

# CITY OF FROSTBURG

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS APPLICATION



DEPARTMENT OF COMMUNITY DEVELOPMENT

FROSTBURG MUNICIPAL CENTER

37 BROADWAY, P.O. BOX 440

FROSTBURG, MD 21532

Applicant Name: The Tunnel Hotel & TRAIL INN CAFE LLC  
Applicant's Address: 20 Depot St  
Phone Number(s): 724-919-7987  
Property Owner Name: Adam Forshee  
Property Address and Location: 287 E Main St Frostburg

Type of Change: ☐ Alteration ☐ Demolition ☒ Grading  
☒ Addition ☐ Repair ☐ Excavation  
☐ New Building ☒ Sign ☐ Other: \_\_\_\_\_

Work to be performed:

- ☐ PLANS – Architect or Engineer: \_\_\_\_\_  
☐ DEMOLITION - Contractor: \_\_\_\_\_  
☐ RENOVATION/CONSTRUCTION – Building Contractor(s): \_\_\_\_\_

Scope of Work (describe project in detail, list materials and dimensions):

Replace existing TRAIL INN Sign with Replica of historic original  
sign reading TUNNEL HOTEL  
Build 14' x 38' Deck off the front of existing hostel building,  
to facilitate outdoor dining, with 2x10 treated joists and trex decking  
with cable railing.  
Grade slope to allow extra level area for guests

Is the property subject to an historic preservation easement?



Is the easement held by a third party organization other than the property owner?



If yes, please provide a copy.

# CITY OF FROSTBURG

## BUILDING PERMIT APPLICATION



DEPARTMENT OF COMMUNITY DEVELOPMENT

CITY HALL

59 E. MAIN STREET, P.O. BOX 440

FROSTBURG, MARYLAND 21532

### Applicant Information

Name: Tunnel Hotel and TRAIL INN Cafe LLC Phone: 724-919-7987  
Address: 20 Depot St City/St/Zip: Frostburg MD 21532

### Property Owner Information

Name: Adam Forshee Phone: 724-919-7987  
Address: 287 E Main St City/St/Zip: Frostburg, MD 21532

### Builder/Contractor Information *If property owner, State of Maryland Affirmation of Landowner MUST be attached*

Name: Adam Forshee Phone: 724-919-7987  
Address: 20 Depot St City/St/Zip: Frostburg MD 21532  
MHBR No: \_\_\_\_\_ MHIC No: \_\_\_\_\_

### Project Information

Project Address or Location: 20 Depot St Frostburg  
☐ Primary Structure ☐ Accessory Structure | Building Use: \_\_\_\_\_  
Description: 38' x 12' Deck, composite decking, stainless cable railing  
Dimensions: 38 x 12 Square footage: 460 Height: \_\_\_\_\_  
Area Disturbed: \_\_\_\_\_ No. of Units: \_\_\_\_\_ No. of Stories: \_\_\_\_\_  
No. of Rooms: \_\_\_\_\_ No. of Bathrooms: \_\_\_\_\_ No. of Bedrooms: \_\_\_\_\_ Basement: ☒ Y / ☐ N  
☐ Water ☐ Sewer ☐ Electric | Estimated Value: \$ 15,000 for Allegany County Assessment Office use

### Setback Information

Front: 7 feet Rear: N/A Left: 12 feet Right: Attached Other: \_\_\_\_\_  
Setback from Alley: N/A Stream/Drainway: N/A Buildings: Attached  
Other Setback Information: \_\_\_\_\_ Corner Lot ☐

### Property Information *Attach Maryland Real Property Search data sheet to complete application*

Map: 0201 Parcel: 0009A Lot: \_\_\_\_\_ Tax Account ID: 11-007333  
Lot Size: .942 Zoning District: C3 Election District: 11-000 Historic District: ☒ Y ☐ N FEMA Zone: N

Comments:

# CITY OF FROSTBURG

SIGN PERMIT APPLICATION

DEPARTMENT OF COMMUNITY DEVELOPMENT

CITY HALL

59 E. MAIN STREET, P.O. BOX 440

FROSTBURG, MD 21532



Please refer to City Zoning Ordinance Section 7 for types of signs requiring permits & sign standards.

Applicant's Name: Tunnel Hotel and Trail Inn Cafe LLC

Applicant's Address: 20 Depot St

Phone No.: 724 919 7987

Property Owner's Name (if different than applicant): Adam Forshee

Phone No.: 724-919-7987

Property Owner's Address: 287 E Main St

Sign Permit Location: 20 Depot St

Physical address or distance and direction from nearest intersection

Use of Property: Motel / Dining

Sign Dimensions: 180" x 24" Height to Top of Sign: 12 feet Two-Sided: ☒ / ☐

Replacement of an existing sign board or panel?: ☒ / ☐ Length of Building or Tenant Space: 34 feet

Illuminated: ☐ / ☒ How? \_\_\_\_\_

Digital: ☐ / ☐ Explain Software Display and Sequence: \_\_\_\_\_

**NOTE:** ATTACH ONE COPY OF PLANS AND/OR DRAWING(S) DETAILING THE SIGN'S APPEARANCE, EXACT LOCATION WITH RESPECT TO PROPERTY LINES, BUILDINGS AND POWER LINES, METHOD OF ILLUMINATION AND SUPPORT STRUCTURE.

## ADDITIONAL APPROVALS REQUIRED

Maryland State Highway Administration – If sign is new and NOT replacing an existing sign AND is located adjacent to a State Route.

Contact: MD SHA  
1251 Vocke Road  
LaVale, MD 2152  
Ph.: 301.729.8443

Frostburg Historic District Commission – If sign is located within the Frostburg Historic District, contact City staff for information.

I hereby agree to comply with all regulations and code which are applicable hereto, and further agree that any misstatement or misrepresentation of the facts presented as part of this application or change to proposal without approval of the agencies concerned, shall constitute sufficient grounds for disapproval or revocation of the subject permit.

Applicant's Signature: Adam C Forshee

Date: 12/13/24

## FOR CITY USE ONLY

FEES - Permit Fee \$ \_\_\_\_\_ + Other Fees \$ \_\_\_\_\_ = TOTAL DUE \$ \_\_\_\_\_ Payment Type:

Cash Check No.: \_\_\_\_\_

Application Date: \_\_\_\_\_ Taken by: \_\_\_\_\_

Permit Issue Date: \_\_\_\_\_ Issued by: \_\_\_\_\_

PERMIT NO. \_\_\_\_\_

**FROSTBURG HISTORIC DISTRICT  
Historic Resource Inventory  
2013**

**Address:** 20 Depot Street

**Date of Construction:** c. 1888    **Status:** C



Image Number: FHD-415; below 416, 418, 419



Formerly the Tunnel Hotel, this former hotel is a 3-story side-gable-roofed Italianate-derived brick building with an interior gable-end chimney and a series of brackets under the eaves. A double-gallery porch of undetermined age extends across the façade and side elevation. Windows are flat-topped, 1/1. It was operated by Albert Holley and was a less prestigious hostelry than was the Gunther Hotel, in downtown Frostburg. Non-contributing commercial buildings associated with the building are on either side.







Feb 10, 2025, 2:05 PM





Feb 10, 2025, 2:06 PM





Feb 10, 2025, 2:06 PM



TrexSignature®

TrexTranscend®  
LINEAGE®

TrexTranscend®

TrexSelect®

TrexEnhance®  
NATURALS

TrexEnhance®  
BASICS

\$\$\$\$\$ 50 YEARS  ★★★★★

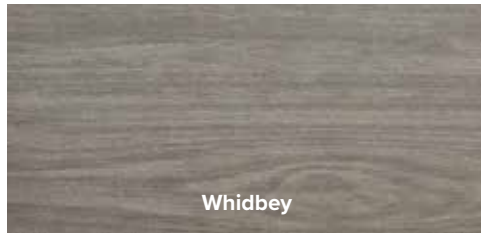
\$\$\$\$\$ 50 YEARS  ★★★★★

\$\$\$\$\$ 50 YEARS  ★★★★★

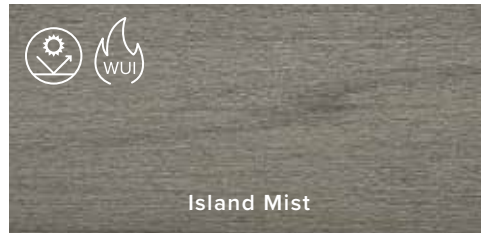
\$\$\$ 35 YEARS  ★★★

\$\$ 25 YEARS  ★

\$ 25 YEARS  ★



Whidbey



Island Mist



Island Mist



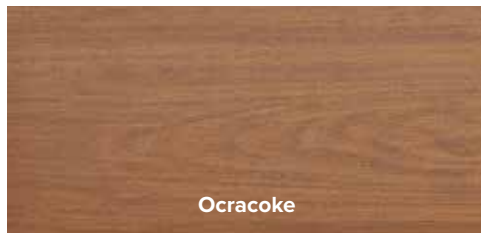
Pebble Grey



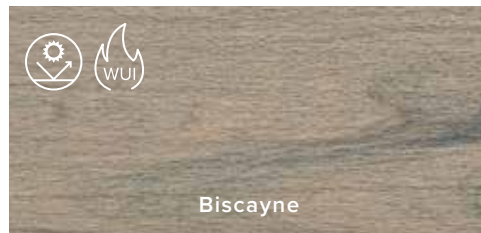
Foggy Wharf



Clam Shell



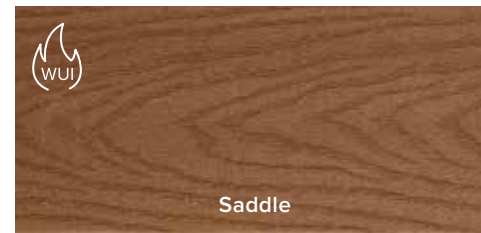
Ocracoke



Biscayne



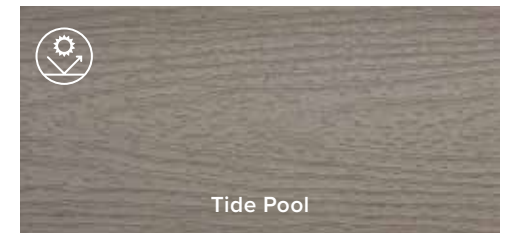
Tiki Torch



Saddle



Rocky Harbor



Tide Pool

Make the Trex decision  
that's right for you™

PRICE

\$ - \$\$\$\$\$\$

LIMITED RESIDENTIAL  
WARRANTY COVERAGE

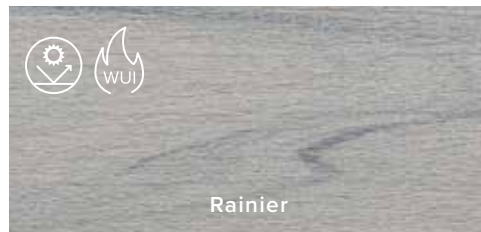
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YEARS

35  
YEARS

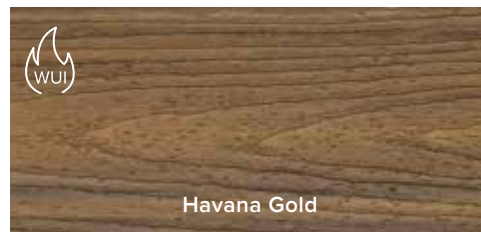
25  
YEARS

DECKING  
SCRATCH RESISTANCE

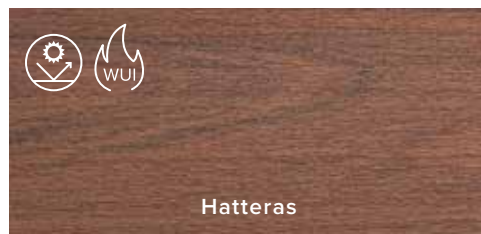
★ - ★★★★★



Rainier



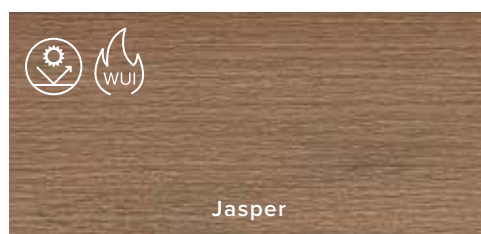
Havana Gold



Hatteras



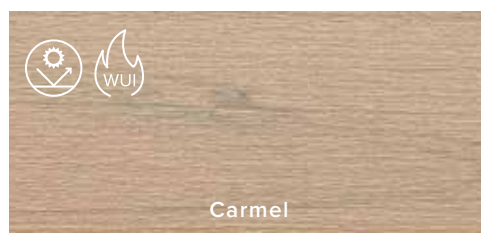
Spiced Rum



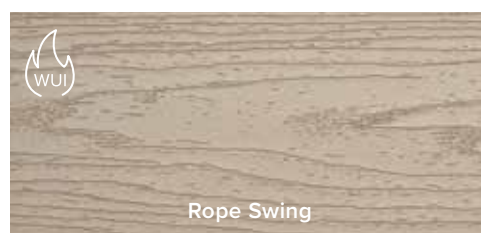
Jasper



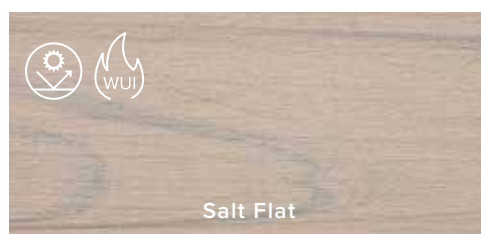
Lava Rock



Carmel



Rope Swing



Salt Flat

HEAT MITIGATING



Our SunComfortable™ products with heat-mitigating technology are designed to be cooler than most other composite decking products of a similar color. Although engineered to be more comfortable, they can still get hot to the touch when direct sunlight and high temperatures converge for extended periods of time. On such days, care should be taken.

FIRE-RESISTANT



Boards with this symbol are Wildland Urban Interface (WUI) compliant, making them an excellent option for areas prone to wildfires.

BOARD PROFILES

 Solid  
 Scalloped

 Square edge  
 Grooved edge

Use with Trex Hideaway® Hidden Fastening System for a clean, screw-free appearance.





**Trex Select®**

The perfect pairing of price and minimal maintenance

### Performance-Engineered™ boards for ultra-low maintenance and durability

Trex Select comes in two nature-inspired colors that pair smartly with any home, and offers a soft, splinter-free finish that's comfortable underfoot. Select decking is also Wildland Urban Interface (WUI) compliant, making it an excellent option for areas prone to wildfires.



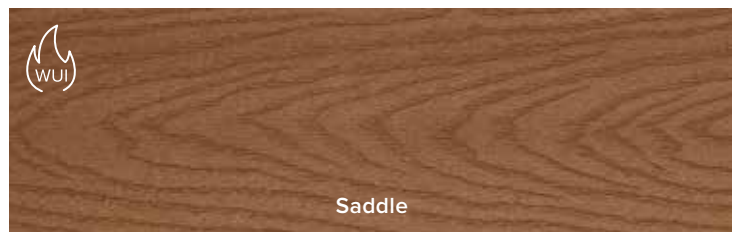
\$\$\$



SCRATCH RESISTANCE



Pebble Grey



Saddle



## The Trex Hideaway® Collection

When you want a deck that delivers above and beyond, build with the expanded Trex Hideaway® Collection, providing solutions for every deck fastening need, including color-matched screws, plugs, Butt Joint Clip and more.



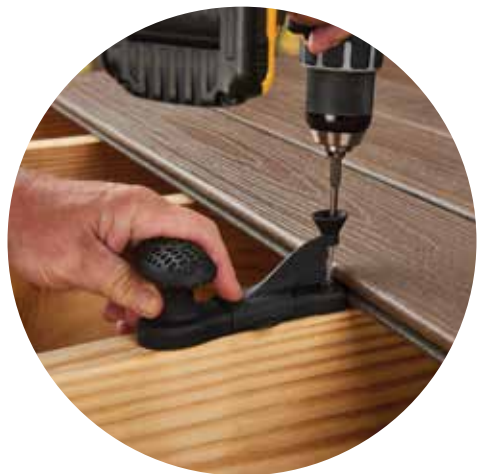
### Hideaway Clips

Crafted specifically for Trex decking, Hideaway® Clips offer a strong and seamless connection for a secure installation, every time.



### Hideaway Plugs & Screws

Trex Hideaway® Color Match Composite Deck Screws and Decking Plugs offer both precision and lasting beauty that work across all decking lines.



### One-Step Hidden Fastener Install Tool

Created with both the professional and the first time DIY'er in mind, this innovative tool delivers a faster, more precise installation, cutting install time up to half.

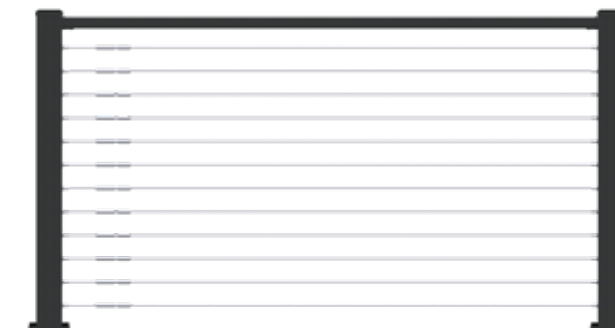




DECKING:  
Trex Signature Decking  
in Whidbey(WY)  
RAILING:  
Trex Signature X-Series  
Frameless glass infill



Stainless steel cable infill



Frameless glass infill



## Two Speciality Infill Options

Choose a modern stainless steel cable rail or the frameless glass infill for unobstructed views and streamlined looks.

Cable hardware is made from premium-grade stainless steel for corrosion resistance in marine and coastal applications, with novel spring-loaded cables for optimal tension management.



DECKING:  
Trex Signature in Ocracoke (OC)  
RAILING:  
Trex Signature X-Series cable infill



**Trex**Signature®  
X-SERIES™ RAILING



Charcoal Black

\$\$\$\$\$

★★★★★  
DESIGN FLEXIBILITY

**Outdoor sophistication  
and X-ponential style**



Product information:

# Wolmanized® Residential Outdoor® Wood

Protected by the advanced type C formulation  
of micronized copper azole ( $\mu$ CA-C)

# WE ARE

WOLMANIZED®

OUTDOOR® WOOD

**Wolmanized® Residential Outdoor® wood** combines the natural beauty of real wood with long-lasting resistance to termite damage and fungal decay. This wood is ideal for decks, retaining walls, fences, picnic tables, planter boxes, walkways, sill plate and structural members. At appropriate retention levels, it can be used for above ground, ground contact, and freshwater immersion applications. It is presently not recommended for saltwater immersion.

Micronized copper azole preservative (using finely ground particles suspended in the treating solution) renders wood useless as a food source for termites and fungi. Its type C formulation, which incorporates a combination of synergistic azoles, is the advanced version.

Preservative is forced into the wood under pressure, where it provides decades of protection. Copper is the primary ingredient, protecting against termites and most fungal decay. Protection against copper-tolerant fungi is provided by the dual azole co-biocide.

Some chemical may migrate from preserved wood into surrounding soil and water over time and may also be dislodged from the wood surface upon contact.

#### Warranty:

Wolmanized® lumber is backed by a limited warranty in qualifying residential and agricultural applications. See website for details.

#### Recommended hardware:

The International Building Code and International Residential Code require metal fasteners in contact with any preservative treated wood to be hot-dipped galvanized material meeting ASTM A 153. Code requirements should be observed.

Connectors should be made from galvanized steel sheet conforming to ASTM A 653 Class G185. For Permanent Wood Foundations, use 304 or 316 stainless steel fasteners.

Indoors, and where wood will remain dry in service, corrosion is less likely to occur than outdoors. The model code permits use of standard galvanized strapping or mild steel anchor bolts 1/2" diameter and larger for fastening Wolmanized® wood to foundations.

Aluminum flashing (3015 or similar alloy) may be used in contact with  $\mu$ CA-C treated wood in interior or exterior, above ground applications that are damp or intermittently wet. When treated wood is subject to immersion or frequent or prolonged wetting, factory coated aluminum or an insulating moisture resistant barrier should be used between the treated wood and the aluminum.

#### Maintenance:

When dry on its surface, Wolmanized® wood can be stained like ordinary wood, and, once dry internally, can be painted. For thorough internal drying, purchase material that has been re-dried after treatment or, after the project has been completed, allow several months of good drying weather prior to painting.

Many light-colored latex paints can be used successfully, following brush-application of an oil-based

primer. Primer should not be applied by sprayer, nor should coatings be used if their manufacturer advises against an oil-based primer. Always follow the manufacturer's directions and take special care in coating end grain, holes, and cuts.

For protection against moisture damage, regular application of a topical water repellent is recommended. Periodic cleaning can revive the color of preserved lumber.

#### Handling precautions:

Follow guidelines similar to those for handling untreated wood. For example: wear a dust mask to control inhalation of sawdust; wear gloves when working with wood; wear goggles to protect eyes from flying particles; and wash after working with wood and before eating, drinking, toileting, or using tobacco products. Do not use treated wood under circumstances where the preservative may become a component of food or animal feed. For other precautions, see the website.

#### Disposal:

Wolmanized® wood waste, such as scraps, broken boards, and sawdust, can be disposed of with ordinary trash collection. Treated sawdust and shavings are not recommended for composting, mulching, or animal bedding, and the wood should not be burned except in approved commercial incinerators.

#### Codes and standards:

This wood meets requirements of model building codes for many applications, and a code evaluation report has been issued. See ICC-ES's ESR-1721 for allowable values and/or conditions of

use. Such reports are subject to re-examination, revisions, and possible closing of file.

#### And it's wood:

In addition to the preservative treatment that enables wood to last a long time, Wolmanized® wood has all of the environmental and other advantages associated with wood itself. Its source is a renewable and rapidly replenished resource grown on managed timberlands, requiring less energy to produce than alternative building materials and offering greater insulation value. Growing forests and wood products reduce greenhouse gases.

Wood offers excellent workability with common construction skills and tools, plus it provides design flexibility and is generally more economical than alternative materials. Furthermore, for many applications, wood is aesthetically preferable.

#### Model specification:

For a downloadable and editable model spec, visit [www.wolmanizedwood.com](http://www.wolmanizedwood.com)



Home Innovation  
NGBS GREEN CERTIFIED™

For details on the significance of these symbols, see [www.HomeInnovation.com/green](http://www.HomeInnovation.com/green) and [www.GoodHousekeeping.com/GHSeal](http://www.GoodHousekeeping.com/GHSeal)



# Specification Guide for Treated Wood End Uses

Preservative Retention  
(Lbs. per cubic foot)  
μCA-C

## AGRICULTURE, FARM USE

Round poles and posts as structural members	.23
Sawn poles and posts as structural members	.23
Posts, Fence	
Round, half & quarter round	.14
Sawn four sides	.14
Lumber, in soil contact	.14
Lumber, not in soil contact	.050
Plywood, in soil contact	.14
Plywood, not in soil contact	.050
Grape stakes, sawn	.14

## BUILDING CONSTRUCTION MATERIAL

Sill plate	.050
Flooring, residential	
Damp environment	.050
Dry environment	.050
Framing, interior	.050
Lumber	
Interior, above ground	.050
Exterior, above ground	.050
Ground contact and fresh water use	.14
Permanent Wood Foundation	
Lumber & Plywood	.23
Plywood	
Sub-floor, damp above ground	.050
Exterior, above ground	.050
Ground contact and fresh water use	.14
Poles, building	
Round	.23
Sawn	.23
Poles, utility (Southern pine, western red cedar)	.23
Piling, foundation, land & freshwater	
Round timber (Southern pine)	.33

## DECKS

Above ground: Decking, joists, rails, steps	.050
Sapwood species: Decking, specialties	.050
Ground contact: Posts	.14

## FENCES

Pickets, slats, trim	.050
Posts, sawn	.14

## HIGHWAY MATERIAL

Lumber and timbers for bridges, structural members, decking, cribbing, & culverts	.23
Handrails and guardrails	.050
Posts, general use	
Round, half-round, quarter round	.14
Sawn	.14
Posts, guardrail	
Round	.23
Sawn	.23

**WOLMANIZED®**  
OUTDOOR® WOOD

**www.WolmanizedWood.com**

©2014, Arch Treatment Technologies, Inc.  
Arch Treatment Technologies, Inc. and Arch Wood Protection, Inc. are Lonza companies

WOW-5086-R5







**TUNNEL HOTEL**

Mail body:



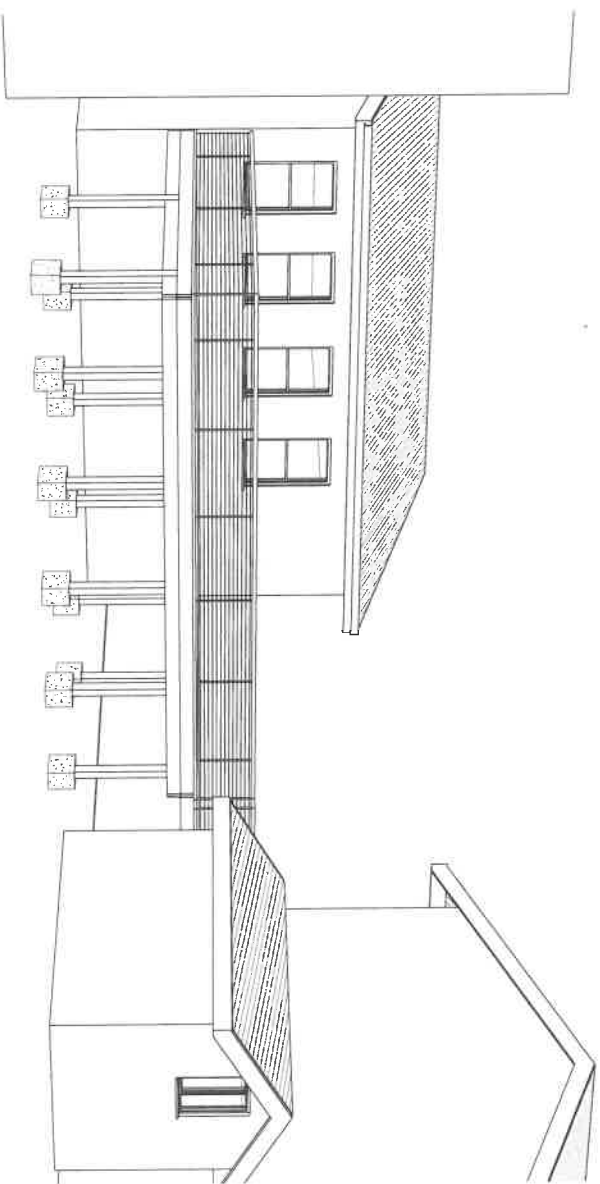
Sent from my iPad

**PROPOSED  
DECK ADDITION**

20 DEPOT ST FROSTBURG,  
MD 21532

CLIENT

SHEET LIST	
Sheet Number	Sheet Name
A00	COVER PAGE
A100	FOUNDATION PLAN
A101	FRAMING PLAN
A102	EXISTING FLOOR PLAN
A103	PROPOSED FLOOR PLAN
A104	FRONT ELEVATION
A105	GENERAL DETAILS
A106	3D MODEL



Scale  $1/4'' = 1'-0''$



CITY PERMIT - PRO  
Architect: Wilson@gmail.com

Project Name  
20 Depot st Frostburg, MD 21532

OWNER:  
Client Name

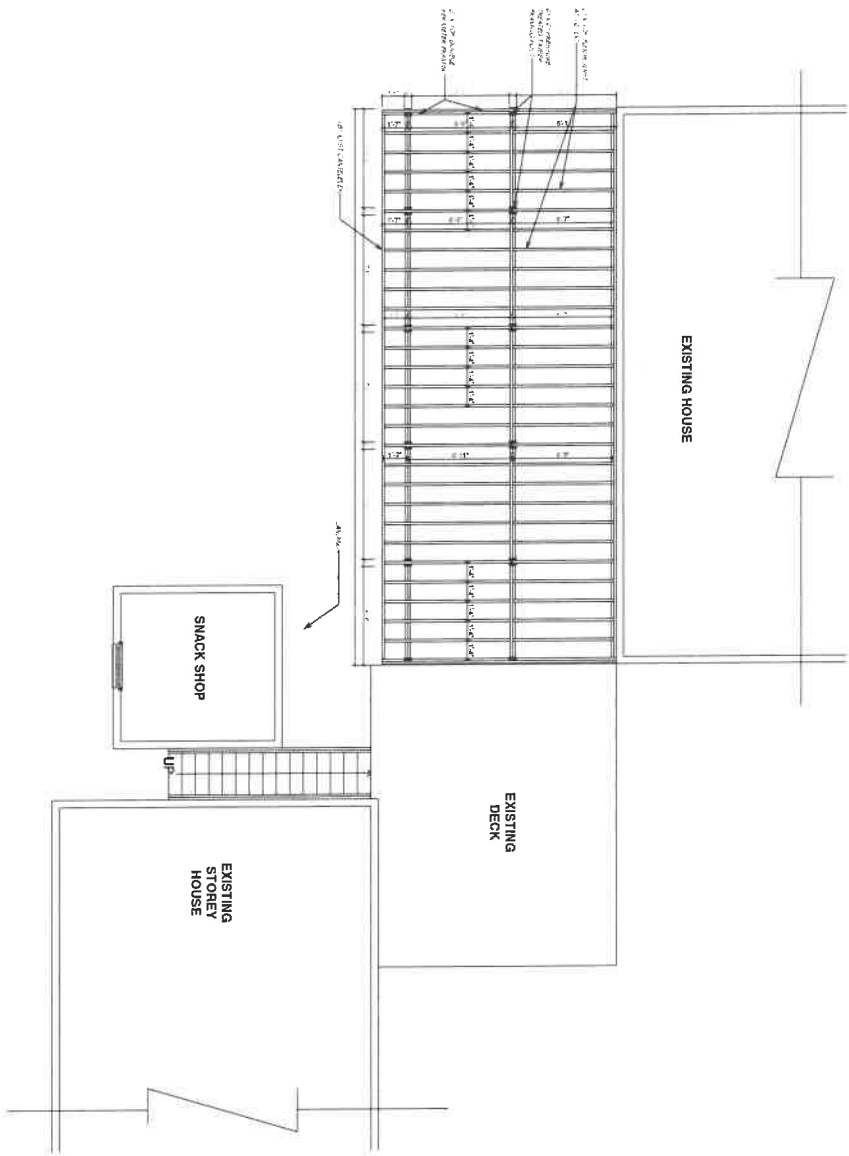
Release For Construction

FRAMING PLAN

Date: 12/17/2024 9:29:37 PM  
Drawn by: AUBREY  
Checked by: CROSBY

A101

Scale: 1/4" = 1'-0"



CITY PERMIT - PRO  
ArchibonWilson@gmail.com

Project Name  
20 Depot st Frostburg, MD 21532

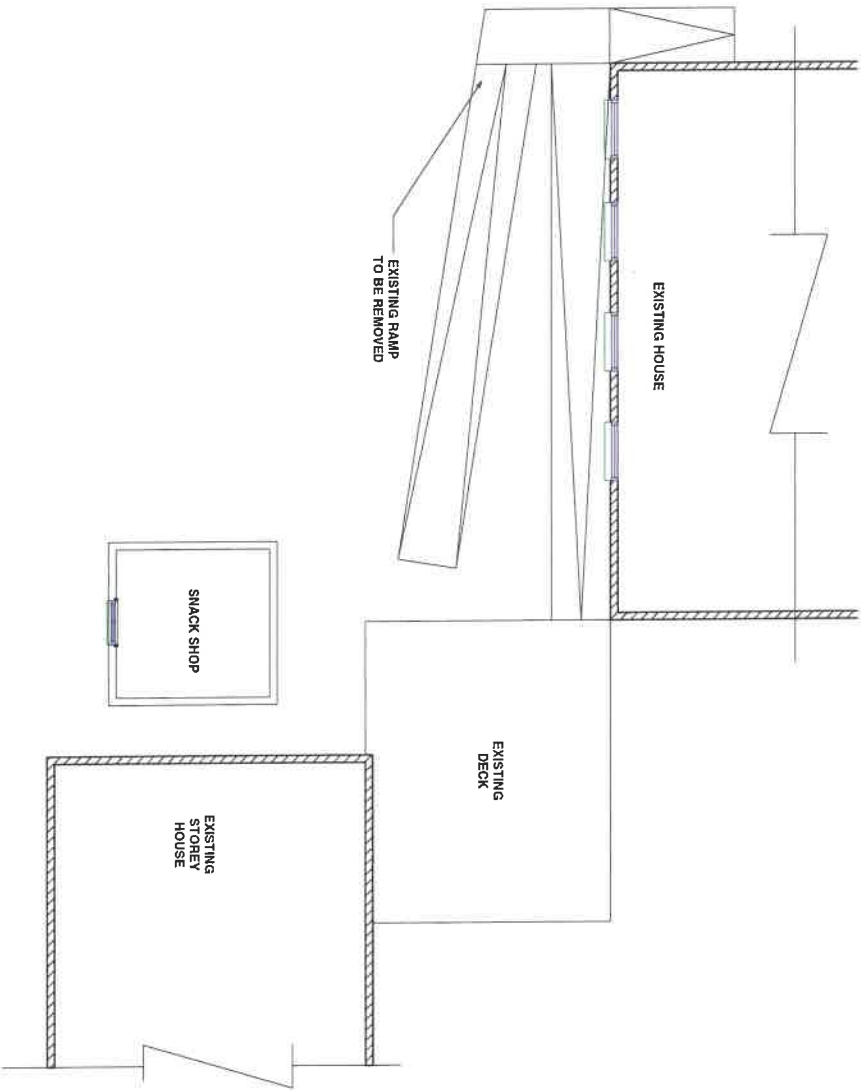
OWNER:  
Client Name

Release For Construction

EXISTING FLOOR PLAN  
Date 12/17/2024 9:29:37 PM  
Created by JWH/BC  
Checked by C/EEB

A102

Scale 1/4" = 1'-0"



CITY PERMIT - PRO  
ArchNeconWilson@gmail.com

Project Name  
20 Depot st Frostburg, MD 21532

OWNER:  
Client Name

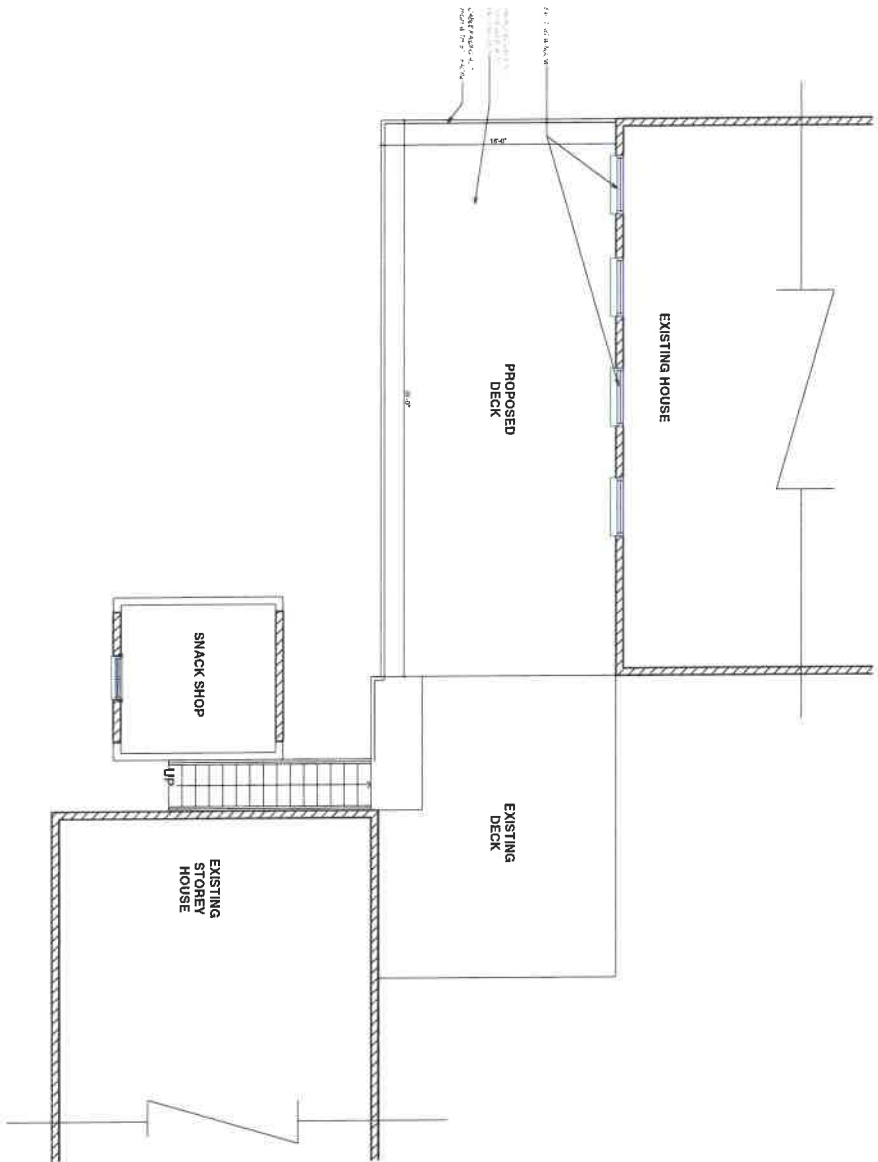
Release For Construction

PROPOSED FLOOR PLAN

Date 3/21/2024 9:23:37 PM  
Drawn by  
Checked by  
Author  
Checker

A103

Scale 1/4" = 1'-0"



CITY PERMIT - PRO  
ArchitectWilson@gmail.com

Project Name  
20 Depot st Frostburg, MD 21532

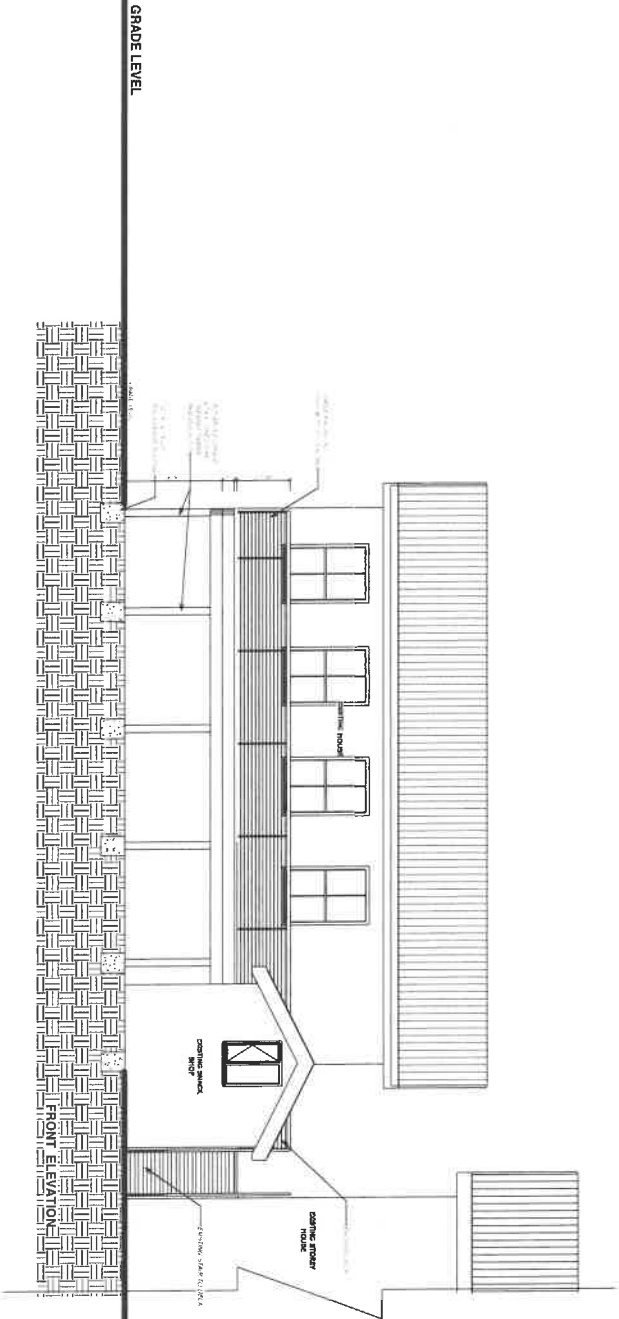
OWNER:  
Client Name

Release For Construction

FRONT ELEVATION  
Date 12/17/2024 9:53:37 PM  
Drawn by  
Checked by  
Audited by

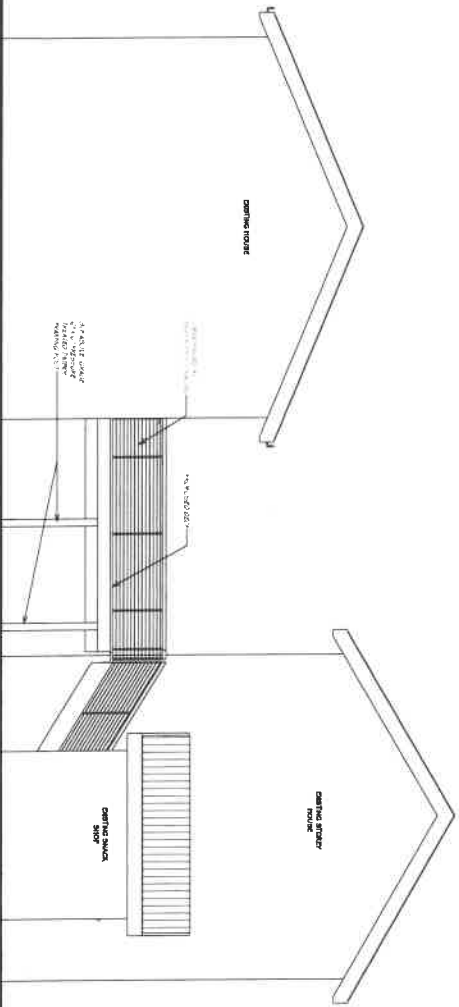
A104

Scale 1/4" = 1'-0"

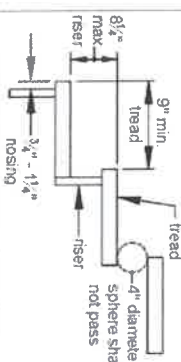


GRADE LEVEL

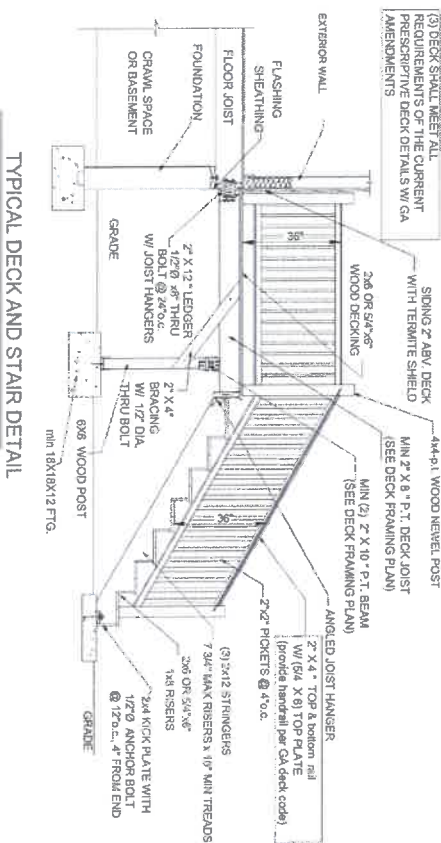
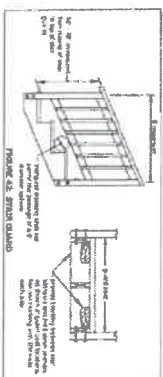
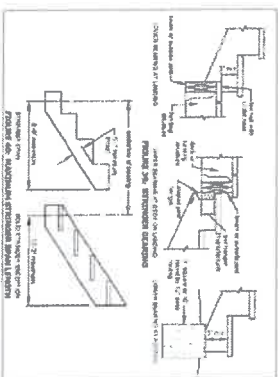
LEFT ELEVATION



(2) ALL CONCRETE SHALL BE 3000 PSI  
TREATED #2 SOUTHERN YELLOW PINE.



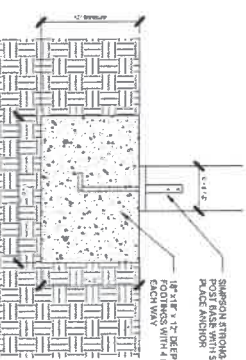
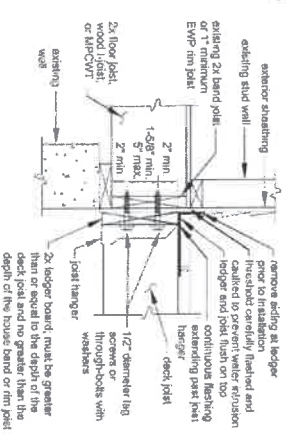
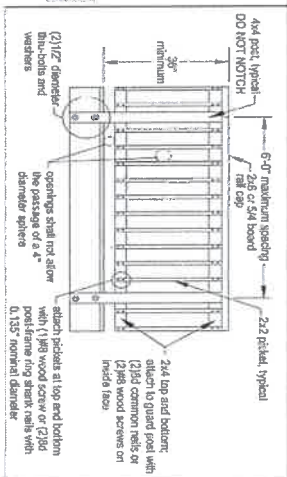
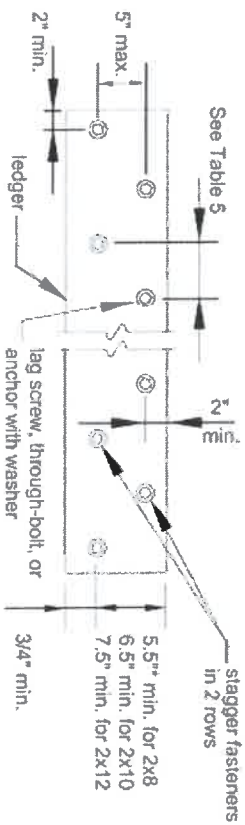
**FIGURE 38: TREADS AND RISERS**



### TYPICAL DECK AND STAIR DETAIL

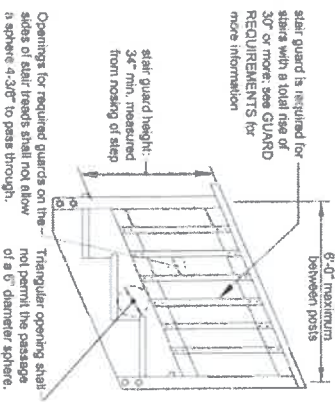
**Table 5. Fastener Spacing for a Southern Pine, Douglas Fir-Larch, or Hem-Fir Deck Ledger or Band or Rim Joist and a 2-Inch Nominal Solid-Sawn Spruce-Pine-Fir Band Joist or EWP Rim Joist.** <sup>3,4,5,6</sup>  
(Deck live load = 40 psf, Deck dead load = 10 psf)

Joist Span		Band Joist	On-Center Spacing of Fasteners					
		Rim Joist or less	6'-0" and less	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"
Connection Details								
1/2" diameter lag screw <sup>1</sup> with 19/32" maximum sheathing	1" EMP 1-1/4" EWP 1-3/4" Lumber	24" 28" 30"	18" 21" 23"	12" 16" 18"	10" 14" 15"	9" 12" 13"	8" 10" 11"	8" 9" 10"
1/2" diameter bolt with 19/32" maximum sheathing	1-1/4" EMP 1-3/4" Lumber	24" 28" 36"	18" 21" 36"	12" 16" 34"	10" 14" 29"	9" 12" 24"	8" 10" 21"	8" 9" 19"
1/2" diameter bolt with 15/32" maximum sheathing and 1/2" stacked washers <sup>2</sup>	1-1/4" Lumber	36"	36"	29"	24"	21"	18"	16"



## TYPICAL FOOTING

NOT TO SCALE



**CITY PERMIT - PRO**  
ArchNelsonWillson@gmail.com

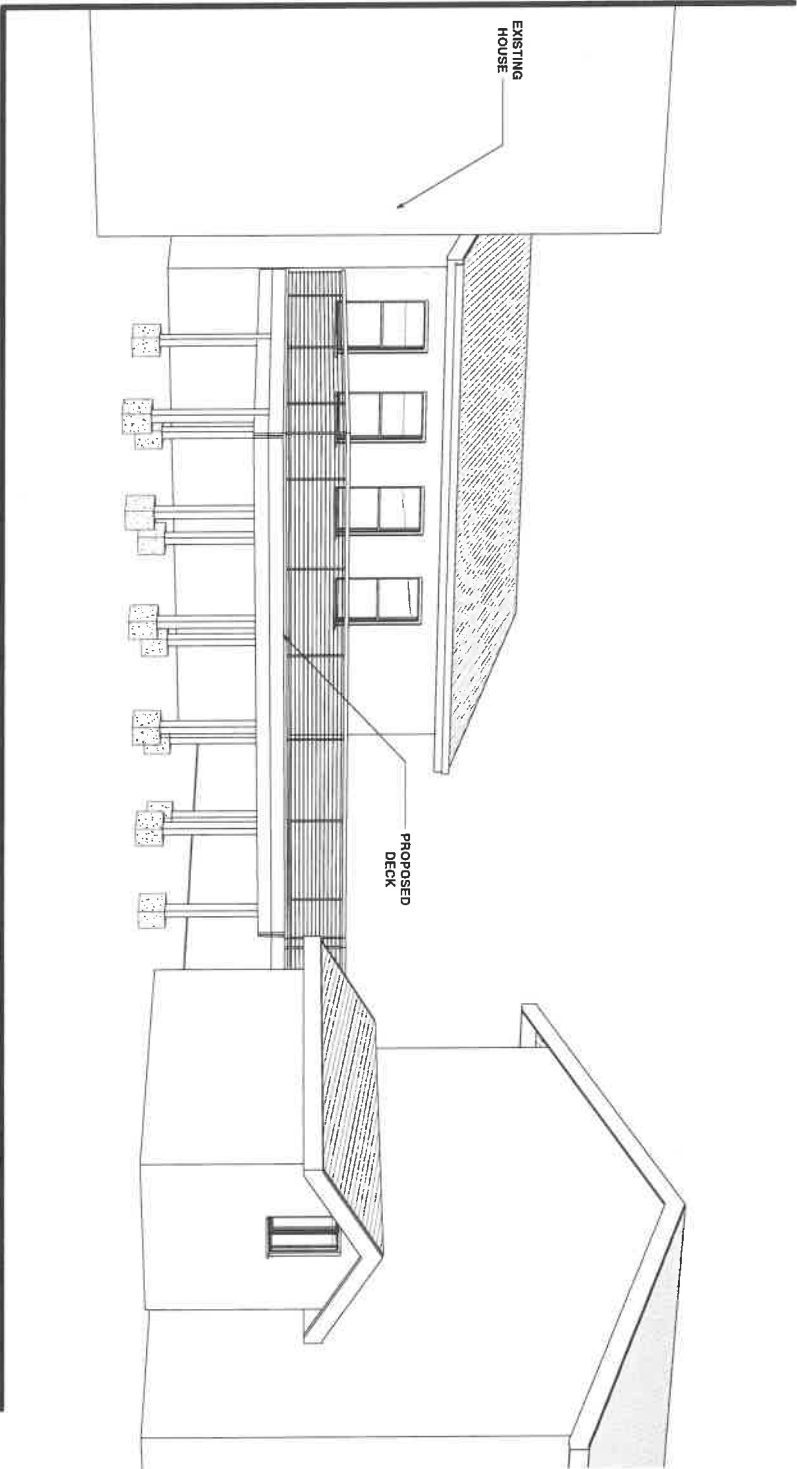
**Project Name**  
20 Depot st Frostburg, MD 21532

**OWNER:**

## GENERAL DETAILS

A105

Scab	
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**CITY PERMIT - PRO**  
ArchibisonWilson@gmail.com

**Project Name**  
20 Depot st Frostburg, MD 21532

**OWNER:**  
Client Name

Release For Construction

3D MODEL

Date: 12/17/2024 9:25:39 PM  
Drawn by: Author  
Created by: Checker

A106

Scale