



- Legend**
- Parcels
 - Roads
 - City Labels

Parcel ID	29-065-02W-2100-0000-0061	Alternate ID	02W06529210000000061	Owner Address	MCDANIEL LENORA P. & JERRY L
Sec/Twp/Rng	29-6S-2W	Class	SINGLE FAM		TRUSTEE OF REVOCABLE TRUST
Property Address	4402 ST. TERESA AVE	Acreage	0.229		P.O. BOX 1046
					PANACEA, FL 32346

MS Daniel

4402 St. Teresa Avenue



STREET (NOT OPEN)

S. 86° 49' 12" W.
41.25' (M)

SET 5/8"
RE-RIP 46475

41.25' (M)

R/W

FND. 4/4"
C.L. 4295



MS Daniel Property

Lang Property

4404 St. Teresa Ave.

Gruber (Lewis) Property

4400 St. Teresa Ave.

COURT DRIVE

249.03' (M)

STREET (ABANDONED)

248.89

78.75

52.12

0.24 AC. ±



N. 03° 13' 51" W.

New 16x26
Bedroom + Bath
Ground Floor

SCREEN PORCH

20.10

TWO STORY
FRAME RES.

40.5

SCREEN.
PORCH

12.15

1.24

41.25' (M)

N. 87° 01' 02" E.

FRAME RES.

5' setback
from property line

FND. 5/8"
RE-RIP 46475

470.10 (M)

FND. 4/4"
C.L. 42919

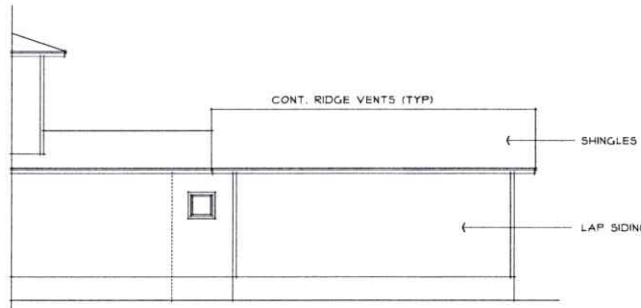
FND. 5/8"
RE-RIP 46475

41.25' (M)

IT OF
INNING

Gulf of Mexico

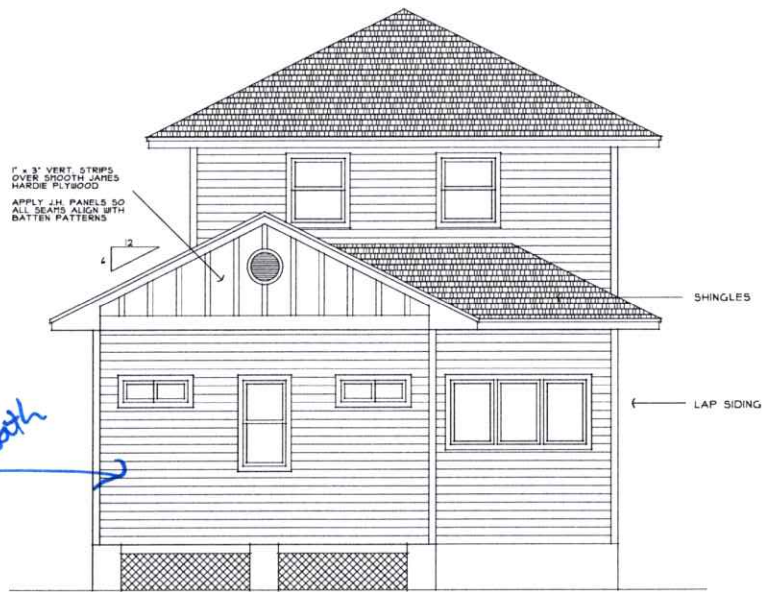




Proposed Left Elevation
Scale : 1/8"=1'-0"



Proposed Right Elevation
Scale : 1/8"=1'-0"



Proposed Front Elevation
Scale : 1/4"=1'-0"

Design House home plans were designed and drafted to meet average conditions and codes in the State of Florida at the time they were drawn. All plans were designed to meet the specifications of "some, none" jurisdiction every state, county and municipality has its own regulations, codes, ordinances and requirements. The purchaser of these plans shall be responsible for verifying or having a third party or parties to verify the scale and all dimensions on the drawings, the loading capacity of structural elements and general structural integrity and the availability of certain desired products relative to the dimensions on the plans. The purchaser and/or builder of the plan releases Design House, Inc. its shareholder, officers, directors and employees from any claims or lawsuits that may arise during the construction of the home or anytime thereafter. Design House outlines the scale and use of these plans expressly upon the purchaser's obligation to determine the suitability of these plans for your specific site and application. Certain states require the seal of an architect and/or an engineer. This service is not included in our plan prices. These plans can be modified to meet your local codes and all requirements. It is the responsibility of the purchaser and/or builder to insure that the home is built in strict compliance with all applicable codes (city, county, state and federal). All plans published and sold by Design House, Inc. are protected under the Federal Copyright Act, Title 17 of the United States Code and Chapter 37 of the Code of Federal Regulation. The purchaser is granted a limited use of these plans for construction purposes only. Further distribution of these plans is strictly prohibited. Plans and conditions of plans subject to change without notice.

Design House
residential design services
1400 Village Square Boulevard | Unit 3-714 | Tallahassee, Florida 32312
850.508.0322 | www.designhouse.com | 1-800-999-2014

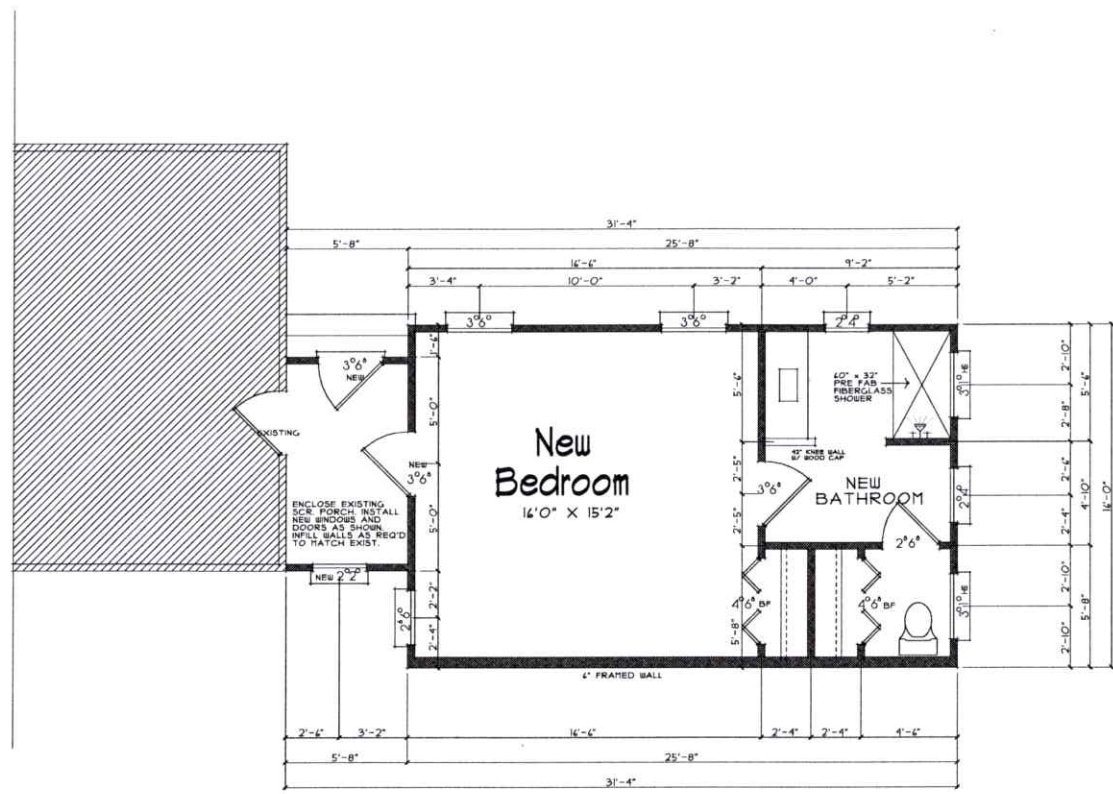
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CHECKED	
DATE DRAWN	
PRINT DATE	10/31/2019
JOB NO.	2019031

4402 ST TERESA AVENUE

Design House home plans were designed and drafted to meet drainage conditions and codes in the State of Florida at the time they were drawn. All plans were designed to meet the specific location of seismic zone 1. Because every state, county and municipality has its own regulations, codes, ordinances and requirements, the purchaser of these plans shall be responsible for verifying or causing a third party or parties to verify the scope and all dimensions on the drawings, the loading capacity of structure elements and general structural integrity and the availability of certain desired products relative to the dimensions on the plans. The purchaser and/or builder of the plan releases Design House, Inc., its shareholders, officers, directors and employees from any claims or lawsuits that may arise during the construction of the home or anytime thereafter. Design House authorizes the use and use of these plans expressly upon the purchaser's obligation to determine the suitability of these plans for your specific site and application. Certain states require the seal of an architect and/or an engineer. This service is not included in our plan prices.

These plans can be modified to meet your local codes and all requirements. It is the responsibility of the purchaser and/or builder to ensure that the home is built in strict compliance with all applicable codes (city, county, state and federal).

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Proposed Floor Plan

Scale : 1/4"=1'-0"



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850.509.0322 | www.designhouse.com | e.spp@dh.com

DRAWN TOMH	
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JOB NO.	2019031
4402 ST TERESA AVENUE	
SHEET 2	OF 5

November 5, 2019

The Advisory Board of Adjustment
Franklin County Building Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

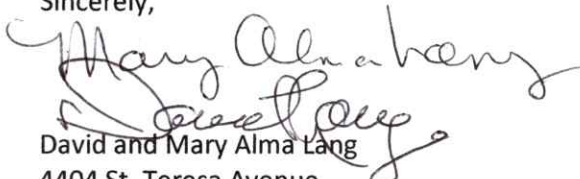
RE: Support Letter for McDaniel Variance Request Application
4402 St. Teresa Avenue, Bedroom & Bath Addition

Dear Board of Adjustment:

We support our neighbor's (McDaniel) Variance Request to construct a Bedroom and Bath addition behind their existing house approximately 5' from their eastern property line. We are aware that the standard setback is 10', but the 5' setback requested will provide a much better utilization of the McDaniel property, and it will not incumber our property in any way.

Please let us know if you need anything further from us in support of the McDaniel's setback variance request.

Sincerely,

A handwritten signature in cursive script, appearing to read "Mary Alma Lang".

David and Mary Alma Lang
4404 St. Teresa Avenue
St. Teresa, FL 32358

November 5, 2019

The Advisory Board of Adjustment
Franklin County Building Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RE: Support Letter for McDaniel Variance Request Application
4402 St. Teresa Ave, Bedroom & Bath Addition

Dear Board of Adjustment:

Our neighbors at St. Teresa Beach, the McDaniel's, have shared with us their plans to add a bedroom and bath on the first floor of their existing home. We understand they are requesting a variance of 5' or less on the east property line. We do understand their need for a bedroom and bath on the first floor of their home in that the couple will be 80 years old next year.

We support their request and hope you will rule in favor of the variance for the addition.

Please let us know if you need anything further from us in support of the McDaniel's setback variance request.

Sincerely,

Elizabeth L. Gruber, TTEE

Betsy Gruber - Trustee
4400 St. Teresa Avenue
St. Teresa, FL 32358