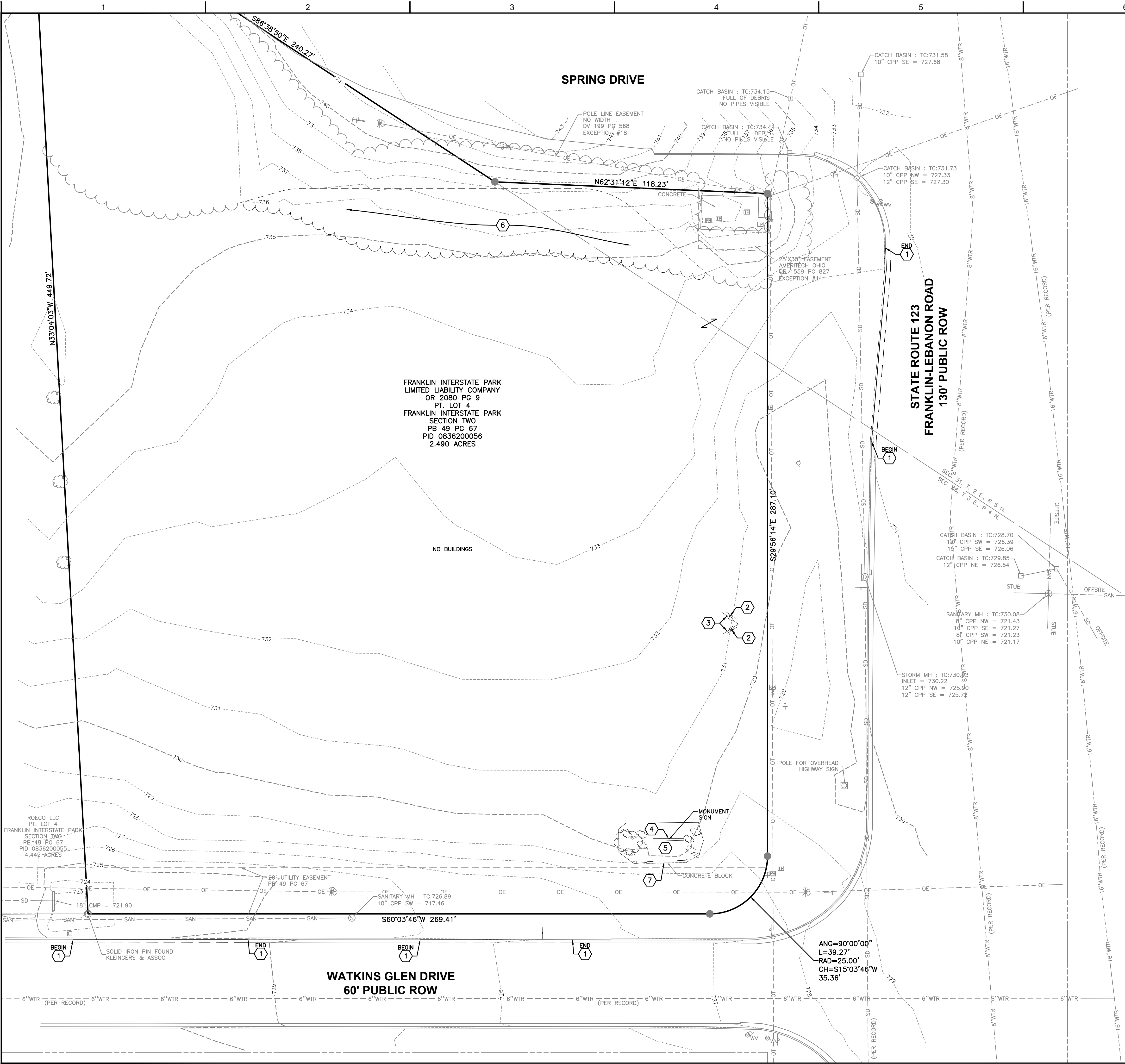


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LEGEND

- 799 - 1' CONTOUR
- 800 - 5' CONTOUR
- PROPERTY BOUNDARY
- OE --- OVERHEAD ELECTRIC
- OT --- OVERHEAD TELECOM
- WTR --- WATER
- SAN --- SANITARY
- SD --- STORM
- ⊗ TELECOM/POWER POLE
- ⊞ PULLBOX
- ⊞ TELECOM PEDESTAL
- ⊞ SANITARY MANHOLE
- ⊞ STORM MANHOLE
- CATCH BASIN
- △ FIRE HYDRANT
- ⊗ WATER VALVE
- SIGN

CONTROL POINTS			
POINT #	TYPE	ELEVATION	NORTHING
BM 1	HYDRANT	726.87	567448.1550
			1462187.3590

NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
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KEYNOTES (X)

- REMOVE CURB AND GUTTER, TYPICAL.
- REMOVE SIGN AND BASE IN ENTIRETY.
- REMOVE FENCE.
- REMOVE MONUMENT SIGN.
- REMOVE LANDSCAPE AREA.
- REMOVE WOODED AREA.

WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
4454 Idea Center Boulevard
Dayton, OH 45430
937.461.5660

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ISSUANCE SCHEDULE

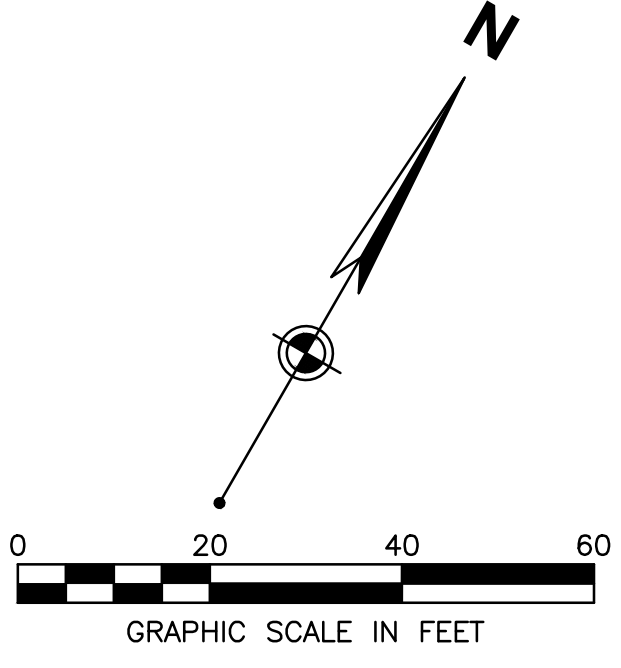
NUMBER DATE DESCRIPTION

SHEETZ, INC.
SHEETZ
CITY OF FRANKLIN
CONDITIONAL USE PERMIT
WATKINS GLEN DRIVE
FRANKLIN, OH 45005

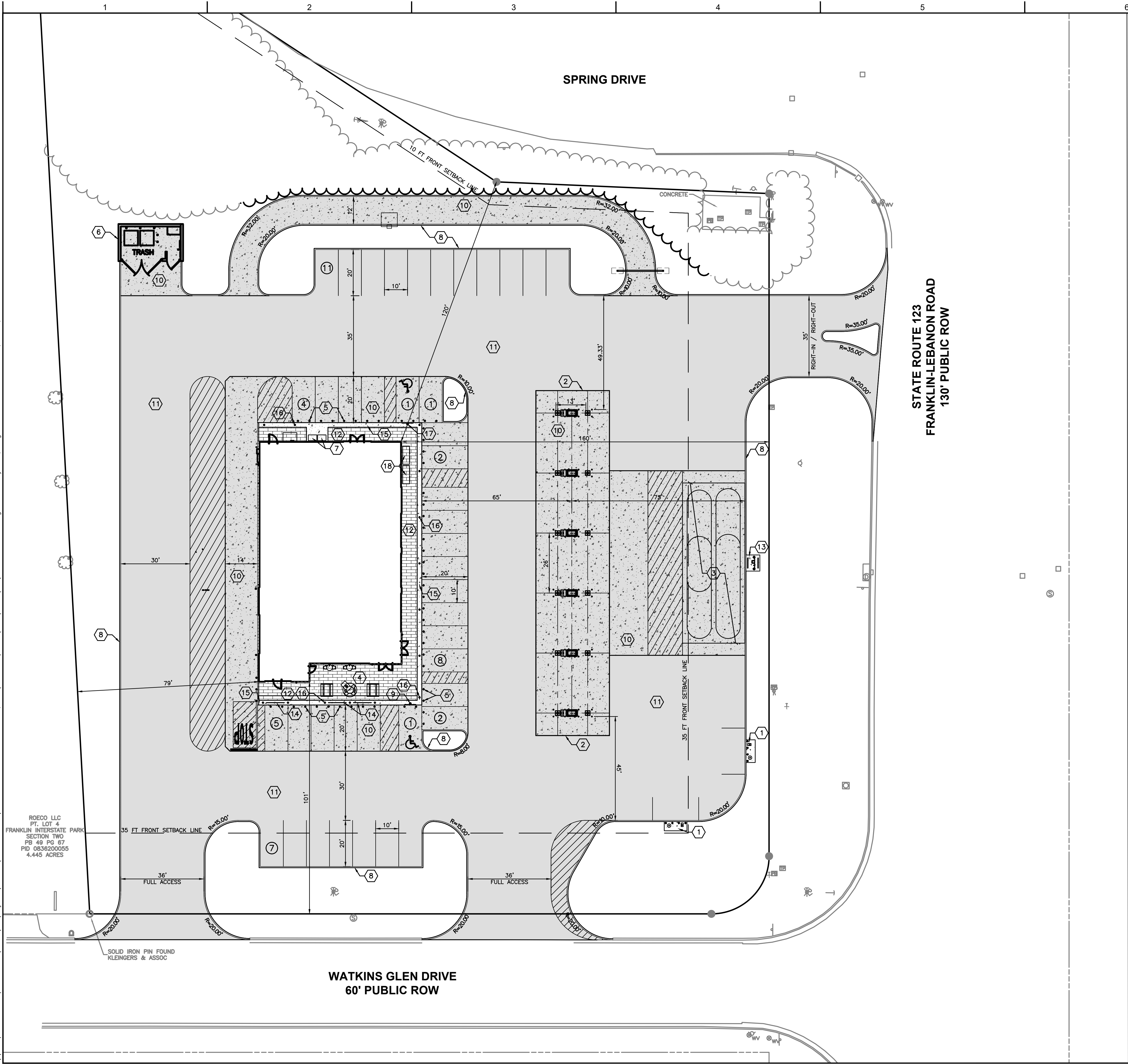
PROJECT NO:	10014207
DATE ISSUED:	11/18/222
DESIGNED BY:	AB
DRAWN BY:	AB
CHECKED BY:	MTF

SHEET NAME:
DEMOLITION AND
EXISTING CONDITIONS

SHEET NO:
C-101



Layout Tab Name: C-201 SITE PLAN
Last Saved By: bart, 11/3/2022 4:17:51 PM
\\woolpertinc.local\\All_Shares\\Srvn\\DE\\Dayton\\Clients\\Skiken_Gold\\10014207_Sheetz - Franklin, OH\\4.0 Disciplines\\Civil\\Cad\\Cd\\10014207-SIT.dwg Plotted November 17, 2022, 1:50:00 PM



LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT
- BRICK PAVERS
- BOLLARD

NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
- EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, DATED JULY 28, 2022.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.
- CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LADDERS, EXIT DOORS, EXIT RAMP, AND PORCHES.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE AT 45° AND 2 FEET O.C.
- ALL ON-SITE STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL SIGNAGE LOCATIONS WITH SHEETZ.

KEYNOTES (X)

- AIR STATIONS, PER SHEETZ STAND DETAIL E.
- FUEL STATIONS AND CANOPY.
- FUEL STORAGE TANKS.
- PATIO AREA.
- STOREFRONT BUMPER POST, PER SHEETZ STANDARD DETAILS A AND H, TYP.
- DUMPSTER SCREENING, PER SHEETZ STANDARD DETAIL X.
- PROPANE LOCKERS, PER SHEETZ STANDARD DETAIL S.
- SITE PERIMETER CURBING, PER SHEETZ STANDARD DETAIL C.
- VAN ACCESSIBLE ADA PARKING STALL.
- CONCRETE LOT/DUMPSTER PAD PAVEMENT, PER SHEETZ STANDARD DETAIL T.
- ASPHALT PAVEMENT, PER SHEETZ STANDARD DETAIL T.
- BRICK PAVERS FOR WALK AROUND BUILDING, SEE ARCHITECTURAL PLAN FOR DETAILS.
- UNDERGROUND STORAGE TANK VENT PAD, PER SHEETZ STANDARD DETAIL D.
- ALUMINUM FENCE AT SEATING AREA, SEE ARCH PLANS FOR DETAIL.
- WALK TO BE CONSTRUCTED FLUSH WITH PAVEMENT, PER SHEETZ STANDARD DETAIL F.
- LIGHTED BOLLARDS, SEE ELEC PLANS FOR DETAILS, TYP.
- ADA PARKING SIGN.
- ICE MERCHANDIZER.

SITE DATA

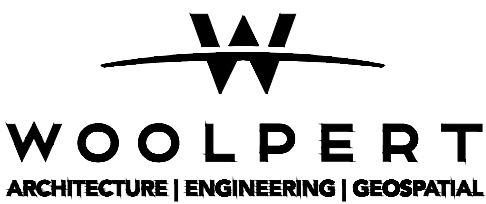
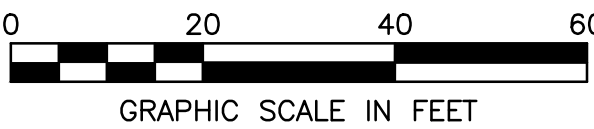
ZONE	C-1, GENERAL COMMERCIAL
TOTAL SITE AREA	2.4899 ACRES
PROPOSED USE	GAS STATION
PARKING SPACE SIZE PROVIDED (90°)	10' X 20'
PARKING SPACES REQUIRED	
1.5 SPACES / 200 SF	
1 SPACE / EMPLOYEE	
TOTAL SPACES REQUIRED =	50 SPACES
PARKING SPACES PROVIDED	56 SPACES
STANDARD PARKING	40 SPACES
FUEL STATION	12 SPACES
AIR AND VACUUM STATION	2 SPACES
ADA SPACES PROVIDED	
VAN ADA SPACE	1 SPACE
STANDARD ADA SPACE	1 SPACE

TABLE OF LAND USE AND ZONING

PARCEL ID: 08362000560		
C-1 GENERAL COMMERCIAL DISTRICT		
PROPOSED USE	CONDITIONAL USE	
GAS STATION		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	108,461 SF
MAXIMUM BUILDING HEIGHT	35 FT	26 FT
MINIMUM BUILDING SETBACK FROM WATKINS GLEN DR	35 FT	101 FT
MINIMUM BUILDING SETBACK FROM STATE ROUTE 123	35 FT	160 FT
MINIMUM SIDE YARD BUILDING SETBACK (RESIDENTIAL)	10 FT	120 FT
MINIMUM SIDE YARD BUILDING SETBACK (COMMERCIAL)	0 FT	79 FT
MINIMUM INTERIOR LANDSCAPING OF OVERALL PARKING AREA	10%	6%

(V) VARIANCE

Ohio Utilities Protection Service



4454 Idea Center Boulevard
Dayton, OH 45430
937.461.5660

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CONSTRUCTION

ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION

SHEETZ, INC.
SHEETZ
CITY OF FRANKLIN
CONDITIONAL USE PERMIT
WATKINS GLEN DRIVE
FRANKLIN, OH 45005

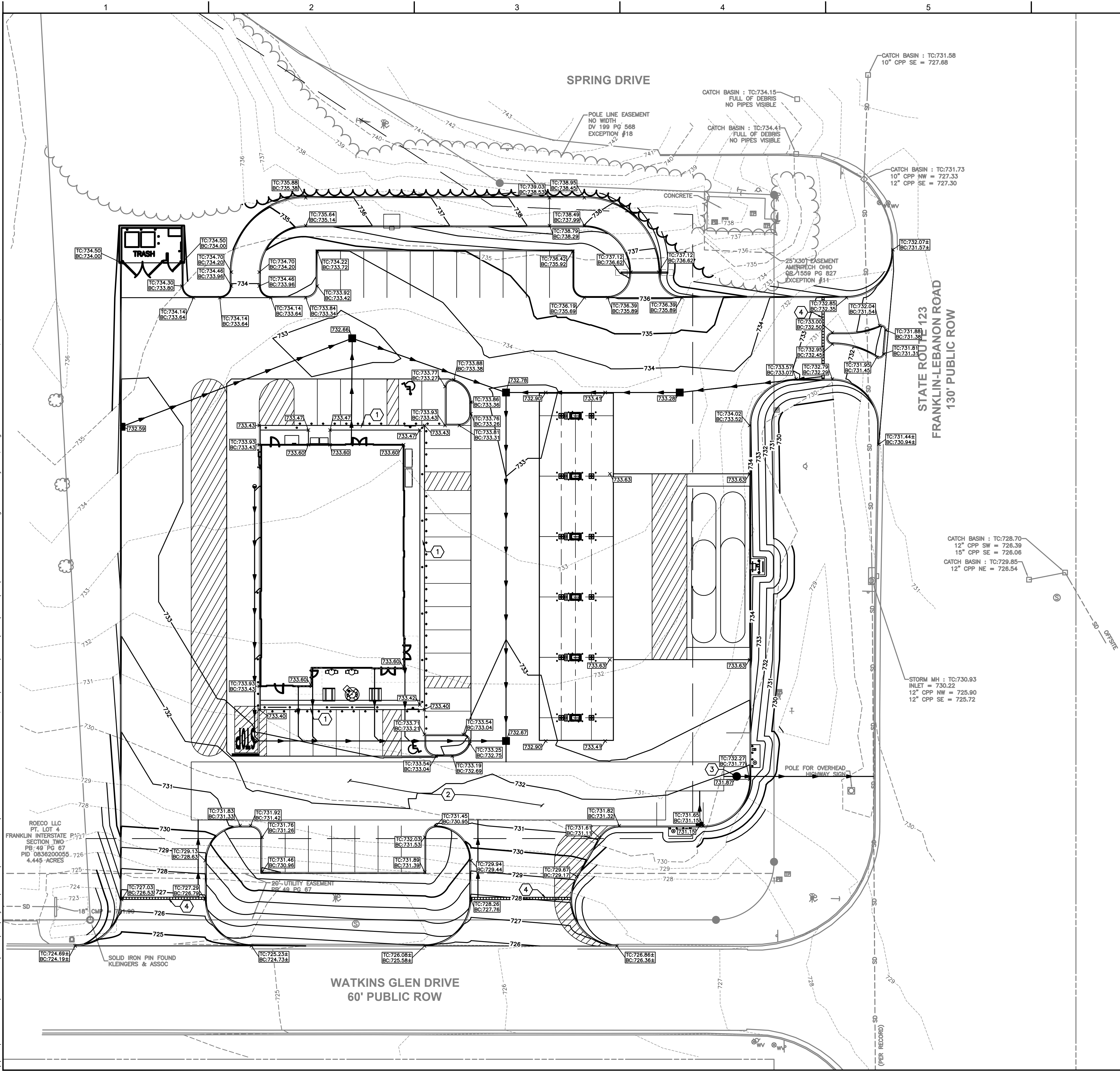
PROJECT NO: 10014207
DATE ISSUED: 11/18/222
DESIGNED BY: AB
DRAWN BY: AB
CHECKED BY: MTF

SHEET NAME:
SITE PLAN

SHEET NO:

C-201

Layout Tab Name: C-301 GRADING PLAN
Last Saved By: Bart, 11/3/2022 2:59:29 PM
\\woolpertinc.local\\All-Shares\\Srvn DE\\Dayton\\Clients\\Skiken Gold\\10014207-Sheetz - Franklin, OH\\4.0 Disciplines\\Civil\\Cadd\\Cd\\10014207-GRD.dwg Plotted By: Bart, Angelo Plotted: November 17, 2022, 1:50:32 PM



LEGEND

---	799	EXISTING 1" CONTOUR
---	800	EXISTING 5" CONTOUR
---	799	1" CONTOUR
---	800	5" CONTOUR
---		STORM SEWER
■		CATCH BASIN
●		STORM CLEANOUT
■		STORM STRUCTURE ID
X		SPOT ELEVATION
X	TC:XXX.XX BC:XXX.XX	TC: TOP OF CURB ELEVATION BC: BOTTOM OF CURB ELEVATION
X	XXX.XX	MATCH EXISTING ELEVATION

NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
- EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY ECS MIDWEST, LLC, DATED OCTOBER 3, 2022.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
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KEYNOTES

- SIDEWALK AT BUILDING TO BE FLUSH WITH PAVEMENT.
- UNDERGROUND DETENTION.
- OUTLET CONTROL STRUCTURE.
- 12" WIDE TRENCH DRAIN.

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CONSTRUCTION

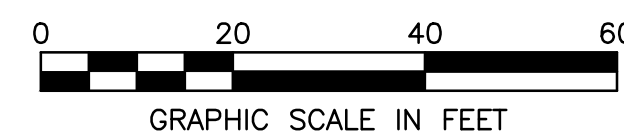
ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

SHEETZ, INC.
SHEETZ
CITY OF FRANKLIN
CONDITIONAL USE PERMIT
WATKINS GLEN DRIVE
FRANKLIN, OH 45005

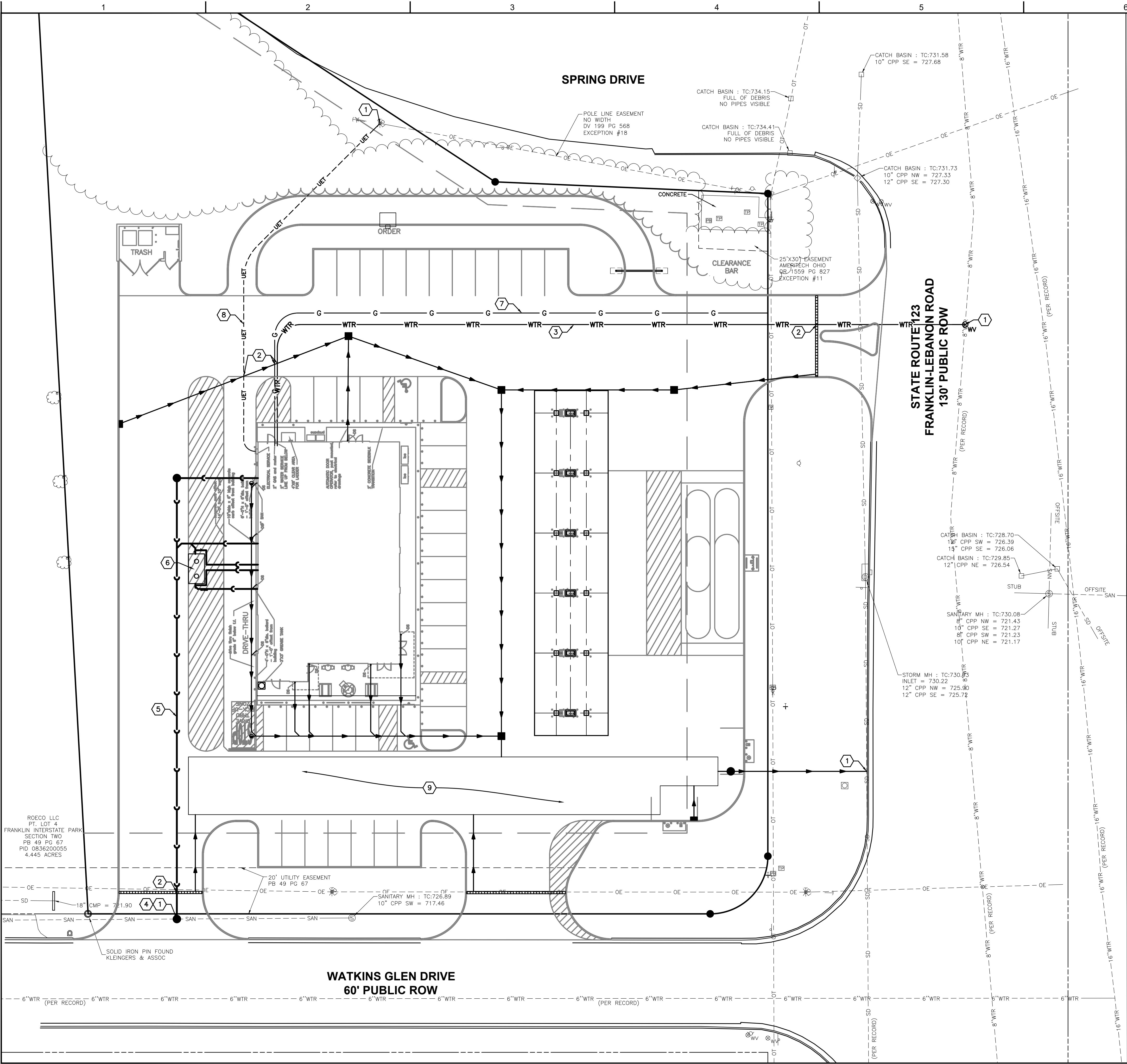
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DESIGNED BY: AB
DRAWN BY: AB
CHECKED BY: MTF

SHEET NAME:
GRADING PLAN

SHEET NO:
C-301



Layout Tab Name: C-401 UTILITY PLAN
Last Saved By: Bart, 11/3/2022 3:03:24 PM
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LEGEND

- SANITARY
- STORM
- WTR
- G
- OET
- TOP OF DETENTION POND
- LEACH FIELD
- WELL
- SANITARY CLEANOUT

NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
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- CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND MEP PLANS FOR CONTINUATION INTO BUILDING.
- ALL PROPOSED PIPE SLOPES SHOWN ARE MINIMUM REQUIRED. CONTRACTOR SHALL CONFIRM ACTUAL SLOPES REQUIRED BASED ON EXISTING INVERT ELEVATIONS.

KEYNOTES (X)

- CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS. VERIFY LOCATION, SIZE, AND ELEVATION OF UTILITY AT PROPOSED CONNECTION POINT.
- MINIMUM 18" VERTICAL CLEARANCE AT UTILITY CROSSING.
- 2" COPPER TYPE K WATER SERVICE LINE. INSTALL WITHIN 5' OF BUILDING. WATER METER AND BACK FLOW PREVENTER TO BE LOCATED INSIDE BUILDING.
- PROPOSED SANITARY SERVICE CONNECTION TO EXISTING SANITARY MAIN. CONTRACTOR TO FIELD VERIFY UTILITY LOCATION AND DEPTH PRIOR TO CONSTRUCTION.
- 6" SANITARY SERVICE LINE. INSTALL WITHIN 5' OF BUILDING.
- PROPOSED 2000 GALLON GREASE INTERCEPTOR PER SHEETZ STANDARD DETAIL U.
- PROPOSED 2.5" GAS SERVICE AND METER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- TWO 6" SCHEDULE 40 CONDUITS FOR ELECTRIC SERVICE FROM ELECTRIC MAIN TO BUILDING. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- UNDERGROUND DETENTION SYSTEM.

PRELIMINARY NOT FOR CONSTRUCTION

ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

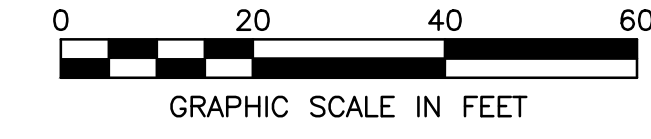
SHEETZ, INC.
SHEETZ
CITY OF FRANKLIN
CONDITIONAL USE PERMIT
WATKINS GLEN DRIVE
FRANKLIN, OH 45005

PROJECT NO: 10014207
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SHEET NAME:
UTILITY PLAN

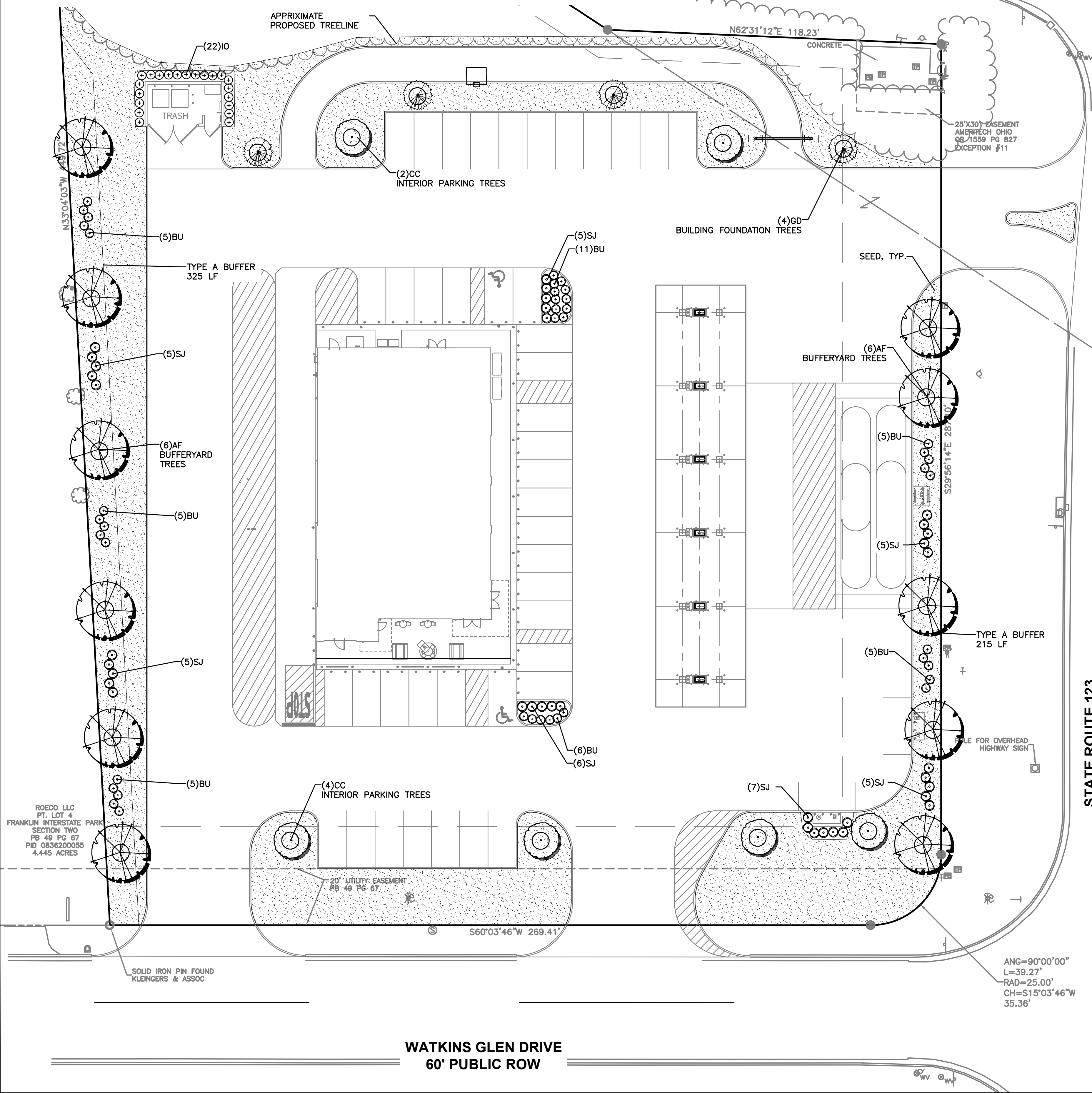
SHEET NO:

C-401



1		2		3		
TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
TREE						
AF	11	Acer x freemantli 'Armstrong'	Armstrong Red Maple	B&B	2" cal. 6-8'ht. 4'wd	Full, well shaped
CC	6	Carpinus caroliniana	Hornbeam	B&B	2" cal. 6-8'ht. 4'wd	Full, well shaped
GD	4	Gymnocladus dioicus	Kentucky Coffee Tree	B&B	2.5" cal. 6'ht. 3'wd	Full, well shaped
EVERGREEN SHRUB						
BU	42	Buxus x 'Glencoe'	Chicagoland Green Boxwood	#5 cont.	36"ht. x 36"wd.	Full, vigorous
SJ	37	Spiraea japonica 'Little Princess'	Little Princess Spirea	#5 cont.	30"ht. x 24"wd.	Full, vigorous
IO	22	Ilex x 'Red Beauty'	Red Beauty Holly	#3 cont.	36"ht. x 24"wd.	Full, vigorous
GROUND COVER						
SEED	19,181 SF					PLEASE SEE CHART

*QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.



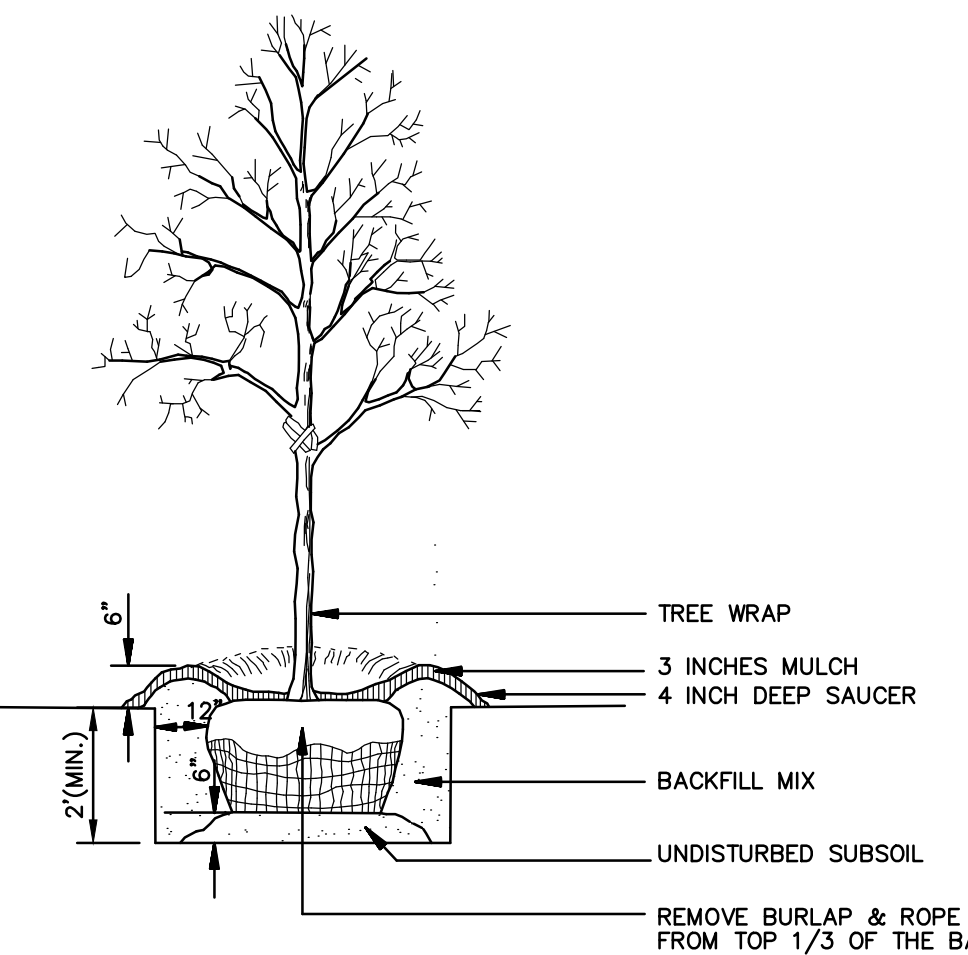
PERMANENT SEED BLEND

90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA)
REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE
OR EQUAL
10% KENTUCKY BLUEGRASS (POA PRATENSIS)
MIDNIGHT, RUGBY II, MIDIRON VARIETIES OR
EQUAL
98% PURITY AND 85% GERMINATION
95% WEED FREE

LAWN AREA

LANDSCAPE NOTES

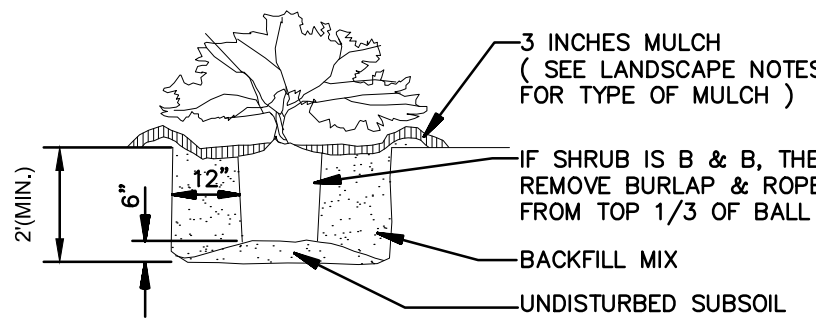
- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERTIC ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER. GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (i.e. NATURE'S HELPER OR PRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO LAYING SOD. ALL DISTURBED AREAS (INCLUDING RIGHT-OF-WAYS) NOT RECEIVING PLANTINGS TO RECEIVE 4 INCHES OF TOPSOIL AND SODDED.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED AND WATERED THOROUGHLY WITHIN ONE HOUR OF INSTALLATION.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF AMERICANHORT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM. ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- ONCE A LANDSCAPE PLAN HAS BEEN APPROVED AND A BUILDING PERMIT ISSUED, THE PLANNING AND ZONING ADMINISTRATOR MAY AUTHORIZE MINOR REVISIONS TO THE APPROVED LANDSCAPE PLAN INCLUDING THE SUBSTITUTION OF EQUIVALENT PLANTING AND GROUND COVERS WHERE SUCH REVISIONS DO NOT DIMINISH THE BENEFITS OF THE APPROVED LANDSCAPE PLAN. AS SUCH, REVISIONS SHALL REQUIRE THE WRITTEN APPROVAL OF THE PLANNING AND ZONING ADMINISTRATOR.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER THAN TEN (10) FEET TO FIRE HYDRANTS, TRANSFORMERS OR OTHER ABOVE GROUND UTILITIES.
- BARE ROOT PLANTS SHALL NOT BE ALLOWED.
- ALL PLANTED AREAS AND LANDSCAPED ISLANDS SHALL RECEIVE A (4) INCH LAYER OF SHREDDED HARDWOOD BARK MULCH.
- ALL FRONT YARDS SHALL BE SODDED AND INCLUDE AN IRRIGATION SYSTEM.



TREE PLANTING

N.T.S.

NOTE:
SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.



SHRUB PLANTING

N.T.S.

LANDSCAPE REQUIREMENTS

Preservation of Trees:

All major trees shall be preserved unless exempted due to conditions as listed under Landscape Requirements and Standards. 111.06 (b)

Tree Replacement:

During the course of development of a single lot, subdivision, PUD or PCRD, the developer or owner shall be encouraged to replace major trees removed pursuant to section 111.06(a). "Major tree" shall be defined as trees having a trunk diameter of at least fifteen inches (15"), measured two feet (2') above the ground level.

Applicability of Landscaping and Screening Standards:

(1) Landscaping: Consistent with the objectives established in section 111.06(a), landscaping shall be provided in the following areas:

- At the perimeter of sites to buffer, separate and/or screen adjacent land uses;
- At the perimeter of parking lots to shade, separate and/or screen the view of parked cars from adjacent residential uses;
- In the interior of parking lots to shade and beautify the paved surface; and
- Around the perimeter of buildings to soften, shade and enhance the appearance of structures.

(2) Screening: Screening shall be provided in the following areas:

- To block the view of trash dumpsters, loading areas, service courts and storage areas;
- Between residential and non-residential land uses;
- Parking lots shall be screened to minimize the view of cars from adjacent residential uses. It is not necessary to screen, but only to separate adjacent non-residential parking areas.

a) Buffer Yards (Perimeter Lot Landscaping):

Location of buffer yards: Buffer yards shall be located on the side and rear lot lines of a parcel extending to the lot or parcel boundary line. Buffer Yards shall not extend into or be located within any portion of an existing street right-of-way.

Buffer Yard Requirements

Proposed Land Use C4 (General Commercial District)

Proposed Land Use Class: Class III (Commercial)

Adjacent Existing Land Use Class: Class III (Commercial)

Required Buffer Type: (10' width)

Plants Required Per 100 LF:

Deciduous Trees: 2

Deciduous Shrubs: 2

Evergreen Shrubs: 2

Total Buffer Length: 540 LF

Deciduous Trees Provided: 11 (Required 11)

Deciduous Shrubs Provided: 30 (Required 11)

Evergreen Shrubs Provided: 15 (Required 11)

(n) Screening of Service Court, Storage Areas and Loading Dock areas:

(1) For commercial, industrial, office-institutional and community service uses, all areas used for service, loading and unloading activities shall be screened along the entire rear lot line and side lot lines from the rear lot line to the building setback line, if adjacent to or abutting a residential district.

(2) Screening shall consist of walls, fences, natural vegetation or an acceptable combination of these elements, provided that screening must be at least seven feet (7'), and walls and fencing no more than twelve feet (12') in height. Natural vegetation shall be a variety which will attain seven feet (7') in height within five (5) years of planting.

(3) Natural vegetation screening shall have a minimum opacity of seventy-five percent (75%) at all times. The use of year-round vegetation, such as pines or evergreens is encouraged. Vegetation shall be planted no closer than three feet (3') to any property line.

(i) Screening of Trash Container Receptacles:

(1) For commercial, community service, industrial, office-institutional and multiple family uses, all trash containers or receptacles shall be screened or enclosed.

(2) The height of such screening shall be at least six feet (6').

The maximum height of walls and fences shall not exceed ten feet (10'). Natural vegetation shall have a minimum opacity of seventy-five percent (75%) at all times. The use of year-round vegetation, such as pines or evergreens is encouraged. Natural vegetation shall be a variety which will attain six feet (6') in height within five (5) years of planting.

(j) Parking Lot Screening and Landscaping: -N/A due to surrounding zoning classification

(2) Interior Parking Area Landscaping:

-Any open parking area (including loading areas) containing more than sixteen thousand square feet (16,000 sq. ft.) of area or fifty (50) or more parking spaces shall provide the following interior landscaping:

-For lots larger than thirty thousand square feet (30,000), the landscaped area shall be ten percent (10%).

Total Lot Area: 2.48 ac. (108,028 sf)

Landscape Area Required: 10,802 sf (10%)

Landscape Area Provided: 19,353 (+/-18%)

-Landscaping in parking areas shall be dispersed throughout in peninsulas or islands. Minimum island or peninsula size shall be two hundred square feet (200 sq. ft.), with a two foot (2') minimum distance between all trees or shrubs and the edge of pavement where vehicles overhang and a minimum width of ten feet (10').

Required plant materials for the interior of parking areas:

A. One (1) deciduous tree shall be required for every three thousand square feet (3,000 sq. ft.) of parking area or for every ten (10) parking spaces.

Total Parking Area: +/-56,010 sf

Trees Required per 3k sf: 18.67 (19 trees)

OR

Trees Required per 10 spaces: 5.6 (6 trees)

Trees Proposed: 6 trees

(k) General Landscaping for Lots and Building Foundations for Multi Family, Commercial and/or Industrial Development

All required planting shall be located in areas which do not include any buffer yard or right-of-way. If the lot consists primarily of impervious surfaces, such trees may be placed close to the building or may be used to add to required parking area landscaping.

(l) Lot Interior Landscaping:

Three (3) deciduous trees shall be required for each one-hundred linear feet (100') of building perimeter of non-residential uses.

Total LF of Proposed Building: 330 lf

Trees Required: 3.3 trees (4 trees)

Trees Provided: 4 trees

(2) Building Foundation Planting Requirements:

shall be placed within five feet (5') of the building perimeter if feasible. If the City Engineer determines that, because of site design considerations such as the location of sidewalks, plazas or service areas, this is not feasible, such plant materials may be located in planter boxes or in other areas of the site in a manner that enhances the overall landscape plan for the development.

B. Foundation shrubbery for non-residential uses shall be used to enhance and highlight building architecture. The use of foundation plantings is particularly important on blank walls (i.e. to window or door openings).

C. Ten (10) shrubs shall be required for every one-hundred linear feet (100') of building perimeter for non-residential uses.

Total LF of Proposed Building: 330 lf

Shrubs Required: 33 shrubs

Shrubs Provided: 33 shrubs

(f) Plant Material Specifications (For Buffer Yards, Landscaping and Screening):

The following sections include specifications for plant materials. Alternatives to these materials which can be demonstrated to meet both the intent and requirements of this ordinance may be approved as part of a Landscape Plan.

(1) Deciduous Trees - Size at Planting: A minimum caliper of at least two and one-half inches (2.5") measured twenty-four inches (24") above ground level.

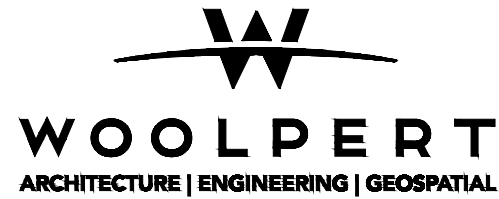
(2) Evergreen Trees - Size at Planting: A minimum of five feet (5') high and a minimum spread of three feet (3').

(3) Shrubs: Shrubs shall be at least twenty-four inches (24") average height and spread at the time of planting and, where required for screening, shall form a continuous, year-round solid visual screen within five (5) years after planting.

(4) Groundcover and Grass:

A. Groundcover - Groundcover shall be planted a minimum of eight inches (8") on center and shall be planted in such a manner so as to present a finished appearance and seventy-five percent (75%) coverage after one complete growing season. If approved as part of a Landscape Plan, groundcover may also consist of rocks, pebbles, sand, wood chips and other material.

B. Grass - Grass shall be planted in species normally grown as permanent lawns in Franklin, Ohio, and may be sodded or seeded, except in swales or other areas subject to erosion, where solid sod, erosion-reducing mat, or suitable mulch shall be used. Grass sod shall be clean and free of weeds and noxious pests or disease.



4454 Idea Center Boulevard
Dayton, OH 45430
937.461.5660

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION

C

B

A

SHEETZ, INC.
SHEETZ
CITY OF FRANKLIN
CONDITIONAL USE PERMIT
WATKINS GLEN DRIVE
FRANKLIN, OH 45005

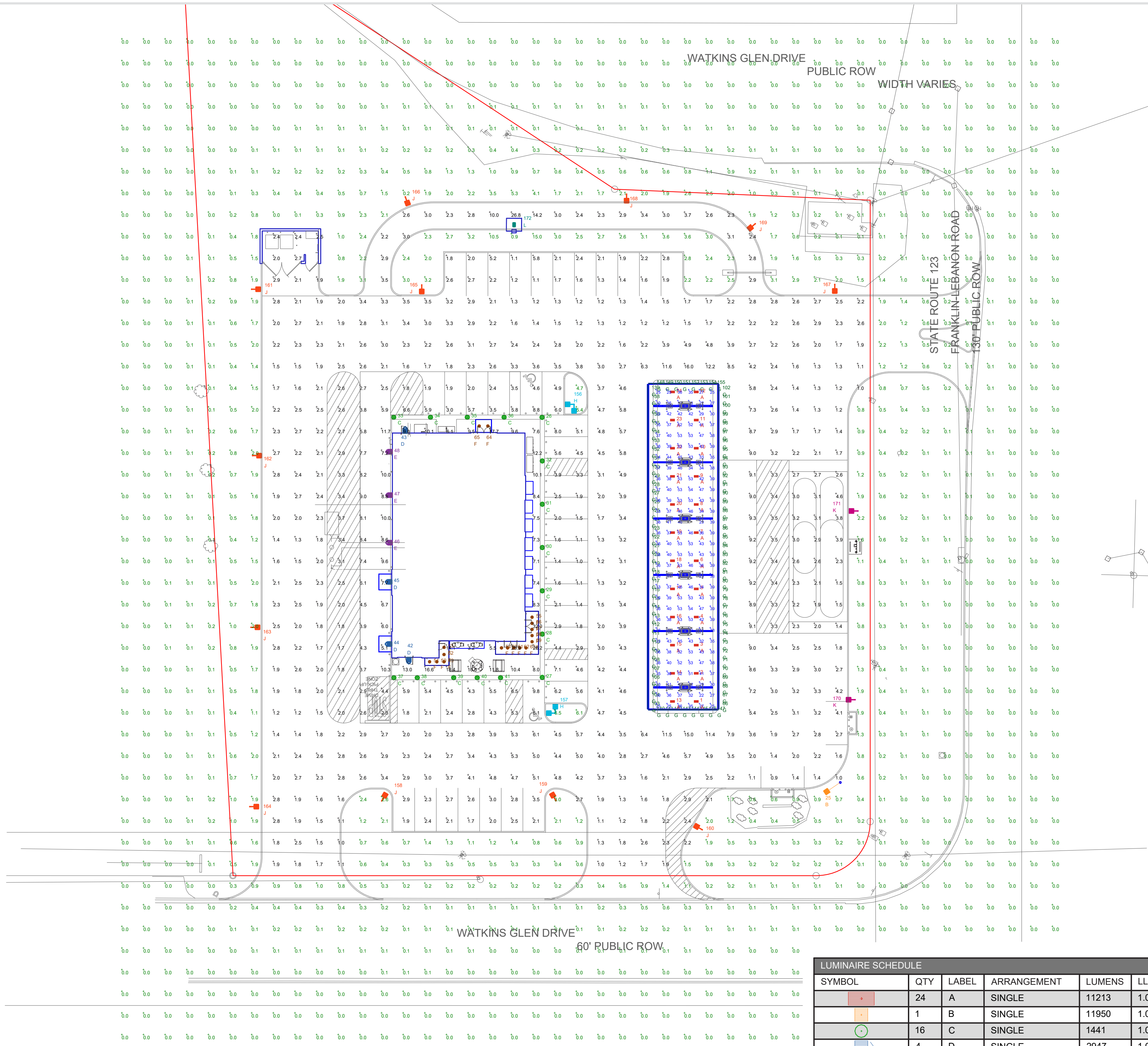
PROJECT NO: 10014207
DATE ISSUED: 11/18/222
DESIGNED BY: JM
DRAWN BY: JM
CHECKED BY: MTF

SHEET NAME:
LANDSCAPE PLAN

SHEET NO:

C-501










THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS
REGULATED BY LOCAL ORDINANCES

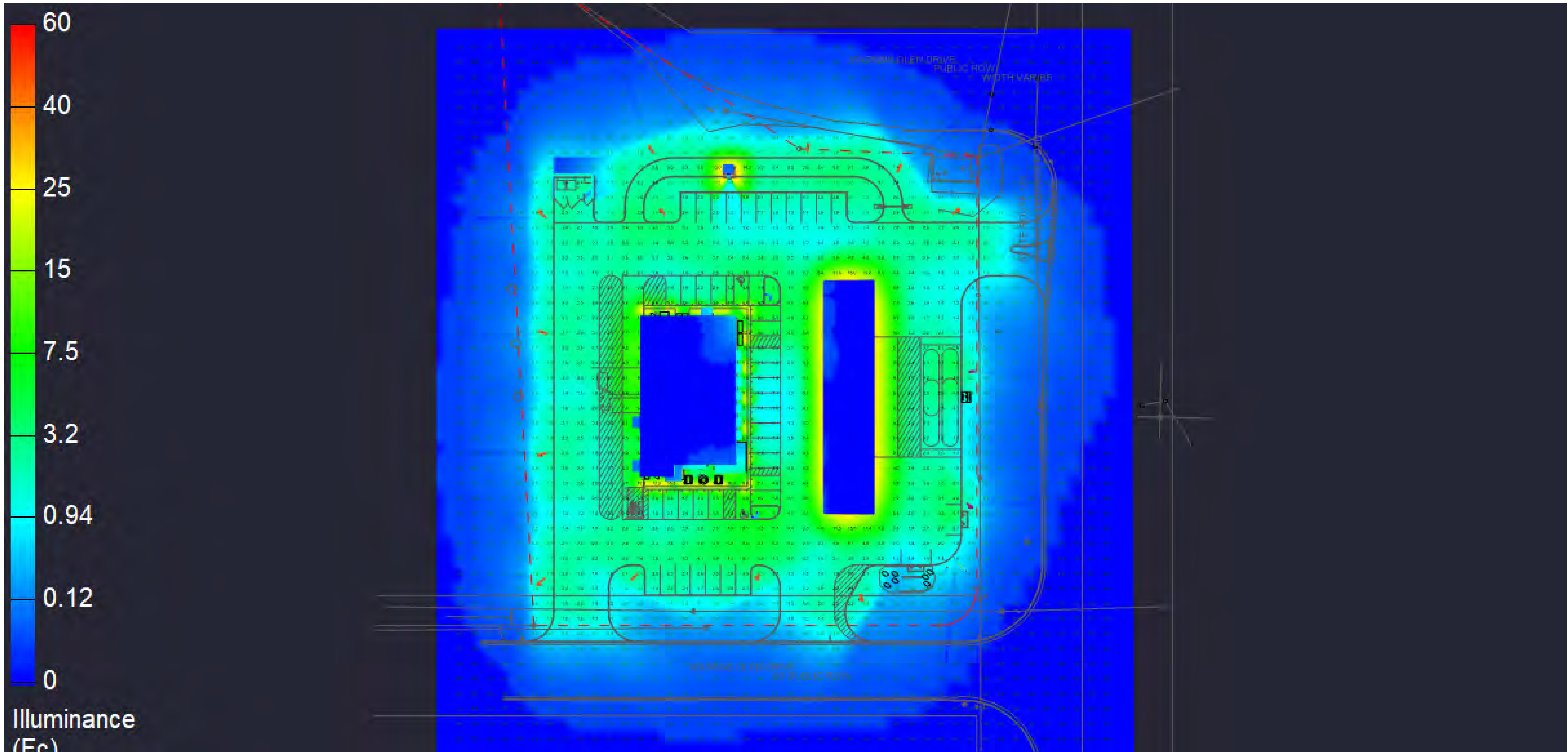


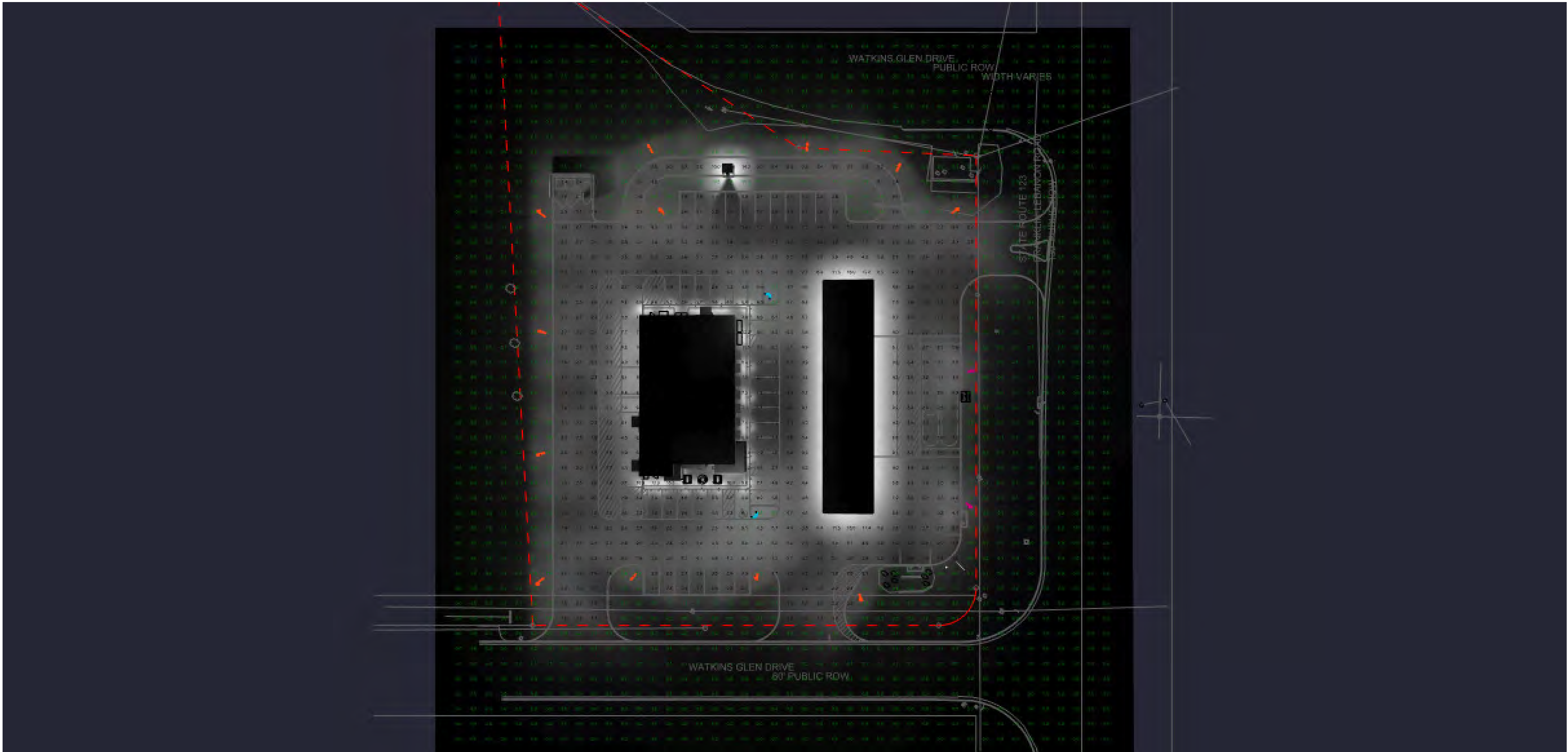
LUMINAIRE LOCATION SUMMARY			
LUM NO.	LABEL	MTG. HT.	TILT
1 - 12	A	18.79	5
13 - 24	A	17.83	5
25	B	1	166
26 - 42	C	3	0
43 - 45	D	9	0
46 - 48	E	12	0
49 - 65	F	11.33	0
66 - 102	G	20.875	0
103 - 139	G	18.06	0
140	G	18.25	5
141	G	18.599	5
142	G	18.948	5
143	G	19.297	5
144	G	19.646	5
145	G	19.995	5
146	G	20.344	5
147	G	20.693	5
148	G	18.25	5
149	G	18.599	5
150	G	18.948	5
151	G	19.297	5
152	G	19.646	5
153	G	19.995	5
154	G	20.344	5
155	G	20.693	5
156, 157	H	23	0
158 - 169	J	23	0
170, 171	K	23	0
172	L	11	0

NOTE:
- ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE PAVED AREA	3.71	32.0	0.9	4.12	35.56
UNDEFINED	0.32	15.0	0.0	N.A.	N.A.
UNDER CANOPY	39.84	54	22	1.81	2.45

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	24	A	SINGLE	11213	1.030	B3-U0-G0	99	2376	CREE, INC.	CAN-228-PS-RM-06-E-UL-XX-525-57K
	1	B	SINGLE	11950	1.040	B4-U0-G0	72	72	CREE, INC.	OSQ-ML-B-AA-XX w/PGM-1 + OSQM-B-11L-57K7-N3-UL-NM-XX
	16	C	SINGLE	1441	1.030	B1-U0-G1	22	352	CREE, INC.	PWY-EDG-3M-P3-02-E-UL-XX-350-57K
	4	D	SINGLE	2947	1.030	B1-U0-G1	36	144	CREE, INC.	SEC-EDG-3M-WM-02-E-UL-XX-525
	3	E	SINGLE	5893	1.030	B2-U0-G2	68	204	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-XX-525
	17	F	SINGLE	484	1.000	N.A.	6.9	117.3	B-K LIGHTING, INC.	BKLT CH-LED-e69-FL-BZP-12 (BY OTHERS, SHOWN FOR CONTRIBUTION)
	90	G	SINGLE	136	1.000	N.A.	4.12	370.8	BLAIR COMPANIES	4 FT. LINEAR STRIP LIGHT (BY OTHERS, SHOWN FOR CONTRIBUTION)
	2	H	2 @ 90 DEGREES	11174	1.030	B2-U0-G2	72	288	CREE, INC.	OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
	12	J	SINGLE	8574	1.030	B1-U0-G2	72	864	CREE, INC.	OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-4M-UL-NM-XX + OSQ-BLSMF
	2	K	SINGLE	8824	1.030	B1-U0-G2	72	144	CREE, INC.	OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-3M-UL-NM-XX + OSQ-BLSMF
	1	L	SINGLE	13946	1.030	B3-U0-G1	132	132	CREE, INC.	BXCT90208/CAN-228-SL-RM-06-E-UL-XX-700 (BRIGHT RED FINISH, ORDERED SEPARATELY)





351 Sheetz Way, Claysburg, PA 16625

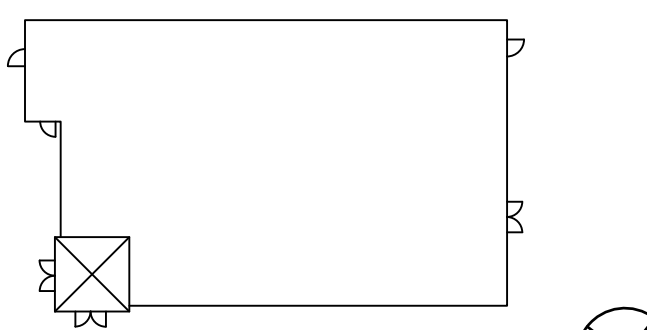
phone (814) 239-6013
mail tcolumbu@sheetz.com
web site www.sheetz.com

FRANKLIN

OWNER:
SHEETZ, INC.

CONSULTANT

PROFESSIONAL



KEYPLAN

[illegible]

EXTERIOR ELEVATIONS

A200

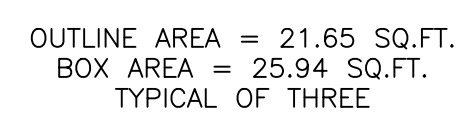
PRELIMINARY ELEVATIONS



- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS. GENERAL BUILDING FASCIDE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

- 1 BRICK VENEER (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- 2 CAST STONE SILL (COLOR = CRAB ORCHARD)
- 3 ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- 4 EXTERIOR LIGHT FIXTURE, SEE ELEC DWGS
- 5 ARCHITECTURAL CANOPY (COLOR = REGAL RED, PREMIUM TWO-COAT KYNAR FINISH)
- 6 BRICK PAVER WALKWAY
- 7 LIGHTED BOLLARD
- 8 METAL COPING (COLOR = DARK BRONZE)
- 9 WALL MOUNTED BUILDING SIGN, INTERNALLY ILLUMINATED.
SEE SHEET A200.
- 10 STANDING SEAM METAL ROOF (COLOR = BRITE RED)
- 11 ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
- 12 GUTTER (COLOR = RED)
- 13 DOWNSPOUT (COLOR = DARK BRONZE)
- 14 DRIVE-THRU WINDOW (IF APPLICABLE)
- 15 METAL STRUING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY
(ROOF COLOR = BRITE RED, FRAME COLOR = DARK BRONZE)
- 16 BRICK SOLDIER COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- 17 BRICK ROWLOCK COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)

18. CONTROL JOINT SEE MASONRY SPECS FOR COLOR
19. STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
20. STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
21. OVERFLOW SCUPPER
22. ALUMINUM STOREFRONT SYSTEM
23. EXTERIOR HOSE BIB
24. OUTDOOR FURNITURE
25. ELECTRICAL RECEPTACLE (REFER TO ELECTRICAL DRAWINGS)
26. ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
27. HM DOOR AND FRAME (COLOR = DARK BRONZE)
28. EMERGENCY WATER CONNECTION
29. SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS - COLOR: DARK BRONZE
30. PROPANE LOCKER
31. ICE MERCHANDISER
32. RTI FILLPORT
33. STEEL BOLLARD (COLOR = DARK BRONZE)
34. CO2 FILLPORT
35. DECORATIVE ALUMINUM FENCE



A WALL MOUNTED "SHEETZ" BUILDING SIGN
1/2" = 1'-0"

Sign A

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

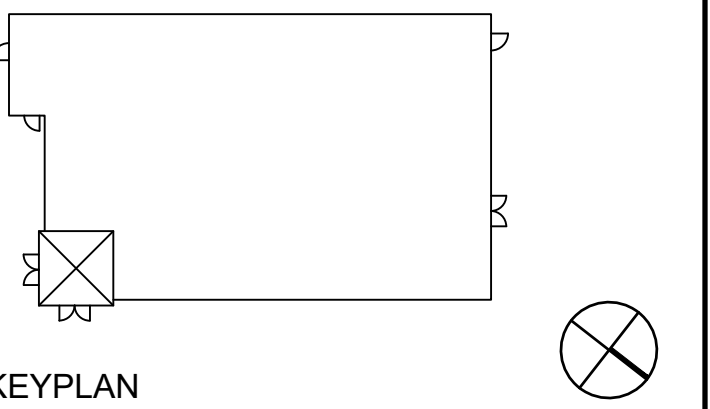
FRANKLIN

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

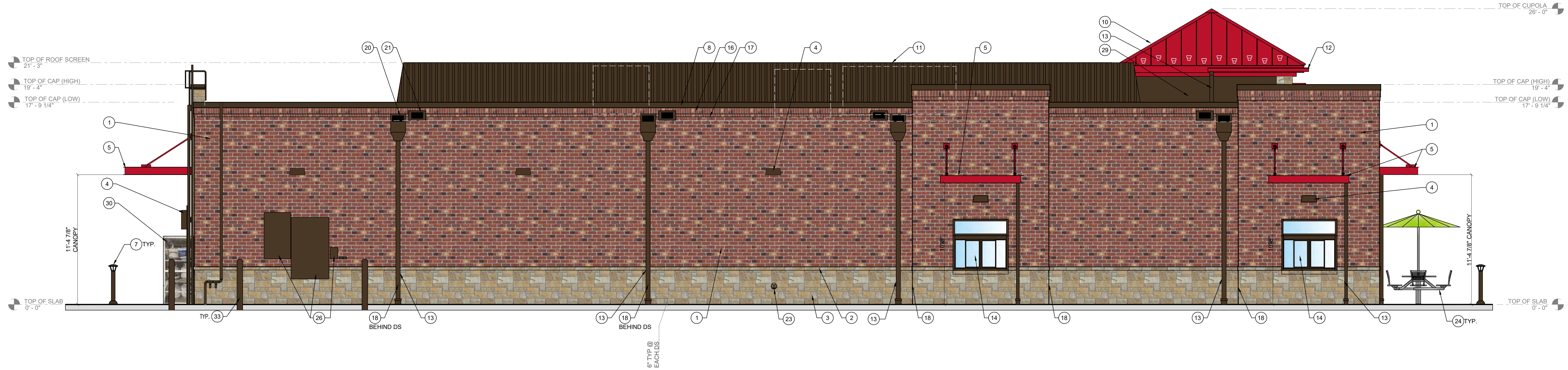
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ISSUE:	11.16.2022
SITE ID NO:	214377
AUTHOR BY:	RJK
REVIEW BY:	NMV
VERSION:	6139_v1.3

EXTERIOR ELEVATIONS

A201

PRELIMINARY ELEVATIONS



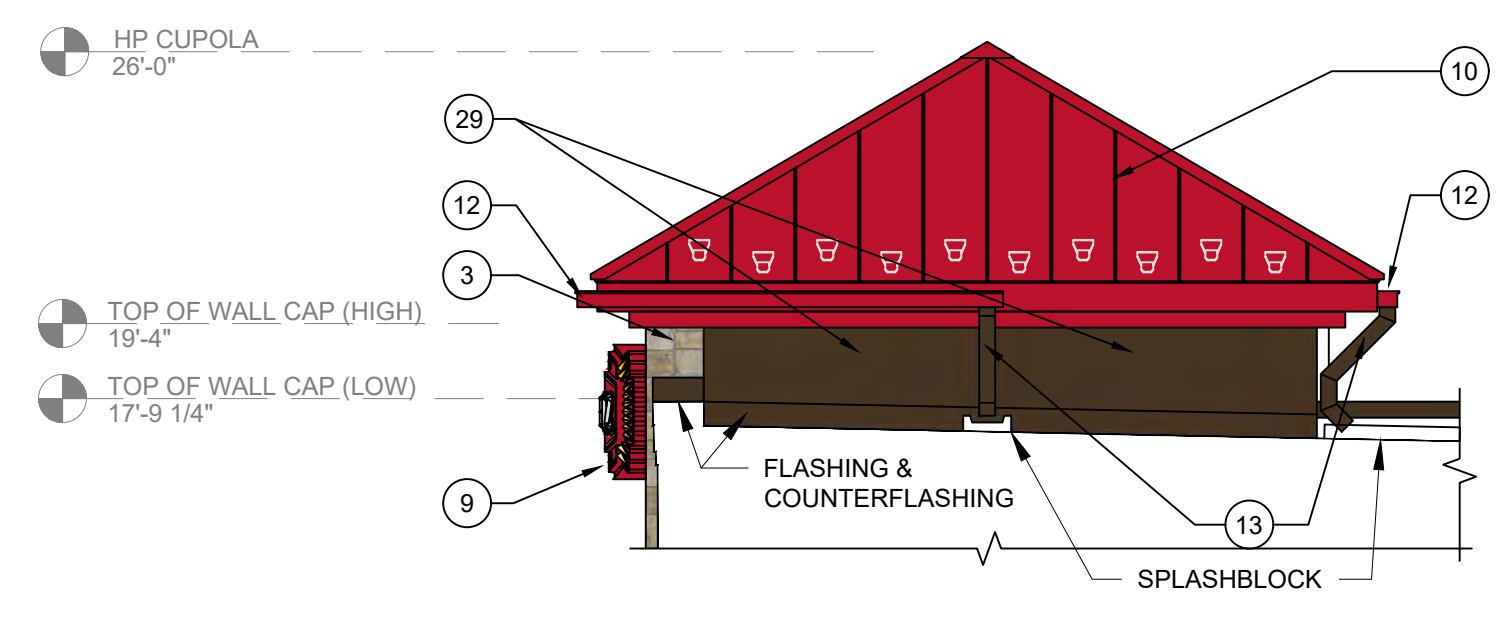
3 REAR ELEVATION
1/4" = 1'-0"

- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS, GENERAL BUILDING FASCIDE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

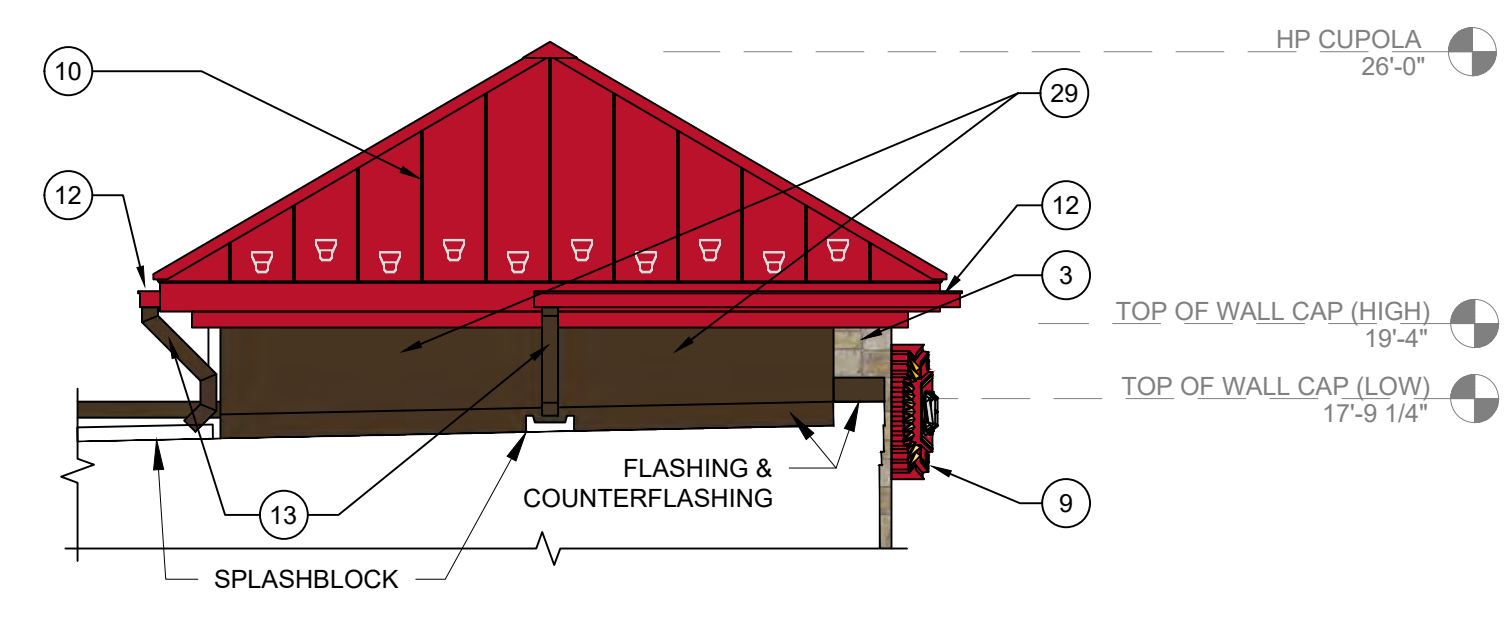
- 1 BRICK VENEER (0/5 680 MOD BY CONTINENTAL BRICK CO.)
- 2 CAST STONE SILL (COLOR = CRAB ORCHARD)
- 3 ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- 4 EXTERIOR LIGHT FIXTURE, SEE ELEC DWGS
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- 7 LIGHTED BOLLARD
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SEE SHEET A200.
- 10 STANDING SEAM METAL ROOF (COLOR = BRITE RED)
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- 18 CONTROL JOINT SEE MASONRY SPECS FOR COLOR
- 19 STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
- 20 STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD
& DOWNSPOUT (COLOR = DARK BRONZE)
- 21 OVERFLOW SCUPPER
- 22 ALUMINUM STOREFRONT SYSTEM
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- 29 SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS -
COLOR: DARK BRONZE
- 30 PROPANE LOCKER
- 31 ICE MERCHANDISER
- 32 RTI FILLPOT
- 33 STEEL BOLLARD (COLOR = DARK BRONZE)
- 34 CO2 FILLPOT
- 35 DECORATIVE ALUMINUM FENCE



4 RIGHT ELEVATION
1/4" = 1'-0"



5 CUPOLA FROM ROOF
1/4" = 1'-0"



6 CUPOLA FROM ROOF
1/4" = 1'-0"

Int. of State Route 123
and Watkins Glen Drive
Franklin
Ohio

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

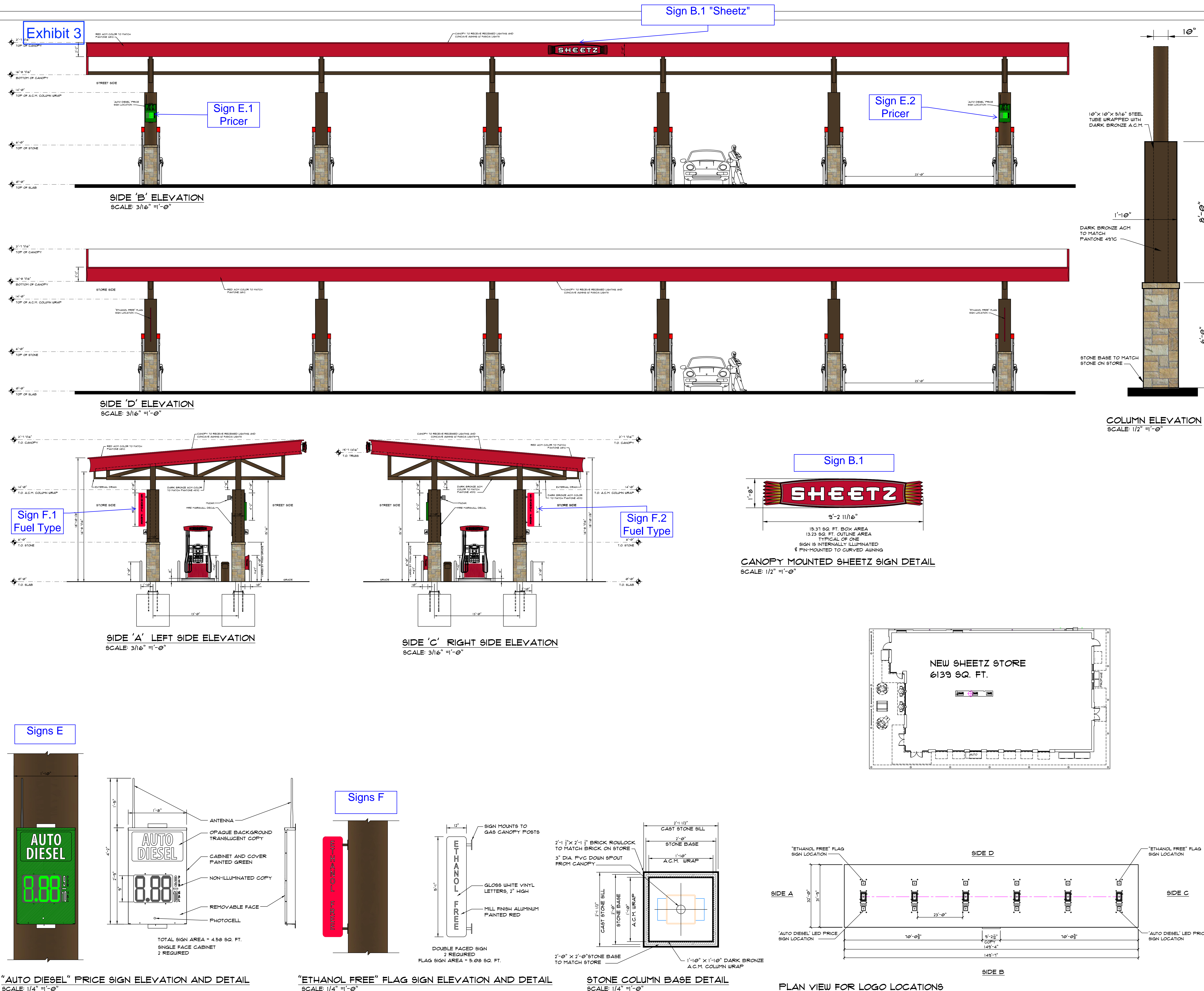
KEYPLAN

[illegible]

ISSUE:	11-02-22
PROJECT NO:	
AUTHOR BY:	NMI
REVIEW BY:	
SHEET TITLE	

GAS AWNING

AWNING



NEW SHEETZ STORE
FRANKLIN

OWNER:
SHEETZ, INC.

CONSULTANT

PROFESSIONAL

KEYPLAN

ISSUE: 11-01-22

PROJECT NO:

AUTHOR BY: NM

REVIEW BY

SHEET TITLE

DT-1

702 PREFORM LOOP

ASPHALT

SOIL

ALLOW APPROX 1 IN. OF SOIL OR SAND BETWEEN ASPHALT AND LOOP

Exhibit 5

- INSTRUCTIONS
1. POSITION PREFORMED LOOP APPROXIMATELY 1'-3" FROM CURB, CENTERED IN FRONT OF THE MENUBOARD OR SPEAKER POST.
2. LOOP SHOULD BE INSTALLED 2' - 3" BELOW THE SURFACE OF THE PAVEMENT. (6" MAX. DEPTH)
3. IF INSTALLED IN ASPHALT, COVER LOOP WITH 1" MIN. SOLID SAND TO PROTECT FROM HOT ASPHALT.
4. CONNECT LOOP TO 1/2" CONDUIT STUBBING UP IN MENUBOARD/SPEAKER POST.
5. WIRE MESH OR REINFORCEMENT IN CONCRETE SHOULD BE CUT AWAY IN MIN. OF 6" FROM PERIMETER OF LOOP.
6. ALL CONNECTIONS AND SPLICES TO LOOP WIRES MUST BE SOLDERED.

SIDE VIEW INSTALLED

CONCRETE INSTALLATION

MENUBOARD W/ SPEAKER POST INSTALLATION
NO SCALE

DRIVE THRU WINDOW DETAIL
SCALE: $\frac{1}{2}" = 1'-0"$

D.2 Orderpoint

ORDER HERE 24/7

INTERNALLY ILLUMINATED

DRIVE-THRU
PICK-UP
ZONE

PARKING SPACE PAINTING DIAGRAM

Clearance
Bar

FRONT ELEVATION
ORDER HERE 24/7 SIGN AREA = 2.99 SQ. FT.
24/7 ORDER POINT SIGN AREA = .41 X 2 = .82 SQ. FT.
TOTAL SIGN AREA = 3.81 SQ. FT.

INSIDE-OUT DRIVE-THRU

INSIDE-OUT DRIVE-THRU

**DRIVE-THRU
ENTER HERE**

- PAINTED 8"X8'
STEEL TUBE

- STEEL BASE PLATE,
REFER TO FOUNDATION
DRAWINGS

CANTILEVERED CLEARANCE BAR DETAILS
SIGN AREA = 6.36 SQ. FT.

SITE SIGN PLAN
NO SCALE

WATKINS GLEN DRIVE
PUBLIC ROW
WIDTH VARIES

STATE ROUTE 123
STATE ROUTE 130
FRANKLIN-LEBANON ROAD
130' PUBLIC ROW

SHEETZ

SERVICE WINDOW
CANOPY, SEE BUILDING
ELEVATION SHEETS FOR
SIGNAGE

EXTEND LOOPS FROM
DRIVE THRU TO THIS
LOCATION _____

*"DRIVE THRU PICK UP
ZONE" PAINT RED STRIPES
& LETTERS ON PAVEMENT.

WATKINS GLEN DRIVE
60' PUBLIC ROW

LEFT ELEVATION
SIGN AREA = 4.69 SQ. FT

ORDER POINT ELEVATIONS

SCALE: 3/8"=1' 0"

RIGHT ELEVATION
SIGN AREA = 4.69 SQ. FT.

CANTILEVERED CLEARANCE
SIGN AREA = 6.36 SQ. FT.

NEW SHEETZ STORE

Int. of State Route 123
and Watkins Glen Drive
Franklin
Ohio

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

MARK	DATE	DESCRIPTION
------	------	-------------

11-01-22

DRIVE THRU

DT 0



SCALE: 3/8"=1'-0"



SCALE: 3/8"=1'-0"



SCALE: $3/8'' = 1' - 0''$

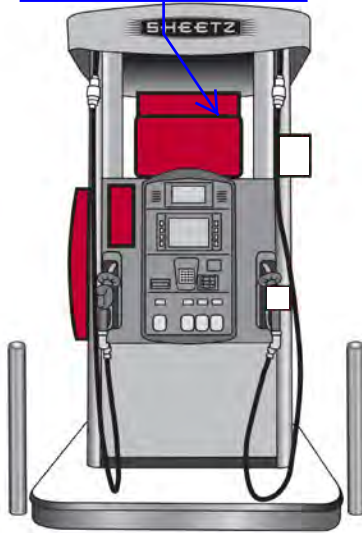


Exhibit 6

Sign orders or questions, call IDL Worldwide
Sign Line (888)-227-4477

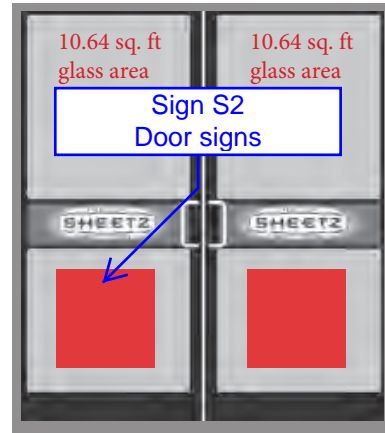
COLUMBUS EXTERIOR

Sign S1
Pump topper

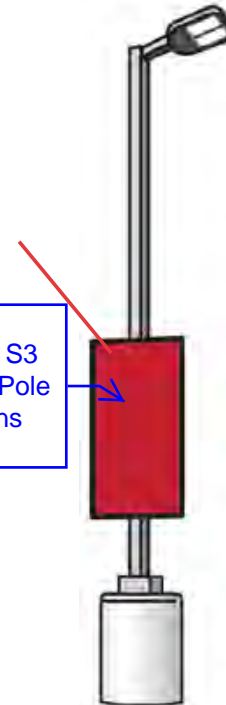


10.64 sq. ft
glass area

Sign S2
Door signs



Sign S3
Light Pole
signs

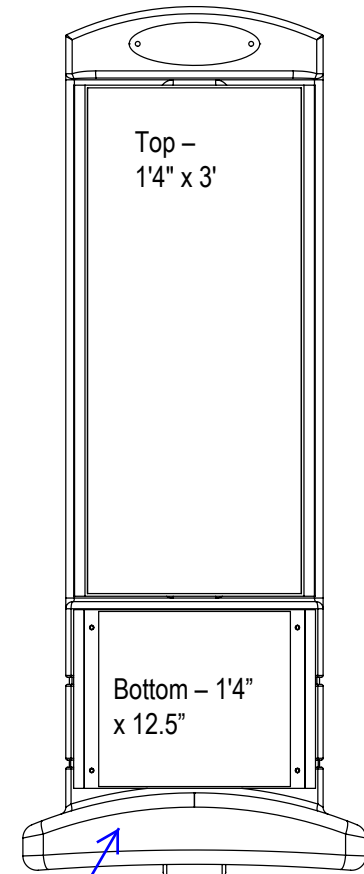


5' height

Top –
1'4" x 3'

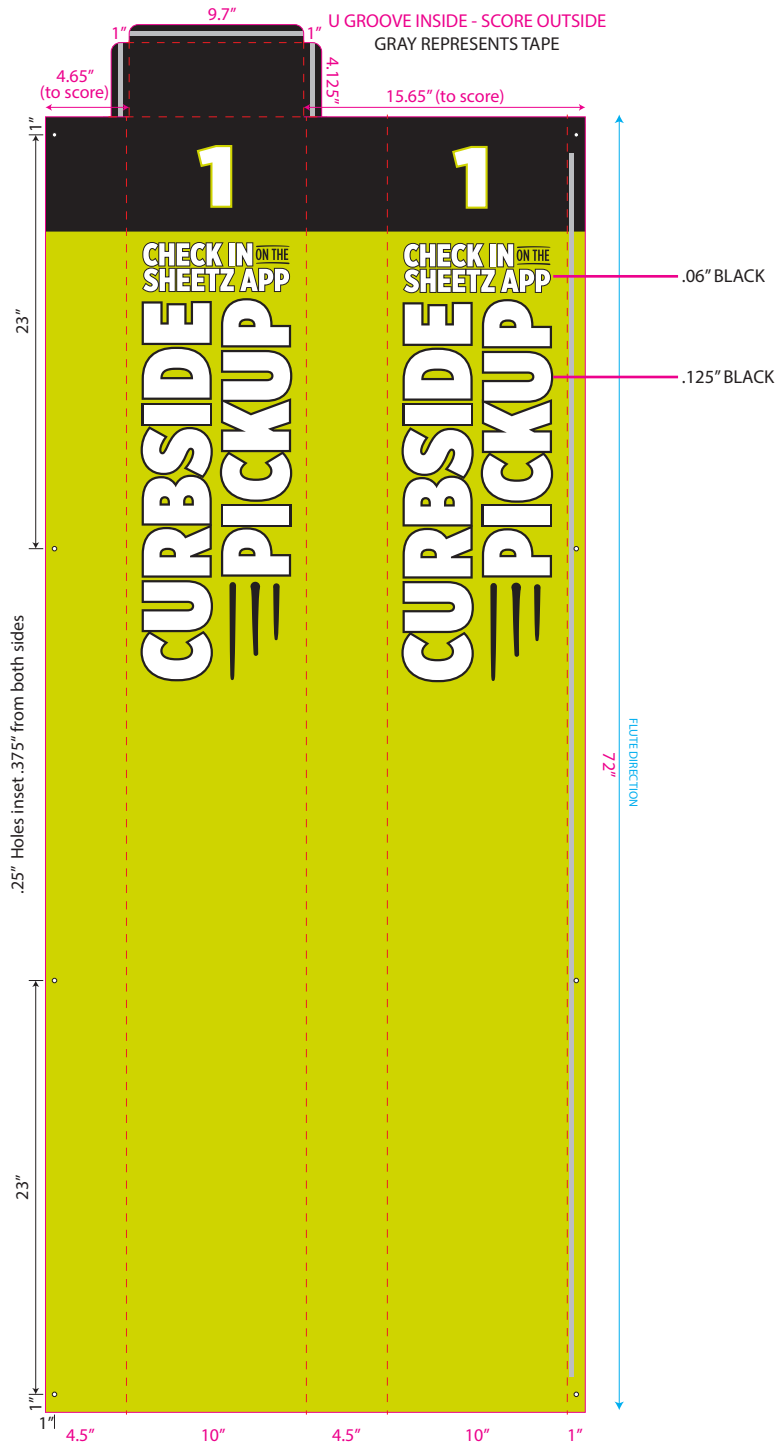
Bottom – 1'4"
x 12.5"

Sign S.4
Portable Sign



Sign S.5
Curbside Pickup Sign





EXAMINE PROOF CAREFULLY!

Customer: SHEETZ
Job#: 390089
P/N: C10004 BOLLARD COVER 72 BLK REV

CSR: OH
Date: 3/24/21
Proof #: 1

Part Size: 30"W x 77.125"H
Color: PMS 382 GREEN &
WHITE ON BLACK

Created by: HC
Die # (if used):
Font used:

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☐ Make changes or corrections and REPROOF*

By _____ Date _____

*Changes and corrections after
2nd proof are billable at \$95/hr.

☒ Approved as submitted proceed.

By _____ Date _____

Amy Gribbell
Sheetz, Inc.

03/24/2021 3:59:57 PM