



FRUITA
COLORADO

LAND DEVELOPMENT APPLICATION

Project Name: Dwell PUD
Project Location: 1136 17 1/2 Road, Fruita CO 81521
Current Zoning District: Community Residential Requested Zone: PUD
Tax Parcel Number(s): 2697-084-00-140 Number of Acres: 5.1 acres
Project Type: Final PUD Plan




Property Owner: Michael D. Maves Developer: Michael D. Maves
Property Owner: Maxine J. Maves, Darrin Wade Contact: Same as above
Address: 560 S. Commercial Dr. Unit #5 Address: 560 S. Commercial Dr. Unit #5
City/State/Zip: Grand Junction, CO 81505 City/State/Zip: Grand Junction, CO 81505
Phone: 970-234-0659 Fax: Phone: 970-234-0659 Fax:
E-mail: mmaves@mavesinc.com E-mail: mmaves@mavesinc.com

Please designate a representative as the coordinator for this application. The representative should attend all conferences/hearings, will receive all correspondence, and communicate all information to the property owners.

Owner Rep: Vortex Engineering & Architecture, Inc. Engineer: Vortex Engineering & Architecture, Inc.
Contact: Robert W. Jones II Contact: Robert W. Jones II
Address: 861 Rood Ave Address: 861 Rood Ave
City/State/Zip: Grand Junction, CO 81501 City/State/Zip: Grand Junction, CO 81501
Phone: 970-245-9051 Fax: Phone: 970-245-9051 Fax:
E-mail: rjones@vortexeng.us E-mail: rjones@vortexeng.us

This Notarized application authorizes the owner's representative, if designated, to act on behalf of the property owners regarding this application.

The above information is correct and accurate to the best of my knowledge.

Michael D. Maves		9-7-21
Name of Legal Owner	Signature	Date
Maxine J. Maves		9-7-2021
Name of Legal Owner	Signature	Date
Darrin Wade		9/7/2021
Name of Legal Owner	Signature	Date

STATE OF COLORADO)

) ss.

COUNTY OF MESA)

The foregoing instrument was acknowledged before me this 7th day of September, 2021

My Commission expires: May 15, 2023 Notary Public: Leslie Swett

LESLIE SWETT
NOTARY PUBLIC - STATE OF COLORADO
NOTARY ID 20154019369
MY COMMISSION EXPIRES MAY 15, 2023

**Project Report
Dwell Planned Unit Development -
Final PUD Plan and
Rezone from CR to PUD**

Date: September 8, 2021

Prepared by: Robert W. Jones II, P.E.
Vortex Engineering and Architecture, Inc.
861 Rood Avenue
Grand Junction, CO 81501
(970) 245-9051
VEI# F19-095

Submitted to: Fruita Planning & Development Department
325 E. Aspen Street
Fruita, CO 81521

Type of Design: Final PUD Plan and Rezone to PUD

Property Owner: Michael Maves, Maxine Maves, Darrin Wade
560 S. Commercial Drive, Unit 1
Grand Junction, CO 81505

Property Address: 1136 17 ½ Road
Fruita, CO 81521

Tax Parcel No: 2697-084-00-140

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Project Intent

This application is to request Final PUD Plan approval for the Dwell Planned Unit Development (PUD) and a rezone from the CR to the PUD zone district. This request supports the Fruita Comprehensive Plan's goal for a variety of housing types and infill development. The owner's intent is to construct a modern community with a hometown feel that embraces the uniqueness of Fruita.

Project Description

The subject property is located at 1136 17 ½ Road, Fruita and is approximately 4.85 acres. The Preliminary PUD Plan was approved by the Fruita City Council on May 4, 2021.

The Dwell Preliminary PUD Plan maintains the same design elements as the approved Preliminary PUD Plan, with a couple minor lot changes. Two duplex lot were moved to the south side of Singletrack Dr. and two single-family detached lots were moved to east side of Pivot St. This change is intended reduce the

visual impact on the surrounding neighbors and stagger the building types and associated building heights throughout the neighborhood. The internal street design, including an alternate street design for the internal street which was approved with the Preliminary Plan and use of alley loaded lots that face the internal park, have all been retained. The overall density is also the same as that approved with the Preliminary PUD Plan. The Final PUD Plan is consistent with the Preliminary PUD Plan approved on May 4, 2021.

The proposed 37 lot subdivision features single family detached and attached housing types with unique architectural designs that will be found only in this community. Attached single family dwelling units will include two, three, five and six dwelling unit buildings which are located throughout the development. A park with amenities will enhance the sense of neighborhood in this mixed housing development.

The Dwell PUD is being developed with the intent to create a special feeling of home and space; a community with welcoming porches, tree lined streets and an open space park for community activities such as community movie nights, youth sports practices with picnic and playground areas for families to

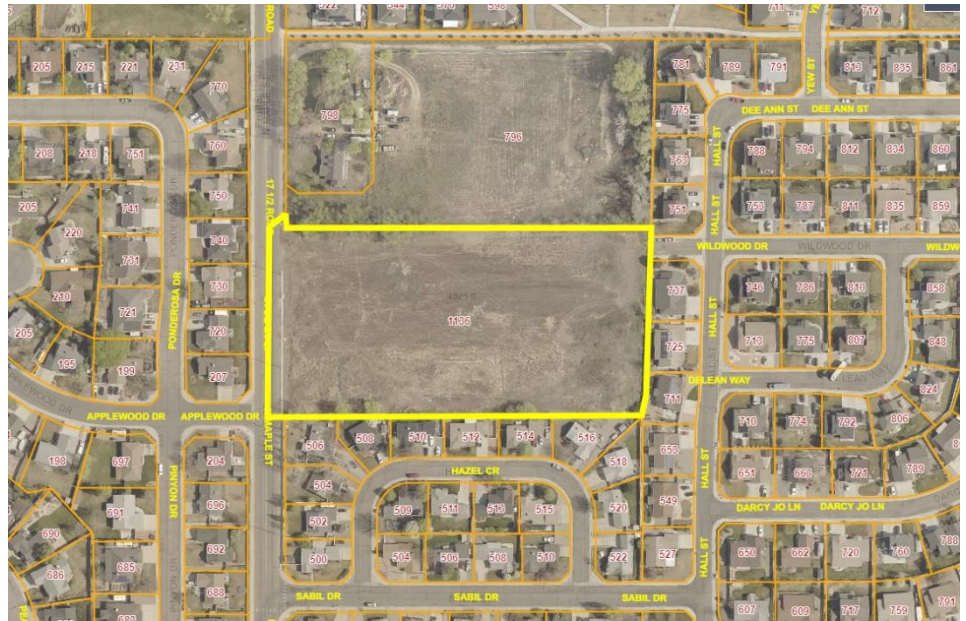


Figure 1 Site Location

gather together. The applicant's goal is to create a modern community where neighbors know each other and residents are proud to call this community their HOME.

The development is considered infill development because it is surrounded by existing development and will tie into existing infrastructure such as water and sewer services. Infill development is the most efficient use of development and helps reduce urban sprawl.

Alley loaded homes facing the park have access to additional off-street parking located at the south end of the park. The parking pod will be owned and maintained by the HOA as part of Tract B. Perimeter fencing will be constructed by the applicants as well as fencing within the park where homes face the open space or have a backyard that is oriented to the park.

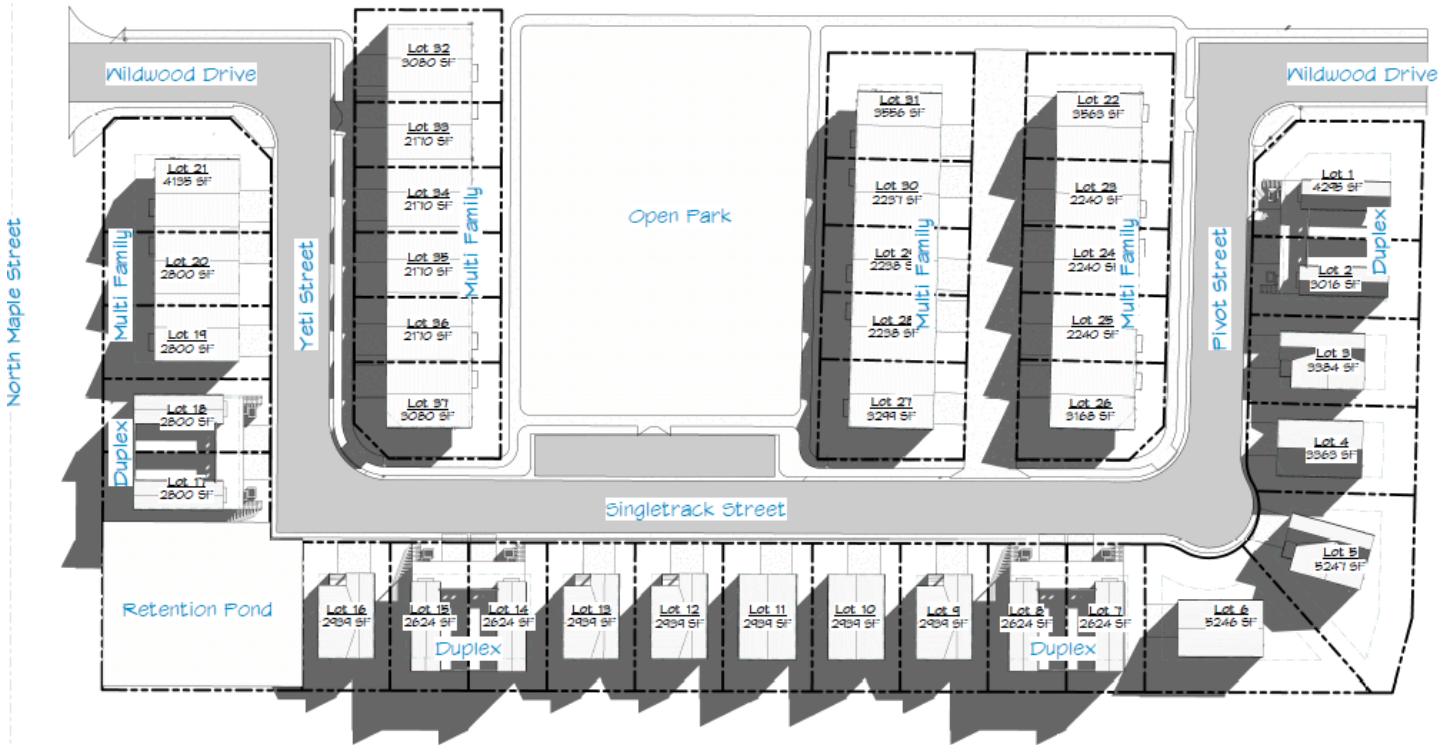


Figure 2 Lot Layout

The applicant's intent is to construct modern row houses that make efficient use of the site and provide attainable housing with both attached and detached single family dwelling units.

Figure 3 through Figure 8, displayed below, are color renderings of the street scape and individual examples of the proposed dwelling units that will be constructed within the Dwell PUD. Additional examples are also provided but only as examples of the intended architectural style. Architectural design standards will be included as part of the Dwell PUD Guide to maintain a consistent architectural theme throughout the development.



Figure 3 Project Rendering - Park



Figure 4 Project Rendering



Figure 5 Single-Family Attached Rendering



Figure 6 Rendering of Rear Elevations



Figure 7 Project Rendering – Lots 8-11



Figure 8 Project Rendering – Single-Family Detached

The exterior of all dwelling units shall be that of a modern urban cottage design. Clean lines with interaction with the street will be emphasized. All dwellings shall have at least one front facing porch or deck with a minimum of 60 square feet. Roof pitch shall be a minimum of 4/12 and flat roof accents will be allowed. Roofs on all structures shall be asphalt architectural shingles, metal, tile or slate material.

The outside façade of each structure shall be constructed of primarily wood or wood composite siding (such as Hardi) but not vinyl or other siding; wood, stone, brick, metal and/or stucco accents are allowed and encouraged. Exterior color schemes will be primarily earthen tones.

Community guidelines contained in the CC&Rs will include a limitation such that no recreational vehicle, camping trailer, snowmobile, boat trailer, hauling trailer, boat or truck larger than a 1 ton pickup truck shall be allowed to park on any lot, private street or private drive at any time other than for the construction or repair of structures on lots or within lots or common areas. The HOA will remove snow accumulations from all sidewalks and other impervious surface in or on common areas.

All design standards related to construction of homes and related improvements on each lot shall be governed by the CC&Rs and an HOA Architectural Control Committee which shall review and approve proposed plans for compliance with all PUD design standards prior to issuance of a Planning Clearance and Building Permit for construction.

Allowed Uses and Bulk Standards

The Dwell PUD is based on an underlying Community Residential (CR) zone district for purposes of allowed uses and the majority of bulk standards. There are some elements of the Dwell PUD bulk standards that are based on the Downtown Mixed Use (DMU) zone district as they relate to the minimum lot size for townhomes and zero setbacks with a common wall. Deviations from the underlying bulk standards have been shown in Table 1.

Allowed uses are limited to single-family attached and detached dwelling units, residential accessory uses, home occupations and child care/day care within the dwelling unit (home) and short-term residential property uses.

Home occupations shall be permitted as accessory to any permitted residential use subject to the Home Occupational standards of Section 17.07.070(B) of the Fruita Land Use Code in effect on January 1, 2020, which is the Land Use Code in effect at the time of this application. Home childcare, home daycare and residential accessory uses shall be allowed as defined and regulated by the Fruita Land Use Code in effect on January 1, 2020, which is the Land Use Code in effect at the time of this application.

Any home owner wishing to operate a short-term residential property shall be subject to the permitting requirements of the Fruita Land Use Code in effect on January 1, 2020, which is the Land Use Code in effect at the time of this application. It shall be the responsibility of the home owner to comply with all application and permitting requirements prior to operation of a short-term residential property.

Bulk standards for the Dwell PUD are based on a combination of the CR (Community Residential) and DMU (Downtown Mixed Use) zone districts. See the Dwell PUD Guide for specific information on the proposed bulk standards and allowed uses. Table 1 summarizes the proposed deviations from Section 17.07.060(I).

Height

Previously proposed height deviations that were incorporated in the Concept Plan and Preliminary Plan submittals has been rescinded. There is no proposed deviation from the height requirement of the underlying zone district. Dwell PUD will comply with the height requirements of the underlying CR zone of 35'. Residential buildings in the development will range from 25.5' to 35' in height. Figure 9 displays the height of various structures in the development. Duplex units will be built at 35' height, attached single-family (2+ units) will be built at 33', and detached single-family units will be built at 31.25' or 25.5'.



Figure 9 Height of Various Units in Dwell

Proposed Deviations

Minimum Lot Area:

One of the key goals of the Dwell PUD is to create a community with a variety of housing types that meets the new R 4-8 land use classification of the Comprehensive Plan. In order to achieve this density and variety of housing types, smaller lot sizes are necessary. This allows for greater use of infrastructure such as streets, sidewalks, water and sewer lines and drainage facilities and is consistent with the type of urban design that the City of Fruita hopes to achieve through the new Comprehensive Plan. Smaller lot sizes are also necessary and typical of attached housing types such as townhomes, which will be included in the Dwell PUD.

The minimum lot sizes proposed for the Dwell PUD are 2900 square feet for single-family detached homes and 2100 square feet for single-family attached homes. The minimum lot size for a townhouse in the Downtown Mixed Use (DMU) zone is 2500 square feet. The Dwell PUD is comprised largely of single-family attached dwelling units (with zero side setbacks with common walls) and with 19.9% open space; as a

result, the minimum lot sizes have been designed for modern row houses that are consistent with urban design.

Proposed deviations from Section 17.07.060 of the City of Fruita Land Use Code for minimum lot size provide a public benefit by achieving the following General Purposes, as defined in Sec. 17.17.010:

- To promote greater variety and innovation in residential design, resulting in adequate housing opportunities for individuals of varying income levels and greater variety and innovation in commercial and industrial design
 - The proposed lot sizes in the Dwell PUD allow for more efficient use of land which results in less of the development cost being passed on to the home buyer. The modern architectural style proposed by the Dwell PUD seeks to achieve a diverse “funky” character in housing types that is envisioned by Fruita in Motion.
- To conserve and make available open space
 - Smaller lot sizes in the Dwell PUD have allowed the development to proposed nearly 20% of the development as open space and trails.
- To provide greater flexibility for the achievement of these purposes than would otherwise be available under conventional zoning restrictions
 - The proposed smaller lot sizes in the Dwell PUD allow the development to achieve the density for the R4-8 land use designation that is envisioned by Fruita in Motion. The proposed deviation also allows the development more flexibility in terms of land use which has led to dedication of more open space and trails.
- To encourage a more efficient use of land and of public services, or private services in lieu thereof, and to reflect changes in the technology of land development so that resulting economies may inure to the benefit of those who need homes.
 - The proposed smaller lot size results in a more efficient use of land as public services are able to serve the same amount of people in a slightly smaller area.

Setbacks

Front yard setback (single-family detached and attached) – Front yard setbacks in the Dwell PUD have been set at 15 feet in order to bring the homes closer to the street and to create a greater sense of community which is typically found in traditional neighborhoods. The Community Residential (CR) and the DMU zones allow a 15-foot front yard setback for homes that are alley loaded. Almost one third of the homes in the Dwell PUD are alley loaded, therefore the proposed front yard setback is consistent with the underlying zones. The applicant would like to create a consistent streetscape with homes which is another reason for the proposed 15-foot front yard setback.

Side yard setback (single-family detached and attached) – There is no deviation proposed for the side yard setbacks for single-family detached and attached dwelling units. The DMU zone is actually more

restrictive for side yard setbacks by allowing a 15-foot side yard setback. The DMU zone also allows a zero-side yard setback for common walls which is consistent with the proposed Dwell PUD side yard setback for attached dwelling units that are not an end unit.

Rear yard setback (single-family detached and attached) – There is no deviation proposed for the rear yard setbacks for single-family detached and attached dwelling units.

Proposed deviations from Section 17.07.060 of the City of Fruita Land Use Code for minimum lot size provide a public benefit by achieving the following General Purposes, as defined in Sec. 17.17.010:

- To promote greater variety and innovation in residential design, resulting in adequate housing opportunities for individuals of varying income levels and greater variety and innovation in commercial and industrial design
 - The proposed front setback of 15' activates the street by bringing buildings closer to the sidewalk. This results in a greater sense of community as the informal interaction between residents is encouraged through design.
- To provide greater flexibility for the achievement of these purposes than would otherwise be available under conventional zoning restrictions
 - A front setback of 15' provides slightly more flexibility that permitted in the underlying zone and results in a consistent look throughout the community.
- To encourage a more efficient use of land and of public services, or private services in lieu thereof, and to reflect changes in the technology of land development so that resulting economies may inure to the benefit of those who need homes.
 - A 15' front yard setback will allow for a more efficient use of land as the principal structures will be closer to the street and take greater advantage of the overall lot size.

Summary of Proposed Deviations:

Table 1 displayed below, summarizes the proposed deviations for Dwell PUD from the City of Fruita Zoning Uses and Requirements of Section 17.07.060. The deviations are proposed from the underlying CR zone. However, the DMU zone is displayed in the table because it was relied on to help inform the Dwell PUD standards.

Table 1 Dwell PUD – Proposed Deviations from Section 17.07.060(I)

Proposed Deviations from Section 17.07.060(I)			
	Proposed Deviation for Dwell PUD	Existing Regulations for CR Zone	Existing Regulations for DMU Zone
Min. Lot Area			
Single Family Detached	2,900 sq. ft.	3,500 sq. ft. ¹	5,000 sq. ft.
Single Family Attached	2,100 sq. ft.	3,500 sq. ft.	2,500 sq. ft.
Setbacks			
Minimum Front	15'	15' for alley loaded garages 20' for elevations other than garage 25' for garage openings facing the street	15' for alley access & buildings w/ unenclosed front porches covering at least 30% of front elevation w/ a 6' min depth w/ the garage/parking on rear half of the lot 20' for elevations other than garage 25' for garage openings

Legal Description

The legal description of **2697-084-00-140** is:

S2NW4NW4SE4 SEC 8 1N 2W & BEG S 63DEG17'25SEC E 737.53FT FR C4 COR SD SEC 8 S 89DEG51'41SEC E 15.13FT S 01DEG18'39SEC W 294.82FT S 15DEG01' W 36.32FT N 0DEG10'42SEC E 329.86FT TO POB - 5.09AC

Public Notice

Public notice shall be provided in accordance with Section 17.01.130, Public Notices, of the Fruita Land Use Code, including mailed notice, published notice and posting of the subject property.

¹ Note: The minimum lot area for the CR zone that is displayed is based on properties with 7-8 du/ac

Fruita Comprehensive Plan

The Fruita Comprehensive Plan shows the subject property as Community Residential (CR, 4-8 dwelling units per acre). The Dwell PUD has been designed to support the new vision of the Fruita Comprehensive Plan that anticipates greater residential density in an effort to take advantage of existing infrastructure, efficient infill development within the City limits and to provide a broader range of housing types and price points.

The proposed development meets many aspects of the new Comprehensive Plan's Vision Statement that was crafted by the Plan Advisory Committee:

"The City of Fruita values quality of place. It's an inclusive city, with a small-town feel and vibrant downtown, surrounded by public lands. People love to live and play in Fruita because the city facilitates community, safe neighborhoods, family-friendly events and walking and biking. The city governs in a way that's responsive to its citizens and prioritizes high-impact services and projects. Fruita fosters a fun and funky ambiance around the arts, agriculture and recreation."

The Dwell PUD strives to create a unique sense of place with centrally located open space with amenities for residents, visitors and the public. Tree lined streets with detached sidewalks create a safe, inviting environment for pedestrians to stroll through the community and visit with their neighbors. The large park will be used by youth sport teams for practice, family gatherings and picnics and for community events like neighborhood movie night.

The Dwell PUD meets the following goals of the new Comprehensive Plan:

Goal #2: Prioritize infill development over development at the edge of the city limits.

Goal #4: Allow and encourage a diversity of housing types to fit the needs of the Fruita community and provide the diverse "funky" character that is treasured by residents.

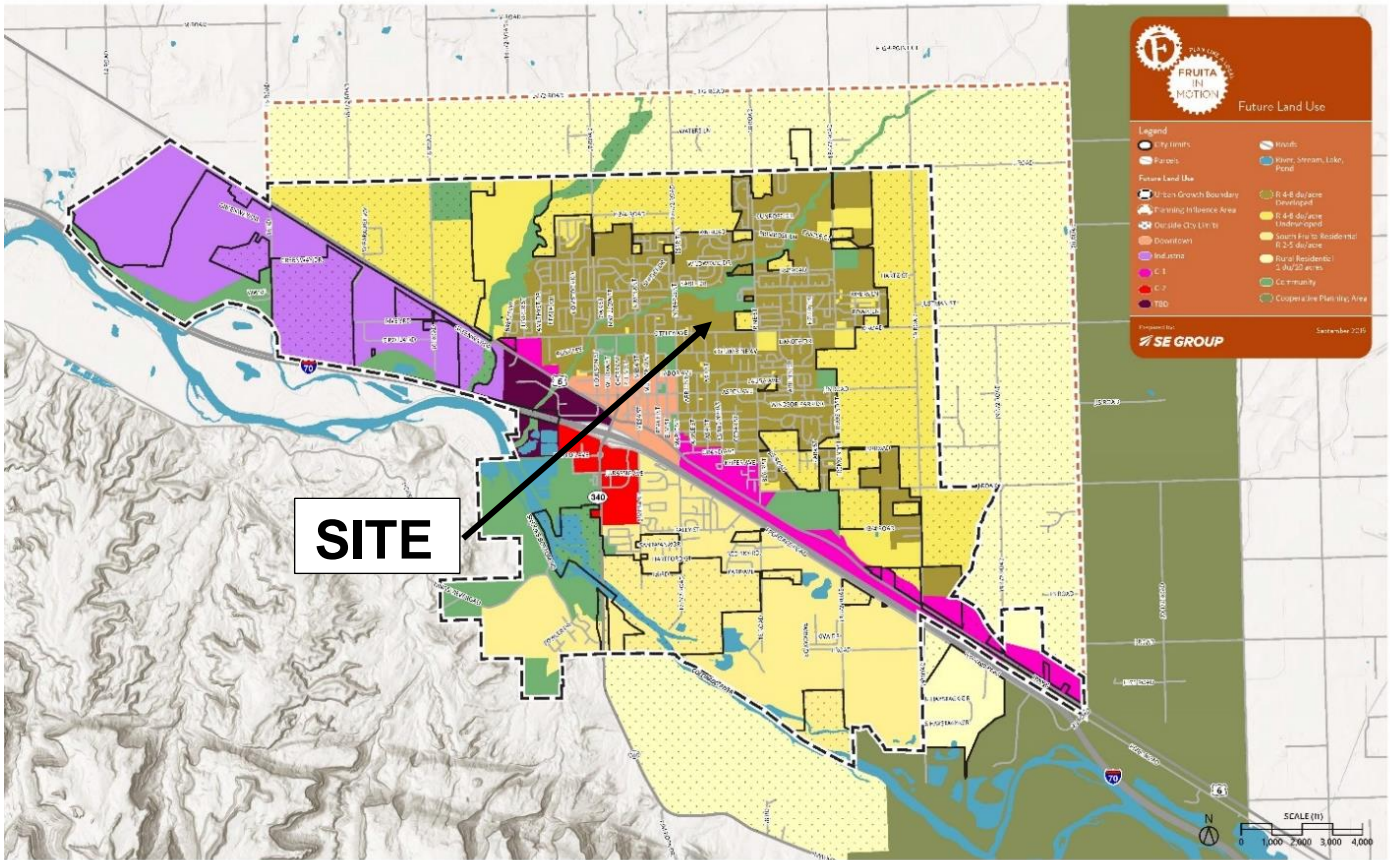


Figure 10 Future Land Use Map

In the new Comprehensive Plan, “the Future Land Use Map supports infill over sprawling residential development at the city’s edge.” To accomplish this, a new land use category has been created to encourage infill development that makes efficient use of infrastructure in proximity to the proposed development.

The R 4-8 (Residential) land use category is intended for underdeveloped areas where public infrastructure and services are available and proximal. This land use category is also recommended for developed or semi-developed areas that are built out at a minimum of 2 units per acre. It is expected that areas currently built out at below the minimum density of this zone would achieve the minimum density (4 units per acre) when redevelopment occurs. Innovative neighborhood designs are encouraged.

Zoning and Surrounding Areas

The subject property is currently zoned CR, Community Residential; however, the bulk standards for this zone district do not permit attached housing units on a lot of less than 7,000 square feet. An upcoming Land Use Code amendment is proposing to reduce the minimum lot size to 3,500 square feet if a density bonus is being provided; however, the proposed new minimum lot size is not sufficient to provide lots small enough for attached dwelling units in the Dwell PUD.

Because the CR zone district will not support attached dwelling units with lots of 2,100 square feet, the applicant is requesting a rezone from the current Community Residential (CR) zone district to the Planned Unit Development (PUD) zone district. As such, the review criteria of Section 17.13.060.B have been addressed in this report. The rezone request is consistent with the new Fruita Comprehensive Plan which anticipates 4-8 dwelling units per acre and the Preliminary PUD Plan approved by City Council on May 4, 2021.

The proposed development contains 37 dwelling units on approximately 4.85 acres for a total density of 7.6 dwelling units per acre, which supports the Fruita Comprehensive Plan's Future Land Use Map classification of R 4-8.



Figure 11 Existing and Surrounding Zoning

Surrounding area zoning and land uses include:

- North – Community Residential (CR) with single family residential land uses
- South – Community Residential (CR) with single family residential land uses
- West – Community Residential (CR) with single family residential land uses
- East – Community Residential (CR) with single family residential land uses

Utility Providers

All required and necessary utilities shall be provided concurrent with development of the subject property. Utility providers for the development have the capacity and willingness to serve the development.

Public facilities such as medical, schools, parks, public library, retail sales and services and public safety are available to serve development within 1.5 miles of the site.

Utility providers for the site are as follows:

- Sewer: City of Fruita
- Water: Ute Water Conservation District
- Electric: Xcel Energy
- Drainage: Grand Junction Drainage District
- Irrigation: Grand Valley Irrigation Company

All utilities shall be constructed to the design specifications and standards of the utility providers.

Access, Circulation and Streets

Access is provided from 17 ½ Road/N. Maple Street on the west, and from a connection to Wildwood Drive on the east. Internal access for the majority of dwelling units is provided from the modified urban residential street that was approved with the Preliminary PUD Plan on May 4, 2021. A private alley will provide access to ten dwelling units and is located in a tract to be owned and maintained by the HOA. A large park is located in the center of the development and is surrounded by a pedestrian sidewalk with a parking pod located at the southern end.

There are four street sections proposed with the Preliminary PUD Plan as follows:

1. Standard urban residential street (shown as Type A in the PUD Guide): 44' right-of-way with 28' asphalt, vertical curb, gutter and 5' attached sidewalk.
2. Modified urban residential street (shown as Type B in the PUD Guide): 40' right-of-way with 25' asphalt, drive over curb and gutter with detached sidewalk with parking allowed on one side of street only.
3. Modified urban residential street (shown as Type C in the PUD Guide): 40' right-of-way with 25.5' asphalt, drive over curb and gutter on one side with detached 5' sidewalk on the other side located at back of parking spaces in the open space tract. Parking pods located between the V-pan and detached sidewalk.

Open Space, Trails and Landscaping

Sections 17.19.090 and 17.29.020 provide the open space requirements and formulas used to calculate the required open space and trails for new subdivisions. Based on 37 dwelling units, the Dwell PUD will be required to provide .185 acres for neighborhood parks, .37 acres for community parks (combined total of .55 acres) and 488.4 linear feet of trails. The Dwell PUD has provided .97 acres (almost 20%) of park space and 943 linear feet of trails primarily around the open space/park, exceeding the requirements of the Fruita Land Use Code.

The large central park will be in a tract owned and maintained by the HOA. In addition, the park amenities will include a tot lot with play equipment, picnic table with shade shelter and a bench. The landscape plan sheet below illustrates examples of amenities that will be included with the park space. Additional parking has been provided in a parking pod on the south side of the park for use by guests of alley loaded residential units as well as those using the park space. The parking is located within Tract B and will be owned and maintained by the HOA. The open space will be a focal point for recreation and social gatherings and will anchor this modern community.

Park land dedication and construction of park amenities such as the irrigation system, landscaping, tot lot with play equipment and the picnic table with shade shelter and bench will be completed with Filing 1.



Figure 12 Landscape Plan

The developer intends to construct all perimeter fencing as well as the fencing of front yards that face the park. All fences, whether developer or home owner installed, shall be constructed of vinyl fencing materials. Residents will be responsible for installing fencing in side yards in conjunction with the PUD Guide and Architectural Standards (included in the CC&Rs) established for the community. Fences in side yards between homes shall be limited to 5-foot fences and shall be owner installed (see the Fence Details within the PUD Guide for more detailed information).

In accordance with Section 17.29.030.A.13, a 14' wide tract owned and maintained by the HOA along 17 ½ Road (classified as a Minor Collector) will be constructed and is eligible for credit against the required parks, open space and trails impact fee/dedication. The applicant requests credit for the landscaped area in accordance with Section 17.29.030.A.13.

Approval Criteria

Section 17.17 of the Land Use Code call out specific sections of the Municipal Code that cannot be deviated from. In no case shall the approval of a Planned Unit Development vary from the following sections:

- Title 8 – Healthy and Safety
- Title 9 – Public Peace, Morals and Welfare
- Title 12 – Public Improvements
- Title 13 – Water and Sewer
- Title 15 – Building and Construction

The Preliminary PUD Plan provides an overview of the Dwell PUD with preliminary technical detail and design. The design standards shall not be reduced or varied for Titles 8, 9, 12, 13 and 15 without specific approval from the City of Fruita (if a slight deviation is required).

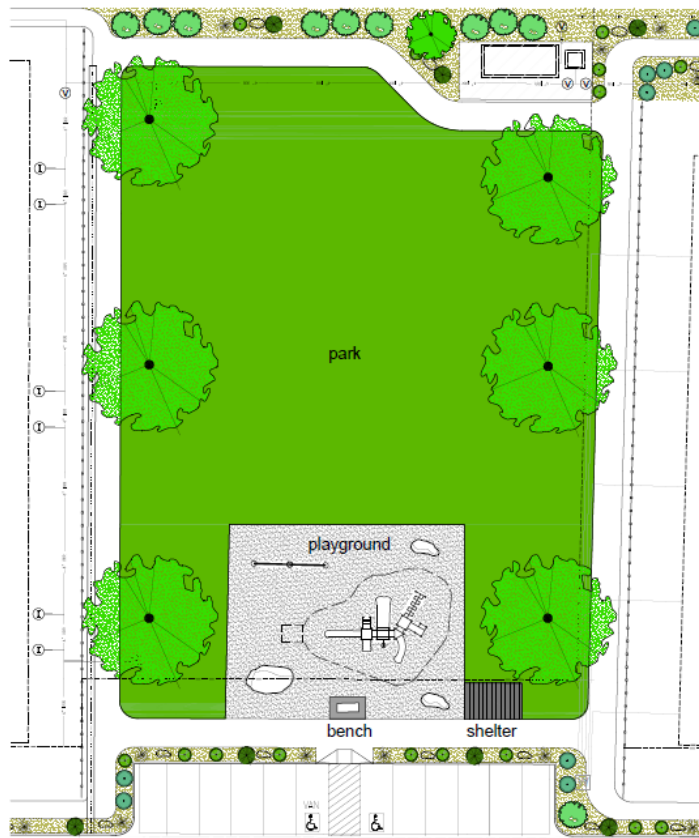


Figure 13 Park Amenities

The approval criteria of Section 17.17.030, Criteria for Review and Decisions, are used to determine compliance with Chapter 17 of the Fruita Land Use Code. The following criteria shall be considered by the Planning Commission and City Council in its review of a proposed Planned Unit Development and no Planned Unit Development shall be approved unless the Council is satisfied that each of these approval criteria has been met, can be met or does not apply to the proposed Planned Unit Development:

1. Conformance to the Fruita Master Plan;

Response: The Fruita Comprehensive Plan shows the subject property as Community Residential (CR, 4-8 dwelling units per acre). The proposed Dwell PUD has been designed to support the new vision of the Fruita Comprehensive Plan that anticipates greater residential density in an effort to take advantage of existing infrastructure, efficient infill development within the City limits and to provide a broader range of housing types and price points.

The Dwell PUD meets the following goals of the new Comprehensive Plan:

Goal #2: Prioritize infill development over development at the edge of the city limits.

Goal #4: Allow and encourage a diversity of housing types to fit the needs of the Fruita community and provide the diverse “funky” character that is treasured by residents.

In January of 2020, the City of Fruita adopted the Fruita in Motion: Plan Like a Local Comprehensive Plan. The proposed Dwell PUD supports the vision of the new Comprehensive Plan through the efficient use of infill development which discourages sprawl development on the City’s edges and makes better use of existing infrastructure by tying into existing City water, sewer and drainage facilities instead of extending new infrastructure out on the City edges. The Dwell is proposing infill development that develops the City’s “holes” inside City limits.

The Dwell also provides open space, park trails and sidewalks that will connect to existing subdivisions and City streets with public sidewalks which provides interconnectivity from one development to another within the City and extends the City’s pedestrian facilities. The proposed streets shall be designed in a safe manner that meets City’s standards and/or has been approved as an alternate street design with sufficient pedestrian facilities.

2. Consistency with the purposes as set out in Section 17.17.010 above;

Response: Planned Unit Developments allow for modification of the normal use, density, size or other zoning restrictions for the development to accomplish the purposes as noted in Section 17.17.010, General Purposes. The proposed development is consistent with the noted purposes, including the following:

- a. infill development that makes efficient use of infrastructure and is in close proximity to public facilities, services and the Fruita downtown core
- b. provision of greater variety and innovation in residential design
- c. provision of open space with amenities for residents and the public

d. provision of greater flexibility with bulk standards that permit a variety of housing types to be construction for the community

3. Conformance to the approval criteria for Subdivisions (Chapter 17.15) and/or Site Design Review (Chapter 17.13), as applicable; except where Adjustments to the standards of the Title are allowed; and

Response: Section 17.15.060(C) (1-5) provides review criteria for a Sketch/Preliminary PUD Plan for a Planned Unit Development. The Dwell PUD is consistent with the review criteria in the following ways:

- a. The proposed PUD meets the goals and vision of the new Comprehensive Plan and Land Use Code (with specific bulk standards as noted in the PUD Guide). Design Criteria and Construction Specifications Manual and other city policies and regulations shall be met with the preliminary and final design of the development.
- b. The proposed development is consistent with the anticipated residential development and the existing single-family developments in the area.
- c. Adequate provision of all required services and facilities shall be provided concurrently with construction and development of the subdivision.
- d. Adequate environmental protection shall be provided concurrent with construction and development of the subdivision.
- e. The applicant shall resolve all comments and recommendations from reviewers without a significant redesign of the proposed development.

4. Where the applicant purposes one or more Adjustments to the standards of this Title, consistency with the Adjustment criteria set forth in Section 17.11.020(B) is required.

Response: The Dwell PUD is consistent with Section 17.11.020(B) through the proposed bulk standards that have been adapted for the Dwell PUD to create the unique modern community with single family attached and detached dwelling units. Because a Planned Unit Development is unique and created apart from a straight zoning district, adjustments are made through the PUD process to create the specific requirements of each PUD thereby making it a stand-alone zone district.

In no case have the health and safety requirements contained in Title 8, the requirements concerning public peace, morals and welfare contained in Title 9, the requirements concerning public improvements contained in Title 12, the requirements concerning water and wastewater service contained in Title 13, or the requirements of the city's building codes as set forth in Title 15 of the Municipal Code been diminished. While a modified street has been proposed, it has been designed to function safely and to provide for the minimum ADT as required by the City of Fruita as well as provide pedestrian facilities.

Section 17.13.060.B, Approval Criteria, states the Official Zoning Map may be amended when the following findings are made:

1. The proposed rezone is compatible with surrounding land uses, pursuant to Section 17.17.080, and is consistent with the city's goals, policies and Master Plan; and

Response: The surrounding land uses are single-family residential subdivisions which is what has been proposed with the Dwell PUD. The proposed density supports the new future land use classification of R 4-8 (residential dwelling units per acre) which is intended to create more urban design and development, which also makes more efficient use of infrastructure and reduces urban sprawl.

2. The land to be rezoned was previously zoned in error or the existing zoning is inconsistent with the city's goals, policies and Master Plan; or

Response: The land was not zoned in error; however the City of Fruita recently adopted a new Comprehensive Plan that seeks to increase the overall density of development within City limits in order to reduce sprawl, make more efficient use of infrastructure (which reduces overall maintenance costs to the City and citizens) and to provide a broader range of housing types. The Dwell PUD has been designed to support many of the goals and policies of the new Comprehensive Plan as noted throughout this report.

3. The area for which the rezone is requested has changed substantially such that the proposed zoning better meets the needs of the community; or

Response: The area has not necessarily changed substantially, however, the City Council's intention for development has changed substantially with the adoption of the new Comprehensive Plan. The goals and policies that seek to encourage more infill development, higher density and a broader range of housing types are the basis for the Dwell PUD's design. The overall design of the Dwell PUD supports many of the new goals of the Comprehensive Plan which will better meet the needs of the community.

4. The rezone is incidental to a comprehensive revision of the city's Official Zoning Map which recognizes a change in conditions; or

Response: The requested rezone is incidental to a comprehensive revision of the city's Official Zoning Map because it seeks to implement the newly adopted goals and policies of the Comprehensive Plan. Because the current Fruita Land Use Code has not yet been updated or revised to implement the goals and policies of the Comprehensive Plan, the Dwell PUD has been created to implement the new Plan.

5. The rezone is incidental to the annexation of the subject property.

Response: The subject property is located within the City limits of Fruita and is not being annexed. **This criterion is not applicable.**

Development Schedule

The Dwell PUD will be developed in two phases with the first filing to begin construction in fall of 2020. The subsequent filing shall be constructed within 5 years of the previous filing.

Conclusion

After demonstrating how the Preliminary PUD Plan for the Dwell Planned Unit Development and rezone request meets the goals and policies of the Fruita Master Plan and standards of Title 17 of the Fruita Land Use Code, we respectfully request approval of the rezone request and the Preliminary PUD Plan for the Dwell Planned Unit Development.

Limitations/Restrictions

This report is a site-specific report and is applicable only for the client for whom our work was performed. The review and use of this report by City of Fruita, affiliates, and review agencies is fully permitted and requires no other form of authorization. Use of this report under other circumstances is not an appropriate application of this document. This report is a product of Vortex Engineering, Inc. and is to be taken in its entirety. Excerpts from this report when taken out of context may not convey the true intent of the report. It is the owner's and owner's agent's responsibility to read this report and become familiar with recommendations and findings contained herein. Should any discrepancies be found, they must be reported to the preparing engineer within 5 days.

The recommendations and findings outlined in this report are based on: 1) The site visit and discussion with the owner, 2) the site conditions disclosed at the specific time of the site investigation of reference, 3) various conversations with planners and utility companies, and 4) a general review of the zoning and transportation manuals. Vortex Engineering, Inc. assumes no liability for the accuracy or completeness of information furnished by the client or municipality/agency personnel. Site conditions are subject to external environmental effects and may change over time. Use of this report under different site conditions is inappropriate. If it becomes apparent that current site conditions vary from those reported, the design engineering should be contacted to develop any required report modifications. Vortex Engineering, Inc. is not responsible and accepts no liability for any variation of assumed information.

Vortex Engineering, Inc. represents this report has been prepared within the limits prescribed by the owner and in accordance with the current accepted practice of the civil engineering profession in the area. No warranty or representation either expressed or implied is included or intended in this report or in any of our contracts.



Dwell PUD Guide



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Dwell Planned Unit Development

The Dwell Planned Unit Development Guide serves as the governing regulations which control the development of Dwell PUD. The PUD Guide serves as the “zone district regulations” for the PUD and is in conformance with the Fruita Municipal Code.

Community Residential (CR) zone district, as defined in the City of Fruita Land Use Code, serves as the underlying zone for the Dwell PUD and will be relied on when the PUD Guide does not address a specific use or requirement.

The Dwell PUD is located on the east side of N. Maple Street between the Vintners Farm Subdivision on the north side, Wildwood Estates on the south side and Wildwood Acres Subdivision, Filing 2 on the east side. The boundary is highlighted in the figure below.

The Dwell Planned Unit Development is being developed with the intent to create a special feeling of home and space; a community with welcoming porches, tree lined streets and a large, open space park for community activities such as community movie nights, youth sports practices with picnic and playground areas for families to gather together. The developers are graduates of Fruita Monument High School who have raised two children that also graduated from the hometown high school. Their goal is to create a modern community where neighbors know each other and residents are proud to call this community their HOME.

The definition of Dwell is:

- “to remain for a time, to live as a resident”
 - Synonyms are listed as “abide, hang around, remain, stay, stick around, tarry”
- Community
 - a unified body of individuals: such as
 - the people with common interests living in a particular area broadly: the area itself
 - a group of people with a common characteristic or interest living together within a larger society
 - joint ownership or participation
 - social activity



Context Plan

The Dwell PUD is a community consisting of single-family housing mixed with open space and public trails surrounding the open space park. The housing types include single family detached homes; 2-unit single family attached homes; and 2-unit + single-family attached homes. Figure 2 displays the housing types and their location within the development.

There is a centrally located park in the development with trail interconnectivity within the community to public sidewalks and streets to adjacent neighborhoods.

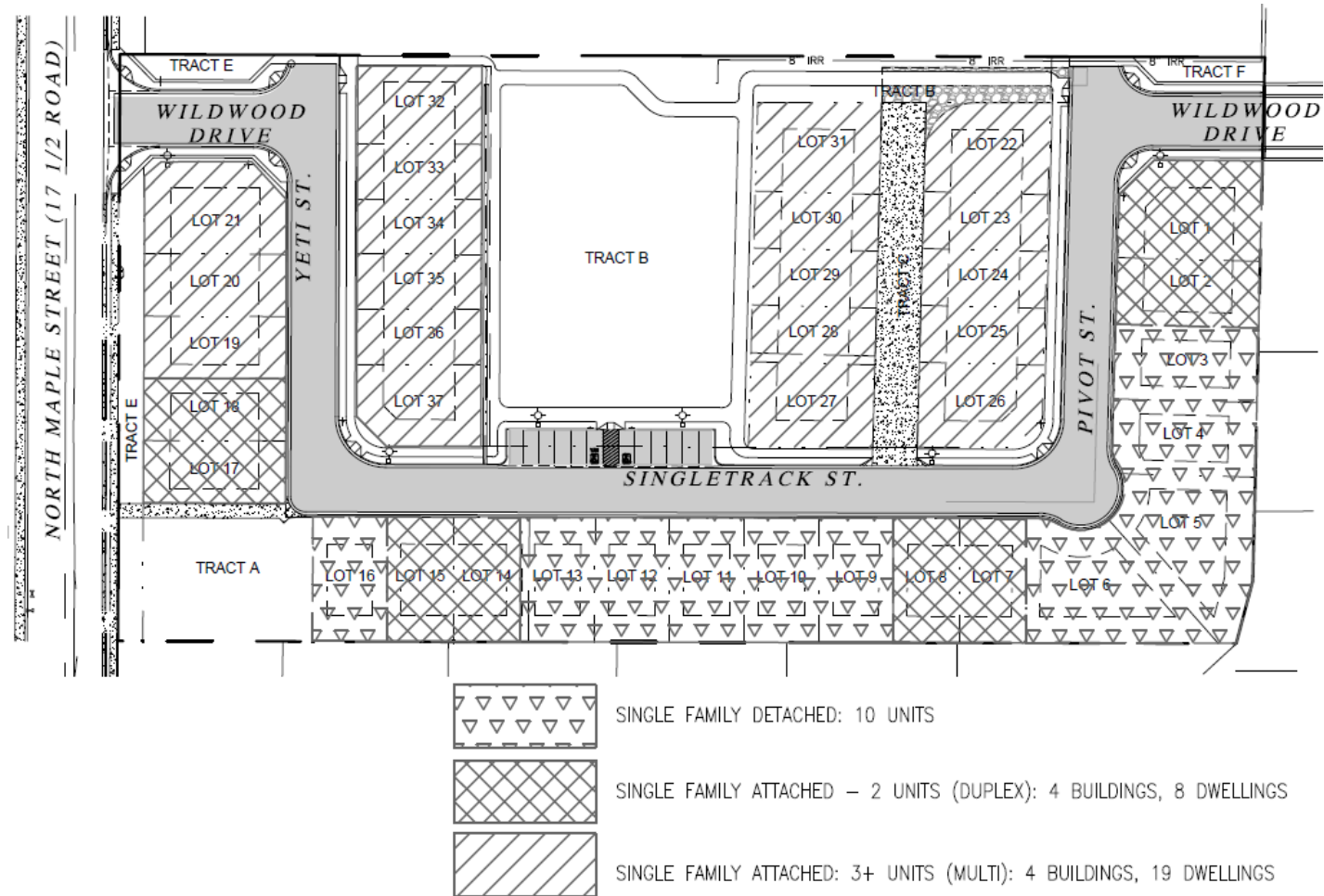


Figure 2: Dwell PUD Housing Types

Overall Phasing Plan

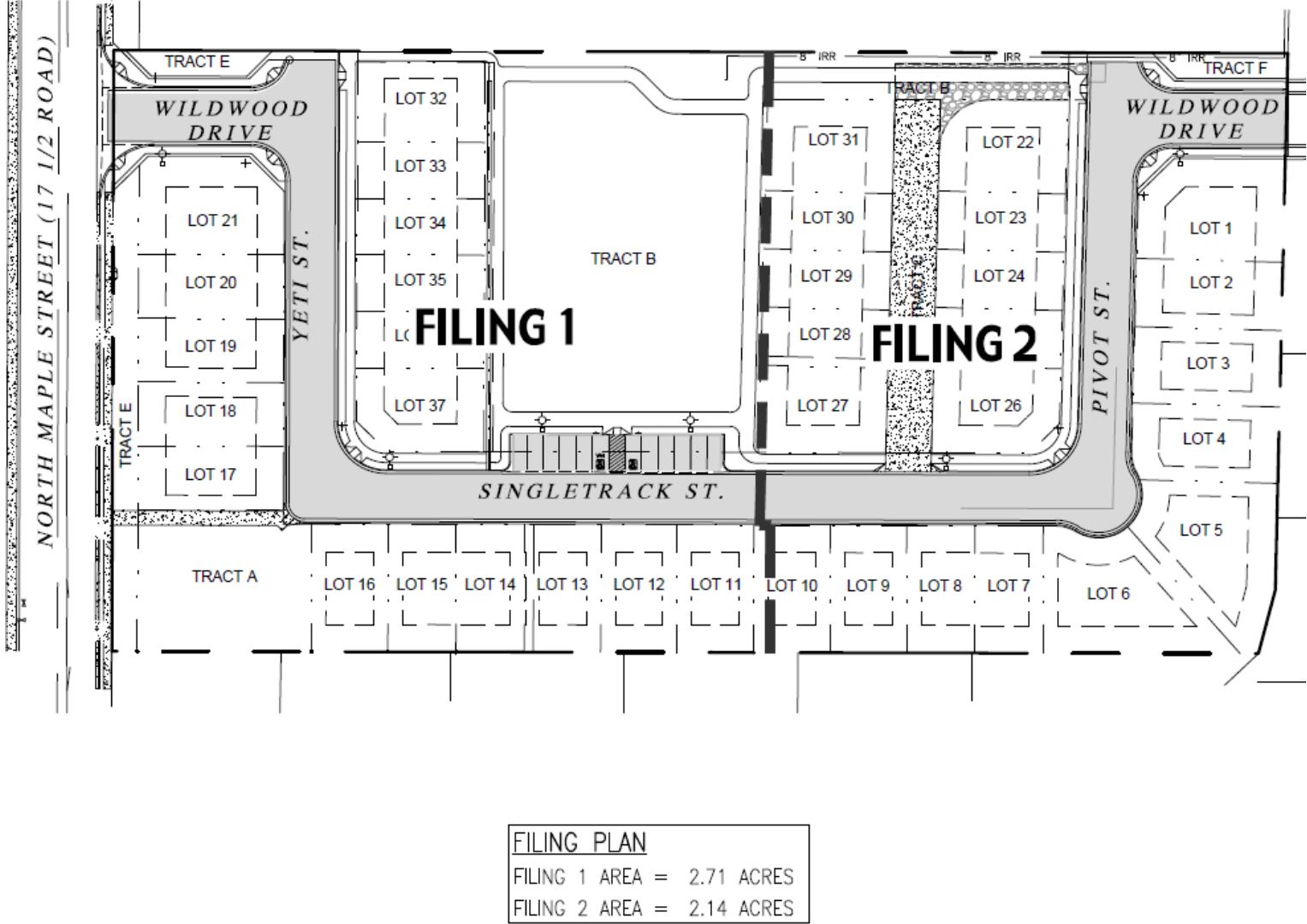


Figure 3 Filing Plan

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Filing 1 Details

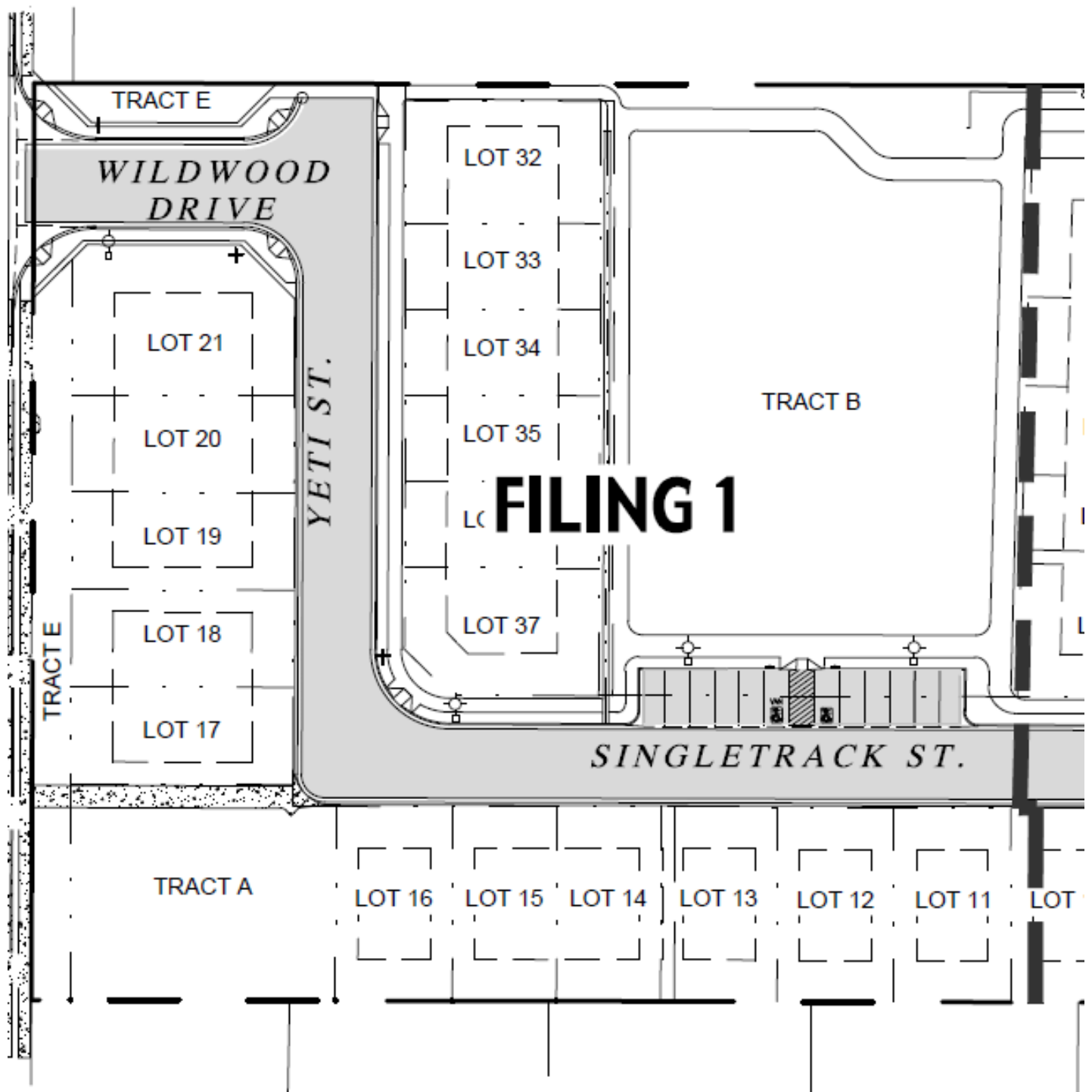


Figure 4 Dwell PUD Filing 1 Details

Filing 2 Details

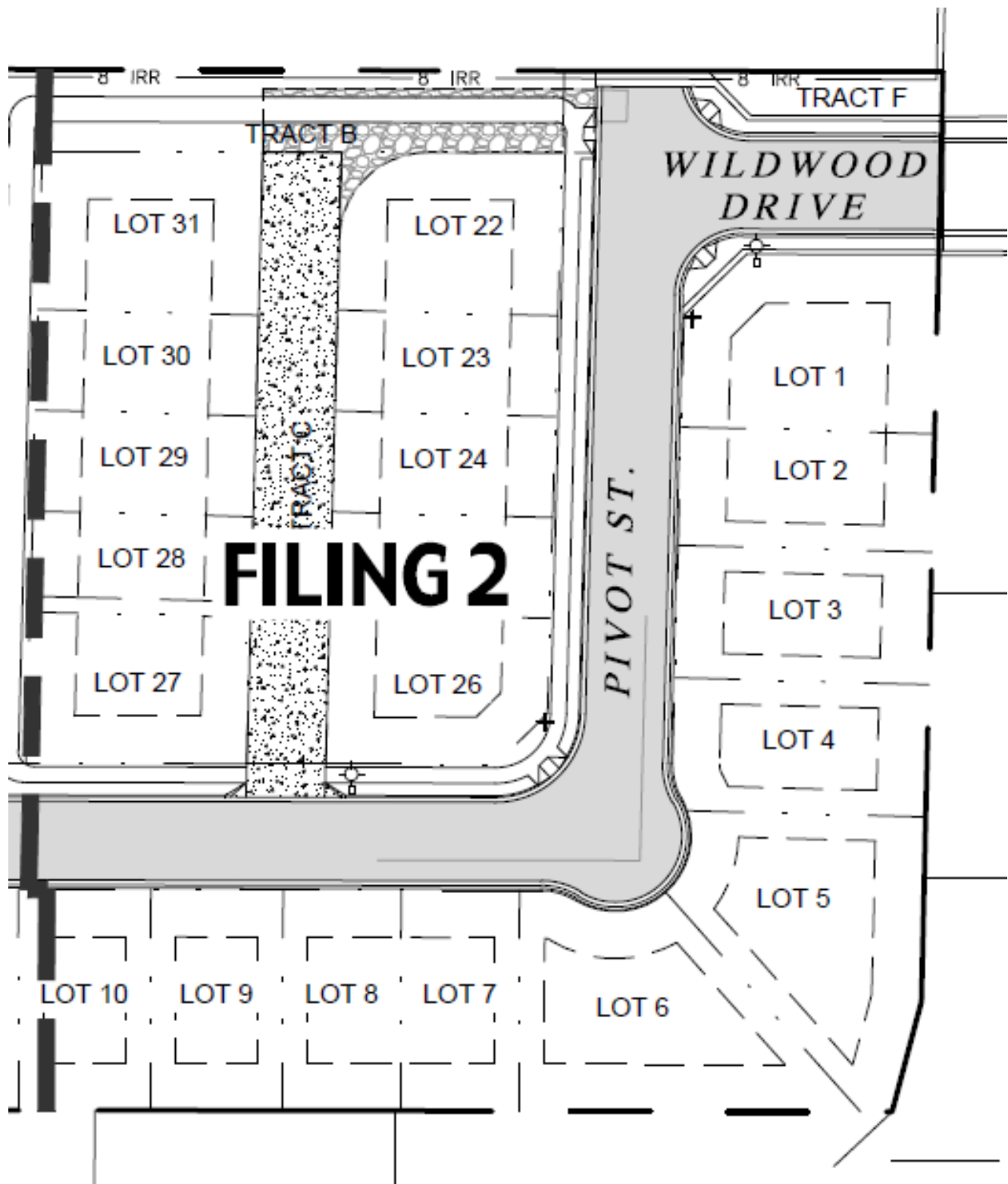


Figure 5 Dwell PUD Filing 2 Details

Dimensional Standards, Allowed Uses, and Lot Requirements

Community Residential (CR) zone district, as defined in the City of Fruita Land Use Code, serves as the underlying zone for the Dwell PUD and will be relied on when the PUD Guide does not address a specific use or requirement. Table 1 displays the dimensional standards for the Dwell PUD.

Table 1: Dwell PUD Dimensional Standards

Dimensional Standards	
Minimum Lot Area	
Single-Family Detached	2,900 square feet
Single-Family Attached	2,100 square feet
Setbacks for Single-Family Detached (principal/accessory)	
Front	15'/25'
Side	8'/3'
Rear	15'/3'
Setbacks for Single-Family Attached (principal/accessory)	
Front	15'/25'
Side	0'/3'
Rear	15'/3'
Maximum Lot Coverage¹ (principal/accessory)	
Single-Family Detached	40%/4%
Single-Family Attached	60%/4%
Maximum Height (principal/accessory)	
Single-Family Detached	35'/16'
Single-Family Attached	35'/16'

¹ Maximum Lot Coverage is defined as the area of the lot that may be covered by principal and accessory structures

Table 2 and Table 3, displayed below, list the allowed uses and individual lot requirements for the Dwell PUD. Footnotes at the bottom of the page clarify relevant definitions listed in the below tables.

Table 2: Dwell PUD Allowed Uses

Allowed Uses
Single-Family Detached Homes
Single-Family Attached Homes
Home Occupations ²
Home Childcare ³
Home Daycare ²
Short-Term Residential Property Rental ⁴

Table 3: Dwell PUD Individual Lot Requirements

Individual Lot Requirements
<ul style="list-style-type: none"> Landscaping and accessory structure restrictions apply within all drainage easements. See covenants and Composite Site Plan for additional restrictions and locations.
<ul style="list-style-type: none"> There is a 14' multi-purpose easement along right-of-way lines
<ul style="list-style-type: none"> Architectural review of property landscaping is required prior to homeowner installation/placement

² Permitted as accessory to any permitted residential use subject to the Home Occupation standards as defined in the City of Fruita Land Use Code

³ As defined and regulated by the City of Fruita Land Use Code

⁴ Short-Term renting is permitted and subject to the standards of the City of Fruita Land Use Code

Architectural Design Standards

The exterior of all Residences shall be that of a modern urban cottage design. The façade of the exterior surface of all Residences and building structures within the Subdivision shall be constructed of and maintained primarily with wood or wood composite siding, but not vinyl or similar siding. Wood, stone, brick, metal and/or stucco accents are permissible materials and are encouraged.

For all Residences, exterior color schemes shall be composed of earthen tones including tan, taupe, black, white, and grey, and blend into the surrounding landscape and terrain. Accents of earthen color shall not be less than ten percent (10%) of the overall surface area of the Residence or building structure. Bright or highly visible colors will not be allowed.

The Covenants, Conditions, and Restrictions for Dwell PUD establish an architectural control committee (ACC) that will regulate the architectural design standards for the development. The ACC's process for regulating the architectural design standards will include:

- No building, fence, wall, sign, or other structure, including exterior addition or alteration, will be constructed until plans have been submitted and approved in writing by the Architectural Control Committee (ACC)
 - Plans must be in harmony with construction and design guidelines
- The ACC shall approve or deny requests for architectural control within 30 days after complete submission of copies of all plans
- An affirmative majority vote of the ACC is required to approve a request for architectural approval



Figure 6 Illustrative Floor Plan – Single-Family Detached



Figure 7 Illustrative Architectural Style – Single-Family Detached



Figure 9 Illustrative Architectural Style – Single-Family Attached



Figure 8 Illustrative Architectural Style – Single-Family Attached

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Open Space and Trails

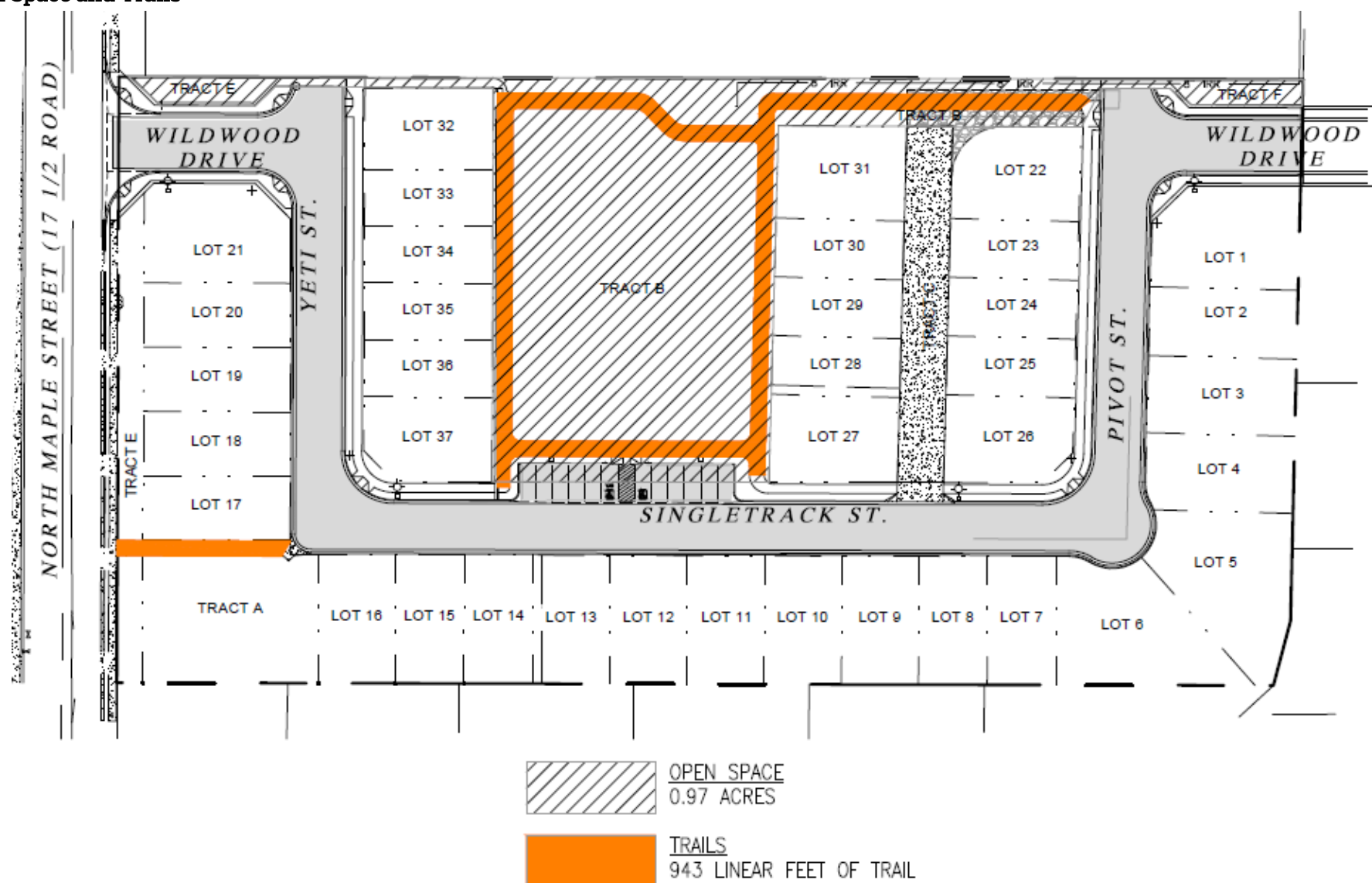


Figure 10: Dwell PUD Open Space and Trails

Developer Installed Fence Plan

Figure 11 displays the developer installed fence plan for the Dwell PUD. Maintenance and repair of the developer installed fence will be the responsibility of respective lot owners. Fence height and materials shall not deviate from the detail, shown in Figure 12, in locations where a fence is displayed in Figure 11. No fence in the Dwell PUD will obstruct the view of traffic or cause a clear site issue. Private fences in areas outside those shown in the Fence Plan shall be governed by the Covenants, Conditions, and Restrictions for the development and the Fruita Land Use Code.

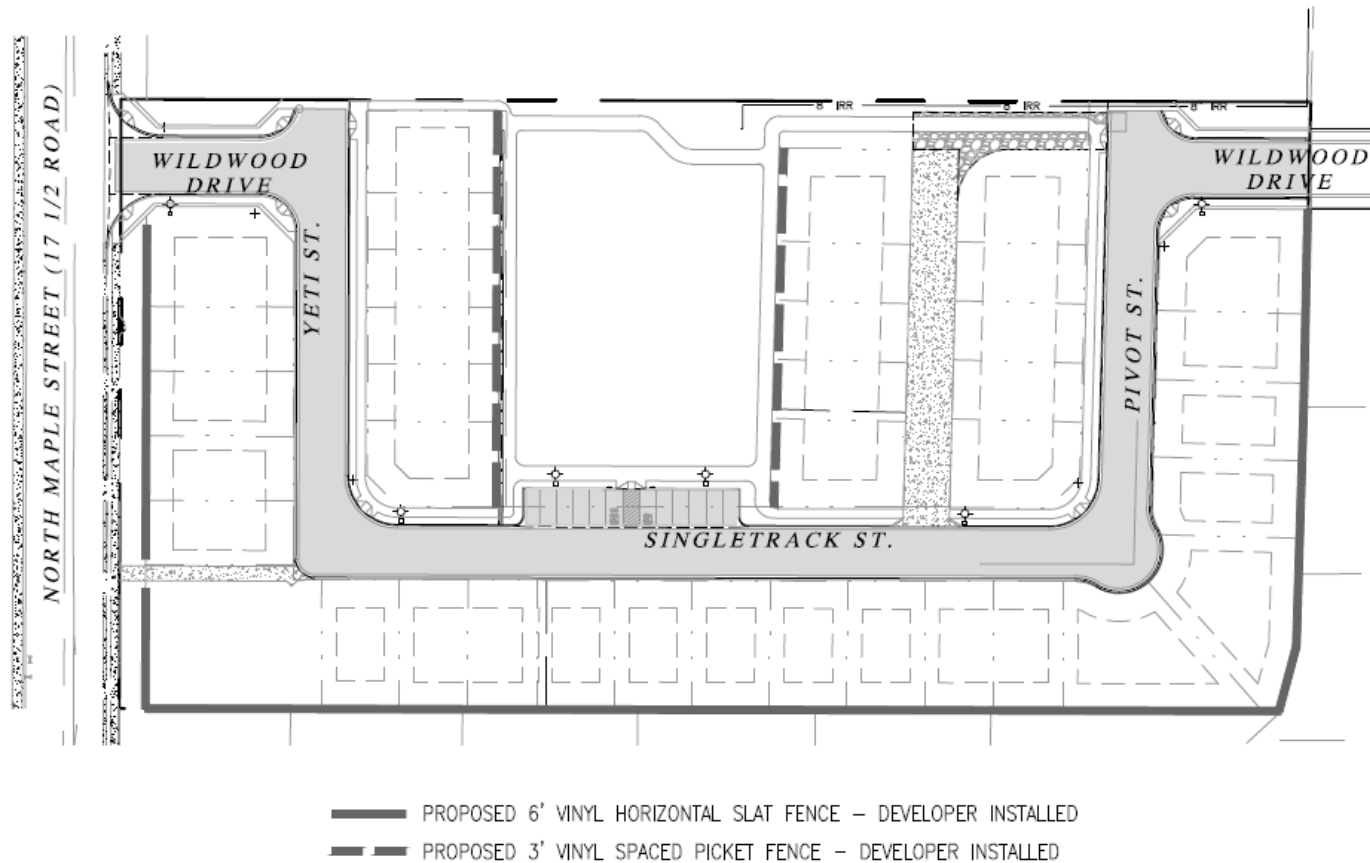
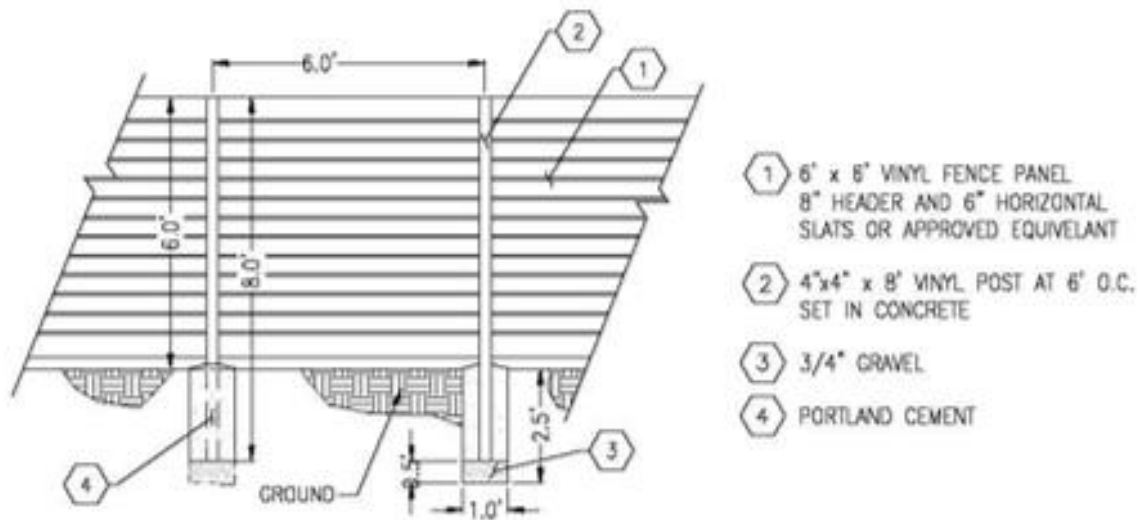
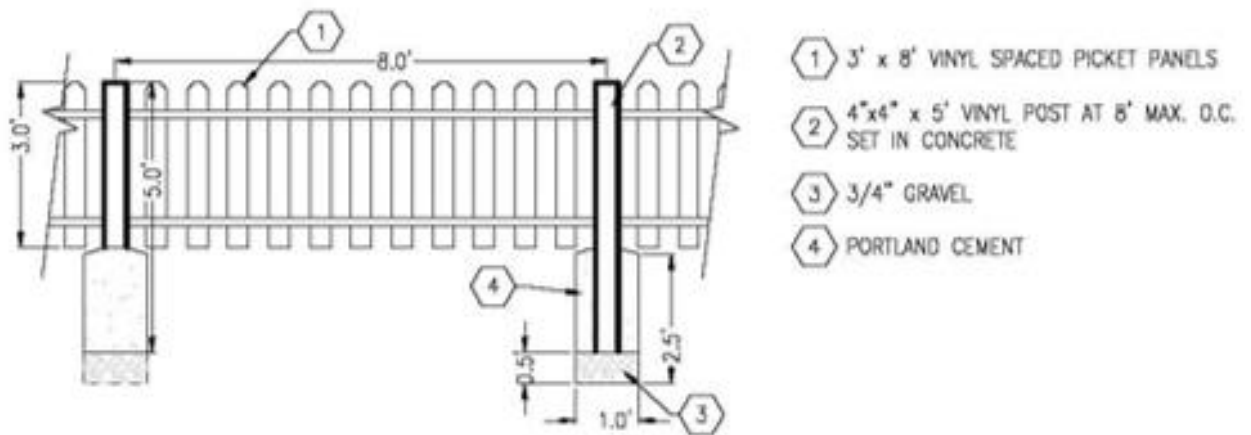


Figure 11: Developer Installed Fence Plan

Fence Details



6' VINYL HORIZONTAL SLAT FENCE
(SHOWN FROM BACK SIDE)
PERIMETER FENCE - DEVELOPER INSTALLED
N.T.S.



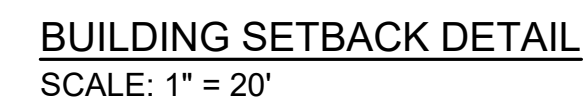
3' VINYL SPACED PICKET FENCE
(SHOWN FROM BACK SIDE)
OPEN SPACE BOUNDARY - DEVELOPER INSTALLED
N.T.S.

Figure 12: Fence Details

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- 1 INSTALL "STOP" SIGN
- 2 INSTALL COMBINED STREET SIGNS
- 3 CONSTRUCT GRAVEL PAVEMENT
RE: DETAIL SHEET C1.1
- 4 5" WIDE DETACHED CONCRETE SIDEWALK
- 5 INSTALL STREET LIGHT
BY XCEL ENERGY
- 6 INSTALL U.S.P.S. APPROVED MAILBOX
- 7 PROPOSED FIRE HYDRANT
- 8 PROPOSED PERIMETER FENCE
SEE SHEET C1.1
- 9 PROPOSED INTERIOR FENCE
SEE SHEET C1.1



PROPOSED LAND USE TABLE				
USE	AREA	AC	% OF TOTAL	OWNER
SINGLE FAMILY – ATTACHED (27 UNITS)	75,000 S.F.	1.722	35.45%	PRIVATE
SINGLE FAMILY – DETACHED (10 TOTAL)	34,871 S.F.	0.801	16.48%	PRIVATE
HOUSING UNITS (37 TOTAL)	109,871 S.F.	2.522	51.93%	PRIVATE
RIGHT-OF-WAY	46,516 S.F.	1.068	21.99%	PUBLIC
ALLEY	4,860 S.F.	0.112	2.30%	HOA
OPEN SPACE/PARKS	38,445 S.F.	0.883	18.17%	HOA
DETENTION AREA (TRACT A)	7,306 S.F.	0.168	3.45%	HOA
LANDSCAPE (TRACTS B & C)	4,571 S.F.	0.105	2.16%	HOA
GRAND TOTAL	211,569 S.F.	– 4.857 AC		

PROJECT BENCHMARK #1 IS THE MESA COUNTY SURVEY MONUMENT #888-1,
GPS ID NO.: S312, LOCATED AT THE C-1/4 CORNER OF SECTION 8, T1N,
R2W, UTE MERIDIAN ON MAPLE AVE. (17.5 RD). ELEVATION=4524.38
PROJECT BENCHMARK #2 IS THE MESA COUNTY SURVEY MONUMENT #887-1,
GPS ID NO.: T1001, LOCATED AT THE S-1/16 CORNER OF SECTION 8, T1N,
R2W, UTE MERIDIAN ON MAPLE AVE. (17.5 RD). ELEVATION=4519.83

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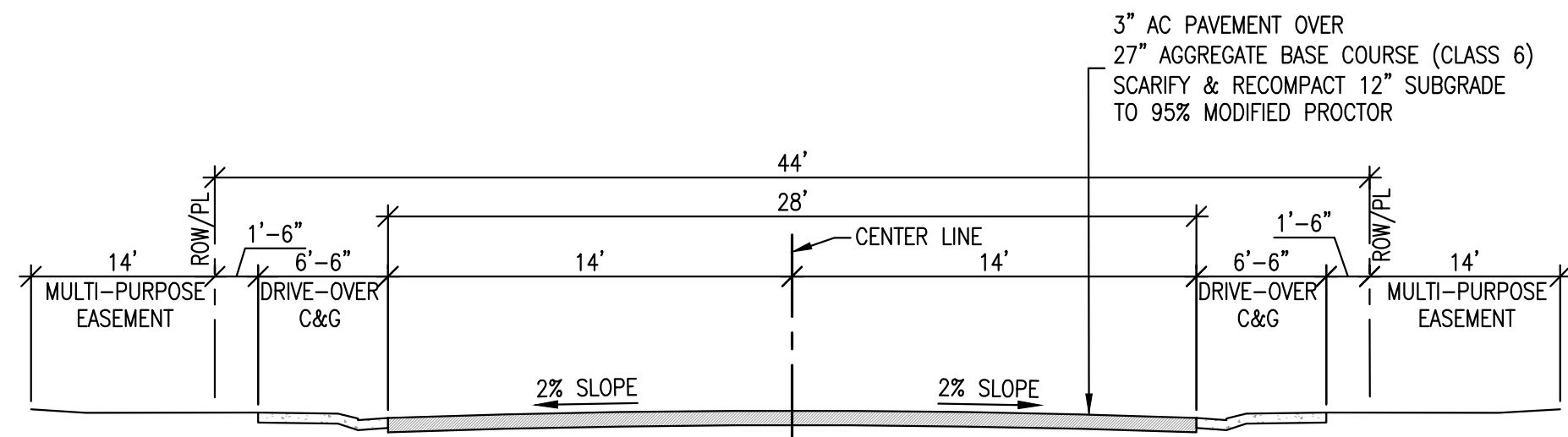
Composite Site Plan
Dwell P.U.D.
Final Plan
1136 17 1/2 Road
Fruita, Colorado 81521

SCALE: 1" = 40'

ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR, OR THE ENGINEER FROM CONFORMANCE WITH THE CITY OF FRUITA DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS MANUAL.

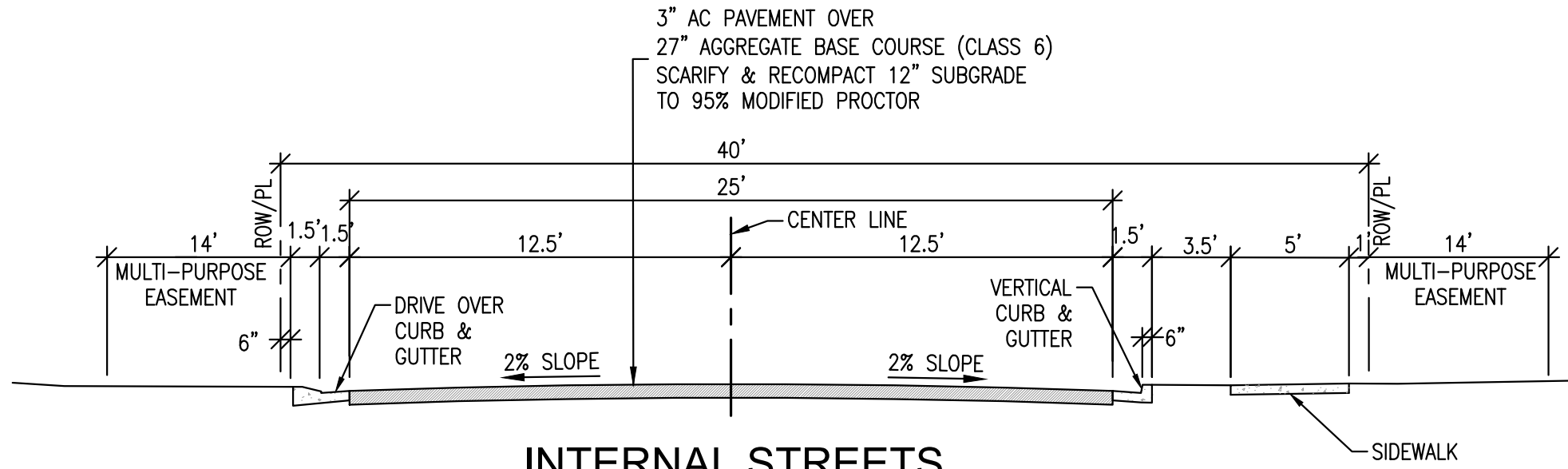
DATE _____

C1.0



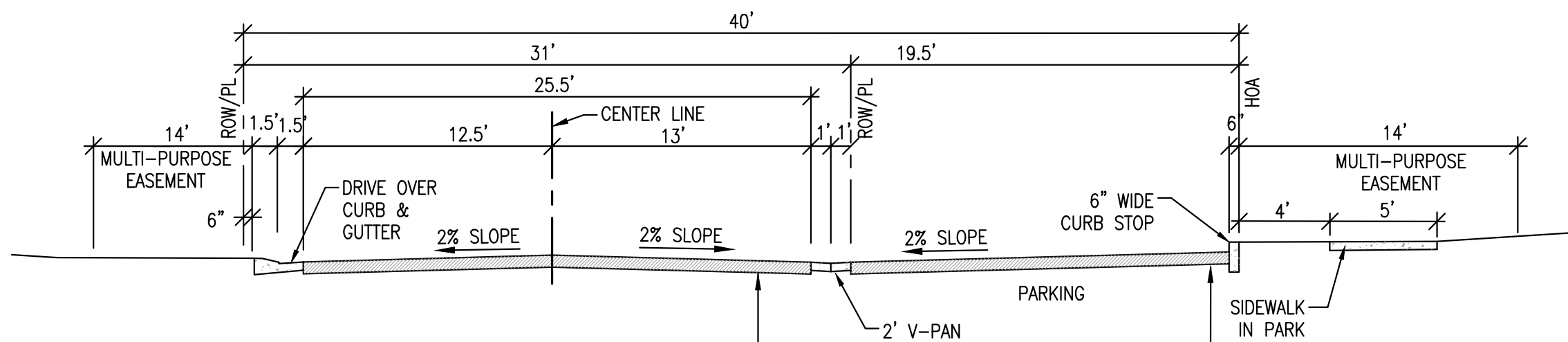
WILDWOOD DRIVE
URBAN RESIDENTIAL STREET
N.T.S.

THIS PAVEMENT SECTION WAS BASED UPON A PROVIDED GEOTECHNICAL INVESTIGATION PREPARED BY CAPSTONE ENTERPRISES WEST, LLC., DATED FEBRUARY 13, 2007. ALL RECOMMENDATIONS AND SPECIFICATIONS PROVIDE IN THE GEOTECHNICAL INVESTIGATION SHALL BE ADHERED TO. DEVIATIONS FROM THE REPORT RECOMMENDATIONS AND SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO IMPLEMENTING.



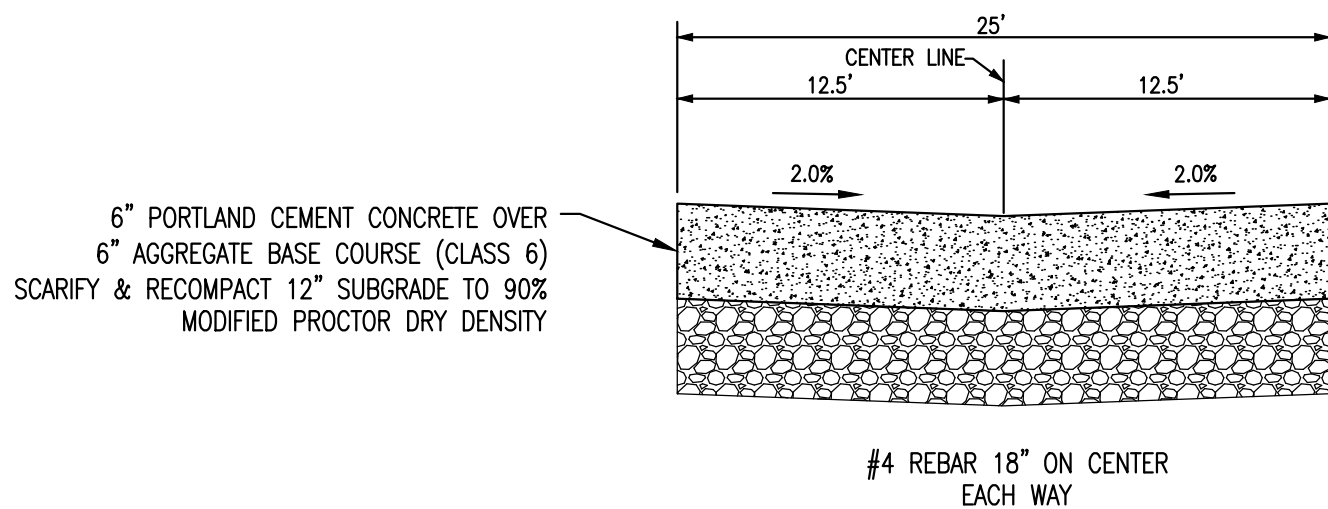
INTERNAL STREETS
ONE SIDE ON-STREET PARKING
N.T.S.

THIS PAVEMENT SECTION WAS BASED UPON A PROVIDED GEOTECHNICAL INVESTIGATION PREPARED BY CAPSTONE ENTERPRISES WEST, LLC., DATED FEBRUARY 13, 2007. ALL RECOMMENDATIONS AND SPECIFICATIONS PROVIDE IN THE GEOTECHNICAL INVESTIGATION SHALL BE ADHERED TO. DEVIATIONS FROM THE REPORT RECOMMENDATIONS AND SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO IMPLEMENTING.



INTERNAL STREETS
PARKING PODS
NO ON-STREET PARKING
N.T.S.

THIS PAVEMENT SECTION WAS BASED UPON A PROVIDED GEOTECHNICAL INVESTIGATION PREPARED BY CAPSTONE ENTERPRISES WEST, LLC., DATED FEBRUARY 13, 2007. ALL RECOMMENDATIONS AND SPECIFICATIONS PROVIDE IN THE GEOTECHNICAL INVESTIGATION SHALL BE ADHERED TO. DEVIATIONS FROM THE REPORT RECOMMENDATIONS AND SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO IMPLEMENTING.



ALLEY SECTION 25' WIDE
N.T.S.

THIS PAVEMENT SECTION WAS BASED UPON A PROVIDED GEOTECHNICAL INVESTIGATION PREPARED BY CAPSTONE ENTERPRISES WEST, LLC., DATED FEBRUARY 13, 2007. ALL RECOMMENDATIONS AND SPECIFICATIONS PROVIDE IN THE GEOTECHNICAL INVESTIGATION SHALL BE ADHERED TO. DEVIATIONS FROM THE REPORT RECOMMENDATIONS AND SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO IMPLEMENTING.

PROJECT BENCHMARK

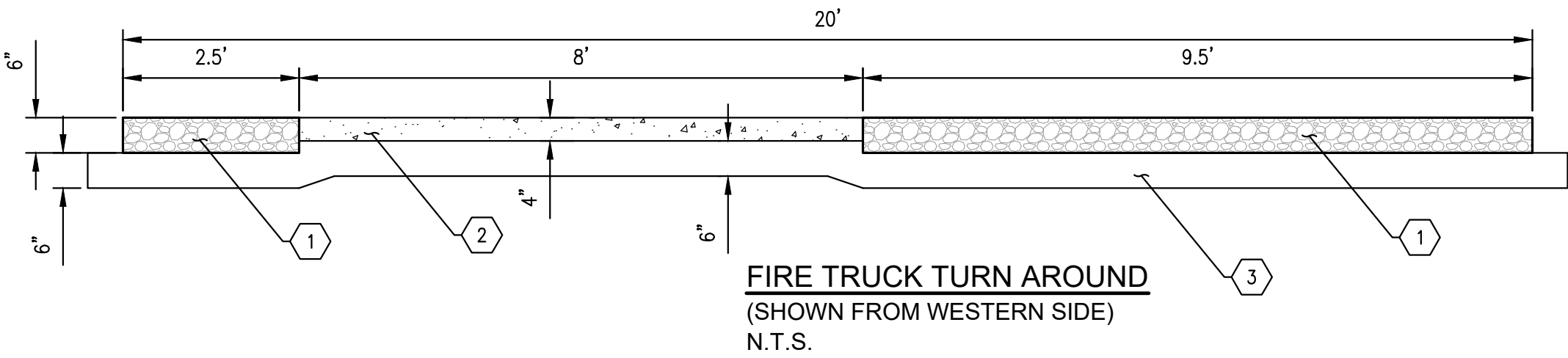
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PROJECT BENCHMARK #2 IS THE MESA COUNTY SURVEY MONUMENT #887-1, GPS ID NO.: T1001, LOCATED AT THE S-1/16 CORNER OF SECTION 8, T1N, R2W, UTE MERIDIAN ON MAPLE AVE. (17.5 RD.). ELEVATION=4519.83

LOCATION OF UTILITIES SHOWN HEREON WAS PROVIDED BY OTHERS. CONTRACTOR MUST VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.



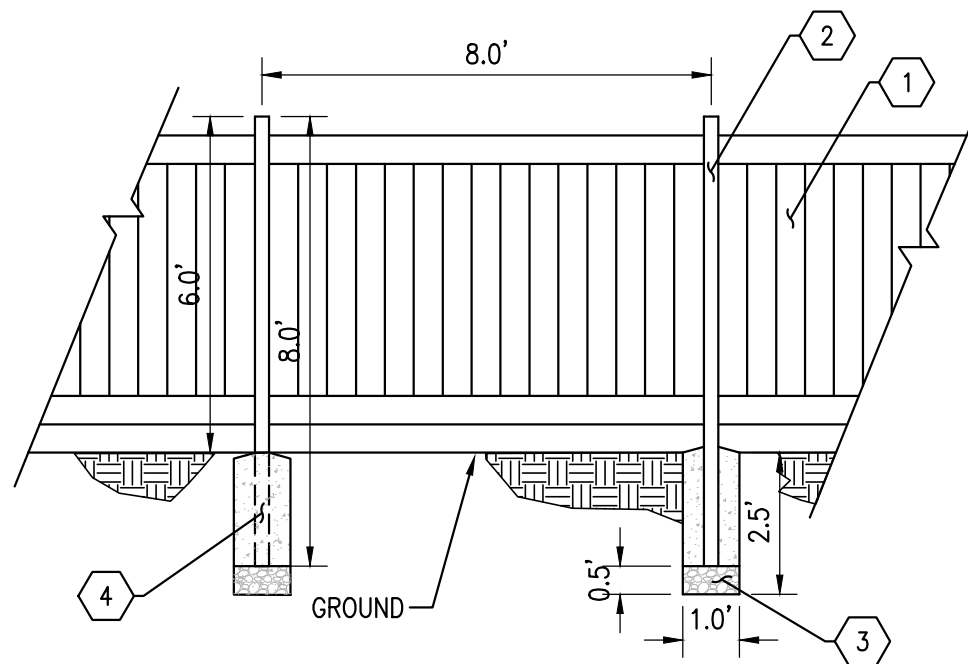
GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO THE CURRENT CITY OF FRUITA DEPARTMENT OF PUBLIC WORKS AND PLANNING STANDARDS AND SPECIFICATIONS.
- CONTRACTOR MUST CONTACT CITY OF FRUITA TRAFFIC OPERATIONS SUPERVISOR PRIOR TO CONSTRUCTION OR PLACEMENT OF TRAFFIC CONTROL DEVICES/FEATURES (STRIPING, SIGNALS, MEDIANS, ETC.) FOR CONSTRUCTION IN THE RIGHT-OF-WAY ONLY.
- REFER TO THE GEOTECHNICAL INVESTIGATION BY HUDDLESTON-BERRY, DATED T.B.D. FOR RECOMMENDATIONS REGARDING PAVEMENT, SLABS, FOUNDATIONS AND GROUNDWATER MITIGATION REQUIREMENTS.
- LIGHTING TO BE DESIGNED BY UTILITY PROVIDER. (XCEL ENERGY).
- ALL SANITARY SEWER MANHOLES ARE 48" I.D.
- FOR STREET SECTIONS SEE SHEETS C1.1



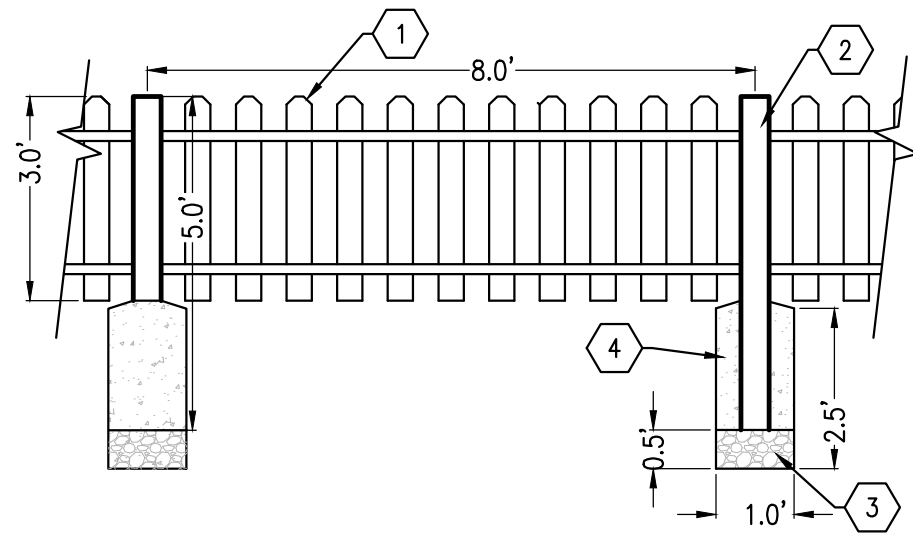
FIRE TRUCK TURN AROUND
(SHOWN FROM WESTERN SIDE)
N.T.S.

- 6" COMPACTED 3/4" GRAVEL
- 4" x 8" CONCRETE TRAIL
RE: FRUITA STANDARDS
- 6" COMPACTED CLASS VI BASE



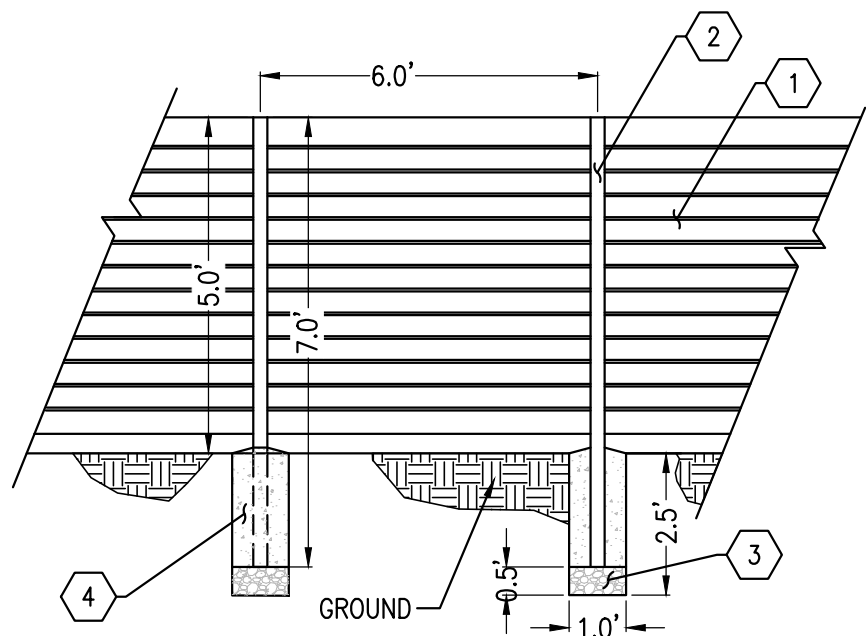
6" VINYL PANEL FENCE
(SHOWN FROM BACK SIDE)
N.T.S.

- 6' x 8' VINYL FENCE PANEL
- 8" x 4" VINYL POST AT 8' O.C.
SET IN CONCRETE
- 3/4" GRAVEL
- PORTLAND CEMENT



3' VINYL SPACED PICKET FENCE
(SHOWN FROM BACK SIDE)
OPEN SPACE BOUNDARY - DEVELOPER INSTALLED
N.T.S.

- 3' x 8' VINYL SPACED PICKET PANELS
- 4"x4" x 5' VINYL POST AT 8' MAX. O.C.
SET IN CONCRETE
- 3/4" GRAVEL
- PORTLAND CEMENT



5" VINYL HORIZONTAL SLAT FENCE
(SHOWN FROM BACK SIDE)
PROPERTY LINES BETWEEN HOMES - HOMEOWNER INSTALLED
N.T.S.

- 5' x 6' VINYL FENCE PANEL
8" HEADER AND 6" HORIZONTAL
SLATS OR APPROVED EQUIVELANT
- 4"x4" X 7' VINYL POST AT 6' O.C.
SET IN CONCRETE
- 3/4" GRAVEL
- PORTLAND CEMENT

FOR REVIEW - NOT FOR CONSTRUCTION

Street Sections and Fence Details

Dwell P.U.D.
Final Plan
1136 17 1/2 Road
Fruita, Colorado 81521

PROJECT NO: F19-095
DATE: 09/10/21
SCALE: change per sheet
site_f19-095.dwg

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE
ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR, OR THE ENGINEER FROM CONFORMANCE WITH THE CITY OF FRUITA DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS MANUAL.

CITY OF FRUITA ENGINEERING DIVISION REPRESENTATIVE

DATE

~SHEET~
C1.1

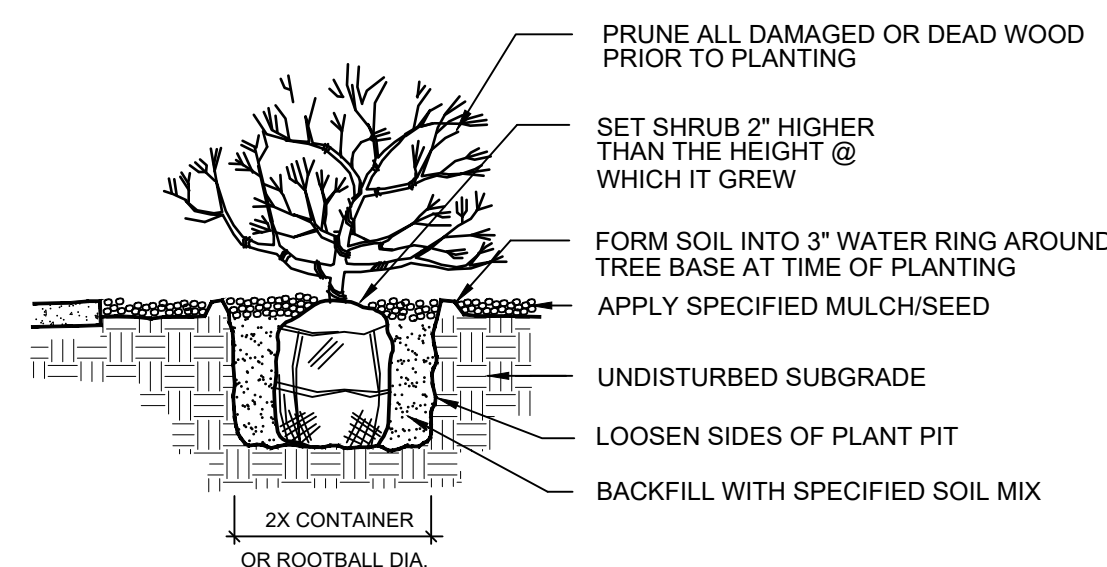
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REV.	DATE	BY	COMMENT

VORTEX
ENGINEERING, INC.
CONSTRUCTION MANAGERS & SITE PLANNERS
PROJECT MANAGERS
CIVIL & CONSULTING ENGINEERS
881 Flood Avenue
Grand Junction, CO 81501
Phone: (970) 245-9051
Fax: (970) 245-7639

STEPHEN E.
SWINDELL

PROFESSIONAL ENGINEER
COLORADO LICENSE NO. 57888



SCALE: NTS

SCALE: NTS



2

0 20' 40'

SCALE: 1" = 20'-0"



1

MITCH REWOLD LANDSCAPE ARCHITECTS
LANDSCAPE ARCHITECTURE AND
LAND PLANNING

386 34 $\frac{1}{2}$ Road
Palisade, Colorado 81526 (970) 361-4345



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[illegible]

LANDSCAPE PLAN
Dwell P.U.D.
Concept
1136 17 1/2 Road
Fruita, Colorado, 81521

PROJECT NO: F19-095
DATE: 08/23/21
SCALE: 1"=40'-0"
CAD ID: L-1LANDSCAPE.DWG

~SHEET~

L1 OF L2