

**Walther Engineering**  
**Major Site Plan Application – Items 1-5**  
**June 7, 2024**

The following items must be submitted with this Application:

1. Letter from Owner designating Bunnell Hill Construction as the applicant as their representative. **Response:** (Please see attached)
2. Legal Description: **Response:** (Included on Civil Engineering Drawings by Wyco Engineering.)
3. List of Property Owners: **Response:** (Please see attached).
4. Supporting Narrative explaining what is being proposed and why:  
**Response:** Walther Engineering has partnered with The City of Franklin since 2001. The business continues to grow, and additional space is required to continue this growth. A 36,000 SF pre-engineered metal building with masonry wainscot to match existing will be built for both warehousing and production needs. There will be additional docks, along with and expansion to employee parking.
5. A Statement addressing the following:
  - A. Whether the proposed use fully complies with all applicable requirements of the UDO.  
**Response:** The proposed project fully complies with all development standards of the I-2 District.
  - B. Whether the proposed use or addition will adequately protect adjacent property, or residential uses located on the same property from the potential adverse effects of a non-residential use.  
**Response:** The buildings meet setback requirements from adjoining properties. Walther Engineering has also been in business at this location since 2001, with no complaints of any sort from neighbors.
  - C. Whether the proposed use or addition will be detrimental to the use and character of surrounding properties.  
**Response:** The proposed use is principally permitted and meets all standards of the I-2 zone and is not detrimental to the character of surrounding properties.
  - D. Whether the proposed use or addition will provide safe conditions for pedestrians and motorists and prevents the dangerous arrangement of pedestrians and vehicular ways.  
**Response:** The proposed use will provide safe conditions for pedestrians and motorists via ample parking and walkways positioned on site and not on Shotwell Drive. Additional parking will be added to ensure ample space onsite for employees and visitors.

- E. Whether the proposed use will provide adequate parking and/or loading facilities and lighting systems.  
**Response:** Parking will be provided on site and not on Shotwell Drive. The dock area and employee parking meet all applicable codes. Lighting – photometric included in submittal that meets all applicable code requirements.
- F. Whether the proposed use will provide adequate utility, waste disposal, storm water drainage, water and sanitary services.  
**Response:** All utilities are in place and storm water detention basin upgraded to 2024 standards.
- G. Whether the proposed use will provide safe ingress and egress for emergency services vehicles.  
**Response:** Yes, safe ingress and egress provided. An additional fire hydrant was added to the dock side to assure proper coverage and building offset on the south side to account for setback requirements and to meet an unlimited area building classification.
- H. Whether the proposed use will provide required landscaping, fencing or walls.  
**Response:** Yes, retaining walls will be required as indicated on site civil drawings. No additional landscaping required and therefore not included.

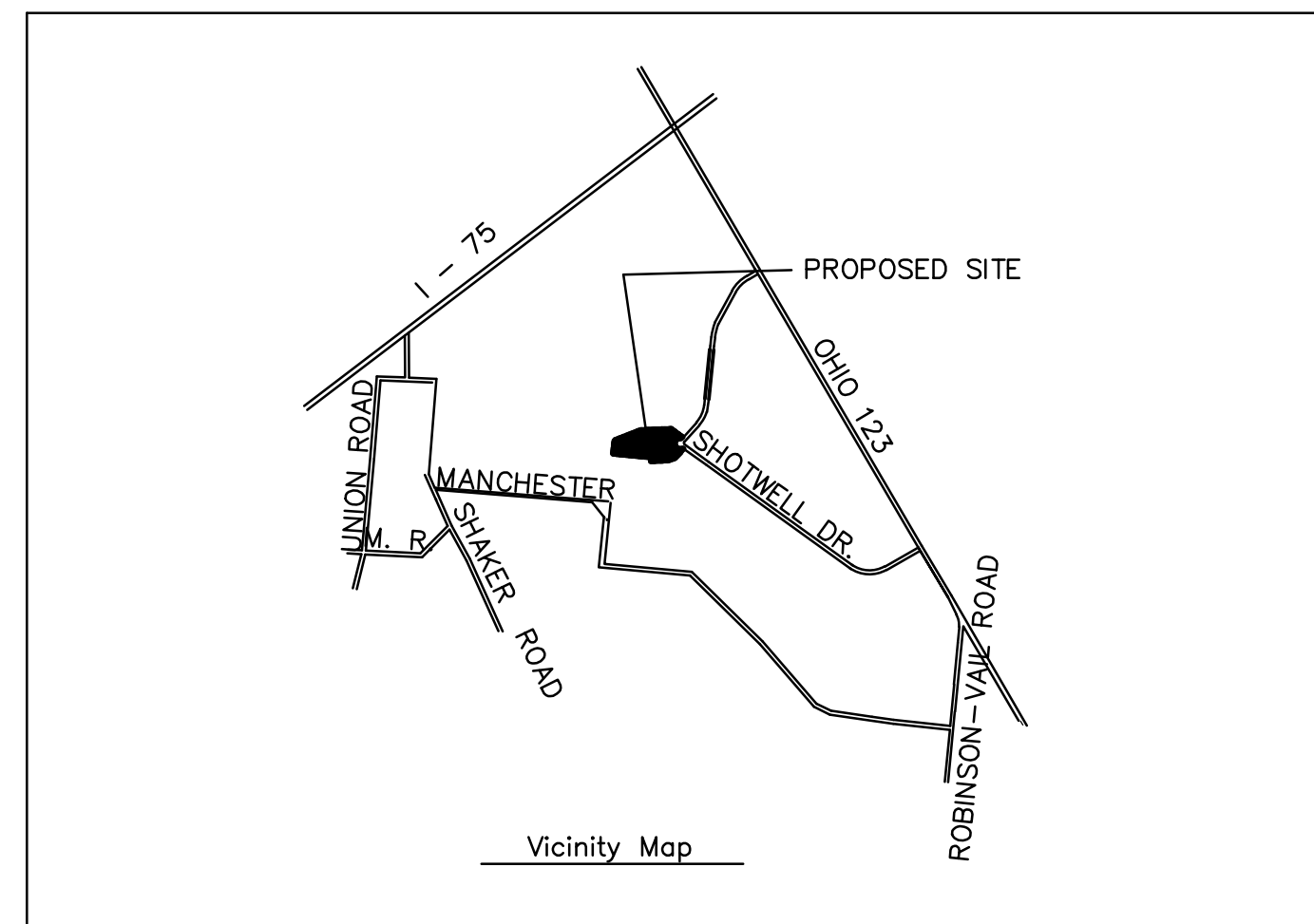
# Walther Engineering 2024 Addition Site Plan

Franklin Business Park Two, Section One, Lot 4  
Section 29, Town 3E, Range 4N, M.Rs.  
City of Franklin, Warren County, Ohio  
June 2024                      9.3210 Acres

## CONSTRUCTION DRAWINGS

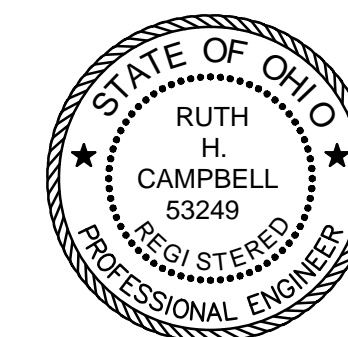
Site Plan Notes

1. Developer: Bunnell Hill  
3000G Henkle Drive  
Lebanon, Ohio 45036
2. Owner: WEMC Company, LLC  
3501 Shotwell Drive  
Franklin, Ohio 45005
3. Existing zoning - I-2,  
Use - Manufacturing
4. Proposed zoning - I-2  
Proposed use - Manufacturing
5. Existing Building to remain.
6. Lighting plan by others.
7. Landscape plan by others.
8. No new signage is anticipated.
9. Design of retaining wall by others.
10. Required parking:  
Warehouse/manufacturing (1 per 1000 sf) = 97 spaces  
Office (1 per 300 sf) = 10 spaces  
Total spaces required = 107  
Total of existing spaces = 52  
Total proposed new spaces = 27  
Total spaces provided = 79  
HC Accessible spaces = 4
11. Utilities:  
Existing utilities to remain.  
See waterline extension.
12. Stormwater:  
See storm sewer additions.  
Detention basin to be revised to serve as a water quality and  
water quantity control basin.



SHEET INDEX	DESCRIPTION
1	TITLE SHEET
2	TYPICAL DETAILS & GENERAL NOTES
3	SITE PLAN

*Owner:*        **WALTHER ENGINEERING**  
*Developer:*   **BUNNELL HILL**  
                         **3000G Henkle Drive**  
                         **Lebanon, Ohio 45066**



**WYCO CONSULTING, INC.**  
**10 STADIA DRIVE**  
**FRANKLIN, OHIO 45005**  
**(937) 743-9926**

# Walther Engineering

## 2024 Addition Site Plan

Franklin Business Park Two, Section One, Lot 4  
Section 29, Town 3E, Range 4N, M.Rs.  
City of Franklin, Warren County, Ohio  
June 2024      9.3210 Acres

**General Notes for Sediment & Erosion Control Measures**

This project is subject to inspection for compliance with the City's storm water ordinance. Additional measures may be required if violations of the ordinance occur. All measures shall comply with City standards and the Ohio EPA NPDES Permit Regulations. All sediment and erosion control measures shall be inspected and repaired once a week and after every 1/2 inch of rain. Records of such inspection shall be kept at job site and be available for immediate review upon request.

**Construction Sequence**

1. Construct construction entrance.
2. Install silt fence prior to cut and fill operation.
3. Construct silt trap/basin. Perform seeding.
4. Rough grade paved areas and building pad.
5. Construct utilities, water, sanitary and storm.
6. Construct building.
7. Final grade parking, landscape areas. Perform seeding.
8. Pave parking.

**Sediment Basins, Traps or Ponds**

Shall be seeded and mulched immediately following the construction. In no case shall the embankment or emergency spillway remain bare for more than 7 days. Fencing as a security measure should be installed around pond and signs posted at appropriate locations to warn of dangers. Shall have an emergency spillway. The outlet structure must be maintained.

**Preserving Existing Vegetation**

Whenever possible, preserve existing trees, shrubs, and other vegetation. To prevent root damage do not grade, place soil piles or park vehicles near trees marked for preservation. Place plastic mesh or snow fence around trees to protect the area below their branches to the drip line.

**Silt Fence**

Shall be installed on the contour and be continuous. To prevent water ponded by silt fence from flowing around the ends, each end shall be constructed upslope such that the ends are at a higher elevation. Silt fence seams between sections of silt fence shall be overlapped with the end stakes of each section wrapped together before driving into the ground. See Ohio Department of Natural Resource's specifications. Remove sediment if deposits reach half the fence height or a maximum of 8 inches. Fence shall be entrenched no less than 6 inches. The trench shall be cut with a trencher, cable laying machine, or other suitable device, which will ensure an adequately uniform trench depth. Silt fence shall be a minimum of 16 inches, but less than 36 inches above the original ground elevation.

**Soil Piles**

Locate away from any street, driveway, stream, lake, wetland, ditch or drainage way. Temporary seed such as annual rye is recommended for topsoil piles and shall comply with revegetation note. Surround with properly installed silt fence.

**Construction Drive**

All traffic entering or exiting site shall use construction drive. Maintain drive through construction phases. ODOT #2 stone shall be used on unpaved drives.

**Revegetation**

Disturbed soils that are to be dormant for more than 45 days are to be covered with temporary vegetation and/or mulch within 7 days of earthwork. All areas adjusted to final grade, shall be seeded within 7 days. All areas that can be brought to final grade shall be immediately graded and seeded.

**Prohibited Construction Activities**

The contractor shall not use construction activities, proceedings, or operations that may unnecessarily impact the natural environment or the public health and safety. Prohibited construction activities, proceedings or operations include but are not limited to:

1. Disposing of excess or unsuitable excavated materials in wetlands or floodplains, even with the permission of the property owner(s).
2. Indiscriminate, arbitrary, or capricious operation of equipment in any stream corridor, tributary, waters, wetlands or any area outside of the proposed work area.
3. Pumping of sediment-laden water from trenches or other excavations into any surface waters, stream corridors, wetlands, or storm drains.
4. Discharging of pollutants such as chemicals, fuel lubricants, bituminous materials, raw sewage, and other harmful waste into or alongside streams, rivers, impoundments, or into natural or man-made channels or storm sewers leading thereto.
5. permanent or unspecified alteration of the flow-line of a stream.
6. Damaging of vegetation outside of the proposed work limits, within no-build, tree preservation and green zones.
7. Disposal of trees, brush, and other debris in any stream corridors, wetlands, surface waters, or any other unspecified location.
8. Open burning of project debris without a permit.
9. Storing of construction equipment and vehicles and/or stockpiling construction materials on property, public or private, not previously specified and approved for said purpose.
10. Disposal of chip wood in such a manner that would allow chip wood decomposition and leachate water to flow to any surface water, stream corridor or wetland.
11. tracking of mud and other construction related debris onto roadway.

**Legal Description**

Situate in the City of Franklin, County of Warren and the State of Ohio, and being a part of Section 29, Town3E, Range 4N, M.Rs. and being all of Lot 4 of Franklin Business Park Two, Section One as recorded in Plat Book 51, Page 88, of the Warren County Plat Records.

**SWPPP Data**

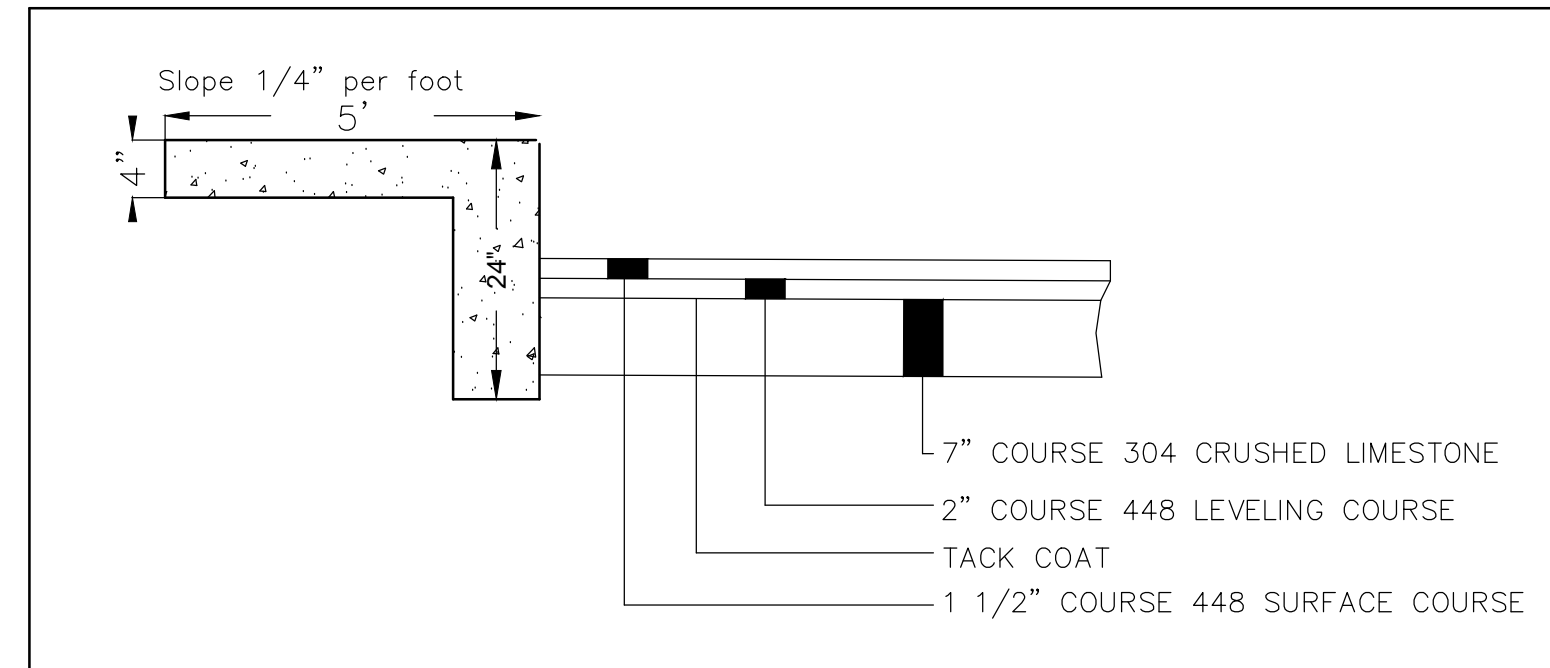
Project Description  
Purpose: Construct a 30,000 s.f. addition to an existing building, provide new drives and dock areas.

Total Lot Size = 9.3210 acres  
Area to be disturbed = 3.95 acres  
NOI Area = 8.3210 acres  
Ex. impervious surface = 2.99 acres  
New impervious surface = 1.54 acres  
Pre-construction CN = 84  
Post-construction CN = 87  
Soil Type = B, Miamian Russell  
K = 0.37

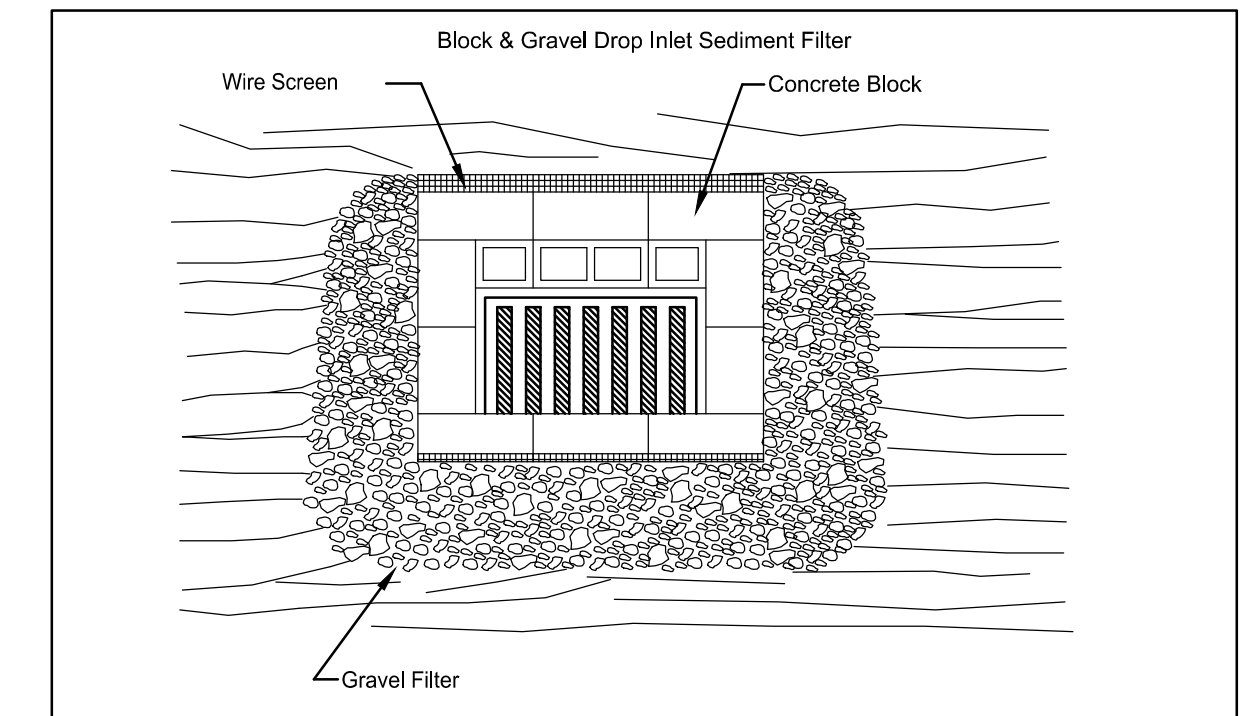
Location: Longitude 84°17'33.45" (approximate center of project)  
Latitude 39°31'41.79"  
Address 3501 Shotwell Drive, Franklin, Ohio 45005

Receiving Water: Green's Run  
Subsequent Receiving Waters: Tommy's Run to Clear Creek

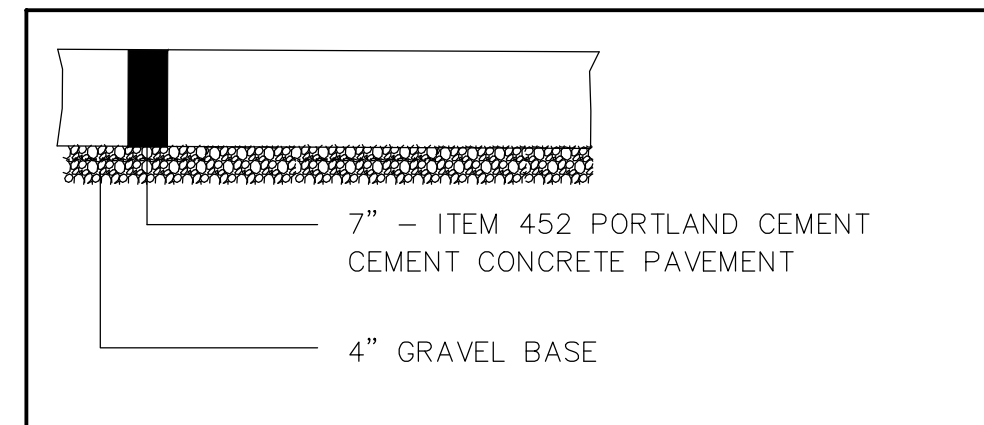
Light Duty Pavement & Sidewalk Detail



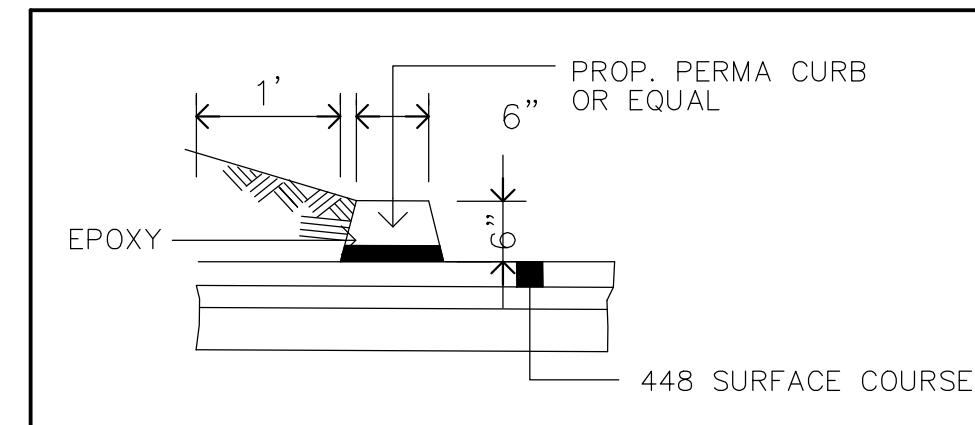
Inlet Protection



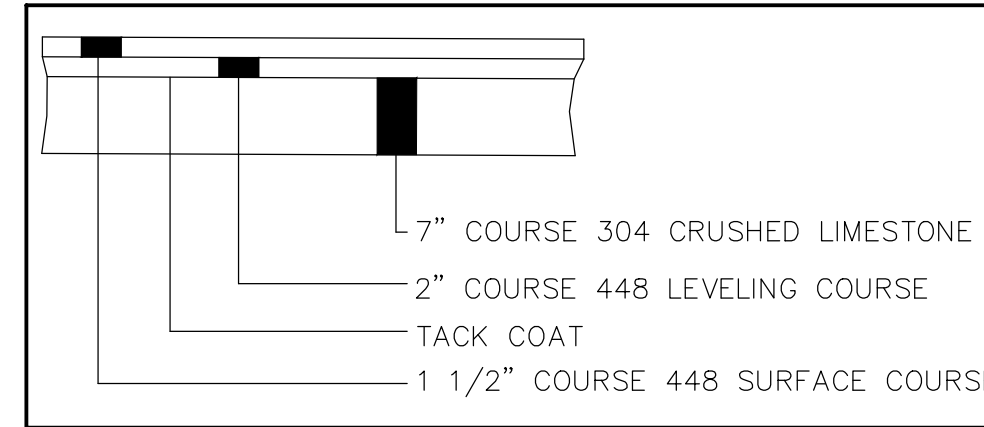
CONCRETE PAVEMENT



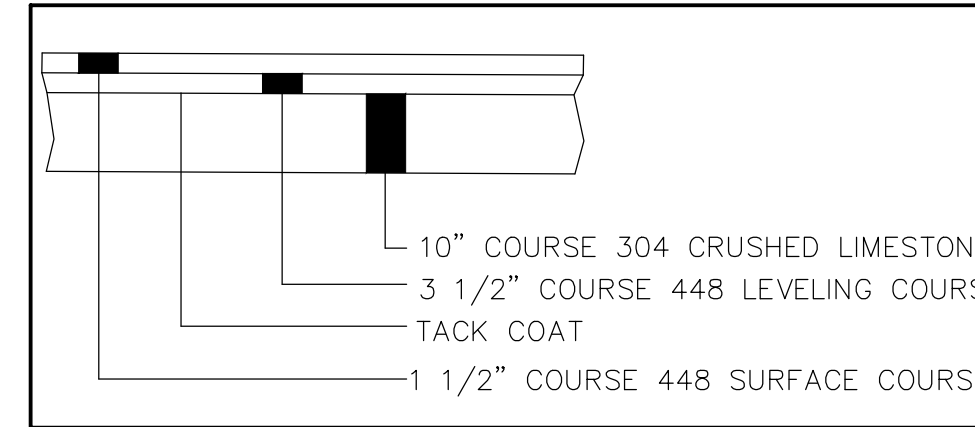
PERMA CURB DETAIL



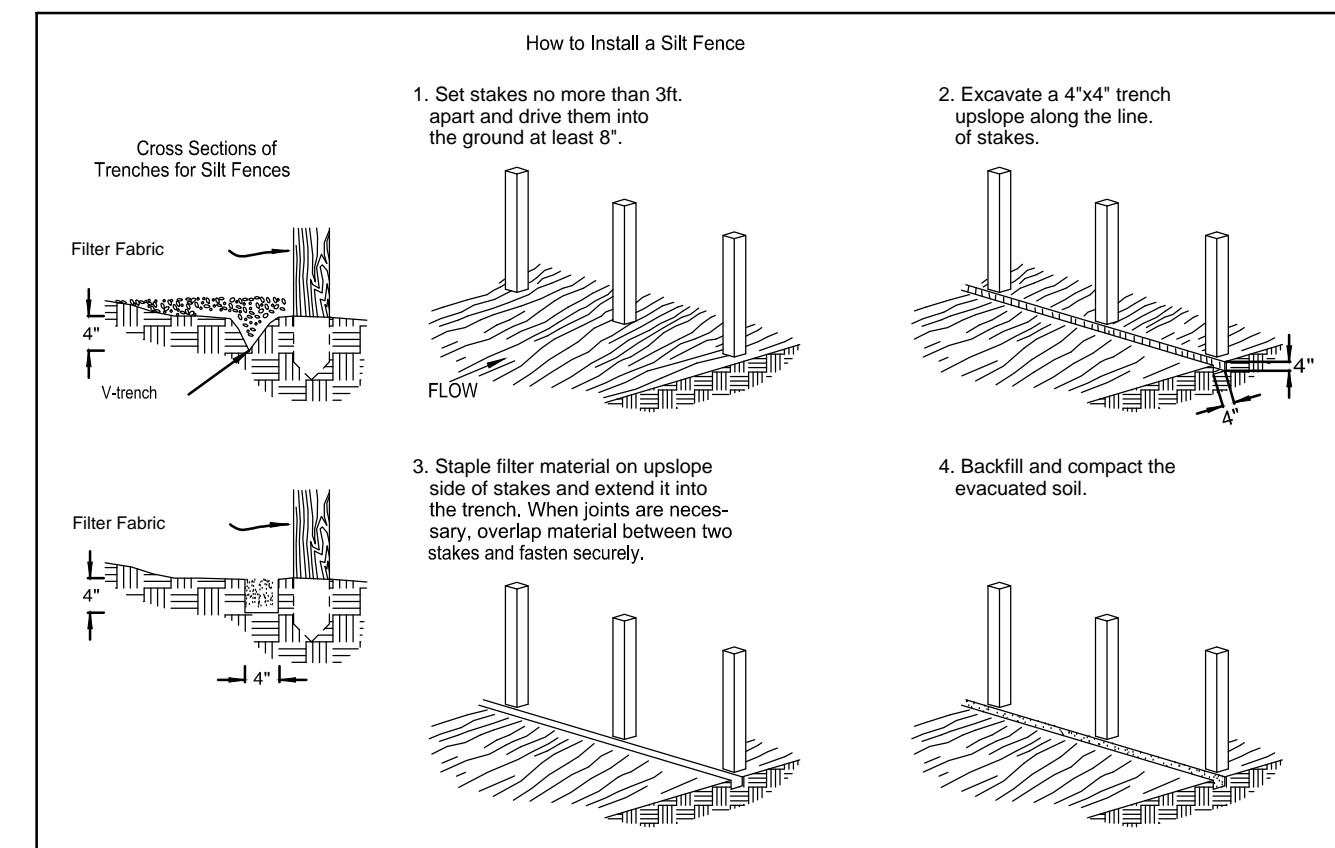
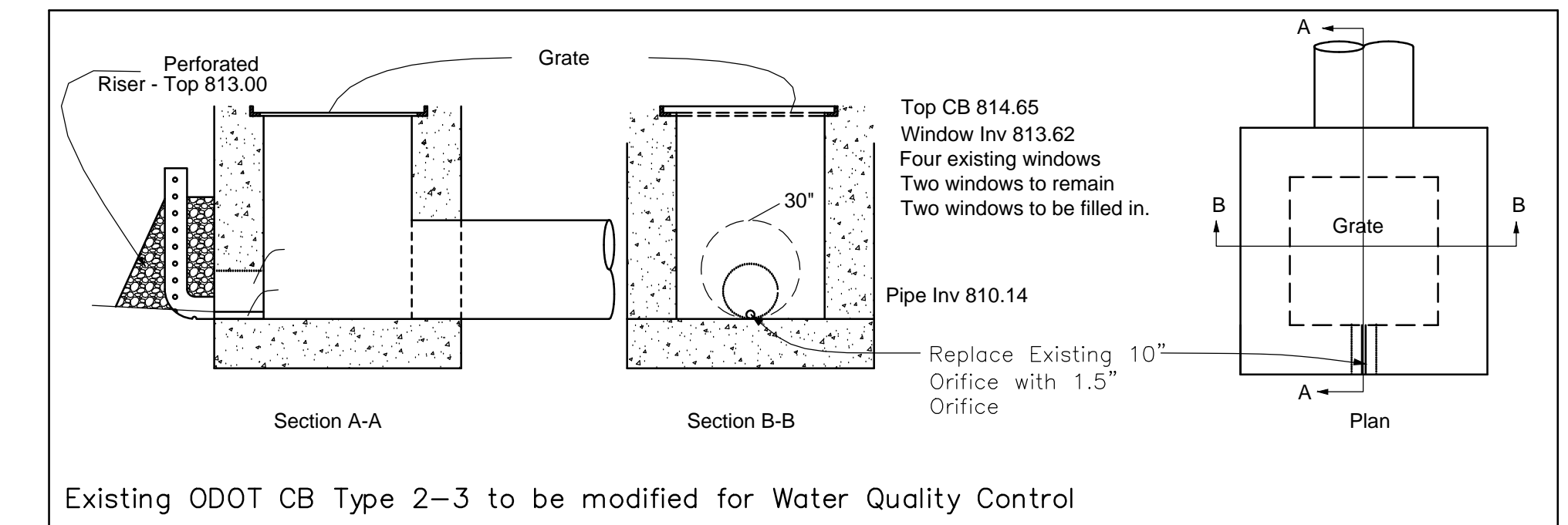
LIGHT DUTY ASPHALT PAVEMENT



HEAVY DUTY ASPHALT PAVEMENT



Detention Outlet Detail



**General Construction Notes**

1. All work shall conform to the City of Franklin Construction and Material Specifications. No construction shall commence until City of Franklin permits have been issued as required.
2. Contractor shall provide and implement a Storm Water Pollution Prevention Plan.
3. Contractor shall field verify existing conditions prior to commencing work. Notify owners representative of any discrepancy between the plans and actual site conditions. No work shall be done in areas where such discrepancies exist.
4. The contractor shall coordinate all work with the owner's representative and be responsible for all methods, means, sequence and procedures of work.
5. All existing utilities are shown in their approximate locations according to the best available information. The contractor shall be required to field locate exact locations and elevations of existing underground utilities prior to setting grade and alignment. Locate and protect all existing utilities during construction. Contractor shall be responsible for all damages to existing utilities resulting from construction activity. Forty-eight (48) hours prior to any construction, excavation or digging, the contractor shall call and notify the Ohio Utilities Protection Service (OUPS) at 1-800-362-2764. All other agencies which might have underground utilities in this area and are not members of OUPS shall be notified directly by the contractor.
6. Protect existing facilities during construction. Contractor shall be responsible for all damages to existing improvements resulting from construction activity.
7. The contractor shall exercise particular care while working in the vicinity of active utility and drainage structures. In the event that any existing structures or utilities are damaged and the services disrupted, the lines shall be immediately repaired and services restored as directed by the owners representative at no cost to the owner.
8. The contractor shall keep all drainage facilities affected by his/her construction operations clean and fully operational at all times.
9. Roof drains, foundation drains and all other clear water connections to the sanitary sewer systems are prohibited.
10. Storm sewer pipe material shall be ADS HDPE plastic pipe.
11. Grades shown indicated finish surface elevations. Verify depth of pavement section prior to rough grading.
12. Adjust all existing castings and cleanouts within project area to finished grade.
13. provide positive drainage from all pavement surfaces to inlets as indicated.
14. All dimensions are to face of curb unless otherwise noted.
15. Standard parking spaces are 9' x 19'.
16. Concrete walks shall be 5' wide with control joints spaced at no more than 5' on center unless noted otherwise, provide 4000 psi concrete, air entrained, 4" thick. Provide 4" dense graded aggregate base over compacted subgrade to 100% standard proctor.
17. Proposed concrete curb to be cast-in-place "permacurb" installed in accordance to manufacturer's specifications.
18. Fill areas under pavement shall be compacted to 95% of modified proctor density.
19. Parking lot stripping shall be 4" wide white highway-type stripping applied in accordance with the plan.
20. All radii are 5.0' unless otherwise noted.
21. Concrete loading area shall consist of 4000 psi, air entrained, 7" thick non-reinforced concrete. 14. Walks and paving to receive broom finish, curbs to receive rubbed finish.
22. Underdrain shall be provided under heavy duty pavement in dock area as necessary.
23. Boundary based on record information only

Details & Notes

REVISIONS
7/23/2010 Revised per city comments of 7/9/2010


DESIGNED BY: RC	HORIZ. SCALE: None
DATE: 06/07/2024	VERT. SCALE: None
DWG. NO.: 2415	DWG.: 1 of 3
PROJECT <b>Walther Engineering</b>	

**WYCO CONSULTING, INC.**








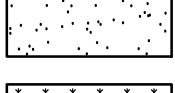
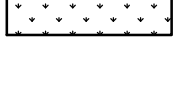
10 Stadia Drive  
Franklin, Ohio 45005  
937-743-9926



# Walther Engineering 2024 Addition Site Plan

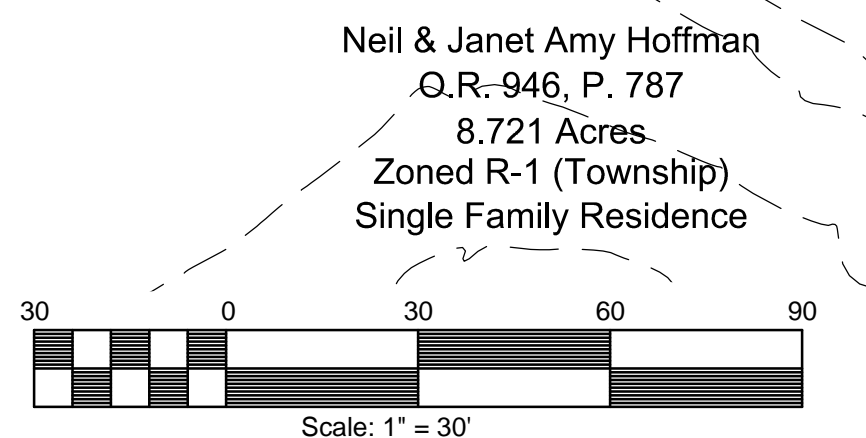
Franklin Business Park Two, Section One, Lot 4  
Section 29, Town 3E, Range 4N, M.Rs.  
City of Franklin, Warren County, Ohio  
June 2024      9.3210 Acres

### Legend

-  - Fire Department Connection
-  - Water Valve
-  - Fire Hydrant
-  - Transformer
-  - Existing Tree Line
-  - Heavy Duty Asphalt
-  - Concrete
-  - Light Duty Asphalt
-  - Existing Landscape



- Site Notes:
- (A) Permacurb to match existing
  - (B) Proposed Dock - 7" Class C, 4000 psi, air entrained concrete
  - (C) Proposed Drive - Heavy Duty Asphalt Pavement
  - (D) Remove Existing Curb
  - (E) Proposed Concrete Stoop
  - (F) Seal and Re-stripe Existing Parking



Neil & Janet Amy Hoffman  
O.R. 946, P. 787  
8.721 Acres  
Zoned R-1 (Township)  
Single Family Residence

NUMBER	DIRECTION	DISTANCE
L1	S 42°12'27" W	15.51'
L2	S 54°15'55" E	9.44'
L3	N 06°09'00" E	59.57'

CURVE TABLE - BOUNDARY						
NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	DELTA ANGLE	TANGENT
C-1	35.00'	32.85'	S 69°05'48" W	31.66'	53°46'42"	17.75'
C-2	75.00'	267.07'	S 06°01'44" E	146.71'	204°01'46"	352.40'
C-3	35.00'	32.85'	S 81°09'16" E	31.66'	53°46'42"	17.75'

New 36,750 S.F. Building Pad  
27 Additional Parking Spaces

REVISIONS

DESIGNED BY: RC  
DATE: 6/07/2024  
DWG. NO.: 2415  
PROJECT: WALTH ER ENGINEERING

HORIZ. SCALE: 1" = 30'  
VERT. SCALE: N/A  
DWG. 3 of 3

WYCO CONSULTING, INC.

10 Stadia Drive  
Franklin, Ohio 45005  
937-743-9926



Luminaire Schedule									
Project: BHC - Walther Addition - Site									
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	
WP1	5	WP1	Single	Lithonia TWR2 LED ALO SSW2 UVOLT PE DDBTYD (HIGH OUTPUT)	0.903	16270	111	555	

Calculation Summary									
Project: BHC - Walther Addition - Site									
Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin		
CalcPts taken Overall	Illuminance	Fc	0.81	13.1	0.0	N.A.	N.A.		

NOTES:  
FIXTURES ARE MOUNTED ON BLDG AT 18'-6" A.F.G.

Disclaimer:  
AGI and Genlyte has made great efforts to ensure the accuracy of their program, however AGI, Genlyte and King Lighting Inc. assume no liability for the decisions made with the assistance of these design programs. Actual light levels generated by installed luminaires may differ from the light levels predicted by AGI or GENLYTE for a number of reasons including (but not limited to) electrical supply, equipment tolerances, installation details, lamp/ballast interaction, thermal factors and obstructions from within the space.

**IF USING PRODUCTS WITH SELECTABLE KELVIN TEMPERATURES AND/OR ADJUSTABLE LUMEN PACKAGES, PLEASE ENSURE THOSE FIXTURES ARE SET IN THE FIELD TO THE DESIGN PROVIDED ON THIS DRAWING**

THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF KING LIGHTING, INC. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED BY ANY COMPANY OTHER THAN THE COMPANY FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF KING LIGHTING, INC. ANY VIOLATION MAY RESULT IN APPROPRIATE LEGAL ACTION.

**Design Criteria**

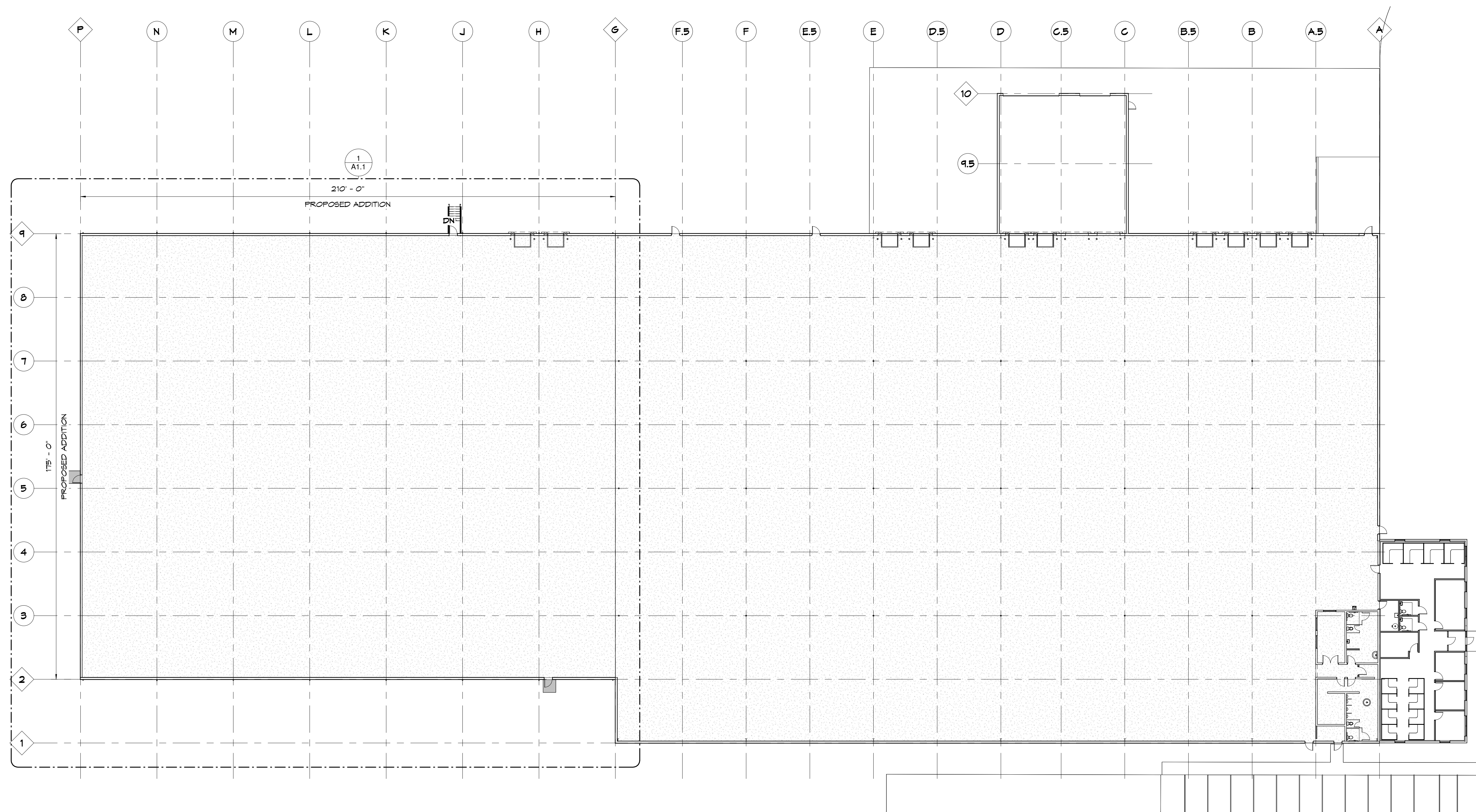
DESIGN FILE: BHC_WaltherAdd_Site.ogl	FIXTURE LAYOUT IS BASED ON A 0.90LIGHT LOSS FACTOR AND REFLECTANCE VALUES UNLESS NOTED OTHERWISE.		
MINIMUM: MAXIMUM: AVERAGE:	AVE./MIN: MAX./AVE: MAX./MIN:	INTERIOR LIGHTING LEVELS ARE SHOWN AT A.F.F. UNLESS NOTED OTHERWISE	EXTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.G. UNLESS NOTED OTHERWISE

**King Lighting, Inc.**  
700 West Pete Ross Way - Suite 215  
Cincinnati, OH 45203  
(859) 261-5511 Fax (859) 261-2228  
www.king-lighting.com

Lighting Calculations for  
BHC - Walther Addition - Site

LIGHTING SITE PLAN	SCALE 1"=30'-0"	DESIGNER JJ	CHECKED JJ	DATE 06/03/24	SHEET S1
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**FINISH FLOOR**

SCALE: 3/64" = 1'-0"

1  
A1.0

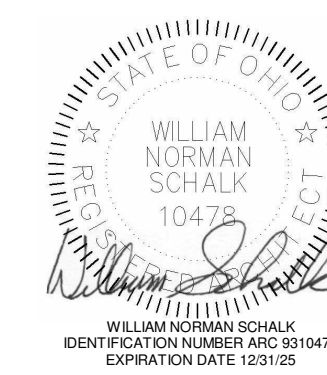
**Proposed Expansion For:**



**3501 SHOTWELL DRIVE  
FRANKLIN, OHIO 45005**

REV. DATE CKD

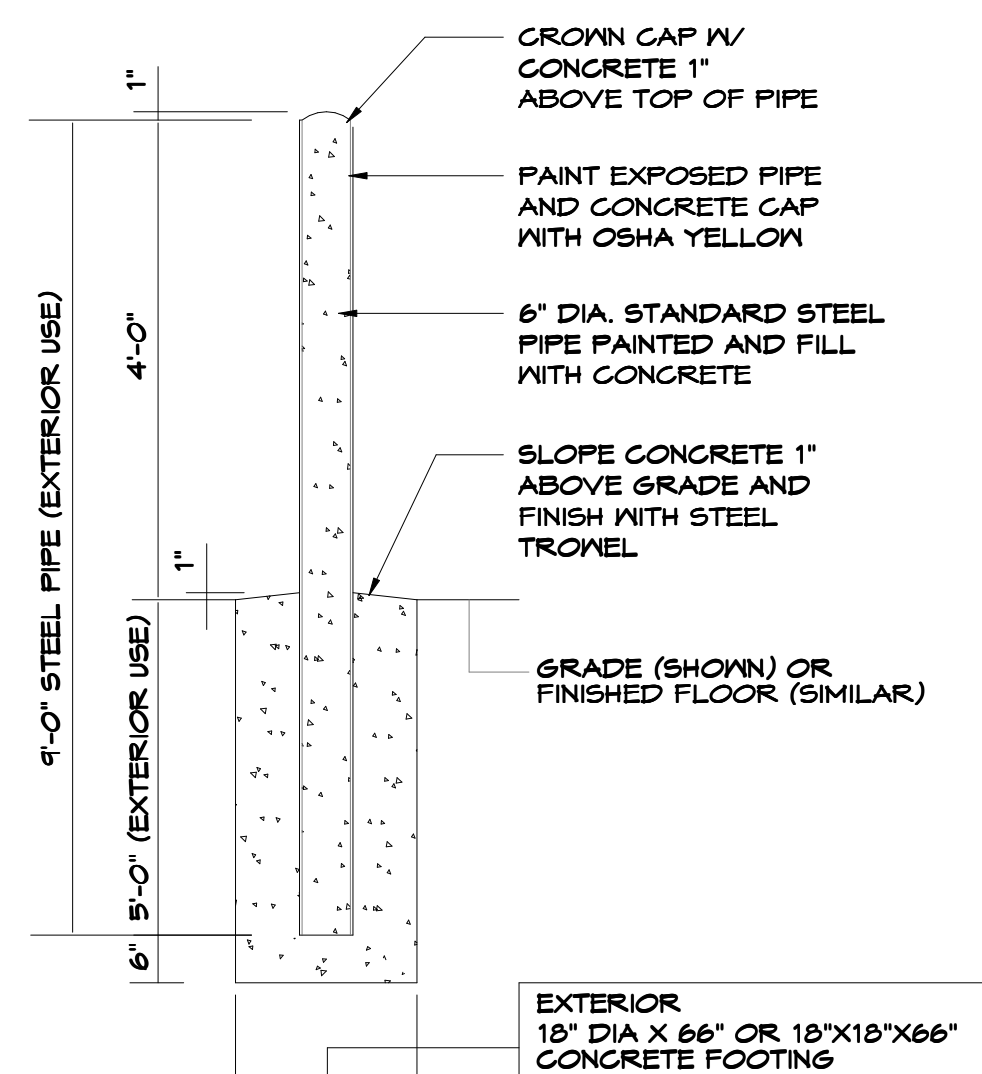
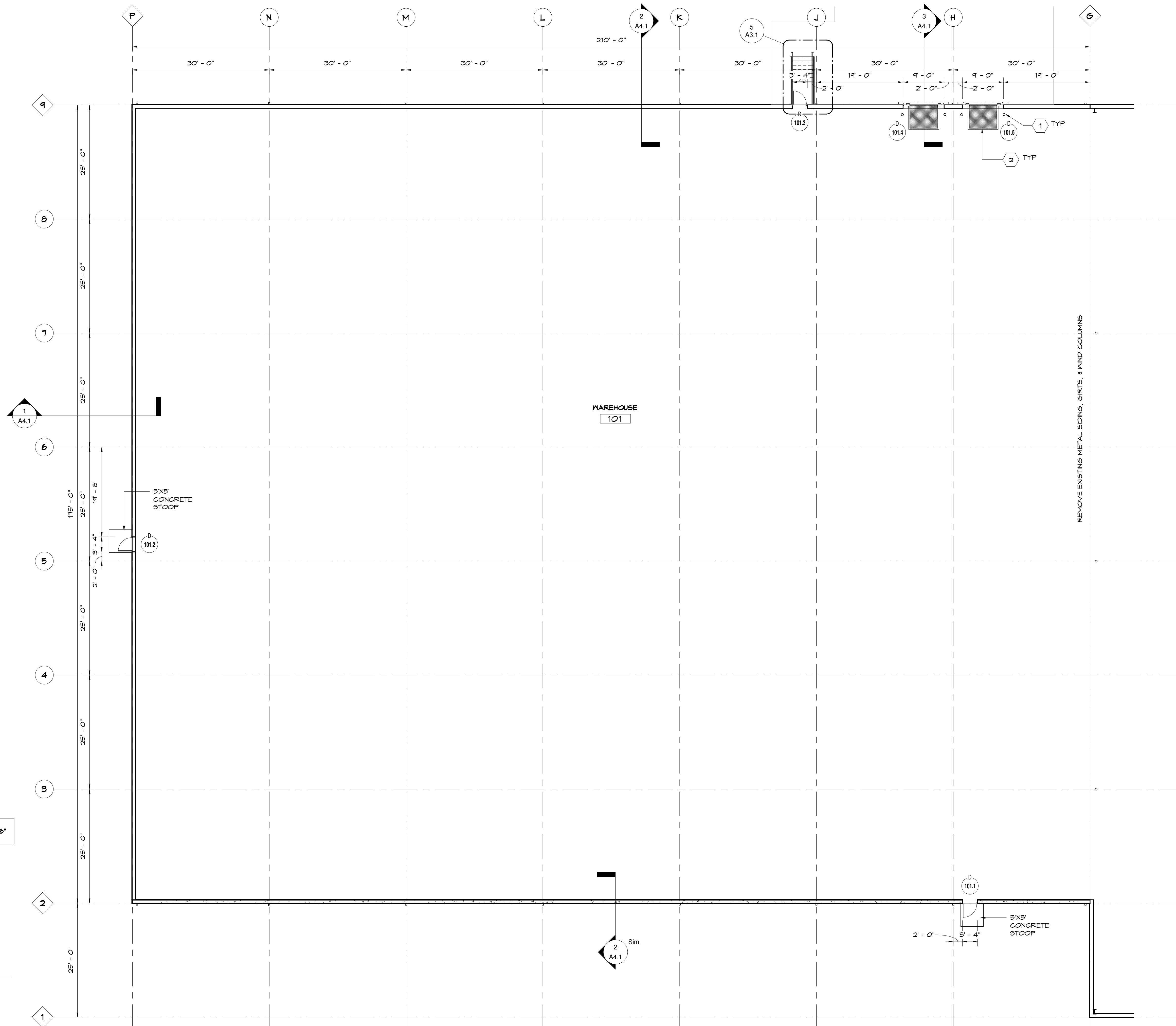
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Date: 05.30.24 Job No: 24.048

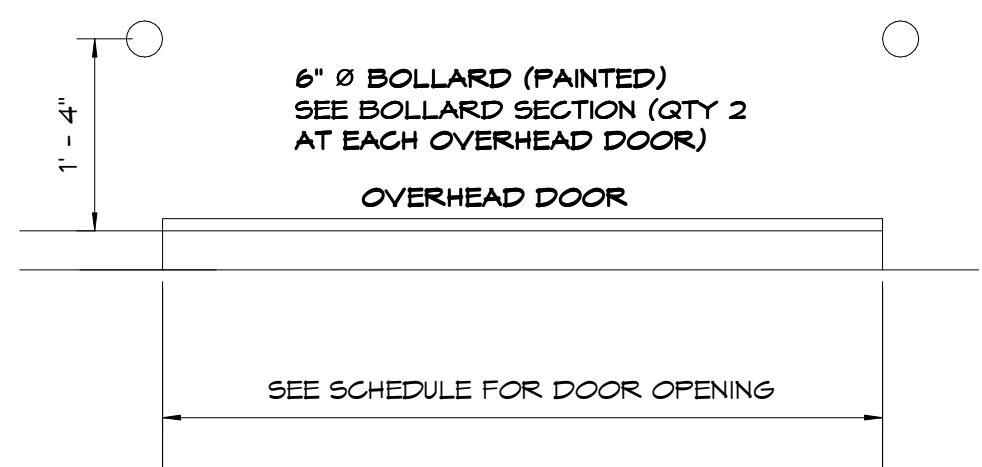
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**BOLLARD SECTION**

SCALE: 1/2" = 1'-0"



**BOLLARD PLAN**

SCALE: 3/4" = 1'-0"

**ENLARGED FLOOR PLAN**

SCALE: 3/32" = 1'-0"

**KEY NOTES**

- 6" DIA. CONCRETE FILLED PIPE BOLLARD (PAINT) SEE DETAILS 2/A1.1 & 3/A1.1.
- DOCK LEVELER. COORDINATE SIZE AND CAPACITY W/OWNER.

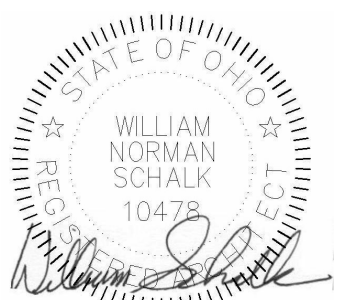
Proposed Expansion For:



**3501 SHOTWELL DRIVE  
FRANKLIN, OHIO 45005**

REV. DATE CKD

Drawn By: WNS Checked By: WNS



Date: 05.30.24 Job No: 24.048

# A1.1



