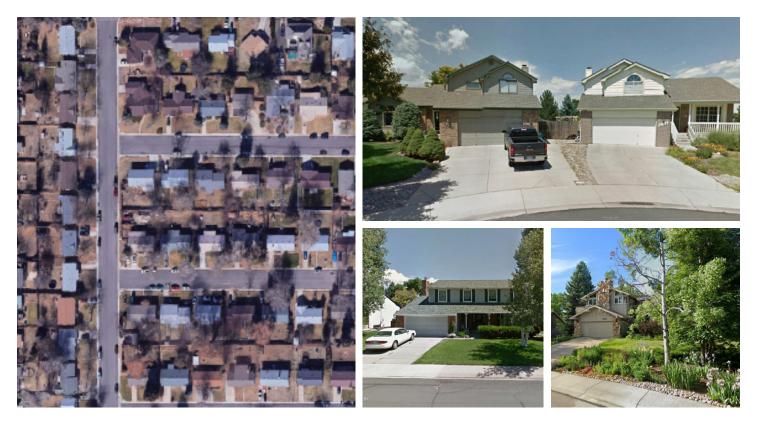
SECTION 2.1.4-

## **RL** - Low Density Residential District

### **EXISTING CONDITIONS**



#### **BUILDING TYPES**

The following building types are permitted in the RL District:

BUILDING TYPES	# OF UNITS	LOT AREA							
Detached House (Urban & Suburban)	1 max.	6000 ft <sup>2</sup> min.							
Duplex	2 max.	6000 ft <sup>2</sup> min.							
+ Apartment Bldg.	3 max.	6000 ft <sup>2</sup> min.							
+ Rowhouse	3 max.	6000 ft <sup>2</sup> min.							
Cottage Court	3 min.	9000 ft <sup>2</sup> min.							
ADU	1 max.	N/A							
Detached Accessory Structure	See Section 3.1.8								

+ Affordable Housing Bonus Incentives

Refer to <u>Building</u> <u>Types Article 3</u> and <u>Use Standards Article</u> <u>4</u> for specific definitions.

# **Apartment Building**

#### DESCRIPTION

An apartment building is a residential building that has three (3) or more housing units. Apartment buildings are typically medium to large in size because the units are placed sideby-side and/or stacked vertically. Apartment buildings have a variety of architectural styles but are usually at least 2 stories tall and have common entries that face the street.

#### **ZONE DISTRICTS**

The following Zone Districts allow Apartment building:

• RL	• CCR
• LMN	• CG
• MMN	• D
• HMN	• HC
• <b>OT</b>	• CS
• NC	• CL
• CC	• E
• CCN	• Overlay Districts

#### **BUILDING TYPE EXAMPLES**



# **Cottage Court**

#### DESCRIPTION

Cottage Court complexes are a grouping of residential units that are organized around a shared courtyard accessible to all residents. Some cottages face the street while others face towards the courtyard. The cottages are usually smaller in scale with friendly architectural styles that provide a neighborhood feel, such as porches or stoops for each residential unit.

#### **ZONE DISTRICTS**

The following Zone Districts allow cottage court building types:

- RL
- LMN
- MMN
- **OT**
- HC
- E
- D
- Overlay Districts

#### **BUILDING TYPE EXAMPLES**



All Photos Courtesy of Ross Chapin Architect:

# Rowhouse

#### **BUILDING STANDARDS**

A rowhouse consists of 2-8 residential units that are placed side-by-side and share walls. Rowhouses are typically narrow and 2-3.5 stories tall, with each home having its own entrance that usually faces the street. It is common for homes in rowhouses to have porches and some may have an attached or detached garage behind each unit.

#### **ZONE DISTRICTS**

The following Zone Districts allow Rowhouse building types:

• RL	• CC
• UE	• CCN
• LMN	• CCR
• MMN	• CG
• HMN	• CS
• <b>OT</b>	• CL
• NC	• HC
• D	• E

#### **BUILDING TYPE EXAMPLES**



Thrive Home Builders

CG Architect

# **Duplex**

#### DESCRIPTION

A duplex consists of one building with two (2) side-by-side residential units that both face the street or two (2) units that are stacked vertically. A duplex is commonly 1.5 to 2 stories and usually features porches, stoops, and pitched roofs, so it can look like a medium to large detached house and fit in well with singleunit neighborhoods. Other types of duplexes may not face the street, such as over-thegarage duplexes or basement duplexes.

#### **ZONE DISTRICTS**

The following Zone Districts allow Duplex building types:

• RL	• CCR
• LMN	• CG
• MMN	• CS
• <b>OT</b>	• CL
• NC	• HC
• CC	• E
• CCN	

#### **BUILDING TYPE EXAMPLES**



#### ARTICLE 4 - USE STANDARDS

RESIDENTIAL DISTRICTS								MIXED-	USE D	ISTRICT	ſS	COMMERCIAL DISTRICTS										DOWNTOWN DISTRICTS							EMPLOYMENT, INDUSTRIAL, OTHER				
*Use (+) Button on left hand window of table to expand Use Categories	RUL	UE	RF	RL	от-а	мн	LMN	MMN	нми	от-в	от-с	сс	CCN	CCR	CG	CG- CAC	cs	NC	CL (RA)	CL (OA)	нс	H. CORE	CA/C /NM	I/R	RC	CN	EC	E	I	POL	т		
RESIDENTIAL USES																																	
Single Unit Dwelling																																	
Single Unit Attached Dwelling																																	
Two Unit Dwelling																																	
Multi-Unit Dwelling																																	
Mixed-Use Dwelling Units																																	
Accessory Dwelling Unit																																	
Short Term Primary Rentals																																	
Short Term Non-Primary Rentals																																	
Fraternity & Sorority Houses																																	
Extra Occupancy Houses																																	
Manufactured Housing Community																																	
Group Homes	_																																
Shelter for victims of domestic violence																																	
Basic Develop	ment F	Review							Туре	1 (Adm	ninistrat	ive Rev	/iew)			<u></u> Т	ype 2 (	Planniı	ng and	Zoning	Com	nission)	)			$\triangle$	Additi	onal Us	se Star	dards			
Minor Amendr	nent								Buildi	ing Per	mit					Li	icense																