

Franklin County Board of County Commissioners, State Housing Initiative Partnership Program (SHIP)

Bid Title: HHRP Mobile Home Replacement Proposal Package #1

Bid Deadline for Receipt: Wednesday, June 17, 2020 1:00 p.m. Eastern Time.

SHIP Program office: National Guard Armory 66-4th Street, Apalachicola, Florida 32320.

Public bid opening immediately after

Residential replacement projects Included (all in Franklin County, Florida):

Margaret Gay	27 Bayview Drive, Apalachicola, Fl
David Burke	1207 Hill Road, Apalachicola
Buddy Wayne Butler	43 Pine Drive, Apalachicola
John Harris	107 Hathcock Road, Apalachicola
David Wilson	450-23rd Street, Apalachicola
Holly Taylor	1208 NW 3rd Street, Carrabelle
Regina Tindell	87 Delaine Circle, Eastpoint
Joseph White	212-1st Street West, Carrabelle, Fl 32322

If more than one property is included in the bid package, bidders are required to submit a bid for each property. Each home replacement will be contracted separately, between the OWNER and the Dealer, and financed by the Franklin County SHIP Program.

PRE-BID MEETING:

All bidders are required to inspect each property to be bid prior to submitting their bid(s). Bidders should conduct a pre-bid walk-through inspection with a representative of Franklin County SHIP Program. Bidders shall become familiar with the required certifications and conditions, such as Contractor Debarment, and may receive instructions from Franklin County SHIP Program. A pre-bid meeting will be conducted at

Franklin County SHIP Program, 66-4th Street, Apalachicola, FL 32320 at **10:00 a.m. on Wednesday, June 3, 2020, then proceeding to the job locations.**

The Owner and County do not guarantee that any inspection time will be available other than during the scheduled pre-bid meeting.

INSTRUCTION TO BIDDERS:

To Insure Acceptance of Your Bid(s), Please Follow These Instructions:

1. Each Proposal for Mobile Home Replacement must be completed on the form provided by the SHIP Program, submitted in a sealed envelope, and received by the deadline above. Address your sealed envelope as follows:

*SEALED HHRP Mobile Home Replacement Bid
Franklin County SHIP Program
66-4th Street
PO Box 722
Apalachicola, FL 32329*

A completed Franklin County HHRP Housing Rehab/Replacement Program Bidder Information form and all required attachments are to be submitted to the County. Bidders who submit these materials for the HHRP program one time are only required to submit applicable changes and updates and acknowledge receipt of the current Specifications.

2. Bid must be typed or printed in ink. All corrections made by the bidder prior to the opening must be initialed

and dated by the bidder. No changes or corrections will be allowed after bids are opened.

3. Bid must contain an original, manual signature of an authorized representative of the company.
4. The bid opening shall be public on the date and time specified on the bid. It is the bidder's responsibility to assure that the bid is delivered at the proper time and location. Bids received after the deadline time will not be accepted. Bidders will not be compensated for bid preparation or submission.
5. Bidders are expected to examine the specifications, delivery schedule, prices and extensions and all general and special conditions of the bid prior to submission. In case of error in price extension, the unit price will govern.
6. If you are not submitting a bid but wish to remain on our bid list, please return a "Statement of No Bid" providing an explanation of why no bid is being submitted.
7. **The terms "Bidder" and "Contractor" shall include licensed Mobile/Manufactured and/or Modular Home Dealers, who respond to this solicitation. The term "bid" shall include "proposal".**
8. Special Accommodation: Any person requiring a special accommodation at a Pre-Bid Conference or Bid opening because of a disability should call Lori Switzer-Mills at least five (5) workdays prior to the Pre-Bid Conference or Bid opening if possible.

NOTE: ANY AND ALL CONDITIONS OR REQUIREMENTS ATTACHED HERETO WHICH VARY FROM THE INSTRUCTIONS TO BIDDERS WILL BE PRECEDENT.

PURPOSE:

The County is soliciting **proposals to replace existing mobile homes, on behalf of Franklin County homeowner(s)**, hereinafter referred to as Owner. Replacement homes are to be new and will be **single wide manufactured housing**. **Proposals will be evaluated to determine the best match to the individual homeowner's needs, quality of construction, and price/value. More than one model may be proposed for each site, on a separate form for each model and each location. Please provide a floorplan for each proposed model. The intended contract(s) will be between the Contractor and the Owner(s), funded by the County's State Housing Initiative Partnership Program (SHIP).** Contractors are to obtain the Owner's material and color selections in writing prior to purchasing. Evidence of compliance with specifications must be made available to the SHIP Administrator.

PROJECT MANAGER:

The County's (Owner's) Project Manager for this work is Franklin County SHIP Program. All questions and correspondence should be addressed to Lori Switzer-Mills, Franklin County SHIP Program.

BID INFORMATION:

Questions pertaining to bid procedures or regarding the specifications should be addressed to Mr. Michael McWilliams (SHIP Inspector) by phone 850-890-1253 or by email mjwillie@mchsi.com, or to Lori Switzer-Mills, Franklin County SHIP Program, at phone (850) 653-8199; E-mail franklincountyship@yahoo.com Written inquiries are preferred. Alternate phone number: 850-323-0515.

EXPLANATION TO BIDDERS:

Each Vendor shall examine the Bid Documents carefully; and, no later than 2 business days prior to the date for receipt of bids, he shall make a written request by e-mail to the project manager for interpretations or corrections of any ambiguity, inconsistency or error which he may discover. All interpretations or corrections will be issued as addenda. The Owner/County/SHIP Program will not be responsible for oral

clarifications.

PUBLIC ENTITY CRIMES STATEMENT:

A person or affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid on a contract to provide any goods or services to a public entity, may not submit a bid on a contract with a public entity for the construction or repair of a public building or public work, may not submit bids on leases of real property to a public entity, may not be awarded or perform work as a contractor, subcontractor, or consultant under a contract with any public entity, and may not transact business with any public entity in excess of the threshold amount provided in Section 287.017, for CATEGORY TWO for a period of 36 months from the date of being placed on the convicted vendor list.

ADDENDA TO SPECIFICATIONS

If any addenda are issued after the initial specifications are released, the County/Owner/SHIP Program will make a good faith effort to ensure that all registered proposers (those vendors who have been registered as receiving a bid package) receive the documents. It is the responsibility of the vendor prior to submission of any bid to verify any addenda issued. The receipt of all addenda must be acknowledged on the bid response sheet.

LICENSES AND REGISTRATIONS:

The contractor shall be properly licensed at the time of bidding, and shall be responsible for maintaining throughout the contract period his or her **mobile home dealer license, and shall be responsible for the validity of subcontractor licenses (mobile home setup, and other applicable licenses for on-site work)** pursuant to the laws of Franklin County, the State of Florida, and other jurisdiction(s) if applicable.

If the contractor is operating under a fictitious name as defined in Section 865.09, Florida Statutes, proof of current registration with the Florida Secretary of State shall be submitted with or prior to the bid. A corporation, partnership, or other commercial entity that is actively organized or registered with the Department of State shall submit a copy of the current licensing from the appropriate agency and/or proof of current active status with the Division of Corporations of the State of Florida or such other state as applicable.

The County may utilize a public online search for Florida corporate records, but if information is unavailable, the Contractor's failure to provide the above required documentation may result in the bid being determined as non-responsive. Contractors who previously submitted these materials need only to submit changes/updates.

INSURANCE:

Contractor shall maintain for the duration of the contract, insurance as follows

1. Minimum Limits of Insurance. Contractor shall maintain limits no less than:
 - a. General Liability: \$300,000 combined single limit per occurrence for bodily injury, personal injury and property damage. If Commercial General Liability Insurance or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to this project/location or the general aggregate limit shall be twice the required occurrence limit.
 - b. Automobile Liability: \$300,000 combined single limit per accident for bodily injury and property damage. (Owned, Non-owned, Hired Car).
 - c. Workers' Compensation and Employers Liability: Insurance covering all employees meeting Statutory Limits in compliance with the applicable state and federal laws and Employer's Liability with a limit of \$500,000 per accident, \$500,000 disease policy limit, \$500,000 disease each employee.

Waiver of Subrogation in lieu of Additional Insured is required.

d. **Builders Risk: "All perils" insurance covering the improvements during delivery and set-up construction, through the date of certificate of occupancy, in an amount not less than the total contract price of each contract in effect, must be in effect prior to Notice to Proceed.**

2. Deductibles and Self-Insured Retentions

Any deductibles or self-insured retentions must be declared to and approved by the County/Owner. At the option of the County, either: the insurer shall reduce or eliminate such deductibles or self-insured retentions as respects the County and Owner, its officers, officials, employees and volunteers; or the Contractor shall procure a bond guaranteeing payment of losses and related investigations, claim administration and defense expenses.

3. Verification of Coverage. Contractor shall furnish the County with certificates of insurance and with endorsements effecting coverage required by this clause, signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements are to be received and approved by the SHIP Administrator when or before the proposed contract is issued. These policies described above, and any certificates shall contain a provision that coverage afforded under the policies will not be canceled until at least thirty (30) days prior to written notice has been given to the County.

Cancellation clauses for each policy should read as follows: *Should any of the above described policies be canceled before the expiration date thereof, the issuing company will mail thirty (30) days written notice to the Certificate Holder named herein.*

4. Subcontractors. Contractors shall include all subcontractors as insureds under its policies or shall furnish separate certificates and endorsements for each subcontractor. All coverages for subcontractors shall be subject to all of the requirements stated herein.

REJECTION OF BIDS:

The County reserves the right to reject any and/or all bids when such rejection is in the best interest of the County or Owner. Examples of reasons for rejection include:

1. Recent history of failure to perform according to contract provisions, according to clients, project managers or inspectors,
2. Conviction in a court of law of any criminal offense in connection with the conduct of business.
3. Clear and convincing evidence that the vendor has attempted to give a gratuity of any kind for the purpose of influencing a recommendation or decision in connection with any part of the Board's purchasing activity,
4. Poor credit history during the past 12 months, or inability to finance the construction work,
5. Suspension or revocation of contractor's license during the past 36 months,
6. Incomplete bid packages,
7. Other reasons deemed appropriate by the Board of County Commissioners or County Coordinator, such as a large contract workload resulting in the County's decision to spread contracts among more than one bidder for expedient completion.

AWARD OF BIDS:

It is the County's intention that the bid(s) will be awarded as soon as possible to the lowest **responsive and responsible bidder**, subject to approval by the Franklin County SHIP Program. The County reserves the right to limit the number of SHIP contracts awarded to or active with any one contractor, unless the contractor can prove the ability to perform all work satisfactorily and within the established time limits, and to allow a preference for Section 3 contractors not to exceed 5% of the lowest responsive/responsible bid.

The County reserves the right to waive any informality in bids and to award a bid in whole or in part when either or both conditions are in the best interest of the County and/or Owner.

The bidder whose bid is tentatively accepted by the County will submit a list of proposed materials/products and a schedule of deliverables upon request by the County or upon tentative bid acceptance, whichever occurs first. Items to be identified include, but are not necessarily limited to: windows, HVAC, plumbing fixtures, cabinets, floor covering, roofing, appliances, doors, and water heater. Final contract will be contingent upon approval of submittals.

BID CHALLENGE:

A bid award recommendation may be challenged on the grounds of irregularities in the specifications, bid procedure, or the evaluation of the bids. Such challenge shall be made in writing to and received by Lori Switzer-Mills, Franklin County SHIP Program Administrator, by e-mailing franklincountyship@yahoo.com within 48 hours (excluding weekends and holidays) after the recommendation of award is made to the Franklin County SHIP Program. Failure to file a timely formal written bid challenge, stating the specific basis for the challenge, shall constitute a waiver of all rights granted under this section. The bidder/vendor shall be responsible for inquiring as to any and all award recommendation/postings.

Should concerns or discrepancies arise during the bid process which the prospective bidder views as a potential dispute, vendors are encouraged to contact SHIP Inspector, Mr. Michael McWilliams by phone 850-890-1253 or by email mjwillie@mchsi.com, 2 business days prior to the scheduled bid opening. Such matters will be addressed and/or remedied prior to the opening or award whenever practically possible.

TERMINATION

The Owner may terminate the proposed Contract without cause, by giving the Contractor seven (7) days written notice of termination. Either party may terminate the Contract for cause by giving the other party hereto five (5) days written notice of termination. The homeowner shall not be required to give Contractor such written notice if, in the opinion of the County, the Contractor is unable to perform its obligations hereunder, or if in the County's opinion, the services being provided are not satisfactory. In such case, the homeowner may immediately terminate the Contract by mailing, e-mailing, or faxing a notice of termination to the Contractor. The County will issue payment for all work satisfactorily completed and other applicable obligations of the Contractor prior to notice of termination, subject to any penalties, liquidated damages, or applicable deductions, although the Owner will bear the sole responsibility for payment if the County does not concur with the Owner's reason for termination. The contract will also be subject to funding availability.

WARRANTIES:

Contractor will warrant all goods and services sold and such warranty may not:

1. Be for a period less than **twelve months**.
2. Limit the Owner's remedies under manufacturer's warranty or other applicable laws;
3. Exclude or modify a warranty of merchantability as provided for in Florida Statutes; or
4. Exclude or modify a warranty of fitness as provided for in Florida Statutes.

TIME AND LIQUIDATED DAMAGES:

The Contractor shall apply for applicable permit(s) to perform the work within 10 County business days of the Contract Execution. If the work is not completed within the time set forth in the bid form, or within such extra time as may be granted by the County and Owner, the Contractor shall be deemed to be in default. **For each day the Contractor is in default, the County/Owner may require the Contractor or its Surety to pay to the Owner the sum of \$100.00, which may be subtracted from any amount due to the Contractor.**

Permitting the Contractor to continue and finish the work or any part of it after the expiration of the contract

time allowed, including extensions, if any, shall in no way act as a waiver of the liquidated damages or penalty due under the contract.

PAYMENTS:

Contractor may be paid **40%** of the total price of the home at the time of ordering the home from the manufacturer. The same 40% may be invoiced by the Contractor who already possesses a new home that meets the specifications of this solicitation, if the Owner and County approve that home. An **additional 40%** of the total price will be paid upon delivery of the home (as ordered and in good condition) and placement on the approved foundation/piers/blocking, with the completed elevation and boundary survey. The remaining **20%** of the total contract price will be payable upon receiving the Certificate of Occupancy and final approval of the work product by the Owner and County.

Contractor draw requests are submitted to the SHIP Program Administrator, on a form provided or approved by the Administrator. The Administrator will verify that all applicable building inspections have been performed prior to approving payment by the County. As each trade is completed, the subcontractor's and suppliers' final waivers will be required. A contractor's one-year warranty and final lien waiver must be submitted with the final draw request, along with manufacturer's warranty documents. The homeowner must approve the final invoice and final work approval form. If the homeowner does not approve the payment and/or work completion, and the County's SHIP Administrator, SHIP Inspector and Building Official do approve, the County may issue payment to the Contractor without the Owner's approval.

ASSIGNMENT

This contract shall not be assigned or sublet as a whole or in part without the written consent of the County, nor shall the Contractor assign any monies due or to become due to him hereunder without the previous written consent of the County.

HOLD HARMLESS

The Contractor agrees to indemnify and hold harmless the Owner, County, and Franklin County SHIP Program., from all claims, damages, liabilities, or suits of any nature whatsoever arising out of, because of, or due to the breach of this agreement by the Contractor, its delegates, agents or employees, or due to any negligent or unlawful act or occurrence of omission or commission of the Contractor, its delegates, agents, employees, subcontractors or suppliers, including but not limited to costs and a reasonable attorney's fee. The County, Owner, and/or the Franklin County SHIP Program may, at its sole option, defend itself or allow the Contractor to provide the defense. The Contractor acknowledges that ten dollars (\$10.00) of the amount paid to the Contractor is sufficient consideration for the Contractor's indemnification of the parties here described.

CONSTRUCTION LIEN REQUIREMENTS

The Contractor shall comply with all of the requirements of the Florida Construction Lien Law, Chapter 713, Florida Statutes. Proper Notice of Commencement must be filed with the Clerk of the Circuit Court, the Franklin County Building Official, and noticed at the job site.

In addition, the Contractor shall warrant the title to all Work covered by an Application for Payment or invoice/bill will pass to the Owner no later than the time of payment. The Contractor further warrants that upon submittal of an Application for Payment/invoice/bill, all Work for which payment has been previously issued and/or payments received from the County/Owner shall, to the best of the Contractor's knowledge, information and belief, be free and clear of liens, claims, security interests or encumbrances in favor of the Contractor, subcontractors, material suppliers, or other persons or entities making a claim by reason of having provided labor, materials and equipment relating to the work. The Contractor shall secure all releases of lien and provide same to the County.

E-VERIFY

If any employee will be hired as a result of this solicitation the Contractor will use the federal E-Verify system to determine that the prospective employee is authorized to work in the United States, and will not hire anyone who is not eligible for lawful employment.

CIVIL RIGHTS

Under Title VI of the Civil Rights Act of 1964, Section 109 of the Housing and Community Development Act of 1974, and other federal laws, no person shall, on the basis of race, color, national origin, handicap, sex/gender, age or religion be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving federal financial assistance. The Contractor will not discriminate in employment or procurement based on race, color, religion, sex, national origin, disability, age, or genetics.

INTEREST OF MEMBERS OF THE COUNTY

No member of the governing body of the County and no other officer, employee, or agent of the County who exercises any functions or responsibilities in connection with the planning and carrying out of the County housing program, shall have any personal financial interest, direct or indirect, in the proposed purchase contract; and the Contractor shall take appropriate steps to assure compliance.

ACCESS TO RECORDS AND RECORD RETENTION

The County, the Florida Department of Economic Opportunity, the U.S. Department of Housing and Urban Development, the Comptroller General of the United States, and any of their duly authorized representatives, shall have access to any books, documents, papers, and records of the Contractor which are directly pertinent to the proposed contract for the purpose of making audit, examination, excerpts, and transcriptions. The Contractor shall retain all records relating to this Contract for six years after the local government makes final payment and all other pending matters are closed.

ARCHAEOLOGICAL FINDS

In the event of the inadvertent discovery of archaeological artifacts and/or human remains, activity in proximity to the location must cease and the Project Manager notified without delay for additional consultations with tribal and/or state historic preservation officials.

CONDITIONS OF INSTALLATION AND CONSTRUCTION

All work to be performed in a workmanlike manner and shall be in accordance with all applicable codes, laws, regulations, and rules including but not limited to: the 2014 Florida Building Code-Residential, federal, state, and local codes, manufacturer's specifications for installation, and Franklin County SHIP Bid Form for each site.

The cost of permits, insurance, notice of commencement, and all other direct and indirect costs of the job shall be included in the bid price. The Contractor shall obtain all applicable permits prior to commencing work, and shall comply with all applicable permit, code and legal requirements, as well as manufacturer specifications.

Work shall include all necessary tasks, tools and equipment, materials and supplies, labor and supervision, overhead, insurance, etc. necessary to provide, construct and/or install the specified products. Failure of the owner or County to note a condition (such as inadequate overhead clearance for utilities, or materials that must be removed prior to completion) shall not relieve the Contractor from the responsibility to complete the specified work without additional compensation,

unless the condition could not have reasonably been expected AND is not related to the work required.

The owner shall continue payment for electricity, water and gas, if applicable, during construction. If disconnection of utilities is required, and/or if temporary power is required in order to test electrical and/or HVAC, disconnection and temporary supply shall be the Contractor's responsibility, at the Contractor's expense. **Reconnection costs shall also be borne by the Contractor (including setting new pole if required)**, other than account deposits (if any) that are for the owner's account.

Removal of existing materials shall be performed in a safe manner, and shall avoid damage or destruction of surrounding structures, landscaping, driveway, drainage or utility facilities, or building components not intended for replacement/removal. All damaged areas shall be returned to a condition equal to or better than the original condition prior to construction. All building materials and associated debris shall be disposed of properly and legally.

The Contractor shall keep the property in a generally tidy and safe condition throughout the construction contract period. The house will be left in a clean condition at the completion of the job.

**Proposal for home replacement,
with new manufactured housing designed for Wind Zone 3.**

Residential replacement projects included in Proposal (all in Franklin County, Florida):

_____ Margaret Gay	27 Bayview Drive, Apalachicola, Fl
_____ David Burke	1207 Hill Road, Apalachicola
_____ Buddy Wayne Butler	43 Pine Drive, Apalachicola
_____ John Harris	107 Hathcock Road, Apalachicola
_____ David Wilson	450-23 rd Street, Apalachicola
_____ Holly Taylor	1208 NW 3 rd Street, Carrabelle
_____ Regina Tindell	87 Delaine Circle, Eastpoint
_____ Joseph White	212-1 st Street West, Carrabelle, Fl 32322

CONDITIONS OF PROPOSAL

The Bidder warrants he or she has carefully examined the Franklin County Board of County Commissioners HHRP Mobile Home Replacement Proposal Package #1, the Bid Form applicable to each site for which the Bidder proposes a home replacement, and the site(s) where the work is to be performed. The Bidder is certain of the conditions at the site(s) and has a clear understanding of the work to be completed.

The work shall comply with applicable codes, manufacturer specifications, and the documents listed above.

Bidder understands that Builders Risk Insurance is required for the project.

The Bidder agrees that she/he will execute a contract between the Contractor and Owner if this Proposal is accepted by the Owner and approved by the County. Permit application(s) will be submitted within 10 days of contract execution. Work to be 100% complete within Period of Performance stated on each Bid Form.

Proposal Submitted by:

_____ License # _____
Business name

Authorized Signature: _____ Date _____

_____ Title _____
Name

Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

3 bedroom, 2 bathroom singlewide, minimum 936 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County
Schedule of deliverables will be provided to the SHIP Program.

Address for Delivery and Set-up: **27 Bayview Drive, Apalachicola, FL 32320**

Homeowner Name: **Margaret and Rocky Gay** Phone: 850-254-5623

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3 Exposure D

All lights with fluorescent or LED bulbs

Elevation Certificate: Preconstruction & Final and boundary survey

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade, vinyl plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

No dishwasher, swap for additional cabinet/drawer space

Set-Up Items:

Demolish existing mobile home, remove all debris and legally dispose, smooth and rake clear area

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation- AE Elevation 11 (Panel 509G) (Bottom of frame must be 12 feet above sea level)

8' x 8' landing and site-built steps at front door, with rails per code

Re-attach back porch to mobile home

Price for home, delivered \$_____ sales tax exempt

Basic set-up \$_____ Skirting/siding, connect to water/sewer, etc.

Additional setup \$_____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$_____

Authorized signature Title Date

Margaret & Rocky Gay-27 Bayview Drive, Apalachicola, FL 32320



Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

2 bedroom, 2 bathroom singlewide, minimum 728 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County
Schedule of deliverables will be provided to the SHIP Program.

Address for Delivery and Set-up: **1207 Hill Road, Apalachicola, FL 32320**

Homeowner Name: **David Burke** Phone: 850-653-7401

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3

All lights with fluorescent or LED bulbs

Elevation Certificate: Pre-construction & Final and boundary survey

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade, Vinyl Plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

No dishwasher, swap for additional cabinet/drawer space

Set-Up Items:

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation-AE 11 (Panel 507G) (Bottom of frame must be 12 feet above sea level)

8' x 8' landing and site-built steps at each door, with rails per code

Price for home, delivered \$ _____ sales tax exempt

Basic set-up \$ _____ Skirting/siding, connect to water/sewer, etc.

Additional setup \$ _____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$ _____

Authorized signature

Title

Date



Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

2 bedroom, 2 bathroom singlewide, minimum 728 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County
Schedule of deliverables will be provided to the SHIP Program.

Address for Delivery and Set-up: **43 Pine Drive, Apalachicola, FL 32320**

Homeowner Name: **Buddy W. Butler.** Phone: 850-273-2626

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3 Exposure D

All lights with fluorescent or LED bulbs

Elevation Certificate: Pre-construction & Final and boundary survey

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade, Vinyl Plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

Energy Star dishwasher

Accessible doorways, master bath with 2 grab bars in low threshold shower & tall toilet

Set-Up Items:

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation-AE 12(Panel 509G) (Bottom of frame must be 13 feet above sea level) **May require an Engineered Foundation if foundation is over 52 inches.**

8' x 8' landing and site-built steps at each door, with rails per code

Price for home, delivered \$_____ Sales tax Exempt

Basic set-up \$_____ Skirting/siding, connect to water/sewer, etc.

Additional setup \$_____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$_____

Authorized signature

Title

Date

Buddy Wayne Butler-43 Pine Drive, Apalachicola, FL 32320



Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

3 bedroom, 2 bathroom singlewide, minimum 936 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County
Schedule of deliverables will be provided to the SHIP Program.

Address for Delivery and Set-up: **1208 NW 3rd Street, Carrabelle, FL 32322**

Homeowner Name: **Holly Taylor** Phone: 850-323-2277 or 697-8743

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3

All lights with fluorescent or LED bulbs

Elevation Certificate-Not Required and boundary survey w/ site plan

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade, Vinyl Plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

No dishwasher, swap for additional cabinet/drawer space

Set-Up Items:

Demolish existing mobile home, attached porch/deck, remove all debris and legally dispose, smooth and rake clear area

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation: 24" above grade

8' x 8' landing and site-built steps at each door, with rails per code

Price for home, delivered \$ _____ Including sales tax

Basic set-up \$ _____ Skirting/siding, connect to water/sewer, etc.

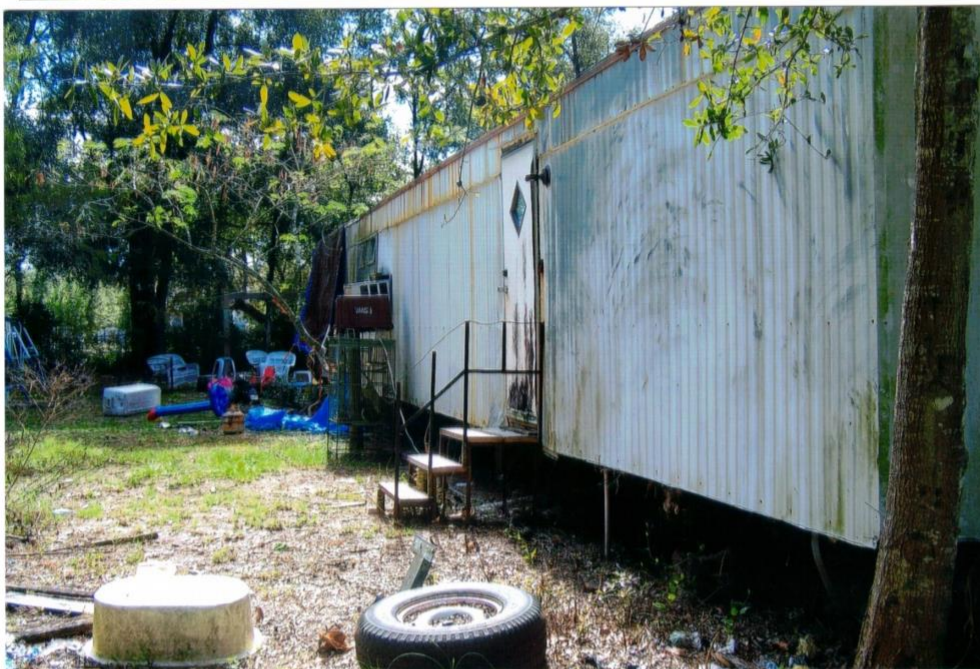
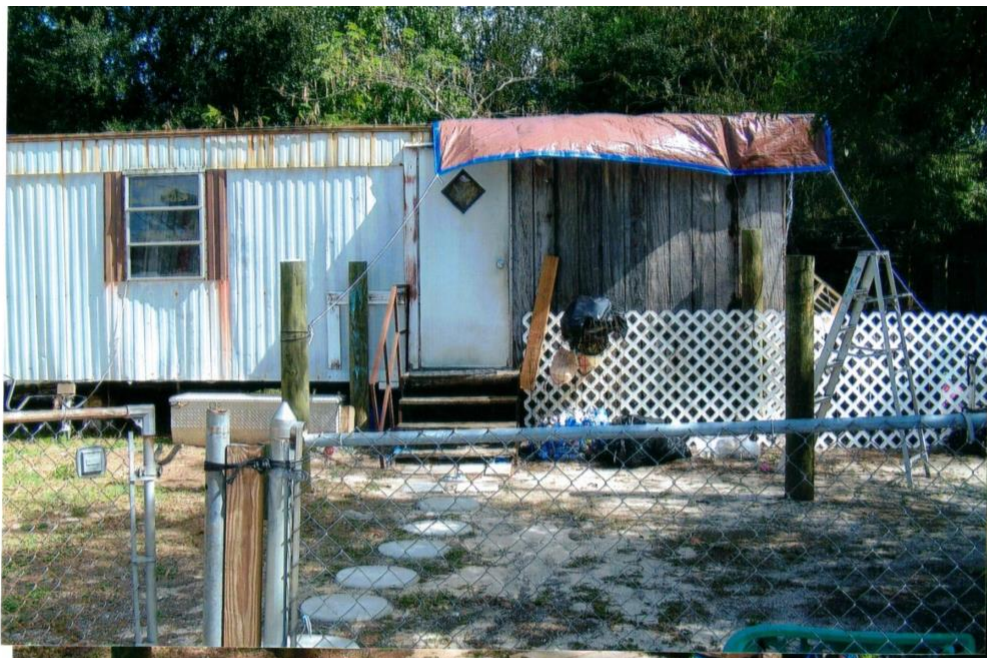
Additional setup \$ _____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$ _____

Authorized signature

Title

Date



Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

2 bedroom, 2 bathroom singlewide, minimum 728 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County

Schedule of deliverables will be provided to the SHIP Program

Address for Delivery and Set-up: **107 Hathcock Road, Apalachicola, FL 32320**

Homeowner Name: **John & Sandra Harris** Phone: 850-653-5111/323-1201

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3

All lights with fluorescent or LED bulbs

Elevation Certificate: Pre-construction & Final and boundary survey

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade, Vinyl Plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

Energy Star dishwasher

Set-Up Items:

Demolish existing mobile home, attached porch/deck, remove all debris and legally dispose, smooth and rake clear area

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation-Un-Rate A (Panel 510G) (Bottom of frame to be 3 ft above sea highest adjacent grade)

8' x 8' landing and site-built steps at each door, with rails per code

Price for home, delivered \$ _____ Including sales tax

Basic set-up \$ _____ Skirting/siding, connect to water/sewer, etc.

Additional setup \$ _____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$ _____

Authorized signature

Title

Date

John & Sandra Harris - 107 Hathcock Road, Apalachicola, FL 32320



Franklin Co. HHRP Mobile Home Replacement Pkg #1

Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

2 bedroom, 2 bathroom singlewide, minimum 800 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County

Schedule of deliverables will be provided to the SHIP Program

Address for Delivery and Set-up: **450-23rd Street, Apalachicola, FL 32320**

Homeowner Name: **David Wilson** Phone: 850-370-0288

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3

All lights with fluorescent or LED bulbs

Elevation Certificate-not required and boundary survey w/site plan

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade-Vinyl Plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

No dishwasher, swap for additional cabinet/drawer space

Accessible doorways, master bath with 2 grab bars in low threshold shower & tall toilet

Set-Up Items:

Demolish existing mobile home, attached porch/deck, remove all debris, and legally dispose, smooth and rake clear area (must go before City of Apalachicola planning & zoning)

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation: Zone X

8' x 8' landing and site-built steps at each door, with rails per code

Price for home, delivered \$_____ Including sales tax

Basic set-up \$_____ Skirting/siding, connect to water/sewer, etc.

Additional setup \$_____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$_____

Authorized signature

Title

Date

David Wilson-450-23rd Street, Apalachicola, FL 32320



Franklin Co. HHRP Mobile Home Replacement Pkg #1

Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

2 bedroom, 2 bathroom singlewide, minimum 728 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County

Schedule of deliverables will be provided to the SHIP Program

Address for Delivery and Set-up: **87 Delaine Cir., Eastpoint, FL 32328**

Homeowner Name: **Regina Tindell** Phone: 850-653-5177

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3

All lights with fluorescent or LED bulbs

Elevation Certificate-not required

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade-Vinyl Plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

No dishwasher, swap for additional cabinet/drawer space

Accessible doorways, master bath with 2 grab bars in low threshold shower & 2 at toilet, tall toilet

Protect existing porch/deck, connect new home to existing porch/deck

Set-Up Items:

Demolish existing mobile home, remove all debris and legally dispose, smooth and rake clear area

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation: X Flood Zone (Panel 414F)

8' x 8' landing and site-built steps at back door, with rails per code

Price for home, delivered \$_____ Including sales tax

Basic set-up \$_____ Skirting/siding, connect to water/sewer, etc.

Additional setup \$_____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$_____

Authorized signature

Title

Date

Regina Tindell-87 Delaine Circle, Eastpoint, FL 32328



Bid Form: Delivered NEW and set up per Florida and manufacturer requirements:

2 bedroom, 2 bathroom singlewide, minimum 728 SF

Manufacturer _____ **Model** _____

Time for completion: 180 days from contract execution by Owner as approved by County

Schedule of deliverables will be provided to the SHIP Program

Address for Delivery and Set-up: **212-1st Street West, Carrabelle, FL 32322**

Homeowner Name: **Joseph White** Phone: 850-597-1297

Mandatory Features:

Energy Star qualified (insulation, ductwork, HVAC, appliances, windows, doors, etc.)

Wind Zone 3

All lights with fluorescent or LED bulbs

Elevation Certificate: None-Required and boundary survey w/site plan

Hose bib and electrical outlet, front and rear

Plywood floors (or 3/4" OSB tongue and groove)

Ductwork in ceiling, minimum R6

Flooring upgrade, Vinyl Plank

Pitched shingle roof

Laundry room, with washer and dryer connections

Heavy duty skirting, vented, with access door

Door stops on all doors

Energy Star refrigerator standard size, lighted 30" range hood, and 30" self-cleaning range

Window treatments

Stud mounted electrical outlets and boxes

Deep stainless-steel kitchen sink, porcelain bathroom lavatory sink, metal faucets

Wood cabinets

Specific features for this location:

Energy Star Refrigerator-Minimum 25 cf

Energy Star dishwasher

Set-Up Items:

Demolish existing mobile home, attached porch/deck, remove all debris, and legally dispose, smooth and rake clear area

Connect to power, modifying and/or relocating pole as necessary

Connect to existing sewer and water

Flood zone elevation- 24" above grade

8' x 8' landing and site-built steps at each door, with rails per code

Price for home, delivered \$ _____ Including sales tax

Basic set-up \$ _____ Skirting/siding, connect to water/sewer, etc.

Additional setup \$ _____ Demolition, engineered foundation, survey, ramp, etc.

TOTAL PRICE \$ _____

Authorized signature

Title

Date

Joseph White- 212-1st Street West, Carrabelle, FL 32322

