

LMN - Low Density Mixed-Use Neighborhood District

DEVELOPMENT STANDARDS

BUILDING MASS & SCALE

BUILDING MASS

Residential - 4+ Units	Walls >40 ft in width require Variation in Massing and Facade Articulation F
Non-Residential & Mixed-Use	>10,000 sf requires Variation in Massing

Variation in Massing includes:

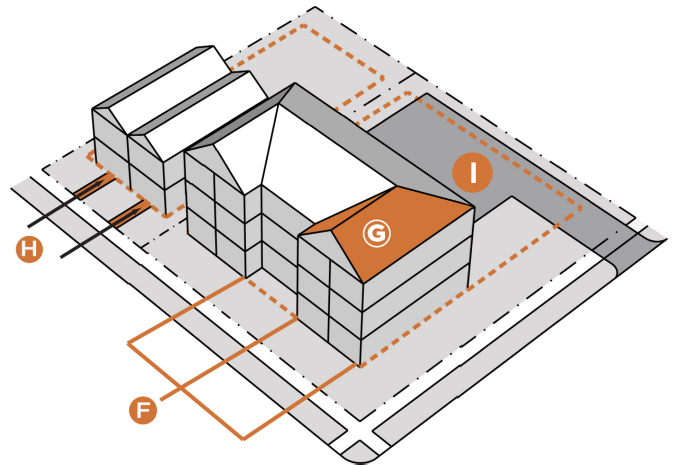
- Massing, wall plane, roof design proportions similar to detached house, so that larger buildings can be integrated into surrounding lower scale neighborhood
- Projections, recesses, covered doorways, balconies, covered box or bay windows and/or other similar features
- Dividing large facades and walls into human-scaled proportions similar to the adjacent single- or two-family dwellings
- Shall not have repetitive, monotonous undifferentiated wall planes.

Facade articulation can be accomplished by offsetting the floor plan, recessing or projection of design elements, or change in materials. ~~and/or change in contrasting colors.~~

ROOF DESIGN

Non-Residential & Mixed-Use	Buildings with a footprint >4000 sf shall have a minimum of 3 Roof Planes Variation in roof plane shall relate to overall massing and facade design
Residential - 4+ Units G	Roof Shape shall be sloped (min pitch 6:12), flat, or curved, and must include 2 Roof Design Elements: <ul style="list-style-type: none"> • Change in roof shape or plane • Variation in height • Flat roof that is stepped or terraced to form usable space, such as a balcony or green roof • Roof element that is directly related to the primary entrance and/or facade articulation

ACCESS & PARKING



ENTRANCES & ORIENTATION

Residential	Varies by Building Type H Clearly identifiable and visible connection from the street and public areas. Incorporate architectural elements and landscaping.
Non-Residential & Mixed-Use	Entrance faces street, opens directly onto adjoining local street

If a building has more than one (1) front facade, and if one (1) of the front facades faces and opens directly onto a street sidewalk, the primary entrances located on the other front facade(s) need not face a street sidewalk or connecting walkway.

PARKING

Non-Residential & Mixed-Use	Rear or Side Yards; Parking shall not be between the primary facade and the street. I
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MMN - Medium Density Mixed-Use Neighborhood District

DEVELOPMENT STANDARDS

BUILDING MASS & SCALE

BUILDING MASS

Residential - 4+ Units	Walls >40 ft in width require Variation in Massing and Facade Articulation F
Non-Residential & Mixed-Use	>10,000 sf requires Variation in Massing

Variation in Massing includes:

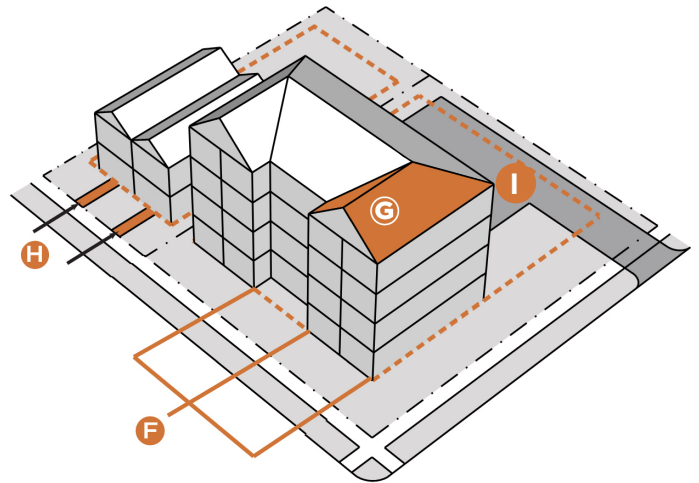
- Massing, wall plane, roof design proportions similar to detached house, so that larger buildings can be integrated into surrounding lower scale neighborhood
- Projections, recesses, covered doorways, balconies, covered box or bay windows and/or other similar features
- Dividing large facades and walls into human-scaled proportions similar to the adjacent single- or two-family dwellings
- Shall not have repetitive, monotonous undifferentiated wall planes.

Facade articulation can be accomplished by offsetting the floor plan, recessing or projection of design elements, or change in materials. *and/or change in contrasting colors.*

ROOF DESIGN

Non-Residential & Mixed-Use	Buildings with a footprint >4000 sf shall have a minimum of 3 Roof Planes Variation in roof plan shall relate to overall massing and facade design
Residential - 4+ Units	Roof Shape shall be sloped (min pitch 6:12), flat, or curved, and must include 2 Roof Design Elements: <ul style="list-style-type: none"> • Change in roof shape or plane • Variation in height • Flat roof that is stepped or terraced to form usable space, such as a balcony or green roof • Roof element that is directly related to the primary entrance and/or facade articulation

ACCESS & PARKING



ENTRANCES & ORIENTATION

Residential	Varies by Building Type H Clearly identifiable and visible connection from the street and public areas. Incorporate architectural elements and landscaping.
Non-Residential & Mixed-Use	Entrance faces street, opens directly onto adjoining local street If a building has more than one (1) front facade, and if one (1) of the front facades faces and opens directly onto a street sidewalk, the primary entrances located on the other front facade(s) need not face a street sidewalk or connecting walkway.

PARKING

Non-Residential & Mixed-Use	Rear or Side Yards; Parking shall not be between the primary facade and the street. I
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HMN - High Density Mixed-Use Neighborhood District

DEVELOPMENT STANDARDS

BUILDING MASS & SCALE

BUILDING MASS

Residential - 4+ Units	Walls >40 ft in width require Variation in Massing and Facade Articulation D
Non-Residential & Mixed-Use	>10,000 sf requires Variation in Massing

Variation in Massing includes:

- Massing, wall plane, roof design proportions similar to detached house, so that larger buildings can be integrated into surrounding lower scale neighborhood
- Projections, recesses, covered doorways, balconies, covered box or bay windows and/or other similar features
- Dividing large facades and walls into human-scaled proportions similar to the adjacent single- or two-family dwellings
- Shall not have repetitive, monotonous undifferentiated wall planes.

Facade articulation can be accomplished by offsetting the floor plan, recessing or projection of design elements, or change in materials. ~~and/or change in contrasting colors.~~

ROOF DESIGN

Non-Residential & Mixed-Use	Buildings with a footprint >4000 sf shall have a minimum of 3 Roof Planes Variation in roof plan shall relate to overall massing and facade design
Residential - 4+ Units E	Roof Shape shall be sloped (min pitch 6:12), flat, or curved, and must include 2 Roof Design Elements: <ul style="list-style-type: none"> • Change in roof shape or plane • Variation in height • Flat roof that is stepped or terraced to form usable space, such as a balcony or green roof • Roof element that is directly related to the primary entrance and/or facade articulation

ACCESS, PARKING & SITE DESIGN

ENTRANCES & ORIENTATION

Residential	Varies by Building Type Clearly identifiable and visible connection from the street and public areas. F Incorporate architectural elements and landscaping.
Non-Residential & Mixed-Use	Entrance faces street, opens directly onto adjoining local street

If a building has more than one (1) front facade, and if one (1) of the front facades faces and opens directly onto a street sidewalk, the primary entrances located on the other front facade(s) need not face a street sidewalk or connecting walkway.

PARKING

Non-Residential & Mixed-Use	Rear or Side Yards; Parking shall not be between the primary facade and the street. G
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SITE DESIGN

Front Yards	Building design, in conjunction with site design, shall include structured elements to mark the transition from the public street to doorways. Examples of such elements are porches, pediments, pergolas, low walls or fencing, railings, pedestrian light fixtures and hedges.
Outdoor Activity	Buildings and extensions of buildings shall be designed to form outdoor spaces such as balconies, terraces, patios, decks or courtyards.