possible breaching of election security protocols, including turning off security cameras, entering secure areas late at night and making copies of sensitive software and passcodes.

Peters’ letter and Rowland’s response also mention a third clerk employee whom Peters claims to have fired six months ago.

Peters wrote that the employee, whom she only identified as a man, was terminated “for creating a hostile workplace for women, as well as multiple other workplace infractions,” saying it is “unconscionable” that he still is on the payroll.

Rowland, however, responded that the formal process to terminate him has not occurred, and that there is an ongoing HR investigation into his employment, the details of which are unknown because it is a personnel matter.

“To fire him without cause is against Mesa County policy and would open the county up to serious liability,” Rowland wrote.

Peters again complained about being

replaced as the designated election official, but Rowland said that’s due to a lawsuit filed by the Colorado Secretary of State’s Office that has been upheld by the Colorado Supreme Court.

Because of the ongoing criminal investigations into Peters and others, she was removed as the county’s chief election official for the 2021 elections.

The state has since filed a new lawsuit seeking to continue her removal as election official throughout the rest of her term.

Peters is running for re-election to the post, and faces fellow Republican Bobbie Gross in the GOP primary in June. Peters narrowly defeated Gross in the June 2018 primary.

Finally, Rowland makes reference to something that’s not in Peters’ letter: “Regarding your request to have access to the commissioners’ offices, Linda (Frasier) and Rene (Will-Romero) are available to let you in during business hours, and there is no need for you to have badge access after hours,” Rowland wrote, referring to the commissioners’ two administrative assistants. “The fact that you want unfettered access to our offices is concerning in and of itself.”

JOIN US TO LEARN ABOUT AN IMPORTANT TRANSMISSION LINE PROJECT IN YOUR AREA

Rebuilding the 4-mile 69-kV project from Fruita to Uintah substations will help to continue delivering reliable electric service.

Xcel Energy invites you to attend an open house or an online meeting to learn more about an upcoming project proposed in your area.

The 65-year-old Fruita to Uintah 69-kilovolt (kV) transmission line in Fruita and unincorporated Mesa County, Colorado is being rebuilt to increase electric reliability and reduce potential safety risks associated with aging poles and equipment.

The 4-mile line is critical to providing reliable service to customers and cannot be taken out of service. Xcel Energy is currently studying route options to relocate the electric line.

Xcel Energy invites you to attend an open house to learn more about the project, route options, construction activities and timing. You can also attend an online meeting which will be held on Microsoft Teams, viewable either on your desktop or mobile device. The link will be posted at xcelenergy.com/Fruita69kVrebuild.

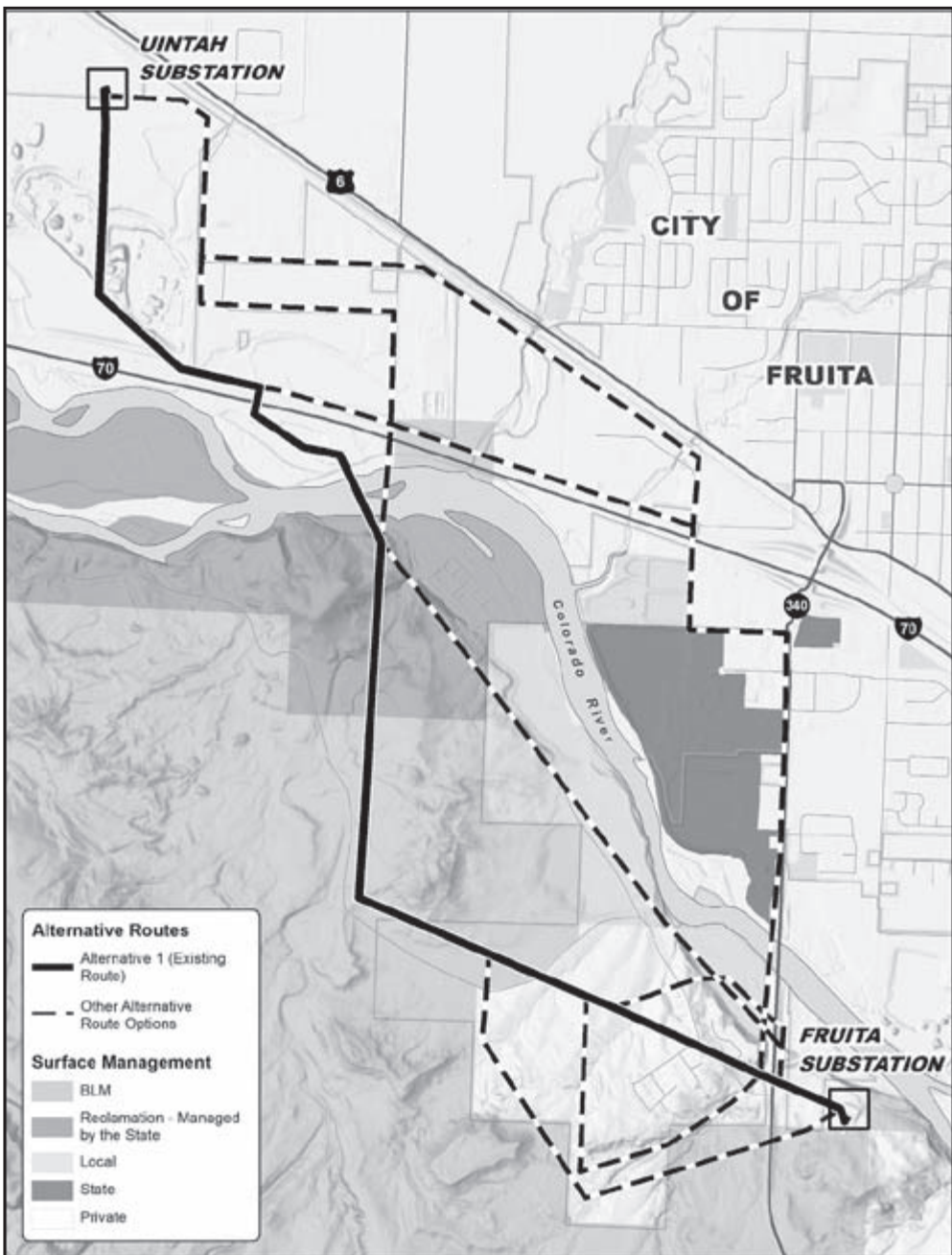
IN-PERSON OPEN HOUSE:
Fruita Community Center
324 N. Coulson St.
Fruita, CO 81521

Feb. 16, 2022
5 p.m. – 7 p.m.

ONLINE OPEN HOUSE:
Microsoft Teams Live event can be viewed on mobile device or desktop computer. Link will be posted at xcelenergy.com/Fruita69kVrebuild.

Feb. 23, 2022
6 – 7 p.m. Mountain Standard Time

CONTACT US WITH QUESTIONS AT:
Fruita69kvrebuild@xcelenergy.com
or toll free at 855-839-8864



Public Outreach

A public outreach plan was created to include the surrounding community in the alternatives analysis and solicit public feedback on the Project. A mailing list was created by buffering the eight alternative routes by 2,500 feet and extending this buffer where necessary to avoid bisecting a neighborhood. Approximately 1,500 properties were contacted with a letter describing the Project and the public involvement process. PSCo also created a website with Project details and handouts including a Project fact sheet, information about easements and working in the ROW, construction process, birds and power lines, electric magnetic field, safety around power lines, wildfire mitigation, collaborating with landowners, siting, and routing, and overhead versus underground electric lines. In addition, PSCo created a Project hotline and email address to collect comments. PSCo also published a half-page newspaper ad in the Daily Sentinel on February 6, 2022. The ad included Project details, website address, hotline phone number and email address, and a map with the existing route and other route options.

An in-person open house was held on February 16, 2022, at the Fruita Community Center. A virtual open house in the form of a video presentation was uploaded to the Project website on March 21, 2022. Another public meeting was held on July 27, 2022, at the Fruita Community Center, following selection of the preferred route. The meetings were held to provide information to the public about the Project, including route options, construction activities, and timing. An email address and hotline number were established where questions or comments regarding the Project could be provided.

Public comments were received primarily from the residents of Kingsview Estates. PSCo received a total of 11 comments via public open house, email, and voicemail. The comments ranged from concerns about visual, recreational, wildlife, and health (i.e., electromagnetic fields) impacts to property value, design, and cost. All public comments were documented and can be provided upon request. PSCo considered the public comments during the final route selection.

From: [Mike Bennett](#)
To: [Philip Carlton](#)
Cc: [Henry Hemphill](#); [Marc Mancuso](#)
Subject: RE: Fruita-Uintah 69-kV Rebuild Project
Date: Monday, August 5, 2024 8:57:03 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)

Philip,

XCEL Energy has applied for a conditional use permit from the City, and the application is in the review process currently. The City has expressed the need for these to be buried or rerouted to avoid the park. I will include your comments in the record of the review period we are in. Thank you for sending in.



Mike Bennett

City Manager, ICMA-CM

City of Fruita

Phone: 970-858-7291

Email: mbennett@fruita.org

Fruita.org | GoFruita.com



[Stay Connected](#)

From: Philip Carlton <philip.carlton@gmail.com>

Sent: Friday, August 2, 2024 1:47 PM

To: Mike Bennett <mbennett@fruita.org>

Subject: Fruita-Uintah 69-kV Rebuild Project

Mike,

I'm writing for more info on the City's perspective of Xcel's line rebuilding project on the south side of town. I only recently found out about the project because of posted signs which, for some reason, are not present in the Fruita Riverfront Park which would be permanently altered by the project. It seems odd to me that a proposal to add three 60-85 foot metal transmissions towers in an arrangement that perfectly bisects a city park would not have any signage to notify those who use that park. Not to mention permanently marring the classic view as one travels across the river.

Anyways, having found the relevant docs and read up on the project, I'm curious to know if the city endorses giving its limited park space to Xcel in this fashion. I'll also try to get

Marc's parks and rec perspective on it, but I'm having trouble wrapping my head around how xcel even thought it was reasonable to draft the proposal in the first place. How much riverfront park does the city have, and why would a city whose housing value and tourism is linked to its public land and aesthetics think that it's at all sensible in 2024 to bisect a riverfront park with utilities?

I get that Xcel needed to replace those lines and the first step is for them to submit a proposal, but it seems obvious to everybody I've shared the plans with that it's just Xcel proposing the easiest and most inexpensive solution to a necessary line replacement. I am totally alone in thinking that Fruita should be preserving its limited park space at the same time it's approved a massive increase in housing on the south side of town? Or is the Riverfront Park really of no value to the town because it's a flood zone?

A lot of people moved here from cities because we didn't want to recreate under the buzz of transmission lines anymore, and so far the people in my neighborhood who have seen the plans have been somewhere between horrified and mystified that they even would need to show up to a planning meeting to object to basically giving away our park space because it's cheaper for a billion dollar company than having to get an easement along the currently empty new development or along kingsview road.

So if I and others show up to the planning meeting, what should we expect? Are we missing something? Has Xcel been in talks with the city about this for a while and was building towers and possibly an access road in the park always the city's preferred plan?

When the city was negotiating with the landowners of the planned Kingsview development, why wasn't an easement for a line replacement part of that discussion?

And I apologise if you don't have any of these answers, please feel free to just forward my message to someone with the city who might. Thanks!

Best,
Philip Carlton
642 Kaley St., Fruita CO 81521
www.pacarlton.com

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From: [Mike Bennett](#)
To: [Henry Hemphill](#)
Subject: FW: Future of Riverfront Disc Golf Course at Snook's Bottom
Date: Friday, August 9, 2024 10:25:52 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)



Mike Bennett

City Manager, ICMA-CM

City of Fruita

Phone: 970-858-7291

Email: mbennett@fruita.org

Fruita.org | GoFruita.com



[Stay Connected](#)

From: Mike Bennett
Sent: Friday, July 26, 2024 3:44 PM
To: Joshua Fritz <fritz@gvdbg.org>; Marc Mancuso <mmancuso@fruita.org>
Cc: Levi Lowery <levi@gvdbg.org>; Dan Caris <Dcaris@fruita.org>
Subject: RE: Future of Riverfront Disc Golf Course at Snook's Bottom

Josh, thank you so much for reaching out. This proposed alignment is still going through the public process for a conditional use permit from the City of Fruita. I would be happy to include your comments and any others in the official record. The City of Fruita has furnished XCEL with comments as part of a condition for approval that XCEL shall underground the lines through the disc golf course.

Thanks,



Mike Bennett

City Manager, ICMA-CM

City of Fruita

Phone: 970-858-7291

Email: mbennett@fruita.org

Fruita.org | GoFruita.com



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From: Joshua Fritz <fritz@gvdgc.org>

Sent: Wednesday, July 24, 2024 1:20 PM

To: Mike Bennett <mbennett@fruita.org>; Marc Mancuso <mmancuso@fruita.org>

Cc: Levi Lowery <levi@gvdgc.org>

Subject: Future of Riverfront Disc Golf Course at Snook's Bottom

Good afternoon Mr. Bennett. I recently saw plans for the XCEL Energy power line construction and relocation from the Fruita Sub Station to the Utah Substation. Looking at the path, it appears this will take out multiple holes on a very popular disc golf course and open space area. Will we be losing access to that disc golf course, when the road and the new power lines go in down there?

Is there plans for us to be able to move the course to a new location and new design? The GVDGC worked hard to secure this course back in 2008 and had many volunteer hours in building it. We would like to discuss the future of one of our loved courses as it offers some very unique holes not seen anywhere in the valley.

<https://www.fruita.org/cd/project/6683-transmission-line-rebuild-conditional-use-permit>

--

Thank you,



Vice President

Grand Valley Disc Golf Club is a Non-Profit 501c3 entity

www.gvdgc.org

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From: [Mike Bennett](#)
To: [Dan Caris](#); [Henry Hemphill](#)
Subject: XCEL comments
Date: Tuesday, August 13, 2024 8:06:40 PM

These were received by Councilman Parrish:

Fwd:

Hello, sir. I'm texting to alert you as a Fruita resident that I'm adamantly opposed to the towers and route offered by Xcel for the new neighborhood by King's View. Their proposal is obviously the cheap way out when the lines could be buried facing one of the best view sheds on the CO River and next to the monument and wilderness areas we all love so much. Make them dip into their very deep pockets to do the right and best way for future. That unobstructed view is why I moved my business and life here. Thank you. Elliott Ramage 977 Red Globe DR.

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Date September 4, 2024

To: Fruita Planning Department

From: Kingsview Estates Homeowners Association

Subject: 6683 Transmission Line Rebuild, Application #: 2024-08 6683 Conditional Use Permit

Description: This is a request for approval of a Conditional Use Permit to reroute and rebuild approximately four (4) miles of transmission lines from the Fruita substation to the Uintah Substation

Dear Fruita Planning Commission,

At our Annual Kingsview HOA meeting on Sept 4, we had the opportunity to talk with our homeowners regarding EXCEL's proposed transmission line rebuilt. As per the project narrative from XCEL, we are pleased that the project will reroute the current lines around and not through the residential area of Kingsview, maintain the viewshed of the Colorado National Monument, avoid sensitive recreational areas, and provide critical updates for safety.

We do share the concern expressed by the City of Fruita related to how the proposed lines and new poles will impact our area, particularly the Fruita Riverfront Park just to the north of Kingsview, and would request that the **new lines there be placed underground**. Again, thank you for the opportunity to comment on this project.



Scott Spoede

President

Kingsview Homeowners Association

Kelli McLean

From: Susan Abee <sue.shopper@icloud.com>
Sent: Tuesday, September 10, 2024 10:57 AM
To: Kelli McLean
Subject: Transmission line rebuild

Good Morning: I am unable to attend the planning commission meeting tonight. However, I would like to express my concerns about the Xcel power lines. Please stand firm on making them bury these power lines as much as possible. Learn from Lahaina & realize climate change is happening. Also, I hear so much about the commitment to quality of life in Fruita. So many of us use the public park & surrounding land for our health & enjoyment. Power lines will absolutely deteriorate the quality of our experiences.

Thank you!

Sue Abee
931 Golden Jubilee Drive
Fruita

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Kelli McLean

From: Janet Grove <janetplanetco@yahoo.com>
Sent: Tuesday, September 10, 2024 1:14 PM
To: Kelli McLean
Subject: Excel Power Lines

I am writing as a concerned Fruita resident regarding the proposal from Excel to install above ground power lines through our parks and in the city.

I am firmly in opposition to this proposal. I don't have a problem with them having power lines in the city. However, they need to submit a proposal to bury the lines and not have the unsightly poles and lines above ground. This is ridiculous if all they have to do is spend a little extra to bury the lines.

Businesses need to be sensitive to our beautiful views that we have in the city and be responsible citizens of the community. Please do not allow this proposal for our beautiful community.

Thanks for your help,

Janet Grove
907 Celestite Dr owner

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From: [Mike Bennett](#)
To: [Henry Hemphill](#); [Dan Caris](#); [Mary Elizabeth Geiger](#)
Subject: Fwd: I forgot to send you the text exchange I had about the power lines on Aug 13
Date: Monday, September 9, 2024 9:37:18 PM
Attachments: [Screenshot 2024-09-09 at 9.30.25 PM.png](#)
[image001.png](#)

For the record

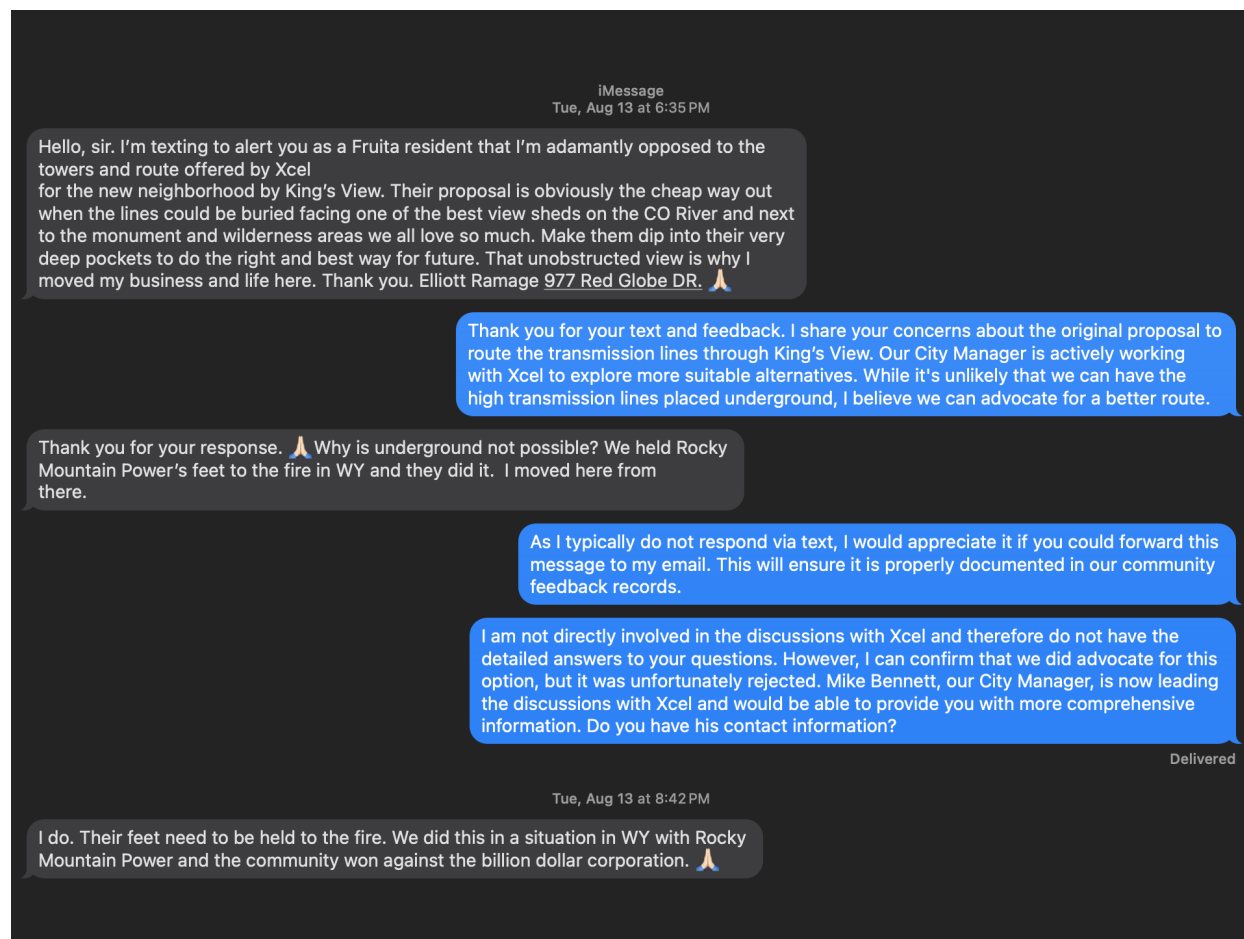
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From: Matthew Breman <mbreman@fruita.org>
Sent: Monday, September 9, 2024 9:31 PM
To: Mike Bennett <mbennett@fruita.org>
Subject: I forgot to send you the text exchange I had about the power lines on Aug 13

Mike,

I forgot to send you a copy of this at the time for records.

~meb



Matthew Breman | Mayor | City of Fruita, CO
(970) 314 - 5991 | mbreman@fruita.org
www.fruita.org
www.gofruita.org



From: [Mary Elizabeth Geiger](#)
To: [Mike Bennett](#); [Dan Caris](#); [Henry Hemphill](#)
Subject: FW: Your thoughts on Xcel's plan to build towers in the Fruita Riverfront Park
Date: Tuesday, September 10, 2024 1:02:33 PM

Public comment received by Councilor Purser below.

Mary Elizabeth Geiger
Senior Counsel

Garfield & Hecht, P.C.
Aspen | Avon | Carbondale | Denver | Glenwood Springs

910 Grand Ave., Suite 201
Glenwood Springs, Colorado 81601
Phone: (970) 947-1936 x813
Facsimile: (970) 947-1937
Cell: (970) 452-9047**
Email: megeiger@garfieldhecht.com
Webpage: www.garfieldhecht.com

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From: Jeannine Purser <jpurser@fruita.org>
Sent: Tuesday, September 10, 2024 12:11 PM
To: Mike Bennett <mbennett@fruita.org>; Mary Elizabeth Geiger <megeiger@garfieldhecht.com>
Subject: Fw: Your thoughts on Xcel's plan to build towers in the Fruita Riverfront Park

I received the below email on August 2nd. I didn't respond. Philip and I had a conversation later about in case of an appeal we couldn't talk about it.

Jeannine Purser
Fruita City Councilor

From: Philip Carlton <philip.carlton@gmail.com>
Sent: Friday, August 2, 2024 2:36 PM
To: Jeannine Purser <jpurser@fruita.org>
Subject: Your thoughts on Xcel's plan to build towers in the Fruita Riverfront Park

Hey Jeannine,

Since you and Andrea are the two council members I see regularly, I thought I'd ask for your perspective on something going to the planning committee in a few weeks.

Have you as a council member been briefed on Xcel's plans to build a new high energy line straight through the Fruita Riverfront Park? What's your perspective on the project?

It seems odd to me that a proposal to add three 60-85 foot metal transmissions towers in an arrangement that perfectly bisects a city park would not have any signage to notify those who use that park. Not to mention permanently marring the classic view as one travels across the river.

I've emailed Marc with Parks and Rec and Mike B about it for more info, but right now I'm just confused as to what to expect when the proposal goes to the planning committee for a vote on 8/13. I'm actually surprised that the city council doesn't have a say in the matter considering it's a major and permanent change to one of the cities most visible (but least visited) parks.

I get that Xcel needed to replace those lines and the first step is for them to submit a proposal, but it seems obvious to everybody I've shared the plans with that it's just Xcel proposing the easiest and most inexpensive solution to a necessary line replacement. I am totally alone in thinking that Fruita should be preserving its limited park space at the same time it's approved a massive increase in housing on the south side of town? Or is the Riverfront Park really of no value to the town because it's a flood zone?

A lot of people moved here from cities because we didn't want to recreate under the buzz of transmission lines anymore, and so far the people in my neighborhood who have seen the plans have been somewhere between horrified and mystified that they even would need to show up to a planning meeting to object to basically giving away our park space because it's cheaper for a billion dollar company than having to get an easement along the currently empty new development or along kingsview road.

So if I and others show up to the planning meeting, what should we expect? Are we missing something? Has Xcel been in talks with the city about this for a while and was building towers and possibly an access road in the park always the city's preferred plan?

I get that you might not know of anything about this plan, as the proposal was only made last month by Xcel But since I care about preserving our limited parks space and since literally nobody in town actually likes Xcel or owes them anything, it seemed like something worth fighting. I've painted in that park and views of it, and it's frustrating

seeing the city even consider cutting it in half so to speak.

Thanks,

Philip Carlton

651.261.7750

642 Kaley St. Fruita CO

www.pacarlton.com

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From: [Mary Elizabeth Geiger](#)
To: [Mike Bennett](#); [Dan Caris](#); [Henry Hemphill](#)
Subject: FW: ATTORNEY-CLIENT PRIVILEGED COMMUNICATION - Do not reply all - Time sensitive
Date: Tuesday, September 10, 2024 2:24:14 PM

See below – public comment

Mary Elizabeth Geiger
Senior Counsel

Garfield & Hecht, P.C.
Aspen | Avon | Carbondale | Denver | Glenwood Springs

910 Grand Ave., Suite 201
Glenwood Springs, Colorado 81601
Phone: (970) 947-1936 x813
Facsimile: (970) 947-1937
Cell: (970) 452-9047**
Email: megeiger@garfieldhecht.com
Webpage: www.garfieldhecht.com

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From: Andrea Downs <adowns@fruita.org>
Sent: Tuesday, September 10, 2024 2:12 PM
To: Mary Elizabeth Geiger <megeiger@garfieldhecht.com>
Subject: Re: ATTORNEY-CLIENT PRIVILEGED COMMUNICATION - Do not reply all - Time sensitive



Philip Carlton
To You

Aug 2

...

Hey Andrea,

Have you as a council member been briefed on Xcel's plans to build a new high energy line straight through the Fruita Riverfront Park? What's your perspective on the project?

It seems odd to me that a proposal to add three 60-85 foot metal transmissions towers in an arrangement that perfectly bisects a city park would

arrangement that perfectly blocks a city park that not have any signage to notify those who use that park. Not to mention permanently marring the classic view as one travels across the river.

I've emailed Marc with Parks and Rec and Mike B about it for more info, but right now I'm just confused as to what to expect when the proposal goes to the planning committee for a vote on 8/13. I'm actually surprised that the city council doesn't have a say in the matter considering it's a major and permanent change to one of the cities most visible (but least visited) parks.

I get that Xcel needed to replace those lines and the first step is for them to submit a proposal, but it seems obvious to everybody I've shared the plans with that it's just Xcel proposing the easiest and most inexpensive solution to a necessary line replacement. I am totally alone in thinking that Fruita should be preserving its limited park space at the same time it's approved a massive increase in housing on the south side of town? Or is the Riverfront Park really of no value to the town because it's a flood zone?

A lot of people moved here from cities because we didn't want to recreate under the buzz of transmission lines anymore, and so far the people in my neighborhood who have seen the plans have been somewhere between horrified and mystified that they even would need to show up to a planning meeting to object to basically giving away our park space because it's cheaper for a billion dollar company than having to get an easement along the currently empty new development or along kingsview road.

So if I and others show up to the planning meeting, what should we expect? Are we missing something? Has Xcel been in talks with the city about this for a while and was building towers and possibly an access road in the park always the city's preferred plan?

I get that you might not know of anything about this plan, as the proposal was only made last month by Xcel But since I care about preserving our limited parks space and since literally nobody in town actually likes Xcel or owes them anything, it seemed like something worth fighting. I've painted in that park and views of it and it's frustrating seeing the

park and views of it, and it's frustrating seeing the city even consider cutting it in half so to speak.

Philip Carlton

651.261.7750

642 Kaley St. Fruita CO

www.pacarlton.com

iMessage
Tue, Aug 13 at 6:38 PM

Hello Coucilor, I'm texting to alert you as a Fruita resident that I'm adamantly opposed to the towers and route offered by Xcel for the new neighborhood by King's View. Their proposal is obviously the cheap way out when the lines could be buried facing one of the best view sheds on the CO River and next to the monument and wilderness areas we all love so much. Make them dip into their very deep pockets to do the right and best way for future. That unobstructed view is why I moved my business and life here. Thank you. Elliott Ramage 977 Red Globe DR. 🙏

On Sep 10, 2024, at 12:03 PM, Mary Elizabeth Geiger <megeiger@garfieldhecht.com> wrote:

Mayor and City Council – just a reminder to please forward any public comments that you have received regarding the Xcel re-alignment/upgrade project that is going before P&Z to Mike and myself ASAP. The hearing is scheduled for tonight though Xcel has requested a continuance.

Thanks,

Mary Elizabeth

Mary Elizabeth Geiger

Senior Counsel

Garfield & Hecht, P.C.

Aspen | Avon | Carbondale | Denver | Glenwood Springs

910 Grand Ave., Suite 201

Glenwood Springs, Colorado 81601

Phone: (970) 947-1936 x813

Facsimile: (970) 947-1937

Cell: (970) 452-9047**

Email: megeiger@garfieldhecht.com

Webpage: www.garfieldhecht.com

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From: [Mary Elizabeth Geiger](#)
To: [Mike Bennett](#); [Dan Caris](#); [Henry Hemphill](#)
Subject: Public comment- Xcel
Date: Tuesday, September 10, 2024 2:25:43 PM

See below, public comment

Mary Elizabeth Geiger
Senior Counsel

Garfield & Hecht, P.C.
Aspen | Avon | Carbondale | Denver | Glenwood Springs

910 Grand Ave., Suite 201
Glenwood Springs, Colorado 81601
Phone: (970) 947-1936 x813
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Cell: (970) 452-9047**
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Webpage: www.garfieldhecht.com

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From: Andrea Downs <adowns@fruita.org>
Sent: Tuesday, September 10, 2024 2:17 PM
To: Mary Elizabeth Geiger <megeiger@garfieldhecht.com>
Subject: Re: ATTORNEY-CLIENT PRIVILEGED COMMUNICATION - Do not reply all - Time sensitive

Found one more. Thanks, Mary Elizabeth!



Philip Carlton
To You

Aug 5
...

Thanks for the reply!

Mike told me the city has already expressed that the lines need to be rerouted or buried to avoid the park, so I'm glad to hear that's already the official position. I'll still be at the meeting.

I think Xcel hasn't really tried to inform people, between not putting signage up in the park (although that's the city's job, not Xcel) and in the PDF not making it abundantly clear the the old wood poles that run through Kingsview are getting replaced with 80 foot metal towers (leading some people to believe that the new transmission towers will be the same as the rather unobtrusive existing ones.).

I'll be at the public commentary either way.

- Philip

...

On Sep 10, 2024, at 2:12 PM, Andrea Downs <adowns@fruita.org> wrote:

<image3.jpeg>

<image2.jpeg>

Sent from my iPad

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Kelli McLean

From: Sydney Paris <sydneyparis68@gmail.com>
Sent: Tuesday, September 10, 2024 6:13 PM
To: Kelli McLean
Subject: XCEL Line

I am adamantly opposed to the Xcel plan for the overhead line. I just got home from work and am unable to make the meeting at 6pm.

Thank you,
Sydney Paris
1261 wolf creek ct
Fruita, CO
970-210-0091

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Kelli McLean

From: Karen Waddell <mtngrlz@yahoo.com>
Sent: Wednesday, September 11, 2024 9:57 AM
To: Kelli McLean
Subject: Xcel power line proposal

To whom it may concern,

As a Colorado native and avid hiker in the area known as Devil's Canyon, I would strongly oppose the construction of the Xcel overhead power line. This would detract greatly from the natural beauty of this majestic canyon area.

Additionally, if these overhead power lines are installed I suspect we ALL would be exposed to a greater wildland fire risk! Think the California fires where the power lines were never properly maintained and resulted in fires that destroyed multiple communities.

Thank you for your service and time.

Respectfully submitted,

Karen Waddell

Ret. LEO and Wildland Fire Fighter

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From: [Henry Hemphill](#)
To: [Selvidge, Delaney L](#); [Marc Mancuso](#); [Chris Dehmel](#)
Cc: [Woehler, Angelina P \(Angie\)](#); [Blake Stone](#); [Nick Newbold](#); [Merrill, Steve](#); [Chester, Jennifer L](#); [McCloud, Brad D](#); [Mike Bennett](#); [Dan Caris](#)
Subject: RE: Fruita transmission line project
Date: Tuesday, August 27, 2024 2:46:00 PM
Attachments: [image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)
[image009.png](#)

All,

I can appreciate wanting to work through some concerns submitted as public comments. As it stands now, we still have a pending Land Use Application with a scheduled public hearing date of Tuesday, September 10th with the Planning Commission. With that, the City of Fruita's review comments and conditions still stand and will be discussed at the Planning Commission meeting.

Thanks,

Henry Hemphill
City Planner
970-858-0786



From: Selvidge, Delaney L <Delaney.L.Selvidge@xcelenergy.com>
Sent: Tuesday, August 27, 2024 11:12 AM
To: Marc Mancuso <mmancuso@fruita.org>; Chris Dehmel <cdehmel@fruita.org>
Cc: Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>; Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>; Nick Newbold <nicholas.newbold@ulteig.com>; Merrill, Steve <Steve.Merrill@xcelenergy.com>; Chester, Jennifer L <Jennifer.L.Chester@xcelenergy.com>; McCloud, Brad D <Brad.D.McCloud@xcelenergy.com>; Mike Bennett <mbennett@fruita.org>
Subject: Re: Fruita transmission line project

Hi Marc and Chris,

Wanted to follow up with you. Do you feel that a visit to the site would be helpful for working through any remaining concerns related to the disc golf course?

Thank you,

Delaney

Delaney Selvidge

Xcel Energy

Senior Agent, Siting & Land Rights

1800 Larimer Street, Suite 400, Denver, CO 80202

C: 303-285-6467

E: Delaney.L.Selvidge@xcelenergy.com

she/her/hers

From: Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>

Sent: Wednesday, August 21, 2024 5:11 PM

To: Marc Mancuso <mmancuso@fruita.org>; Nick Newbold <nicholas.newbold@ulteig.com>; Chris Dehmel <cdehmel@fruita.org>

Cc: Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>; Selvidge, Delaney L <Delaney.L.Selvidge@xcelenergy.com>; Merrill, Steve <Steve.Merrill@xcelenergy.com>; Chester, Jennifer L <Jennifer.L.Chester@xcelenergy.com>; McCloud, Brad D <Brad.D.McCloud@xcelenergy.com>; Mike Bennett <mbennett@fruita.org>

Subject: RE: Fruita transmission line project

EXTERNAL - STOP & THINK before opening links and attachments.

Hi Marc and Chris-

The team and I met and we have answers to the questions Josh with the Grand Valley Disc Golf Club brought up.

The access road is already fairly flat, and significant grading is not expected. Access roads and construction area around the poles will however need to be relatively flat for truck access. By no means will the entire course be flattened under the lines. All work areas would be restored to previous conditions and no fences will be placed around the poles or under the transmission line.

We also spoke about the duration of construction and how that may impact the course. During construction, for safety issues we would need folks out of the work areas surrounding the poles for approximately 4-6 hours for three to four days. During the wire pulling it could take up to 5 days and we would need the course cleared for that activity for safety reasons. We would coordinate with you for proper noticing.

Have all of the concerns regarding the disc golf course been addressed? If you have further questions or concerns we are more than happy to have another on-site meeting to discuss.

Respectfully,

Angie Woehler

Angie Woehler \ Burns & McDonnell

From: Marc Mancuso <mmancuso@fruta.org>

Sent: Monday, August 19, 2024 3:18 PM

To: Nick Newbold <nicholas.newbold@ulteig.com>; Chris Dehmel <cdehmel@fruta.org>; Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>

Cc: Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruta.org>; Selvidge, Delaney L <Delaney.L.Selvidge@xcelenergy.com>; Merrill, Steve <Steve.Merrill@xcelenergy.com>; Jennifer.L.Chester <Jennifer.L.Chester@xcelenergy.com>

Subject: RE: Fruita transmission line project

Nick,

I was able to connect and meet with the Grand Valley Disc Golf Club and walked the course with Joshua Fritz last week. We were able to review the locations of the transmission line poles and how it would affect the course. The reroute that we worked on to avoid large cottonwood trees and play for the course was well received by Joshua. He was very pleased that the poles were placed in a fashion that didn't affect the play of the course.

Josh did bring up a couple of concerns that he wanted some additional information on. The first concern is the access road and what that will do to the course. There are a lot of hills and features that make this course unique. Will the access road require that they flatten the entire course under the lines? If so, that would negatively impact the course. The second concern is access, they want to make sure that there would be no fences around poles or under the transmission lines. They have seen a few courses on the front range have large portions of the course fenced off preventing access to get discs.

Please let me know if you have any other questions.

"Learn something new every day and say yes more often!"

Marc Mancuso CPRP | Parks and Recreation Director | City of Fruita, Co

(970) 858 – 0360 ext 6400 | mmancuso@fruta.org

www.fruita.org

www.gofruita.org

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From: Nick Newbold <nicholas.newbold@ulteig.com>
Sent: Monday, August 19, 2024 2:47 PM
To: Chris Dehmel <cdehmel@fruita.org>; Marc Mancuso <mmancuso@fruita.org>; Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>
Cc: Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>; Selvidge, Delaney L <Delaney.L.Selvidge@xcelenergy.com>; Merrill, Steve <Steve.Merrill@xcelenergy.com>; Chester, Jennifer L <Jennifer.L.Chester@xcelenergy.com>
Subject: RE: Fruita transmission line project

Hello Chris,

I wanted to check back in with you on how staking went. Were you able to get the structures staked and have your stakeholders had a chance to review? Are there any questions or concerns about locations? If needed we can work to get someone out there to stake the structures.

We would also be interested in meeting with folks onsite to review the locations and discuss any additional considerations.

Please let me know your thoughts.

Thank you,



Nick Newbold , PE (UT, CO, IN, NV)
Technical Manager
2750 East Cottonwood Parkway, Ste 220 • Salt Lake City, UT 84121
Direct: [\(720\) 826-7240](tel:7208267240) • **Mobile:** [\(385\) 303-3474](tel:3853033474)
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From: Chris Dehmel <cdehmel@fruita.org>
Sent: Friday, August 9, 2024 2:49 PM
To: Nick Newbold <nicholas.newbold@ulteig.com>; Marc Mancuso <mmancuso@fruita.org>; Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>
Cc: Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>
Subject: RE: Fruita transmission line project

External Sender Warning: Proceed with Caution!

Perfect! Thanks Nick.

Thanks,

Chris Dehmel

Project Manager

City of Fruita

(970) 210-0716 c

(970) 858-8377 o

(970) 858-0210 f

From: Nick Newbold [<mailto:nicholas.newbold@ulteig.com>]

Sent: Friday, August 9, 2024 2:46 PM

To: Marc Mancuso <mmancuso@fruita.org>; Chris Dehmel <cdehmel@fruita.org>; Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>

Cc: Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>

Subject: RE: Fruita transmission line project

Hello Chris,

Thanks for the call. Please see the attached KMZ of the structure locations per our discussion. Please don't hesitate to reach out if there is anything else you need.



Nick Newbold, PE (UT, CO, IN, NV)

Technical Manager

2750 East Cottonwood Parkway, Ste 220 • Salt Lake City, UT 84121

Direct: [\(720\) 826-7240](tel:7208267240) • **Mobile:** [\(385\) 303-3474](tel:3853033474)

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From: Nick Newbold

Sent: Friday, August 9, 2024 7:08 AM

To: Marc Mancuso <mmancuso@fruita.org>; Chris Dehmel <cdehmel@fruita.org>; Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>
Cc: Blake Stone <BLAKE.STONE@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>
Subject: RE: Fruita transmission line project

Hello Marc and Chris,

Please see the staking coordinates below for structures 7-10 which we anticipate in the park. I have also included 6 and 11 for reference. Please let me or Angie know if you need additional information.

Structure Number	X Easting (ft)	Y Northing (ft)	Z Elevation (ft)
6683-6-DE	2281833.392	14221156.66	4479.136
6683-7-DE	2281461.95	14221425.22	4476.122
6683-8	2281246.95	14221925.22	4476.511
6683-9-DE	2280776.95	14222305.22	4476.935
6683-10	2280319.762	14222307.7	4522.024
6683-11	2279957.54	14222309.66	4528.748

UTM Zone 12N, WGS84, US Survey Feet



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From: Marc Mancuso <mmancuso@fruita.org>
Sent: Thursday, August 8, 2024 12:16 PM
To: Chris Dehmel <cdehmel@fruita.org>; Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>
Cc: Nick Newbold <nicholas.newbold@ulteig.com>; Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>
Subject: RE: Fruita transmission line project

External Sender Warning: Proceed with Caution!

Thank you! I will contact the disc golf foundation and let them know when we get these laid out so we can meet on site.

I appreciate your quick response!

"Learn something new every day and say yes more often!"

Marc Mancuso CPRP | Parks and Recreation Director | City of Fruita, Co

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www.fruita.org

www.gofruita.org

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From: Chris Dehmel <cdehmel@fruita.org>

Sent: Thursday, August 8, 2024 11:01 AM

To: Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>

Cc: Marc Mancuso <mmancuso@fruita.org>; Nick Newbold <nicholas.newbold@ulteig.com>; Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>

Subject: RE: Fruita transmission line project

Thanks Angie. Marc, I'll lay these out when I get info from their engineers.

Thanks,

Chris Dehmel

Project Manager

City of Fruita

(970) 210-0716 c

(970) 858-8377 o

(970) 858-0210 f

From: Woehler, Angelina P (Angie) [<mailto:apwoehler@burnsmcd.com>]
Sent: Thursday, August 8, 2024 9:50 AM
To: Chris Dehmel <cdehmel@fruita.org>
Cc: Marc Mancuso <mmancuso@fruita.org>; Nick Newbold <nicholas.newbold@ulteig.com>; Blake Stone <blake.stone@ulteig.com>; Henry Hemphill <hhemphill@fruita.org>
Subject: RE: Fruita transmission line project

Hi Chris-

I have cc'ed our engineers to send you the correct data. I also attached the maps that we used to work with you all in late 2022 and early 2023 to update our route through this area. The map shows the original route which was closer to the cliff and we adjusted it based on various inputs to move it to the opening in the center to avoid trees and to avoid the path of play for the course.

Thanks and let me know if there is anything else you need.

Respectfully,

Angie Woehler

Angie Woehler \ Burns & McDonnell

O 720-464-2586 \ C 303-842-3847

From: Chris Dehmel <cdehmel@fruita.org>
Sent: Thursday, August 8, 2024 9:07 AM
To: Woehler, Angelina P (Angie) <apwoehler@burnsmcd.com>
Cc: Marc Mancuso <mmancuso@fruita.org>
Subject: Fruita transmission line project

Hi Angie

We'd like to stake out the locations of the poles through our disc golf park. Could you send me a kmz file (or GIS, CAD, etc) so I can go out there and do that? Thank you in advance.

Thanks,

Chris Dehmel

Project Manager

City of Fruita

(970) 210-0716 c

(970) 858-8377 o

(970) 858-0210 f

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A. CALL TO ORDER

Five Planning Commissioners were in attendance. (Anthony Farinacci, Mel Mulder, Derek Biddle, Josh McGuire, and Michael Handley were present.)

B. PLEDGE OF ALLEGIANCE

Commissioner Biddle led the Pledge of Allegiance.

C. AMENDMENTS TO THE AGENDA

None.

D. APPROVAL OF THE AGENDA

COMMISSIONER MULDER MOVED TO APPROVE THE AGENDA WITH THE CHANGE

COMMISSIONER HANDLEY SECONDED THE MOTION

MOTION PASSED 5-0

E. WITHDRAWN ITEMS

None

F. CONTINUED ITEMS

Application #:	2024-08
Application Name:	6683 Transmission Line Rebuild
Application Type:	Conditional Use Permit
Applicant:	XCEL Energy
Location:	From the Fruita Substation to the Uintah Substation
Description:	This is a request for approval of a Conditional Use Permit to reroute and rebuild approximately four (4) miles of transmission lines from the Fruita substation to the Uintah Substation.

There was another continuance request from the applicant for Application 2024-08 6683 Transmission Line Rebuild. The hearing item has been moved to October 8, 2024.

Mr. Hemphill explained that the City was supportive of the continuance request to work with staff and other review agencies that have commented to ensure the review comments were resolved ahead of time, and that there's adequate information to share with the public about that. He discussed the order of operations.

Mr. Dan Caris stated that the Planning Commission had a decision to make about whether they're going to make a motion and a second to continue the item. They can certainly make a motion to continue the item, but before doing so, since this technically is opening the item, they could take public testimony, and that could live with the record the same way that any of the information that's brought before them via email, the front counter or sent to anybody. He added that it lived with the record.

Mary Elizabeth Geiger, City Attorney, advised the Planning Commission. She stated that what they could do is the item has been opened and there's been a request for a continuance. If they wanted to open it to public comment they could go ahead and take public comment tonight on the item, knowing that there's not going to be a staff presentation or applicant presentation, but those comments that are made tonight will be made part of the record that follows this item. If they were inclined to hold some public comment tonight, they would do that first and then move for the continuance, because once they moved for a continuance and its granted it closes this item.

The Planning Commission allowed the public to give testimony.

Commissioner Biddle invited the public up to the podium to speak.

Vera Mulder, a resident of 983 East Pabor Avenue since 1986, recalled a significant event involving a fire near Snooks Bottom and Opal Circle. She mentioned that the fire was caused by a transformer from Excel Energy. According to Mulder, the blaze fortunately was contained to a very narrow path and ended at the water, limiting its spread. This incident has left her with a deep distrust of Excel Energy, and she criticized the company for their tendency to keep "pushing the can down the road." Mulder emphasized that this concern should be taken seriously and considered carefully.

Daniel Emery, who lives at 930 Squire Court, began by apologizing for speaking out of line, emphasizing that he meant no disrespect. He then expressed his frustration, stating that it is "silly" to place suspended high-voltage power lines above a flood plain where citizens regularly recreate. Emery pointed out that children could be playing disc golf with power lines overhead in a flood zone, which he argues is approved merely because Excel Energy does not want to spend the money to bury the lines. He highlighted that Excel Energy reported \$300 billion in revenue last quarter, with a net income of over \$300 million, and questioned why the company would not invest in such a crucial safety measure. Emery suggested that if this were Vail or Aspen, such lines would not be placed where people did not want them. He concluded by urging that the safety of the community and investment in the future should be prioritized.

Dave Karisny, residing at 917 Squire Court, introduced himself and shared his long-standing connection to Kingsview, which is next to the flood plain where part of the transmission line is set to go through. Having lived there for 34 years, Karisny has taken on the role of HOA historian. He recounted his participation in the annual HOA meeting that took place last Wednesday, during which the transmission line project was briefly discussed. Karisny presented and read aloud a letter from the HOA, included in the packet provided to the commission. The letter reads:

"Dear Fruita Planning Commission,

At our Annual Kingsview HOA meeting on Sept 4, we had the opportunity to talk with our homeowners regarding EXCEL's proposed transmission line rebuilt. As per the project narrative from XCEL, we are pleased that the project will reroute the current lines around and not through the residential area of Kingsview, maintain the viewshed of the Colorado National Monument, avoid sensitive recreational areas, and provide critical updates for safety.

We do share the concern expressed by the City of Fruita related to how the proposed lines and new poles will impact our area, particularly the Fruita Riverfront Park just to the north of Kingsview and would request that the **new lines there be placed underground**. Again, thank you for the opportunity to comment on this project.”

Scott Spodee, President Kingsview Homeowners Association

Karisny concluded by thanking the commission for their time.

Philip Carlton, who lives at 642 Kaley Street, started by apologizing in advance for likely repeating himself at future meetings. He brought a visual aid, which he noted might be uncommon, and mentioned that he didn’t think there was anything new he could add about Riverfront Park. Carlton, an artist and Co-chair of the Fruita Arts and Culture Board, stated that he wanted to discuss his broader perspective on the proposal.

Carlton explained that he currently has a show at the Art Center in Western Colorado, featuring paintings from Opal Hill, Snooks Bottom, Riverfront Park, and Kingsview Road. He described these areas as beautiful and stated he finds them more appealing than painting in the National Monument. As a city board member, Carlton often deals with balancing different interests, but he emphasized that there is a rare opportunity to do something that benefits everyone in the city. He noted that the objections to elevated lines in Riverfront Park are self-evident and align with the city’s official position.

Carlton appreciated that the proposed plan reduces the impact on private land, which he sees as a positive aspect of sustainable and ethical development. However, he criticized the plan for degrading every foot of public land it traverses by involving elevated lines, which he argues will harm the land, increase fire risks, and lead to more service demands and outages in the future. He cited a recent Instagram video showing a trail runner in an area where towers would be built if the plan proceeds.

Carlton suggested that everyone in town could agree that the plan would be acceptable if the lines were buried. He argued that, in 2024, a city that values itself should require utilities to bury new power lines. While acknowledging that it costs more, he argued it’s better for future generations. Carlton also expressed concern about how the current plan shifts elevated lines to the south side of Kingsview Road, increasing the lifetime fire risk for the Devil's Canyon area and equestrian trails by moving away from Kingsview Road as a natural firebreak.

He concluded by recommending that the city clearly communicate to Excel Energy that any use of public lands for transmission lines should include burying the lines. He urged that this approach would address the issues with the current lines and improve the land for future generations.

Nicole Zaatar, who lives at 600 Birchwood Court, began by noting that this was her first time attending such a meeting and that she found it enjoyable. She shared that when she and her partner moved to Fruita years ago, they had the flexibility to relocate anywhere in the United States. They explored various locations, including California, Fruita, and Montrose, and

ultimately chose Fruita because of its trails. Zaatari emphasized that these trails are important to many in the community, including bikers, equestrians, runners, and families.

She expressed concern about the permanent impact of altering the landscape, particularly with the installation of power lines. Zaatari pointed out that the trails and public spaces are key reasons why people, including herself and many others, decided to settle in Fruita. She warned that compromising these areas could lead to further encroachments.

Zaatari also addressed concerns about Excel Energy, noting that while it may not be PG&E, the company's track record is troubling. She highlighted that over the past couple of decades, there have been 32,000 wildfires in the United States caused by overland electric lines, including the well-known Camp Fire in California, for which PG&E was found responsible due to inadequate maintenance. She also mentioned the Marshall Fire of 2021 in Colorado, which Excel is alleged to have caused, resulting in \$2 billion in damage.

Zaatari criticized Excel Energy's reluctance to bury power lines due to cost concerns, arguing that this decision shifts the financial burden onto local residents through increased insurance premiums and other costs. She emphasized that Fruita's public lands and trail systems make it stand out from other towns and contribute to its unique appeal.

In her conclusion, Zaatari urged the commission to consider the future of Fruita and the potential impact on the community when making decisions about the proposed changes to the area.

Elliot Ramage, who resides at 977 Red Globe in Fruita, introduced himself and mentioned that he is new to the area. He shared that he had the opportunity to move anywhere but chose Fruita due to its natural beauty and the preservation of its view sheds. Ramage, who previously lived in Wyoming, expressed his frustration with the harsh weather conditions there and emphasized that the trails and natural beauty in Fruita were significant factors in his decision to relocate.

Ramage noted that he hikes the local trails almost every day of the week, even in January, and was astonished by the idea of compromising this primary asset of the town with new power lines. He compared the situation to his experiences in Wyoming, where large companies often pushed their weight around, leading to negative impacts on local communities.

He described his business, which involves guiding people to beautiful locations worldwide, and explained that Fruita is where he chose to invest in a retirement home and become part of the community. Ramage criticized the existing power poles as the "ugliest thing" in the area and expressed concern about the addition or relocation of poles. He offered to share pictures he took of the power poles to illustrate their visual impact.

Ramage also expressed frustration with the lack of community awareness regarding planning meetings, noting that he discovered this meeting through local groups and acknowledging that many new residents might not be aware of such events. He pointed out that tonight's election debate might draw attention away from the meeting but emphasized that many people he has spoken with share his views about preserving the area's beauty.

He concluded by stressing that Fruita is a special place with a unique opportunity to protect its natural charm, urging the commission to consider the long-term impact on the community and to make decisions that preserve the town's special qualities.

Marion Claussen, who lives at 926 Laura Court in Fruita, identified herself as a resident of Kingsview Estates. She stated that she agrees with the other speakers and believes that the power lines should be buried underground. Claussen emphasized the need for the city to be strong and assertive, saying, "We should be strong for our community. We should be strong for our tourists." She pointed out that tourists are a significant source of revenue and suggested that many new residents, including herself, were once tourists who chose to stay after discovering Fruita.

Claussen shared that she found Fruita 35 years ago and highlighted that many others might have similar stories. She acknowledged the need for cooperation between the city and Excel Energy but stressed that, looking towards the future, the city should not settle for "cables and wires and obstructed views" in one of the most beautiful areas in the country.

She concluded by urging the commission to stand firm and insist that the lines be buried. Claussen thanked the commission for their time and noted that she would be present at the meeting in October.

COMMISSIONER MULDER MOVED THEY CONTINUE APPLICATION 2024-08 6683 TRANSMISSION LINE REBUILD CONDITIONAL USE PERMIT TO OCTOBER 8 FROM TODAY.

COMMISSION HANDLEY SECONDED THE MOTION
MOTION PASSED 5-0

G. CONSENT ITEMS

APPROVAL OF MINUTES:

August 13, 2024, Planning Commission meeting.

COMMISSIONER MULDER MOVED TO APPROVE THE MINUTES AS PRINTED.

COMMISSINER HANDLEY SECONDED THE MOTION

MOTION PASSED 4-0 (Commissioner Biddle abstained from the vote as he wasn't present at the last Planning Commission meeting).

H. PUBLIC HEARING ITEMS

Application #:	2024-09
Application Name:	Title 17 – Land Use Code Amendments
Application Type:	Land Use Code Amendments
Representative:	City of Fruita
Description:	This is a request for approval of amendments to Title 17 of the Fruita Municipal Code concerning Conditional

Uses in Section 17.05.090, Call Up Provisions in Section 17.21.030 (2), Appeals in Section 17.25, and the Exempt Signs in the Sign Code in Section 17.15.040.

Mr. Henry Hemphill, City Planner, gave the Staff presentation. He gave a synopsis of the Land Use Code amendments.

Slide 1 – Introduction

Land Use Code Amendments (LUCA's)

Slide 2 – Overview

- Conditional Use Permits
- Call-Up Provisions
- Appeals
- Sign Code

Slide 3 – Conditional Use Permits

- Mr. Hemphill showed Table 17.05.090 in the Fruita Land Use Code. He specifically showed Fuel Sales, Automotive / Appliance (not including Drive-Up/Drive Through uses) and Fuel Sales, Heavy Vehicle (not including Drive-Up / Drive-through Uses).

Slide 4 – Call-Up Provisions

- Call up provisions allow for additional communication to City Council and/or Planning Commission on Preliminary Plans and Site Design Review applications

Slide 5 – Appeals

- Not to “re-hear” the application in question.
- Finding that there was a denial of due process, or the administrative body has acted arbitrarily and capriciously, exceeded its jurisdiction or abused its discretion

Slide 6 – Sign Code

- Supreme Court rulings directly related to the 1st Amendment of the United States Constitution regulating what a sign says.
- Changes to exempt signs (signs that don't require a permit)
 - Flags, yard signs, religious symbols, etc.

Slide 7 – Review Criteria

- Section 17.09.080 (B)
- Amendments consistent with the city's goals, policies and Comprehensive Plan.

- Continue to review the Land Use Code and make sure our Code is in alignment with the direction of the City.
- Some amendments required by law do occur.

Slide 8 – Public Comments

- No written public comments have been received by Staff at this time.

Slide 9 – Legal Notice

- Section 17.07.040 (E)(3):
- Legal Notice in Paper- August 23, 2024 (18 days prior to public hearing)
- Posted Legal Notice (Civic Center)- August 23, 2024 (18 days prior to public hearing)

Slide 10 – Suggested Motion – pg. 113

- Mr. Chair, because the proposed amendments meet or can meet Section 17.09.080 (B) of the Fruita Land Use Code, I move we recommend **approval** of the proposed Land Use Code amendments to the Fruita City Council.

Slide 11 – Next Steps

- Ordinance to City Council on October 1, 2024, public hearing.

Mr. Hemphill concluded his presentation.

Commissioner Biddle thanked him and opened the meeting to public comment.

Mr. Daniel Emery asked if there was anything with these proposed changes that would allow Excel to build?

Commissioner Biddle stated that this was unrelated to that topic.

Mr. Emery stated that he wanted to make sure there was no back door hidden that would let things go through. He thanked them for their time.

Mary Elizabeth Geiger reminded the Commission not to respond to public comments or engage in questions and answer with the public.

Commissioner Biddle opened the meeting to Planning Commission discussion.

Commissioner Handley commented on the sign ordinance. He said he has seen this story before a few times, unless the city adopts some enforcement mechanism for the signage, political signs in particular, the ordinance will be ignored. He felt that they needed an enforcement mechanism for the signage.

Commissioner Biddle said that he was happy with everything that they have put forward. He closed the meeting to discussion and asked for a motion.

COMMISSIONER MCGUIRE MOVED BECAUSE THE PROPOSED AMENDMENTS MEET OR CAN MEET SECTION 17.09.080 (B) OF THE FRUITA LAND USE CODE, I MOVE WE RECOMMEND APPROVAL OF THE PROPOSED LAND USE CODE AMENDMENTS TO THE FRUITA CITY COUNCIL.

COMMISSIONER HANDLEY SECONDED THE MOTION

MOTION PASSED 5-0

I. OTHER BUSINESS

1. Community Development Updates

Mr. Hemphill gave development updates on the following:

- Fruita Mews
- LDS Church
- 535 W, Aspen
- The storage units on Highway 6 & 50
- Copper Creek West
- Iron Wheel filing 2
- The opening of Reed Park.

2. Visitors and Guests.

None

3. Other Business.

None

Adjournment 6:54 pm

Respectfully submitted,

Kelli McLean

Planning Technician, City of Fruita