

SECTION 2.1.4

RL - Low Density Residential District

EXISTING CONDITIONS



BUILDING TYPES

The following building types are permitted in the RL District:

BUILDING TYPES	# OF UNITS	LOT AREA
Detached House (Urban & Suburban)	1 max.	6000 ft ² min.
Duplex	2 max.	6000 ft ² min.
+ Apartment Bldg.	3 max.	6000 ft ² min.
+ Rowhouse	3 max.	6000 ft ² min.
Cottage Court	3 min.	9000 ft ² min.
ADU	1 max.	N/A
Detached Accessory Structure	See Section 3.1.8	

+ Affordable Housing Bonus Incentives

Refer to Building Types Article 3 and Use Standards Article 4 for specific definitions.

SECTION 3.1.2

Apartment Building

DESCRIPTION

An apartment building is a residential building that has three (3) or more housing units. Apartment buildings are typically medium to large in size because the units are placed side-by-side and/or stacked vertically. Apartment buildings have a variety of architectural styles but are usually at least 2 stories tall and have common entries that face the street.

ZONE DISTRICTS

The following Zone Districts allow Apartment building:

- **RL** ● **CCR**
- **LMN** ● **CG**
- **MMN** ● **D**
- **HMN** ● **HC**
- **OT** ● **CS**
- **NC** ● **CL**
- **CC** ● **E**
- **CCN** ● **Overlay Districts**

BUILDING TYPE EXAMPLES



Copperleaf Place, Fort Collins



SECTION 3.1.3

Cottage Court

DESCRIPTION

Cottage Court complexes are a grouping of residential units that are organized around a shared courtyard accessible to all residents. Some cottages face the street while others face towards the courtyard. The cottages are usually smaller in scale with friendly architectural styles that provide a neighborhood feel, such as porches or stoops for each residential unit.

ZONE DISTRICTS

The following Zone Districts allow cottage court building types:

- **RL**
- **LMN**
- **MMN**
- **OT**
- **HC**
- **E**
- **D**
- **Overlay Districts**

BUILDING TYPE EXAMPLES



All Photos Courtesy of Ross Chapin Architects

SECTION 3.1.4

Rowhouse

BUILDING STANDARDS

A rowhouse consists of 2-8 residential units that are placed side-by-side and share walls. Rowhouses are typically narrow and 2-3.5 stories tall, with each home having its own entrance that usually faces the street. It is common for homes in rowhouses to have porches and some may have an attached or detached garage behind each unit.

ZONE DISTRICTS

The following Zone Districts allow Rowhouse building types:

- **RL**
- **UE**
- **LMN**
- **MMN**
- **HMN**
- **OT**
- **NC**
- **D**
- **CC**
- **CCN**
- **CCR**
- **CG**
- **CS**
- **CL**
- **HC**
- **E**

BUILDING TYPE EXAMPLES



Thrive Home Builders



CG Architect

SECTION 3.1.5

Duplex

DESCRIPTION

A duplex consists of one building with two (2) side-by-side residential units that both face the street or two (2) units that are stacked vertically. A duplex is commonly 1.5 to 2 stories and usually features porches, stoops, and pitched roofs, so it can look like a medium to large detached house and fit in well with single-unit neighborhoods. Other types of duplexes may not face the street, such as over-the-garage duplexes or basement duplexes.

ZONE DISTRICTS

The following Zone Districts allow Duplex building types:

- RL
- LMN
- MMN
- OT
- NC
- CC
- CCN
- CCR
- CG
- CS
- CL
- HC
- E

BUILDING TYPE EXAMPLES



*Use (+) Button on left hand window of table to expand Use Categories

	RESIDENTIAL DISTRICTS						MIXED-USE DISTRICTS					COMMERCIAL DISTRICTS									DOWNTOWN DISTRICTS						EMPLOYMENT, INDUSTRIAL, OTHER							
	RUL	UE	RF	RL	OT-A	MH	LMN	MMN	HMN	OT-B	OT-C	CC	CCN	CCR	CG	CG-CAC	CS	NC	CL (RA)	CL (OA)	HC	H. CORE	CA/C /NM	I/R	RC	CN	EC	E	I	POL	T			
RESIDENTIAL USES																																		
Single Unit Dwelling	■	■	■	■	■		■	■		■	■		▣	▨			▣		■	■	▨							■	▨					△
Single Unit Attached Dwelling		▣		■	■		■	■		■	■	▣	▣	▣	▣		▣	▣	■	■	▨		▣	▣		▣	▣/■	▨						△
Two Unit Dwelling		■		■	■		■	■		■	■	▣	▣	▣	▣		▣	▣	■	■	▨		▣			▣	▣/■	▨						
Multi-Unit Dwelling				■	■		■	■	■	■	■	▣	▣	▣	▣		▣	▣	▣	▨	▨	▣/■	▣	▣		▣	▨	▨						
Mixed-Use Dwelling Units							■	■	■	■		■	■	■	■	■	■	■	■	■	■	■	▣	▣		▣	▣	■						
Accessory Dwelling Unit	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■		
Short Term Primary Rentals		▣					▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣		▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣		
Short Term Non-Primary Rentals												▣	▣	▣	▣	▣		▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣	▣			
Fraternity & Sorority Houses								▨	▣		▨	▨		▨					■	▣														
Extra Occupancy Houses					▣		▣	■	■		■	■	■	■	■		■	■	■	■		▣/■	▣/■	▣/■		▣/■	▣/■	■	■				△	
Manufactured Housing Community					▣		▨																					▨				△		
Group Homes		▣	▨	▨	▨	▣	▣	▣	▣	▣	▣	▣	▣	▣	▨	▣	▣	■	▣	▨	▣	▨	▨		▣	▣	▨					△		
Shelter for victims of domestic violence	■	■	■	■	■	■	■	■	■	■	■	■	■	■					■	■	■	■	■	■		▣/■	▣/■	■					△	

■ Basic Development Review
 ■ Minor Amendment

▣ Type 1 (Administrative Review)
 ▨ Building Permit

▨ Type 2 (Planning and Zoning Commission)
 ▣ License

△ Additional Use Standards

△
△

△
△
△
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