

Staff Report
(with attachments)
Presented to the
Planning and Zoning
Commission
December 15, 2022

Planning & Zoning Commission Hearing: December 15, 2022

Castle Ridge Group Home, Project Development Plan / Final Development Plan – PDP220013

Summary of Request

This is a request for a Project Development Plan to convert an existing single-family dwelling into a 10-resident group home for memory care residents. The project is located within the Low-Density Residential (RL) zone district and is subject to Planning & Zoning Commission (Type 2) Review.

Zoning Map (ctrl + click map to follow link)



Next Steps

If approved by the decision-maker, the applicant will be eligible to record documents and apply for building permit.

Site Location

The site is located adjacent to Mail Creek Ditch and approximately 800 feet southwest of Miramont Park (parcel #9601408002).

Zoning

Low-Density Residential District (R-L)

Property Owner

Diaz Xiomara
Eric Shenk
636 Castle Ridge Ct
Fort Collins, CO 80525

Applicant/Representative

Stephanie Hansen
Ripley Design, Inc
419 Canyon Ave STE 200
Fort Collins, CO 80521

Staff

Kai Kleer, City Planner

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Staff Recommendation

Conditional Approval of Project Development Plan and Final Development Plan.

1. Project Introduction

A. PROJECT DESCRIPTION

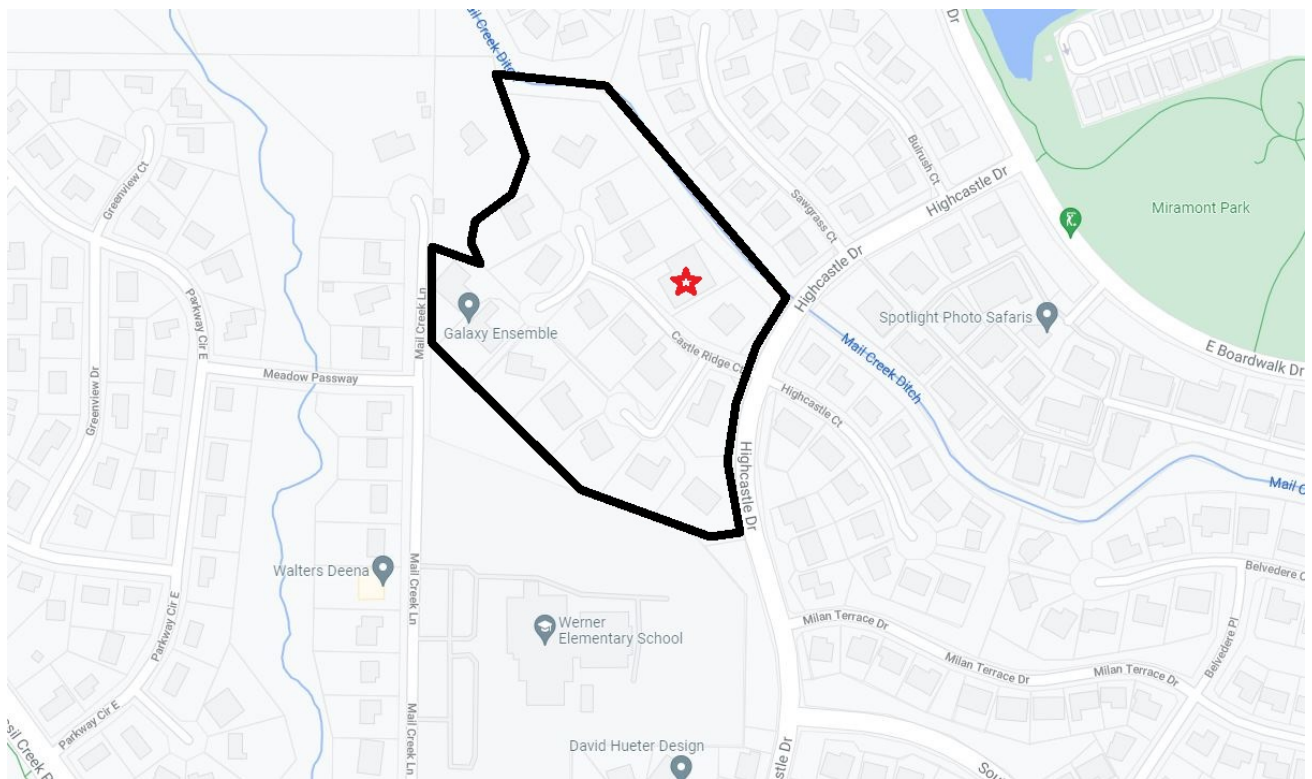
This is a proposal to convert an existing single-family detached home into a 10-resident group home located at 636 Castle Ridge Court. The proposal includes adding exterior windows, screen walls, landscaping, and closing off two side-facing garage doors.

B. SITE CHARACTERISTICS

1. Development Status/Background

The property is located within the 617-acre Keenland Annexation that was annexed into the City in 1980. After annexation, the area was developed over the decades and included projects such as Sam's Club (Pace Warehouse), Oakridge Crossing, Miramont, Werner Elementary, and numerous other commercial, institutional, industrial, and residential projects.

The project site was created in 1993 as part of the 18-lot Castle Ridge at Miramont PUD. The lot is approximately 22,200 square feet in size and contains a 6,400+ square foot home that was constructed in 2002. The homes in the subdivision are served by a private cul-de-sac system with dual lanes for on-street parking and attached sidewalks. Mail Creek Ditch and Werner Elementary act as book ends to the north and south portions of the subdivision.



2. Surrounding Zoning and Land Use

	North	South	East	West
Zoning	Miramont Neighborhood; Low Density Residential (R-L)	Werner Elementary School; Low Density Residential (R-L)	Miramont Neighborhood; Low Density Residential (R-L)	Miramont Neighborhood; Low Density Residential (R-L)
Land Use	Single-family detached dwellings	Single-family detached dwellings	Single-family detached dwellings	Single-family detached dwellings

C. OVERVIEW OF MAIN CONSIDERATIONS

The plan has gone through two rounds of review with development of an operational plan, and extensive exploration of traffic, parking, screening, exterior window placement, street width, fire access, façade character, and landscaping.

The project includes an approved reasonable accommodation request which grants relief from 3.8.6(A) to increase maximum permissible residents from 8 to 10.

2. Public Outreach

A virtual neighborhood meeting was held to discuss the project on July 28, 2022.

Questions and concerns were raised about the number of residents proposed at the group home and the parking impacts generated by the number of residents in a neighborhood already experiencing parking and movement issues on the street.

A general feeling by the community that this was not an appropriate land use within the neighborhood and that neighbors do not feel that they are being heard and that this use is being forced by the City.

Concerns around procedural requirements being met for sign posting and neighborhood meeting

Impacts to the privacy of neighboring properties related to window placement outdoor activities.

Concerns about administrative staff and who will be living in the residence long term.

3. Article 2 – Applicable Standards

A. PROJECT DEVELOPMENT PLAN PROCEDURAL OVERVIEW

1. Conceptual Review – CDR200096

A conceptual review meeting was held on December 17, 2020.

2. Neighborhood Meeting

According to *LUC Section 2.2.2 – Step 2: Neighborhood Meetings*, a neighborhood meeting is required for Planning and Zoning Commission (Type 2) projects. A virtual neighborhood meeting was held for this project on April 9, 2021.

3. First Submittal – PDP220013

The first submittal of this project was completed on July 9, 2021. The PDP required 2 rounds of staff review.

4. Notice (Posted, Written, and Published)

Posted Notice: March 19, 2021; Sign #615.

Written Hearing Notice: December 1, 2022; 543 addresses mailed.

Published Hearing Notice: December 4, 2022.

4. Article 3 - Applicable Standards

A. DIVISION 3.2 - SITE PLANNING AND DESIGN STANDARDS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p>3.2.1 – Landscaping and Tree Protection</p>	<p>The standards of this section require that a development plan demonstrate a comprehensive approach to landscaping that enhances the appearance and function of the neighborhood, buildings, and pedestrian environment.</p> <p>This is an existing home within a well-landscaped subdivision. The proposed planting scheme builds on existing landscaping and adds three additional elements to help maximize screening and privacy with the two abutting single-family homes on the east and west sides of the site (highlighted below). Elements of the plan include:</p> <ul style="list-style-type: none"> • Preserving a mature stand of arborvitae on the west side of the driveway that will help screen parking and two new windows that will be added to replace the existing side-facing garage doors. • Adding a 6x6-foot screen panel in front of four newly proposed side-facing windows. • Adding a landscape bed that includes 32 deciduous and evergreen shrubs that are layered in a way that provides year-round screening for the rear yard. • Adding three ornamental grasses to fit the narrow space between the bay window and side property line to prevent a direct view into the neighboring property. 	<p>Complies</p>
<p>3.2.1(F) – Tree Preservation and Mitigation</p>	<p>This standard requires that developments provide on-site mitigation in the form of a defined number of replacement trees if existing significant trees are removed. The number of mitigation trees is determined by City Forestry staff based on existing tree species, breast diameter, and health/condition. Mitigation values can range between 1 and 6 for a tree that is removed. Dead, dying, and certain invasive species are exempt from this standard.</p> <p>City Forestry has identified and assessed nine on-site trees that are not proposed to be removed as part of this project.</p>	<p>Complies</p>
<p>3.2.2(C)(4) – Bicycle Parking Space Requirements</p>	<p>Bicycle parking is not a requirement for group homes. However, as part of an overall effort to encourage alternative forms of transportation for employees. The plan proposes two fixed racks to support space for 4 bicycles within the courtyard.</p>	<p>Complies</p>
<p>3.2.2(K)(1)(f) – Parking</p>	<p>Group homes require two parking spaces for every three (3) employees, and in addition, one (1) parking space for each four (4) adult residents, unless residents are prohibited from owning or operating personal automobiles.</p> <p>The project proposes two employees for each of the three 8-9 hour daily shifts while memory-care residents will be prohibited from owning cars. Standards of this section require the project to provide two off-street parking spaces for every three employees. Two spaces are proposed while the third is expected to accommodate a facility van that will be used to transport residents.</p> <p>A condition is recommended under 3.5.1(J) address operational elements of the group home.</p>	<p>Complies</p>
<p>3.2.4 – Site Lighting</p>	<p>This standard requires that exterior lighting not adversely affect the properties, neighborhood, or natural features adjacent to the development. Further, the standard requires exterior lighting to be examined in a way that considers the light source, level of illumination, hours of illumination, and need.</p> <p>The PDP proposes to replace all exterior wall-mounted light fixtures with fully shielded, down-directional, 3,000 Kelvin or less fixtures.</p>	<p>Complies</p>

<p>3.2.5 – Trash and Recycling Enclosures</p>	<p>The purpose of this standard is to ensure the provision of areas, compatible with surrounding land uses, for the collection, separation, storage, loading, and pickup of trash, waste cooking oil, compostable and recyclable materials.</p> <p>The PDP proposes to manage all trash and recycling within the courtyard of the home, entirely screened from public view. Six 96-gallon containers will be distributed equally between trash and recycling and wheeled to the street on typical collection days.</p> <p>The applicant has indicated that there will be no hazardous materials on site and that medical waste, such as pill bottles, will be in a locked container and removed by a professional company once a quarter.</p>	<p>Complies</p>
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B. 3.5 BUILDING STANDARDS

The purpose of this Section is to ensure that the physical and operational characteristics of proposed buildings and uses are compatible when considered within the context of the surrounding area.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p>3.5.1(A) and (B) – Building Project and Compatibility, Purpose and General Standard</p>	<p>The purpose of this Section is to ensure that the physical and operational characteristics of proposed buildings and uses are compatible when considered within the context of the surrounding area. The Fort Collins Land Use Code defines compatibility as:</p> <p><i>“the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include height, scale, mass, and bulk of structures. Other characteristics include pedestrian or vehicular traffic, circulation, access, and parking impacts. Other important characteristics that affect compatibility are landscaping, lighting, noise, odor, and architecture. Compatibility does not mean “the same as.” Rather, compatibility refers to the sensitivity of development proposals in maintaining the character of existing development.”</i></p> <p>Staff’s review has focused on architecture, landscaping, parking, lighting, and traffic which are described in other sections of this report. No new buildings are proposed with this project.</p>	<p>N/A</p>
<p>3.5.1(D) – Privacy Considerations</p>	<p>Elements of the development plan must be arranged to maximize the opportunity for privacy by the residents of the project and minimize infringement on the privacy of adjoining land uses. Additionally, the development plan shall create opportunities for interactions among neighbors without sacrificing privacy or security.</p> <p>As described earlier, the plan provides a 6x6-foot screen panel in front of four newly-proposed side-facing windows as well as the addition and preservation of landscaping to rear- and side-yard areas to provide year-round screening for residents and neighbors. The screen panel placement and landscaping quantity, arrangement, and species selection are appropriate, however, staff acknowledges changes may be needed based on the architectural requirements of the homeowners association.</p>	<p>Complies</p>
<p>3.5.1(J) – Operation and Physical Compatibility Standards</p>	<p>Conditions may be imposed upon the approval of development applications to ensure that development will be compatible with existing neighborhoods and uses. Such conditions may include, but need not be limited to, restrictions on or requirements for:</p> <ol style="list-style-type: none"> 1) hours of operation and deliveries; 2) Location on a site of activities that generate potential adverse impacts on adjacent uses such as noise and glare; 3) placement of trash receptacles; 4) location of loading and delivery zones; 5) light intensity and hours of full illumination; 6) placement and the illumination of outdoor vending machines; 7) location and the number of off-street parking spaces. <p>During the March 23, 2022 hearing the Planning and Zoning Commission denied the project with the belief that parking for 16 residents and their guests could not be managed adequately through group home staff or by requiring employees to use on-street parking within the surrounding public street system.</p> <p>The new proposal reduces the overall number of residents from 16 to 10, retains two of the four garage spaces for off-street parking, provides two spaces directly in front of the garage doors, and additional space to stack vehicles in the driveway. Further, the applicant is proposing to manage parking through a mobile application that must be used by all guests to schedule visits and reserve parking spaces within the driveway or abutting street. For these aforementioned reasons staff is no longer recommending a condition that requires employees to utilize on-street parking of the nearest public street.</p>	<p>Conditions Recommended</p>

Staff is recommending two conditions to help address certain elements of the proposal.

Condition 1 Analysis:

One of the major concerns from the neighborhood has been related to increased amounts of traffic and the types of services typically related with group homes that are muted by the numbers represented in the traffic study.

Through analysis of the operational plan, memory care residents will require a dozen or more services sometimes on a weekly or monthly basis. It is anticipated that there will be approximately 24 daily trips - some less than 10 or 20 minutes others more. To reduce impacts to on-street parking and minimize early morning or late afternoon disturbances staff is recommending a limit to limit certain types of visits to typical business hours and that the applicant schedule services in a way to reduce service overlap.

Condition 1:

To the extent feasible the hours of operation during which third-party services, such as massages, housekeeping, haircuts, pet therapy, food delivery, and the like, shall be limited to the hours of 8:00 a.m. and 6:00 p.m. Monday through Saturday. Services shall be staggered in a way to reduce the impact to on-street parking within the neighborhood.

To the extent feasible deliveries and short-term visits shall be limited to available space within the driveway and street frontage that shares a common boundary with 636 Castle Ridge Court.

Condition 2 Analysis:

During ongoing conversation between the neighborhood and the applicant team City staff has acted as an intermediary to concerns around ongoing operational elements of the group home. During research of other like group homes, staff understands that there may be a range of issues that may be best dealt through the HOA or neighbor to neighbor communication. Examples include, house and yard maintenance, outdoor smoking, noise, or on-street parking. Staff is recommending that the applicant act in good faith to remedy any situation that may arise.

Condition 2:

The property owner or representative thereof shall cooperate in good faith to remedy any unforeseen impacts created through the operation of the group home and provide a designated person who can be contacted 24-hours a day, 7-days a week.

C. 3.8.6 - GROUP HOME REGULATIONS AND SHELTERS FOR VICTIMS OF DOMESTIC VIOLENCE

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings										
<p>3.8.6(A)</p>	<p>Residential group homes shall conform to the lot area and separation requirements specified in the following table:</p> <table border="1" data-bbox="310 569 1317 842"> <thead> <tr> <th><i>Zone District</i></th> <th><i>Maximum number of residents excluding supervisors, for minimum lot size</i></th> <th><i>Additional lot area for each additional resident (square feet)</i></th> <th><i>Maximum permissible residents, excluding supervisors</i></th> <th><i>Minimum separation requirements between any other group home (feet)*</i></th> </tr> </thead> <tbody> <tr> <td>R-L</td> <td>3</td> <td>1,500</td> <td>8</td> <td>1,500</td> </tr> </tbody> </table> <p>The project was granted relief from the maximum permissible resident standard as part of the Reasonable Accommodation Request.</p> <p>Regarding minimum separation distances, the project is not located within 1,500 feet of any other known group home.</p>	<i>Zone District</i>	<i>Maximum number of residents excluding supervisors, for minimum lot size</i>	<i>Additional lot area for each additional resident (square feet)</i>	<i>Maximum permissible residents, excluding supervisors</i>	<i>Minimum separation requirements between any other group home (feet)*</i>	R-L	3	1,500	8	1,500	<p>Complies</p>
<i>Zone District</i>	<i>Maximum number of residents excluding supervisors, for minimum lot size</i>	<i>Additional lot area for each additional resident (square feet)</i>	<i>Maximum permissible residents, excluding supervisors</i>	<i>Minimum separation requirements between any other group home (feet)*</i>								
R-L	3	1,500	8	1,500								
<p>3.8.6(C)(1)</p>	<p>Before any group home shall be approved in any zone that requires a Type 1 or Types 2 review, the decision-maker shall conduct such review to approve, deny or approve with conditions the application for a group home use in such zone. If approved, the decision-maker shall, with such approval, establish the type of group home permitted and the maximum number of residents allowed in such group home.</p> <p>Staff is recommending that the Planning and Zoning Commission conditionally approve the project as a 10-resident memory-care group home.</p>	<p>Complies</p>										

5. Article 4 – Applicable Standards:

A. DIVISION 4.4 – LOW DENSITY RESIDENTIAL DISTRICT (R-L)

The R-L Low Density Residential District designation is intended for predominately single-family residential areas located throughout the City which were existing at the time of adoption of this Code.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p>4.4(B) – Permitted Uses</p>	<p>The proposed project is classified as a group home and is a permitted land use subject to review by the Planning and Zoning Commission.</p> <p>The Land Use Code definition of a group home is, “a residence operated as a single dwelling, licensed by or operated by a governmental agency, or by an organization that is as equally qualified as a government agency and having a demonstrated capacity for oversight as determined by the Director, for the purpose of providing special care or rehabilitation due to homelessness, physical condition or illness, mental condition or illness, elderly age or social, behavioral or disciplinary problems, provided that authorized supervisory personnel is present on the premises.”</p> <p>Peacock Assisted Living, LLC, the proposed operator of the group home, proposes an assisted living facility to provide services for seniors with disabilities. The group home is subject to the general licensure and regulatory standards of the Colorado Department of Public Health and will be required to provide the City with a state-approved license before a Certificate of Occupancy can be issued.</p>	<p>Complies</p>

6. Findings of Fact/Conclusion

In evaluating the request for the Castle Ridge Group Home Project Development Plan, PDP220013, Staff makes the following findings of fact:

1. The Project Development Plan complies with the applicable procedural and administrative requirements of Article 2 of the Land Use Code.
2. The Project Development Plan complies with relevant standards located in Article 3 – General Development Standards, subject to the following conditions:
 - a) To the extent feasible the hours of operation during which third-party services, such as massages, housekeeping, haircuts, pet therapy, food delivery, and the like, shall be limited to the hours of 8:00 a.m. and 6:00 p.m. Monday through Saturday. Services shall be staggered in a way to reduce the impact to on-street parking within the neighborhood.

To the extent feasible deliveries and short-term visits shall be limited to available space within the driveway and street frontage that shares a common boundary with 636 Castle Ridge Court.
 - b) The property owner or representative thereof shall cooperate in good faith to remedy any unforeseen impacts created through the operation of the group home and provide a designated person who can be contacted 24-hours a day, 7-days a week.
3. The Project Development Plan complies with relevant standards located in Division 4.4 – Low Density Residential District (R-L).

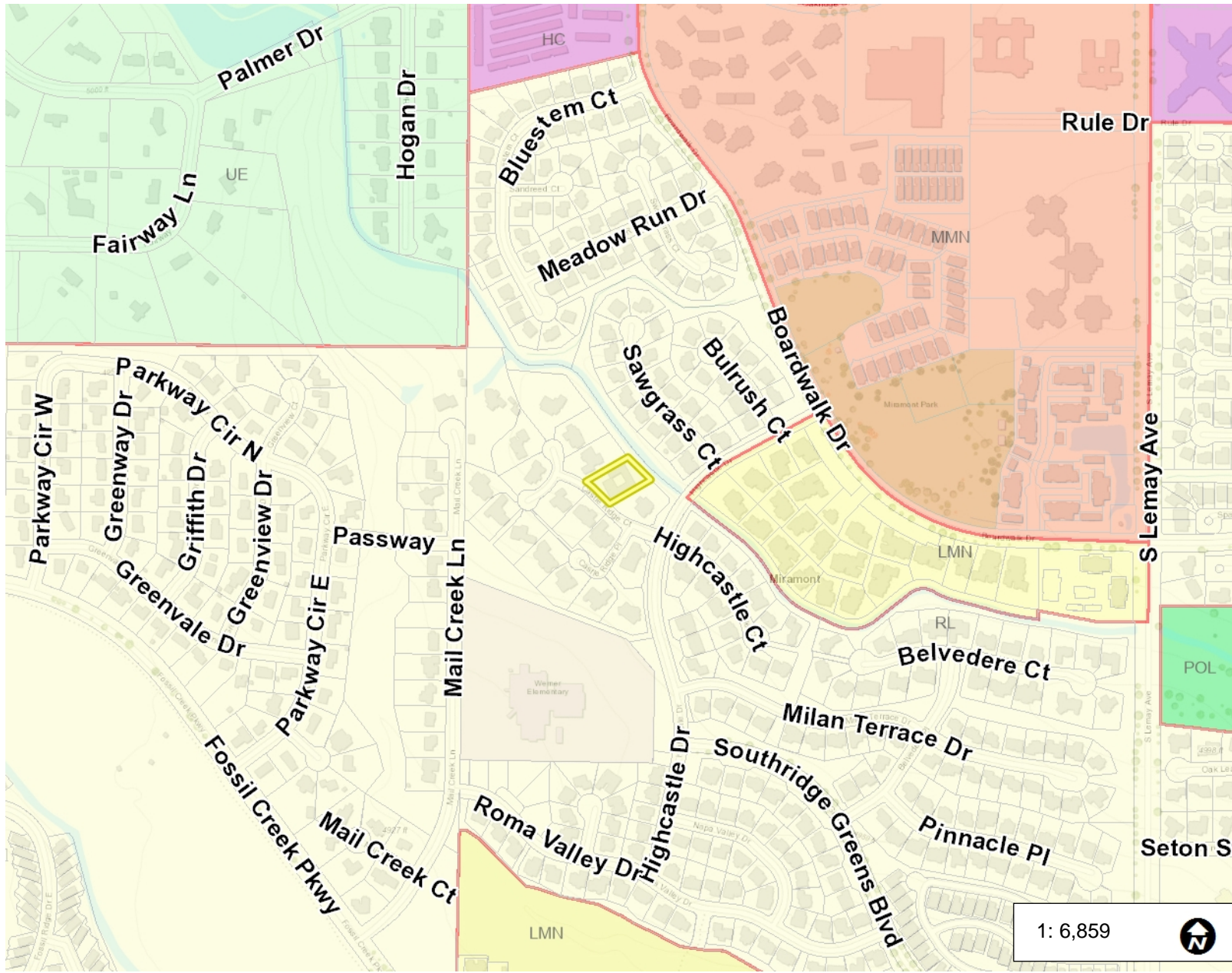
7. Recommendation

Staff recommends conditional approval of the Castle Ridge Group Home Project Development Plan, PDP220013, based on the aforementioned Findings of Fact.

8. Attachments

1. Vicinity Map
2. Project Narrative
3. Plan Set
4. Operational Plan
5. Traffic Impact Study
6. Neighborhood Meeting Summary
7. Public Comments
8. Reasonable Accommodation Decision Letter
9. Supplemental Documents - Public Comments
10. Staff Presentation

Castle Ridge Group Home

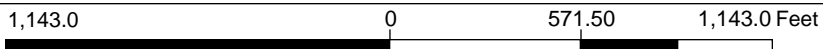


Legend

- Street Names
- Parcels
- City Zoning
 - Community Commercial
 - Community Commercial North Coll
 - Community Commercial Poudre Riv
 - General Commercial
 - Limited Commercial
 - Service Commercial
 - CSU
 - Downtown
 - Employment
 - Harmony Corridor
 - Industrial
 - High Density Mixed-Use Neighbor
 - Low Density Mixed-Use Neighbor
 - Manufactured Housing
 - Medium Density Mixed-Use Neigh
 - Neighborhood Commercial
 - Neighborhood Conservation Buffer
 - Neighborhood Conservation Low D
 - Neighborhood Conservation Medi
 - Public Open Lands
 - River Conservation
 - River Downtown Redevelopment
 - Residential Foothills
 - Low Density Residential
 - Rural Lands District

Notes

1: 6,859





CASTLE RIDGE GROUP HOME
PROJECT DEVELOPMENT PLAN / FINAL DEVELOPMENT PLAN NARRATIVE
2 November 2022

Conceptual Review: 12/17/2020
Neighborhood Meeting: 5/4/2021 & 7/26/2022

General Information

The property at 636 Castle Ridge Court represents a unique opportunity in our city to provide a home-based memory care option for seniors with Alzheimer's dementia. The proposed project is a renovation of an existing accessible residence from a single-family home to a group home. The purpose being a family-like setting for seniors with disabilities to age in place comfortably and receive specialized care for their disabilities. The house is located within the Castle Ridge at Miramont PUD and within the Low Density Residential (R-L) Zone District. Single-family homes are adjacent to the property on the northwest, southeast, and across the street to the southwest. Mail Creek Ditch runs along the northeast property line.

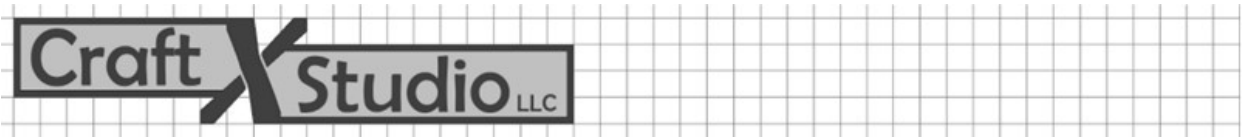
A neighborhood meeting was held on April 5th, 2021. Concerns voiced included increased traffic, parking, the level of occupancy, privacy, who the investors were, and compatibility with existing neighborhood character. The owners mitigated as many concerns as possible and proceeded with the development plan. The project went to the Planning and Zoning Commission on March 23, 2022. The neighbors and a number of the commissioners indicated that they were not opposed to the use, but they thought that 16 people would put an excessive burden on the neighborhood. The Commission denied the application.

In response to the concerns raised by the neighbors and the Commission, the owners revised their business and care model and found a way to create a successful care home with a lower occupancy level and with other revisions to address neighbors' concerns. This new application reflects the new proposal. Specifically:

- **Parking:** Rather than converting both two-car garages to living space, only one garage will be converted, leaving the other open for staff parking. Thus, there will be a total of six off-street parking spaces available for staff, guests, and periodic deliveries. Two parking spaces, as required, are provided. Two additional parking spaces are located within the garage and the driveway can accommodate two cars, there are three spaces on-street for a total of nine spaces. Additionally, four bike parking spaces are provided in the central courtyard to accommodate multimodal transit options. The owners will ask guests to minimize on-street parking and limit that parking to in front of the home itself. This home will be proactively managing parking ingress and egress using a third-party parking

application called Parkalot. The application is web based and can be accessed through both cell phones and home computers. The interface shows the location of individual parking stations and corresponding time slots available 24 hours a day. Reservations for parking will be available up to 14 days in advance. On average individuals can complete their reservations in 37 seconds. Training in the use of the parking application will be part of the onboarding process for family members with clients in the home and will be contractually obligated to use. Friends of clients that wish to visit will be encouraged to call ahead before visiting unless they have received the same training and access as family members on the use of the parking application. Parking stalls will be numbered for clarity of where to park. As a reminder, the residents themselves do not drive or own vehicles on account of their disabilities, and guest will be asked to schedule visits. There will be two staff on duty during each of two-day shifts and one staff during the night.

- **Traffic:** A new traffic analysis was performed by traffic engineer Matt Delich. This study is based on both the new occupancy level and on updated standards issued by the ITE's 11th Edition of the Trip Generation Manual. This shows that the number of additional vehicle trips to and from the home are minimal. The owners also reiterate their commitment to work with visitors on appropriate scheduling, limit deliveries to what would normally be expected of an average home (i.e. no large delivery trucks, groceries brought in by personal vehicle, laundry done in house, etc.), and try to minimize staff changes during peak hours. The owners further reiterate their willingness to work with adjacent neighbors if any impacts arise.
- **Neighborhood Character:** The change of use does not alter the residential character of the home. The footprint will not change and there are no changes to the exterior hardscape, except for the enclosure of part of an existing back patio and the installation of a 6' tall vinyl fence. Trash and recycling will be located in the retained garage and will only be visible when brought to the street on trash days, similar to the other existing homes. There will be no signage posted to distinguish this home from any other in the neighborhood.
- **Privacy:** The number of bedroom windows needed on the northwest side of the home has been reduced from four to one, thereby addressing the privacy concerns of the neighbor on this side of the home. Natural screening will remain in place.
- **Safety and Comfort for Residents:** Within the home, a sprinkler system will be added, and one garage and the swimming pool room will be converted to bedrooms, bathrooms, family rooms and dining rooms for a total of 10 residents. Residents will have 24-hour supervision and care including enhanced door security and video monitoring. The existing home is already handicap accessible and wraps around a courtyard which provides a protected, safe, outdoor space. This home will be licensed by, and will meet all regulatory requirements established by, the Colorado Department of Public Health and the



Environment. Staff in this home will be overseen by a qualified administrator and will have enhanced training for the care of people with dementia.

A second neighborhood meeting was held in July where many of the same concerns were voiced. It is hoped that these concerns will be alleviated once the neighbors see this revised development application.

The Planning Director granted reasonable accommodation for the 10-resident model on May 19, 2022. The Miramont HOA also agreed to a 10-bed residential group home and granted reasonable accommodation in a letter dated April 23, 2022.

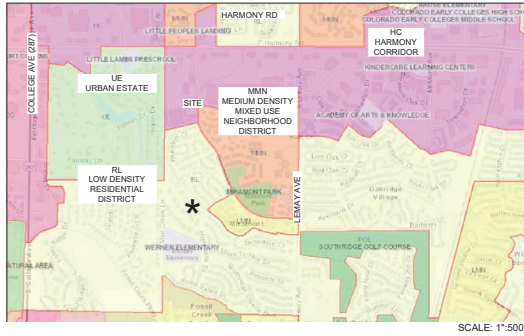
Current and future owners: Xiomara Diaz and Christopher Eric Shenk – 636 Castle Ridge Ct.

CASTLE RIDGE GROUP HOME

PROJECT DEVELOPMENT PLAN / FINAL DEVELOPMENT PLAN

Lot 2, Castle Ridge at Miramont P.U.D., City of Ft. Collins, County of Larimer, State of Colorado.
Containing 22,225 square feet or 0.510 acres, more or less.

VICINITY / CONTEXT MAP



SCALE: 1"=500'

OWNER'S CERTIFICATE

THE UNDERSIGNED DOES/DOES NOT HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED) _____ DATE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
THIS _____ DAY OF _____ A.D. 20____ BY _____

(PRINT NAME)
AS _____

MY COMMISSION EXPIRES: _____
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____ ADDRESS _____

PLANNING CERTIFICATE

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO ON THIS _____ DAY OF _____, 20____.

Director Signature _____

LAND USE CHARTS

EXISTING ZONING - LOW DENSITY RESIDENTIAL (RL)		
DENSITY GROSS AND NET		
GROSS AREA	22,225 SF (.51 AC)	
TOTAL DWELLING UNITS	1	
GROSS DENSITY	2 DU/AC	
AREA COVERAGE GROSS AND NET		
BUILDING COVERAGE	7.33%	52.99%
DRIVES AND PARKING (EXCLUDES PUBLIC ROW)	1.850	8.23%
OPEN SPACE AND LANDSCAPE (EXCLUDES PUBLIC ROW)	13,062	58.77%
TOTAL GROSS COVERAGE	22,228.00 SF (0.51 AC)	100.00%

NOTE: BUILDING COVERAGE INCLUDES PORCHES

FLOOR AREA RATIO		
BUILDING AREA (SF)	7,333	
LOT AREA (SF)	22,225	
FLOOR AREA RATIO	0.33	
BUILDING HEIGHT		
BUILDING 01	23'-2"	1
DWELLING UNIT QUANTITY TOTAL BEDROOMS		
GROUP HOME	1	10

BICYCLE PARKING		
PROVIDED	4	0
REQUIRED		
BICYCLE SPACES		
PROJECT PARKING	PROVIDED	REQUIRED
PARKING STALLS	2	2
HANDICAP	1	1
TOTAL	2	2
NOTES:		
ASSUMES 2 EMPLOYEES ON A NORMAL MAJOR SHIFT		

(If Group Homes: For each group home there shall be two (2) parking spaces for every three (3) employees, and in addition, one (1) parking space for each four (4) adult residents, unless residents are prohibited from owning or operating personal automobiles.

RESIDENTS AT THIS FACILITY ARE PROHIBITED FROM OWNING OR OPERATING PERSONAL AUTOMOBILES.

BICYCLE SPACES WILL BE LOCATED WITHIN THE SECURED COURTYARD

GENERAL LANDSCAPE NOTES

- PLANT QUALITY:** ALL PLANT MATERIAL SHALL BE A GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- IRRIGATION:** ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- TOPSOIL:** TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- SOIL AMENDMENTS:** SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENED AND THE SOIL AMENDED, CONSISTENT WITH THE REQUIREMENTS SET FORTH IN SECTION 12-132.
- INSTALLATION AND GUARANTEE:** ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- MAINTENANCE:** TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- REPLACEMENT:** ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
 - 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
 - 15 FEET BETWEEN ORNAMENTAL TREES AND STREET LIGHTS
 - 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
 - 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES
 - 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
 - 4 FEET BETWEEN TREES AND GAS LINES
- ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 3.2 (D)(2)(a).
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- THE DEVELOPER SHALL ENSURE THAT THE FINAL LANDSCAPE PLAN IS COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION - AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
- ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.
- IRRIGATED TURF SHALL BE TEXAS BLUEGRASS/KENTUCKY BLUEGRASS HYBRID VORTEX[®] BY KORB[®] SOY LLC OR APPROVED EQUAL.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 18" X 4" ROLLED TOP STEEL SET LEVEL WITH TOP OF SOO OR APPROVED EQUAL.

LAND USE NOTES

EXISTING USE: SINGLE-FAMILY DETACHED DWELLING
PROPOSED USE: GROUP HOME

RESIDENTS: 10
EMPLOYEES: 2

APPROVAL OF A RELATED REASONABLE ACCOMMODATION REQUEST DATED MAY 19, 2022 INCLUDE THE FOLLOWING CONDITIONS:

- RETENTION OF THE STREET-FACING GARAGES TO PROVIDE FOR ADDITIONAL OFF-STREET PARKING.
- MAINTAINING THE GARAGE DOORS ON THE GARAGE CONVERTED TO LIVING SPACE.
- NO SIGNAGE.
- NO MORE THAN TWO STAFF WORKING SHIFTS ON-SITE AT ANY GIVEN TIME (WITH THE EXCEPTION OF EMERGENCIES AND SHIFT CHANGES).

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A-2	NORTH ELEVATION
A-3	SOUTH ELEVATION
A-4	EAST ELEVATION
A-5	WEST ELEVATION
A-6	EXTERIOR PERSPECTIVES
A-7	EXTERIOR PERSPECTIVES
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L3	TREE INVENTORY AND MITIGATION
E1.00	LIGHTING PLAN AND PHOTOMETRIC

SITE PLAN NOTES

- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS, AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
- REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
- REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDENSERS, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
- ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
- A REASONABLE ACCOMMODATION REQUEST HAS BEEN APPROVED FOR LUC SECTION 3.8(B)(A) AND SECTION 4.4(D) ALLOWING 16 RESIDENTS AND THE EXISTING FLOOR AREA SIZE AND LOT SIZE TO REMAIN.
- ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UPLIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
- SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
- FIRE HYDRANTS MUST MEET OR EXCEED Poudre FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
- ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
- ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE RAMP SPACES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS' ASSOCIATION. THE PROPERTY OWNERS' ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
- THE PROPERTY OWNER FOR EACH RESIDENTIAL LOT IS RESPONSIBLE FOR SNOW REMOVAL ON ALL STREET SIDEWALKS ADJACENT TO EACH RESIDENTIAL LOT.
- PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF KERBSIDE LANDSCAPING, SOLAR PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), COLOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS "NO PARKING FIRE LANE" SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LINES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND REVEALED November 12, 2015 3.05 LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
- PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND Poudre FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY-FINDING. ALL BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED WITH A MINIMUM OF SIX-INCH NUMERALS ON A CONTRASTING BACKGROUND. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.



Revisions:

CASTLE RIDGE GROUP HOME
636 CASTLE RIDGE COURT, FORT COLLINS, CO

COVER SHEET
C OF 15

UTILITY PLANS FOR 636 CASTLE RIDGE CT DEVELOPMENT

CIVIL CONSTRUCTION DRAWINGS

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.
 CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
 CASTLE RIDGE AT MIRAMONT P.U.D., LOT 2
 ADDRESS: 636 CASTLE RIDGE COURT, FORT COLLINS, CO, 80525



SURVEY STATEMENT:
 RAPTOR CIVIL ENGINEERING RELIED ON THE LAND SURVEY PREPARED BY PATTERSON PARTNERS, P.C.E. TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY LAND SURVEYOR.

BASIS OF BEARING NOTE:
 A. BEARINGS ARE BASED ON THE SOUTH LINE OF LOT 1, CASTLE RIDGE AT MIRAMONT P.U.D., AS BEARINGS S60°00'00" W ACCORDING TO THE SHOWN FOUND MONUMENTS ON THIS DRAWING AS SHOWN ON THE RECORDED SUBDIVISION PLAT.
 B. EASEMENTS WERE TAKEN FROM THE RECORDED SUBDIVISION PLAT AND LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT AND NEITHER WERE RESEARCHED.
 C. DISTANCES SHOWN ARE IN U.S. SURVEY FEET.
 D. UTILITIES SHOWN WERE LOCATED IN THE FIELD BASED ON FOUND EVIDENCE AND UTILITY LOCATES.

BENCHMARK NOTES:
 PROJECT DATUM: NAVD88

BENCHMARK #4-96
 ELEVATION: 4,939.14'

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NAD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.

IF NAD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NAD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 - 3.1XX'



TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1320 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
 THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 3 FIRE HYDRANTS INDIVIDUALLY. EACH FIRE HYDRANT MUST SUPPLY 1750 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
 CODE USED FOR ANALYSIS: 2021 IBC
 OCCUPANCY GROUP(S): R-4
 CONSTRUCTION TYPE(S): V-B
 FIRE FLOW CALCULATION AREA: 9,346 SF
 *50% FIRE FLOW REDUCTION BY FIRE SPRINKLER SYSTEM

FORT COLLINS - LOVELAND WATER DISTRICT
SOUTH FORT COLLINS SANITATION DISTRICT
 District Engineer _____ Date _____
 All changes, addendums, additions, deletions and modifications to these drawings must be approved, in writing, by the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District.

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ENGINEER'S QUANTITY ESTIMATE		
DESCRIPTION	QUANTITY	UNIT
4" DIP FIRE LATERAL	69	LF
4" WET TAP WITH THRUST BLOCK	1	EA
4" GATE VALVE WITH MECHANICAL JOINT RESTRAINTS	1	EA

CITY OF FORT COLLINS, COLORADO UTILITY PLAN APPROVAL			
APPROVED:	_____	_____	_____
	CITY ENGINEER,	APPROVED SHEETS	DATE
APPROVED:	_____	_____	_____
	WATER & WASTEWATER UTILITY,	APPROVED SHEETS	DATE
APPROVED:	_____	_____	_____
	STORMWATER UTILITY,	APPROVED SHEETS	DATE
APPROVED:	_____	_____	_____
	PARK PLANNING AND DEVELOPMENT,	APPROVED SHEETS	DATE
APPROVED:	_____	_____	_____
	TRAFFIC OPERATIONS,	APPROVED SHEETS	DATE
APPROVED:	_____	_____	_____
	ENVIRONMENTAL PLANNER,	APPROVED SHEETS	DATE

636 CASTLE RIDGE CT. DEVELOPMENT
 CIVIL CONSTRUCTION DRAWINGS
 CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
 CASTLE RIDGE AT MIRAMONT P.U.D., LOT 2

21-32

NOT FOR CONSTRUCTION

REVISION BLOCK			
#	DATE	BY	
1	08/29/2021	HWI	
2	01/15/2022	HWI	
3	02/09/2022	HWI	
4	07/05/2022	HWI	
5	10/25/2022	DAS	

COVER SHEET
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 SHEET 1 OF 03

UTILITY PLANS FOR 636 CASTLE RIDGE CT DEVELOPMENT

CIVIL CONSTRUCTION DRAWINGS

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
CASTLE RIDGE AT MIRAMONT P.U.D., LOT 2
ADDRESS: 636 CASTLE RIDGE COURT, FORT COLLINS, CO, 80525



636 CASTLE RIDGE CT. DEVELOPMENT
CIVIL CONSTRUCTION DRAWINGS
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
CASTLE RIDGE AT MIRAMONT P.U.D., LOT 2

21-32

NOT FOR CONSTRUCTION

REVISION BLOCK

#	DATE	BY
1	08/22/2021	HWI
2	01/15/2022	HWI
3	02/09/2022	HWI
4	07/05/2022	HWI
5	10/25/2022	DAS

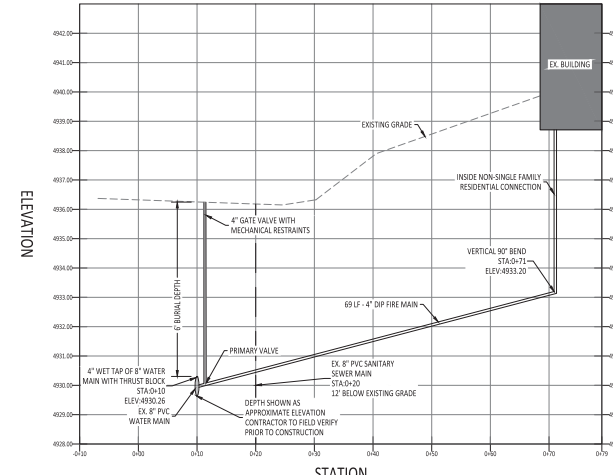
GRADING & UTILITY PLAN

2

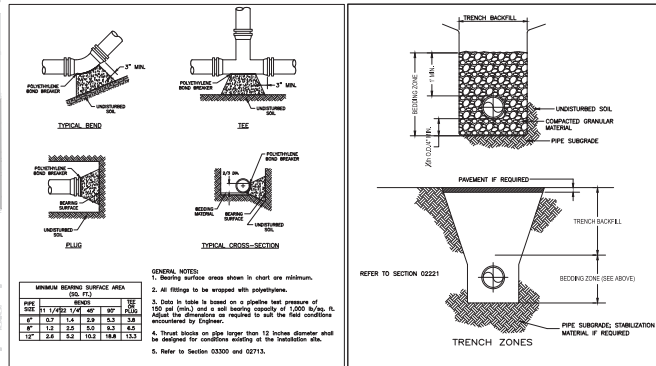
SHEET 2 OF 03

FIRE LINE PROFILE

VERTICAL SCALE: 1"=2'
HORIZONTAL SCALE: 1"=10'



STATION



GENERAL NOTES:

1. Bedding surface cross shown is chart on minimum.
2. All fittings to be wrapped with polyethylene.
3. Data in table is based on a pipe test pressure of 100 psi (6.9 bar) and a soil bearing capacity of 1200 lb/ft². Adjust the elevations as required to suit the field conditions determined by engineer.
4. Thrust blocks on pipe larger than 12 inches diameter shall be designed for conditions existing at the installation site.
5. Refer to Section 02300 and 02715.

PIPE DIA.	MINIMUM BEARING SURFACE AREA (SQ. FT.)	MINIMUM BEARING SURFACE AREA (SQ. YD.)
4"	1.2	0.14
6"	2.7	0.33
8"	5.4	0.67
10"	8.1	1.01
12"	10.8	1.35

TYPICAL CONCRETE THRUST BLOCKS

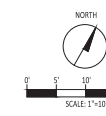
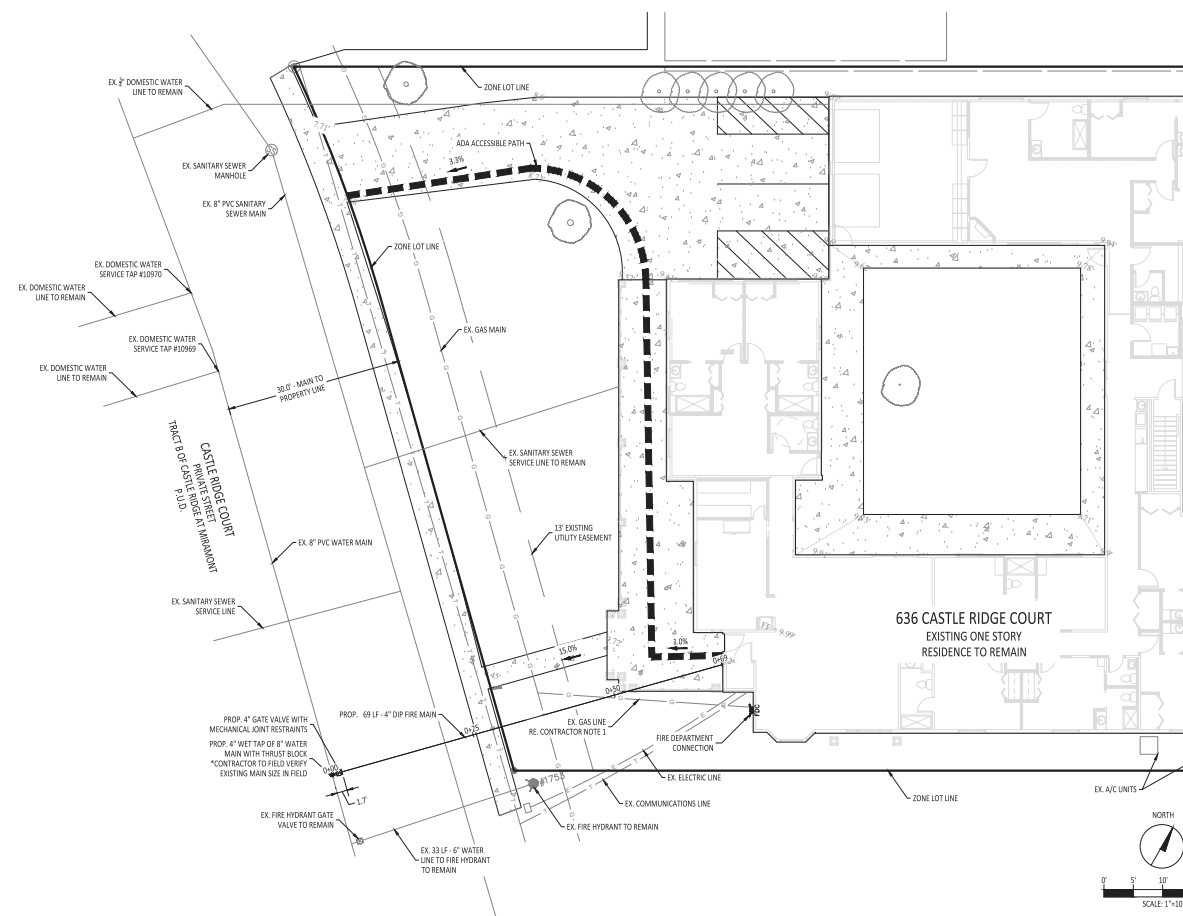
TRENCH AND BEDDING TYPICAL

FORT COLLINS - LOWLAND WATER DISTRICT APPROVED DATE: 1-18-2010 SCALE: NTS
FORT COLLINS - LOWLAND WATER DISTRICT APPROVED DATE: 1-18-2010 SCALE: NTS

FORT COLLINS-LOWLAND WATER DISTRICT & SOUTH FORT COLLINS SANITATION DISTRICT NOTES:

- 1) ALL WATER AND SANITARY SEWER LOCATIONS SHALL BE PERFORMED ACCORDING TO THE FORT COLLINS-LOWLAND WATER DISTRICT AND THE SOUTH FORT COLLINS SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.
- 2) CONSTRUCTION OF WATER AND SEWER FACILITIES REQUIRE A PRECON MEETING WITH DISTRICT INSPECTION STAFF PRIOR TO CONSTRUCTION.
- 3) CONTRACTOR SHALL NOTIFY DISTRICT INSPECTORS PRIOR TO STARTING WORK.
- 4) CONTRACTOR SHALL CONTACT THE SANITATION DISTRICT INSPECTOR FOR SEWER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING SEWER STUBS.
- 5) IF GROUNDWATER IS ENCOUNTERED WITHIN DEPTH OF SEWER CONSTRUCTION, MANHOLES MUST BE WATER-PROOFED.
- 6) CONTRACTOR SHALL CONTACT THE WATER DISTRICT FOR WATER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING INFRASTRUCTURE.
- 7) ALL COMMERCIAL DOMESTIC SERVICES REQUIRE A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE.
- 8) ALL WATER LINES SHALL BE A MINIMUM OF 65 FEET AND A MAXIMUM OF 69.56 FEET BELOW FINAL GRADE.
- 9) ALL DISTRICT VALVES SHALL ONLY BE OPERATED BY DISTRICT OPERATIONS STAFF.
- 10) PIPE PRESSURE AND VACUUM TESTING SHALL BE WITNESSED BY DISTRICT INSPECTORS. WATERLINE BACTERIAL TESTS SHALL ALSO BE TAKEN BY DISTRICT INSPECTORS.
- 11) ONCE THE SYSTEM IS OPERATIONAL AND ALL TESTS HAVE PASSED, CONTRACTOR SHALL REQUEST SUBSTANTIAL COMPLETION WITH A LETTER TO THE DISTRICT.
- 12) AS-BUILTS SHALL BE SUBMITTED IN PDF AND DWG TO THE DISTRICT FOR FINAL APPROVAL.
- 13) ONCE ALL PUNCH LIST ITEMS ARE COMPLETE, EASEMENTS ARE RECORDED, AND AS-BUILT FILES ARE APPROVED, THE CONTRACTOR SHALL REQUEST FINAL COMPLETION WITH A LETTER TO THE DISTRICT THAT INCLUDES THE DOLLAR VALUE OF THE WATER AND SEWER IMPROVEMENTS LISTED SEPARATELY.

- CONTRACTOR NOTES:
- 1) EXISTING GAS LINE ELEVATIONS ARE NOT KNOWN. CONTRACTOR IS TO FIELD VERIFY GAS LINE ELEVATION PER DRAWING CROSSINGS AT STA. 0+50.
 - 2) NO ON-SITE GRADING PROPOSED AS PART OF THIS DEVELOPMENT. RICE HAS DETERMINED THAT EXISTING ADA PATH MEETS CURRENT ADA ACCESSIBILITY REQUIREMENTS.
 - 3) IF CONTRACTOR REQUIRES GRADING CHANGES ON SITE, RICE SHALL BE INFORMED IMMEDIATELY AS ADDITIONAL PERMITS/PLANS MAY BE NECESSARY.



UTILITY PLANS FOR 636 CASTLE RIDGE CT DEVELOPMENT

CIVIL CONSTRUCTION DRAWINGS

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.
 CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
 CASTLE RIDGE AT MIRAMONT P.U.D., LOT 2
 ADDRESS: 636 CASTLE RIDGE COURT, FORT COLLINS, CO, 80525



636 CASTLE RIDGE CT. DEVELOPMENT

CIVIL CONSTRUCTION DRAWINGS
 CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
 CASTLE RIDGE AT MIRAMONT P.U.D., LOT 2

21-32

NOT FOR CONSTRUCTION

REVISION BLOCK		
#	DATE	BY
1	06/25/2021	HWJ
2	01/15/2022	HWJ
3	02/09/2022	HWJ
4	07/05/2022	HWJ
5	02/22/2022	DAS

GENERAL NOTES

3

SHEET 3 OF 03

- GENERAL NOTES: CITY OF FORT COLLINS AND LARIMER COUNTY:
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS. THE MOST RESTRICTIVE STANDARDS SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
 - ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST VERSION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
 - THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN ON THESE PLANS.
 - THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE LOCAL ENTITY, AS BENEFCIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE LOCAL ENTITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE LOCAL ENTITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
 - ALL SANITARY SEWER, STORM SEWER, AND WATER LINE CONSTRUCTION, AS WELL AS POWER AND OTHER "OTW" UTILITY INSTALLATIONS, SHALL CONFORM TO THE LOCAL ENTITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF APPROVAL OF THE PLANS BY THE LOCAL ENTITY ENGINEER.
 - THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
 - THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-932-1987, AT LEAST 12 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL RESPECTED UTILITY LOCATIONS MARKED. OTHER (UNRESPECTED UTILITY ENTITIES) I.E. DITCH / IRRIGATION COMPANY ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
 - IF A CONFLICT EXISTS BETWEEN EXISTING AND PROPOSED UTILITIES AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN MODIFICATION MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
 - THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, TO ENSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY MANNER AND WITH A MINIMAL DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY AN DISRUPTION OF ANY UTILITY COMPANIES.
 - NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTICES THE UTILITY PROVIDER. NOTICE SHALL BE A MINIMUM OF 2 WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
 - THE DEVELOPER SHALL SECURE INSTALLATION OF UTILITY LOCATIONS IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
 - THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.
 - A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
 - THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, (D03 602-3590), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
 - THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF DITCHES DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS.
 - PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE LOCAL ENTITY, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS, FOR COMMERCIAL PROPERTIES, EXCAVATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.
 - THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES SUSTAINED IN THE DEVELOPMENT AS A RESULT OF GROUNDWATER SEEPAGE, WHETHER RESULTING FROM GROUNDWATER FLOODING, STRUCTURAL DAMAGE OR OTHER DAMAGE UNLESS SUCH DAMAGE OR INJURIES ARE SUSTAINED AS A RESULT OF THE LOCAL ENTITY FAILURE TO PROPERLY MAINTAIN ITS WATER, WASTEWATER, AND/OR STORM DRAINAGE FACILITIES IN THE DEVELOPMENT.
 - NO FINAL DRAINAGE AND EROSION CONTROL STUDY IS TO BE COMPLETED AS IT IS NOT APPLICABLE FOR THIS PROJECT.
 - TEMPORARY EROSION CONTROL DURING CONSTRUCTION SHALL BE PROVIDED AS SHOWN ON THE EROSION CONTROL PLAN. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE DEVELOPER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED WITHIN 24 HOURS BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FROM END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
 - NO WORK MAY COMMENCE WITHIN ANY IMPROVED OR UNIMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEERING INSPECTOR (FORT COLLINS - 221-6650) AND THE LOCAL ENTITY EROSION CONTROL INSPECTOR (FORT COLLINS - 221-6700) AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS, IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PRIOR NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED. THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER ABSENCE, HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE AND PRIOR TO THE PLACEMENT OF CURB, GUTTER, SIDEWALK AND PAVEMENT. IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SUBSEQUENT SECTION OF THE CONSTRUCTION. THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTIONS), REGARDLESS OF THE OPTION USED. ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR AT LEAST 12 WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF CURB, GUTTER, SIDEWALK, BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE LOCAL ENTITY ENGINEER APPROVES THE FINAL REPORT.
 - THE CONTRACTOR SHALL HIRE A LICENSED ENGINEER OR LAND SURVEYOR TO SURVEY THE CONSTRUCTED ELEVATIONS OF THE STREET SUBGRADE AND THE FLOOR FINISH AT ALL INTERSECTIONS, INLETS, AND OTHER LOCATIONS REQUESTED BY THE LOCAL ENTITY INSPECTOR. THE ENGINEER OR SURVEYOR MUST CERTIFY IN A LETTER TO THE LOCAL ENTITY THAT THESE ELEVATIONS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ANY DEVIATIONS SHALL BE NOTED IN THE LETTER AND THEN RESOLVED WITH THE LOCAL ENTITY BEFORE INSTALLATION OF BASE COURSE OR ASPHALT WILL BE ALLOWED ON THE STREETS.
 - ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK EXCEPT C/G ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
 - PORTIONS OF LARIMER COUNTY ARE WITHIN OVERLAY DISTRICTS. THE LARIMER COUNTY FLOODPLAIN RESOLUTION SHOULD BE REFERRED TO FOR ADDITIONAL CRITERIA FOR ROADS WITHIN THESE DISTRICTS.
 - ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAN APPROVAL.
 - PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE LOCAL ENTITY FORESTER TO SCHEDULE A SITE INSPECTION FOR ANY TREE REMOVAL REQUIRING A PERMIT.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OHSA PUBLICATION 229, EXCAVATING AND TRENCHING.
 - THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH HAUTO, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY: CITY OF FORT COLLINS, COUNTY OF LARIMER, FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
 - PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT LOCAL ENTITY TRAFFIC OPERATIONS DEPARTMENT, WHO WILL TEMPORARILY REMOVE OR RELOCATE THE SIGN AT NO COST TO THE CONTRACTOR. HOWEVER, IF THE CONTRACTOR MOVES THE TRAFFIC SIGN THEN THE CONTRACTOR WILL BE CHARGED FOR THE LABOR, MATERIALS AND EQUIPMENT TO REINSTALL THE SIGN AS NEEDED.
 - THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR THE INITIAL INSTALLATION OF TRAFFIC SIGNING AND STRIPING FOR THE DEVELOPMENT RELATED TO THE DEVELOPMENT'S LOCAL STREET OPERATIONS. IN ADDITION, THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR TRAFFIC SIGNING

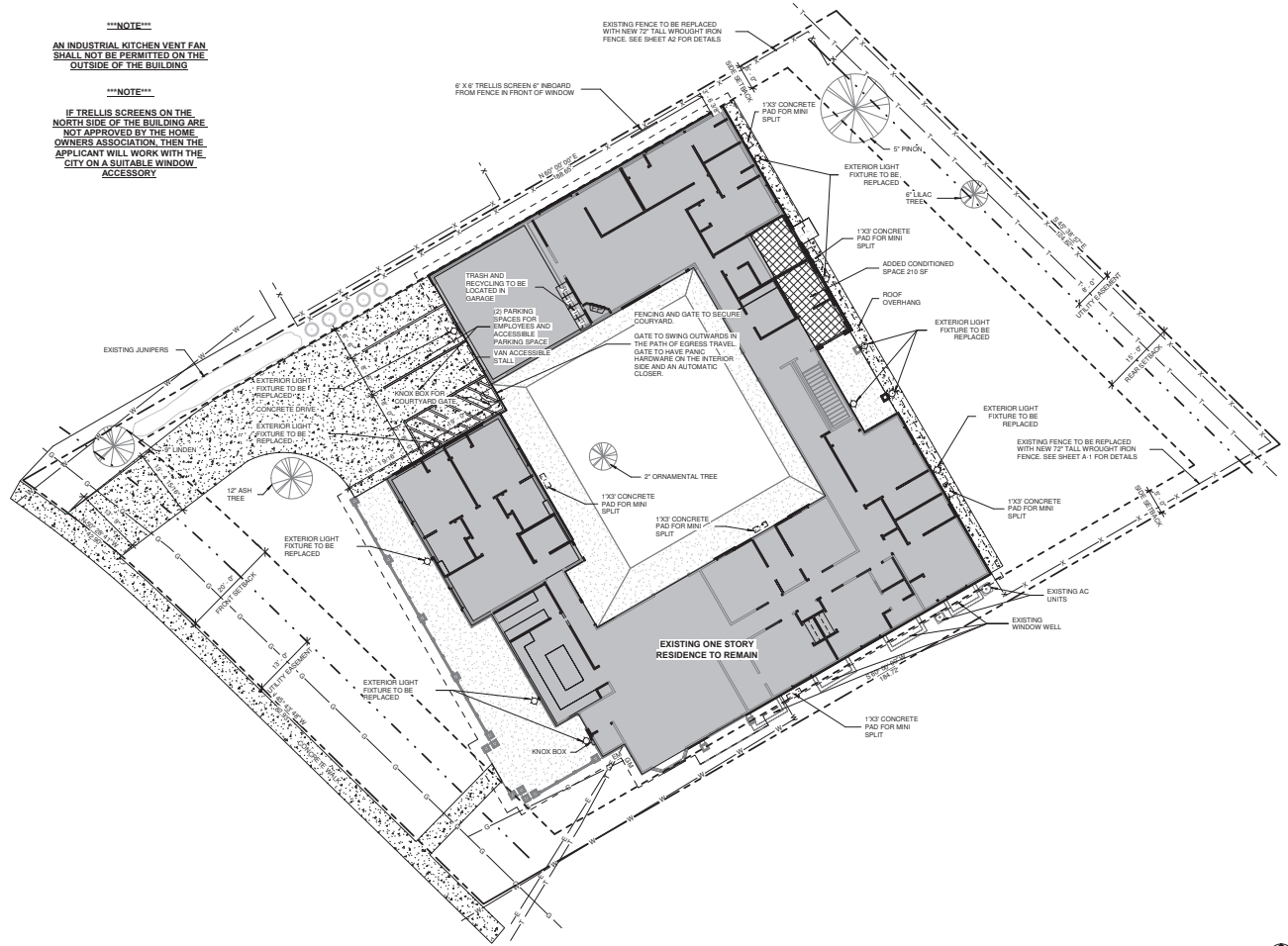
- AND STRIPING RELATED TO DIRECTING TRAFFIC ACCESS TO AND FROM THE DEVELOPMENT:
- THESE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THESE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.
 - THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
 - THE DEVELOPER SHALL HAVE ON-SITE AT ALL TIMES, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
 - IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES. UPON COMPLETION OF THE WORK, THE CONTRACTORS SHALL SUBMIT RECORD DRAWINGS TO THE LOCAL ENTITY ENGINEER.
 - THE DESIGNER SHALL PROVIDE, IN THIS LOCATION ON THE PLAN, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARK(S) FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS. THE INFORMATION SHALL BE AS FOLLOWS:
 BENCHMARK #6-96
 ELEVATION: 4399.14'
 - PLEASE NOTE: THIS PLAN SET IS USING NAVD83 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NAVD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.
 IF NAVD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NAVD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.8X'
 ALL STATIONS IS BASED ON CENTERLINE (OW LINE) (PEREY PROPER WORK) OF ROADWAY UNLESS OTHERWISE NOTED.
 - DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, UTILITIES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS, PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
 - WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
 - STANDARD HANDICAP RAMPAS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
 - AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS SPECIFIED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIALS AND WORKMANSHIP DEFECTS FOR A MINIMUM PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.
 - THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTINENT IMPROVEMENTS, INCLUDING STORM DRAINAGE STRUCTURES AND PIPES, FOR THE FOLLOWING PRIVATE STREETS (LIST):
 - APPROVED VARIANCES ARE LISTED AS FOLLOWS: (PLAN SET MUST HAVE A LIST OF ALL APPLICABLE VARIANCES FOR THE PROJECT)

- WATERLINE NOTE:**
- THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.

NOT FOR CONSTRUCTION

NOTE
AN INDUSTRIAL KITCHEN VENT FAN SHALL NOT BE PERMITTED ON THE OUTSIDE OF THE BUILDING

NOTE
IF TRELLIS SCREENS ON THE NORTH SIDE OF THE BUILDING ARE NOT APPROVED BY THE HOME OWNERS ASSOCIATION, THEN THE APPLICANT WILL WORK WITH THE CITY ON A SUITABLE WINDOW ACCESSORY



- EXTERIOR WALL MOUNTED LIGHT FIXTURE
- EXISTING CONCRETE
- EM ELECTRIC METER
- GM GAS METER
- T TELEPHONE LINE
- E ELECTRIC LINE
- W WATER LINE
- G GAS LINE
- X FENCE
- EASEMENT
- SETBACK
- PROPERTY LINE

SITE PLAN LEGEND

1 SITE PLAN - NEW
 1" = 10'-0"



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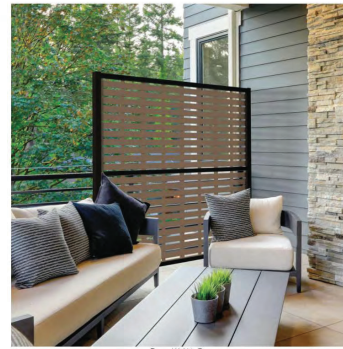
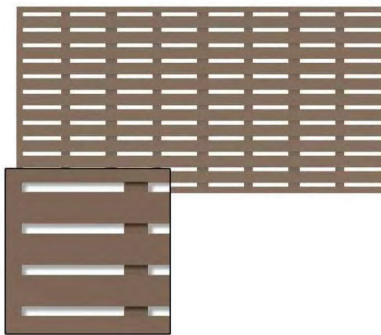
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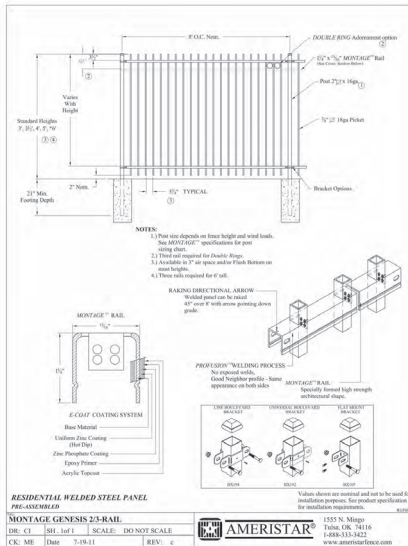
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 SITE PLAN

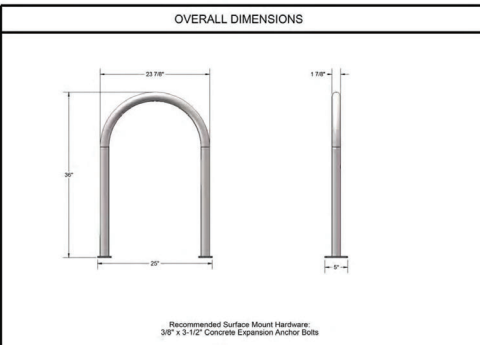
Barrette Outdoor Living (Brand Rating: 4.1/5)
3 ft. x 6 ft. Boardwalk Saddle Vinyl Decorative Screen Panel



TRELLIS DETAILS



NEW EXTERIOR FENCE DETAILS



U BIKE RACK DETAILS

VON DUPRIN
Pool exit hardware
Featuring 90-902C exit device

Overview
Openings beyond the interior often have additional functional requirements that go beyond the need of standard door hardware. Von Duprin offers the safety of panic hardware for pool enclosures, tested to withstand corrosive elements typically used in outdoor pool environments. Both the device and trim are built with weather resistant components that can withstand the harsh conditions of various climates.

Understanding that hardware solutions need to be flexible and configurable, the Von Duprin 90-902C with 7025 trim is designed to meet the very specific needs of outdoor pool areas. Engineered to fit standard walls, the 90-902C device can be mounted on either ANGI (standard height), while the 2525 trim is mounted at least 1/4" from finished floor or concrete. Gate poles must have a least 2" wide with 2" depth for steel installation.

Compliance

- Listed with UL for panic and hardware (UL 205)
- Certified to ANSI (SMA 106.2.2014), CPAN 1
- Meets International Building Code for pool enclosures
- Compliant to ADA 1003.1.9 door operations

Features and benefits

- Patent pending design built to meet code requirements for pool enclosures
- Weather-resistant components ideal for outdoor applications
- Easy installation and maintenance
- Simple to operate
- UL listed for panic exit hardware (UL 205)

About Allegion
Allegion (NYSE: ALLE) is a global pioneer in safety and security, with leading brands like CISA® InterSec®, LCN®, Schlage®, Simonsson® and Von Duprin®. Focusing on security around the globe and adjacent areas, Allegion produces a range of solutions for homes, businesses, schools and other institutions. Allegion is a \$3 billion company, with products sold in almost 100 countries. For more, visit www.allegion.com.

800-276-2121
allegion.com

COURTYARD GATE DETAILS

BEFRUGAL
LAMPS PLUS
Outdoor Lighting / Deck Box / Style # 33412

Possini Euro Rafter 5 1/2" High Black Modern LED Outdoor Wall Light

\$79.99
Comparable Value \$75**

FREE SHIPPING & FREE RETURNS**
SHIPS TODAY! (orders by 2 PM Mountain)

ADD TO CART SAVE

Check Stock Availability | Open Box Available

PRODUCT DETAILS
Refresh the refined and contemporary style outside your home with this Rafter energy-efficient LED down light outdoor wall light.

Additional Info:
The discreet design of this Rafter energy-efficient LED down light outdoor wall light by Possini Euro Design® is made to help accommodate the look and feel of any home. The textured back finish is neutral to blend in with the backdrop if it is used in. The down light creates an attractive light to enhance the environment near your home.

- 6" wide x 5 1/2" high. Extends 6" from the wall. Backplate is 6" wide x 5 1/2" high. Weighs 1.3 lbs.
- Built-in 13 watt LED module has a light output comparable to a 75 watt incandescent. 150 lumens. 3000K color temperature. 85 CRI.
- Modern LED down light by Possini Euro Design® brand. Wet location rated for outdoor use.
- Textured black finish steel frame.
- A Dark Sky compliant design. Can only be installed with the light facing down as shown.

Shop all Possini Euro Design

EXTERIOR LIGHT FIXTURE DETAILS

ALLEGION

Specifications

Brand/series	W.L.L. 40
Design	LD - Low Design
Dimensions	8' x 6'
Center case dimensions	8' x 2 1/2" x 12 1/2" (253mm x 318mm x 318mm)
Maximum case dimension	2 1/2" x 2 1/2" (63mm x 63mm)
Trim	2525, 2525-LR
Lock bolt	Double-bolt, 1/2" (13mm) throw
Trim	2525, 2525-LR
Stroke	850 cycle steel
Finish	Electrocoat, 100% PVC
Options	Wet, Wipe-Resistant

How to order

1. Design: LD (Low Design) only
2. Dimensions: 80 902C
3. Function: W.L.L. 40
4. Finish: UL205 100
5. Dimensions: 2 1/2" x 2 1/2" (63mm x 63mm)
6. Hardware: 800, LCB
7. Trim: 2525-LR (Low Design)
8. Line style: 08 (standard default) 09
9. Optional: W (Wipe Resistant)

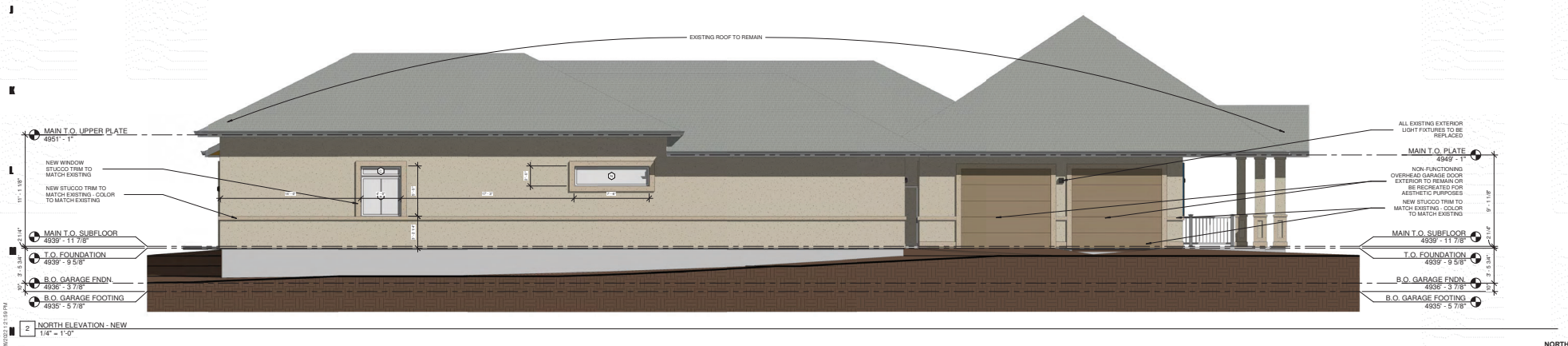
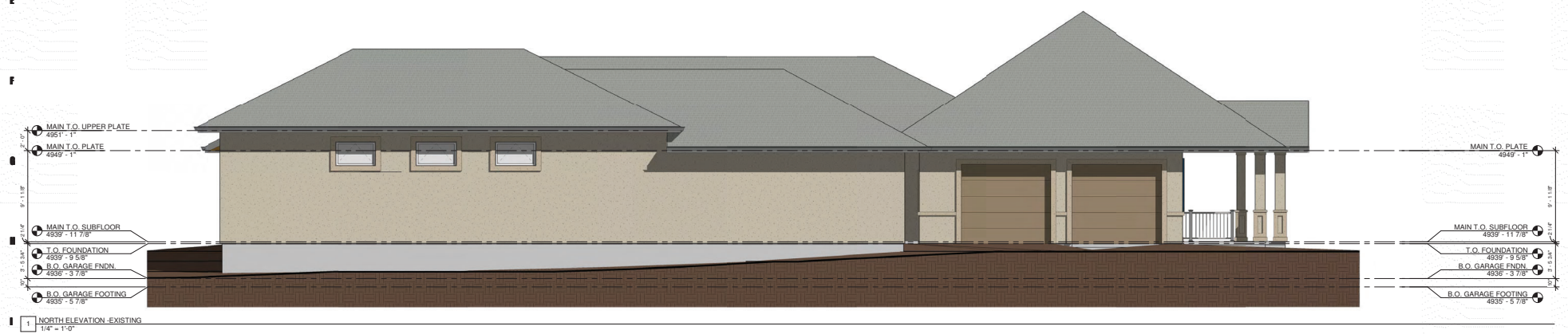
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B																	
C																	
D																	
E																	

NOTE
 ALL MATERIAL COLORS ARE TO MATCH EXISTING COLORS TO THE BEST OF THE CONTRACTOR'S ABILITY

STUCCO 3 COAT STUCCO COLOR: TAN RGB: 229, 206, 174	CMU WALL PAINTED CMU COLOR: LIGHT BROWN RGB: 191, 176, 155	DOOR AND WINDOW TRIM VIB STUCCO WRAPPED COLOR: LIGHT BROWN RGB: 191, 176, 155	ROOF FASCIA PAINTED HARDIE TRIM BOARD 4x4 COLOR: GRAY RGB: 238, 238, 234	ROOF SOFFIT PAINTED HARDIE FIBER CEMENT SOFFIT COLOR: GRAY RGB: 238, 238, 234	GUTTER AND DOWNSPOUT PAINTED ALUMINUM COLOR: GRAY RGB: 238, 238, 234
WINDOW FRAMES VINYL CLAD COLOR: WHITE RGB: 255, 255, 255	DOOR FRAMES WOOD CLAD COLOR: WHITE RGB: 255, 255, 255	ROOF SHINGLES ASPHALT ARCHITECTURAL ROOF SHINGLES COLOR: GREY RGB: 147, 151, 145	GARAGE DOOR PAINT COLOR: BROWN RGB: 147, 128, 105		

MATERIAL SWATCH LEGEND



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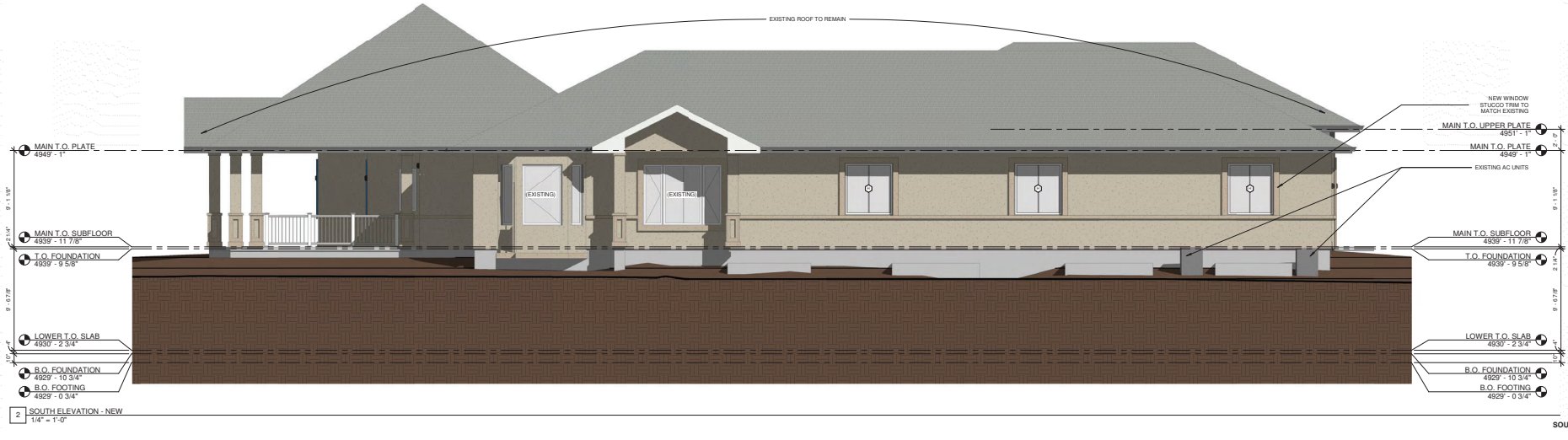
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NOTE
ALL MATERIAL COLORS ARE TO MATCH EXISTING COLORS TO THE BEST OF THE CONTRACTOR'S ABILITY

STUCCO 3 COAT STUCCO COLOR: TAN P&B: 226, 226, 174	CMU WALL PAINTED CMU COLOR: LIGHT BROWN P&B: 191, 176, 155	DOOR AND WINDOW TRIM 1X6 STUCCO WRAPPED COLOR: LIGHT BROWN P&B: 191, 176, 155	ROOF FASCIA PAINTED HARDIE TRIM BOARD 4x4 COLOR: GRAY P&B: 236, 236, 234	ROOF SOFFIT PAINTED HARDIE FIBER CEMENT SOFFIT COLOR: GRAY P&B: 236, 236, 234	GUTTER AND DOWNSPOUT PAINTED ALUMINUM COLOR: GRAY P&B: 236, 236, 234
WINDOW FRAMES VINYL CLAD COLOR: WHITE P&B: 251, 251, 250	DOOR FRAMES WOOD CLAD COLOR: WHITE P&B: 250, 250, 250	ROOF SHINGLES ASPHALT ARCHITECTURAL ROOF SHINGLES COLOR: GREY P&B: 147, 151, 145	GARAGE DOOR PAINT COLOR: BROWN P&B: 147, 126, 115		

MATERIAL SWATCH LEGEND



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








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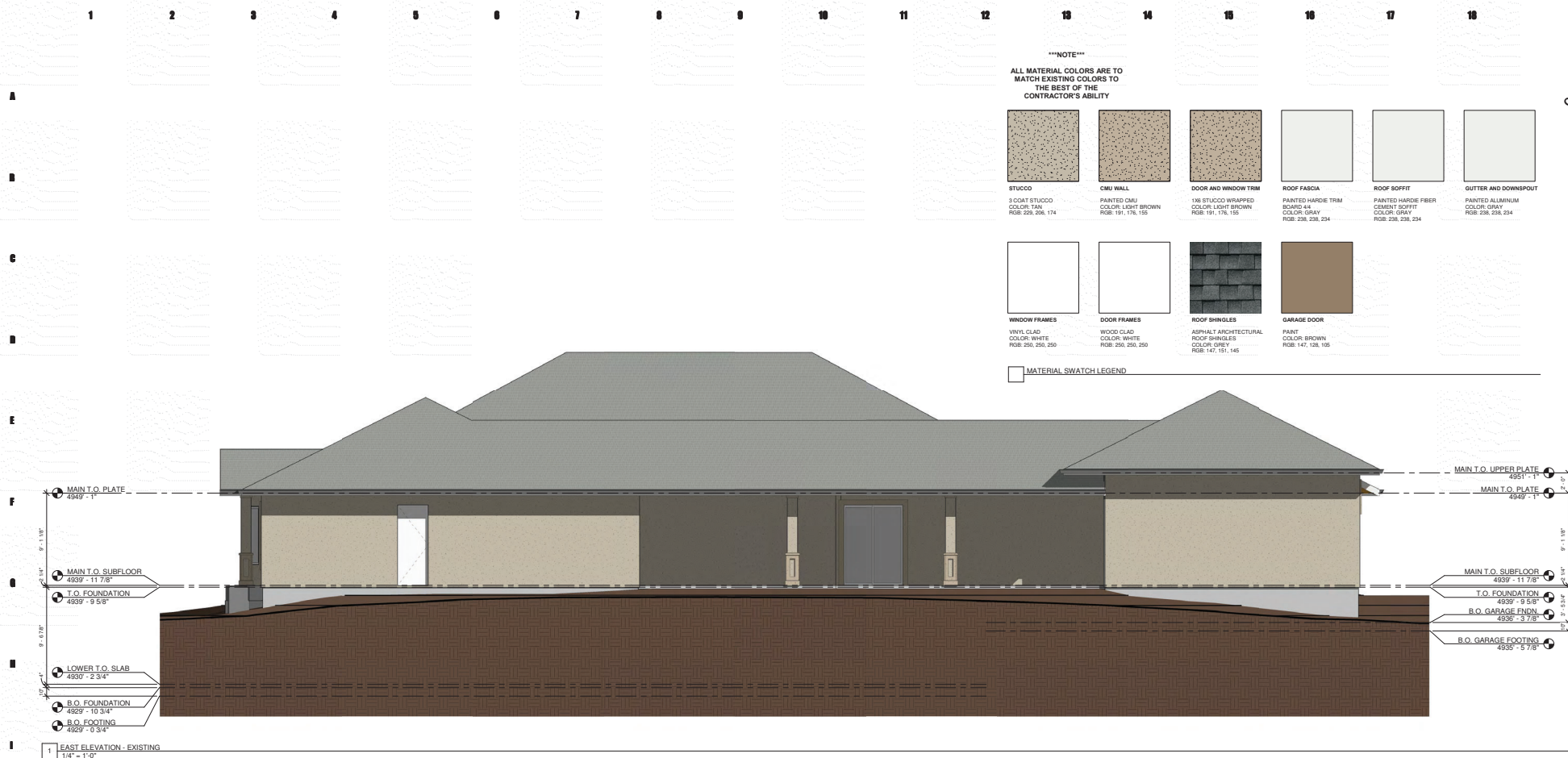
A-3

SOUTH ELEVATION

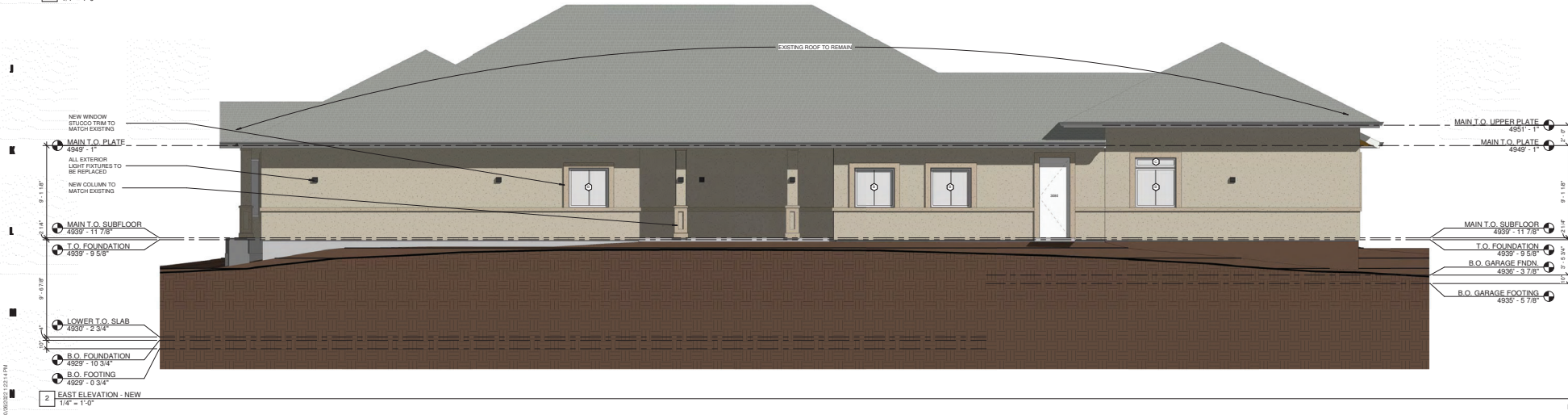
NOTE
ALL MATERIAL COLORS ARE TO MATCH EXISTING COLORS TO THE BEST OF THE CONTRACTOR'S ABILITY

 STUCCO 3 COAT STUCCO COLOR: TAN RGB: 225, 206, 174	 PAINTED CMU COLOR: LIGHT BROWN RGB: 191, 175, 155	 DOOR AND WINDOW TRIM 1X6 STUCCO WRAPPED COLOR: LIGHT BROWN RGB: 191, 175, 155	 ROOF FASCIA PAINTED HARDIE TRIM BEAMS #4 COLOR: GRAY RGB: 238, 238, 234	 ROOF SOFFIT PAINTED HARDIE FIBER CEMENT SOFFIT COLOR: GRAY RGB: 238, 238, 234	 GUTTER AND DOWNSPOUT PAINTED ALUMINUM COLOR: GRAY RGB: 238, 238, 234
 WINDOW FRAMES VINYL CLAD COLOR: WHITE RGB: 255, 255, 255	 DOOR FRAMES WOOD CLAD COLOR: WHITE RGB: 255, 255, 255	 ROOF SHINGLES ASPHALT ARCHITECTURAL ROOF SHINGLES COLOR: GREY RGB: 147, 151, 145	 GARAGE DOOR PAINT COLOR: BROWN RGB: 147, 128, 105		

MATERIAL SWATCH LEGEND







1 EAST ELEVATION - EXISTING
1/4" = 1'-0"



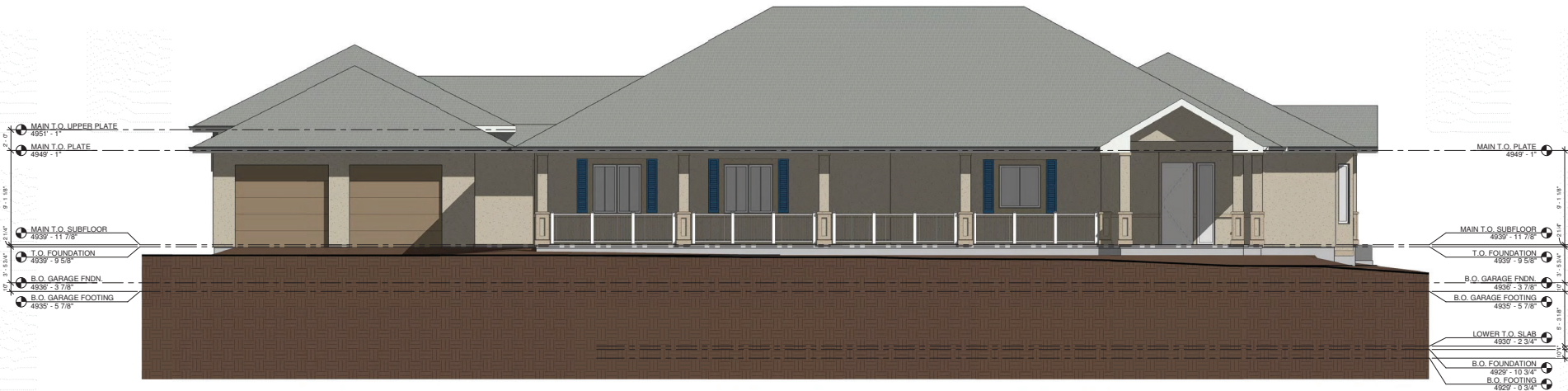
2 EAST ELEVATION - NEW
1/4" = 1'-0"

NOTE

ALL MATERIAL COLORS ARE TO MATCH EXISTING COLORS TO THE BEST OF THE CONTRACTOR'S ABILITY

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 WINDOW FRAMES VINYL CLAD COLOR: WHITE RGB: 250, 250, 250	 DOOR FRAMES WOOD CLAD COLOR: WHITE RGB: 250, 250, 250	 ROOF SHINGLES ASPHALT ARCHITECTURAL ROOF SHINGLES COLOR: GREY RGB: 147, 151, 145	 GARAGE DOOR PAINT COLOR: BROWN RGB: 147, 128, 155		

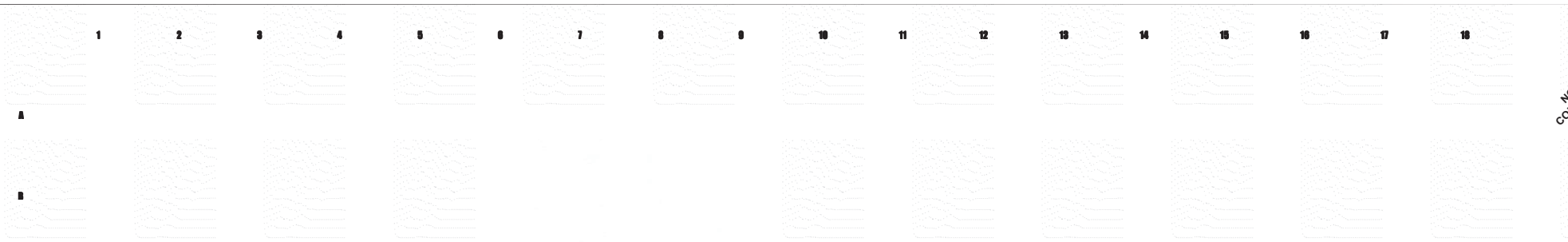
MATERIAL SWATCH LEGEND



1 WEST ELEVATION - EXISTING
1/4" = 1'-0"



2 WEST ELEVATION - NEW
1/4" = 1'-0"

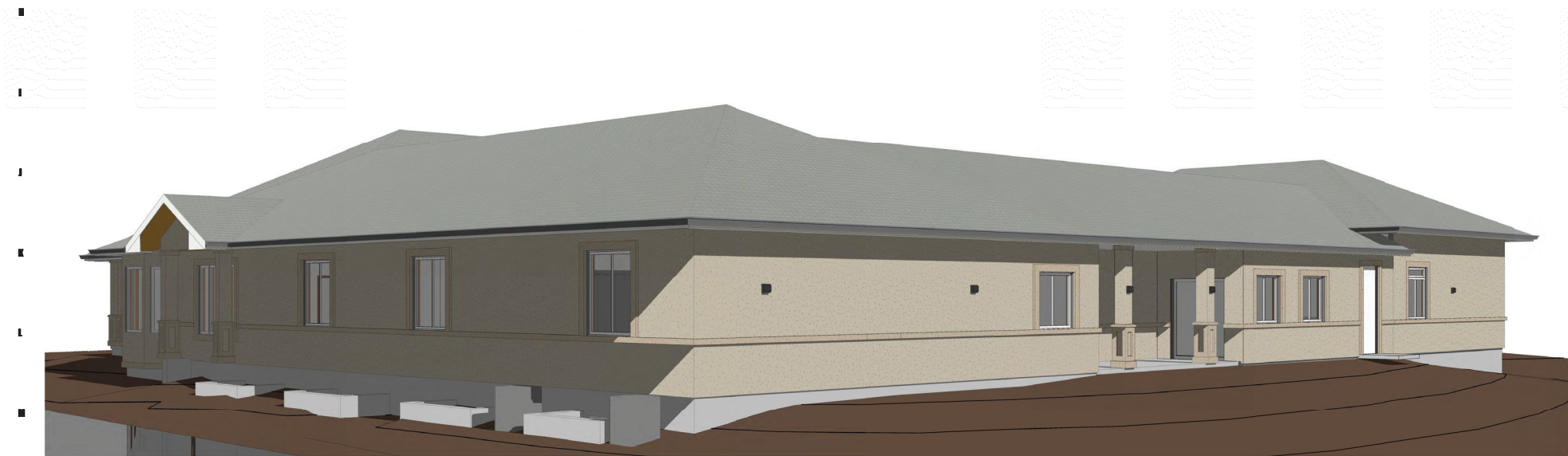


A-6
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1 EXTERIOR PERSPECTIVE - SOUTHWEST

F9



2 EXTERIOR PERSPECTIVE - SOUTHEAST

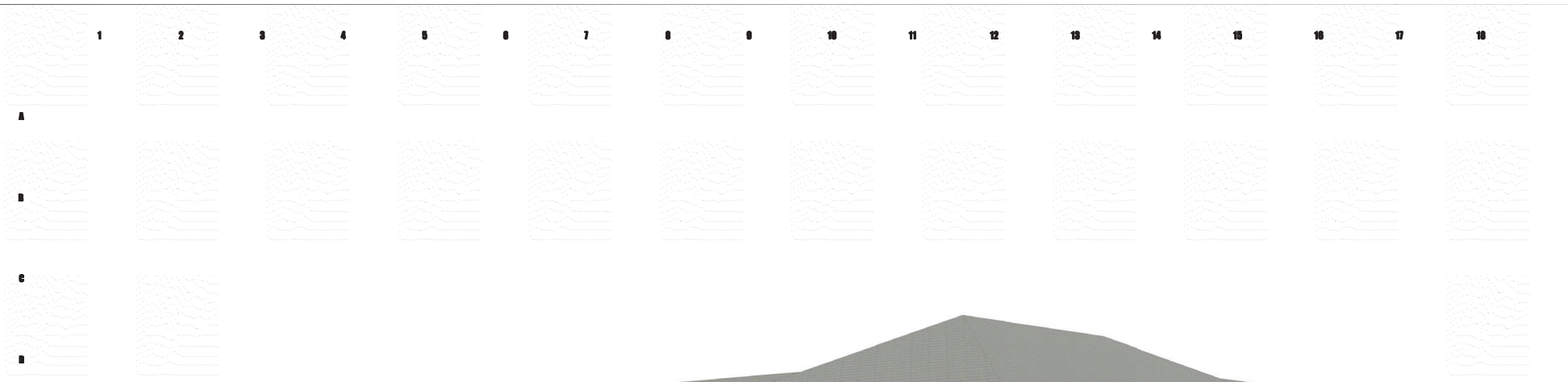
ISSUE NUMBER 201112
TIME STAMP 10/10/2021 12:39 PM

CASTLE RIDGE GROUP HOME
10000 Castle Ridge Blvd
Fort Collins, Colorado 98525

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A-6

EXTERIOR PERSPECTIVES



A-7
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1 EXTERIOR PERSPECTIVE - NORTHEAST

F9

ISSUE NUMBER 2011.02
TIME STAMP 1/27/2025 12:46 PM



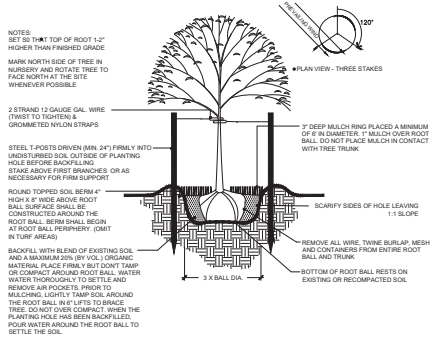
2 EXTERIOR PERSPECTIVE - NORTHWEST

CASTLE RIDGE GROUP HOME
Fort Collins, Colorado 98525

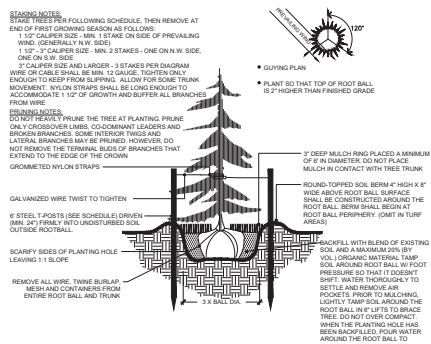
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A-7

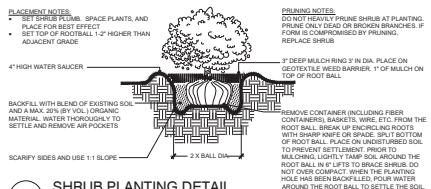
EXTERIOR PERSPECTIVES



1 TREE PLANTING DETAIL - STEEL POSTS
SCALE: NTS L-PL2-PLA-12



2 CONIFER TREE PLANTING DETAIL - STEEL POSTS
SCALE: NTS L-PL2-PLA-01



3 SHRUB PLANTING DETAIL
SCALE: NTS L-PL2-PLA-14

TREE MITIGATION LEGEND



EXISTING TREES TO SAVE IN PLACE

MITIGATION SIZING CHART

TYPE	MINIMUM SIZE
CANOPY SHADE TREE	2" DB CALIPER AND 8'8" OR EQUIVALENT
EVERGREEN TREE	8" DB HEIGHT AND 8"8" OR EQUIVALENT
ORNAMENTAL TREE	2" DB CALIPER AND 8'8" OR EQUIVALENT

TREE MITIGATION NOTES

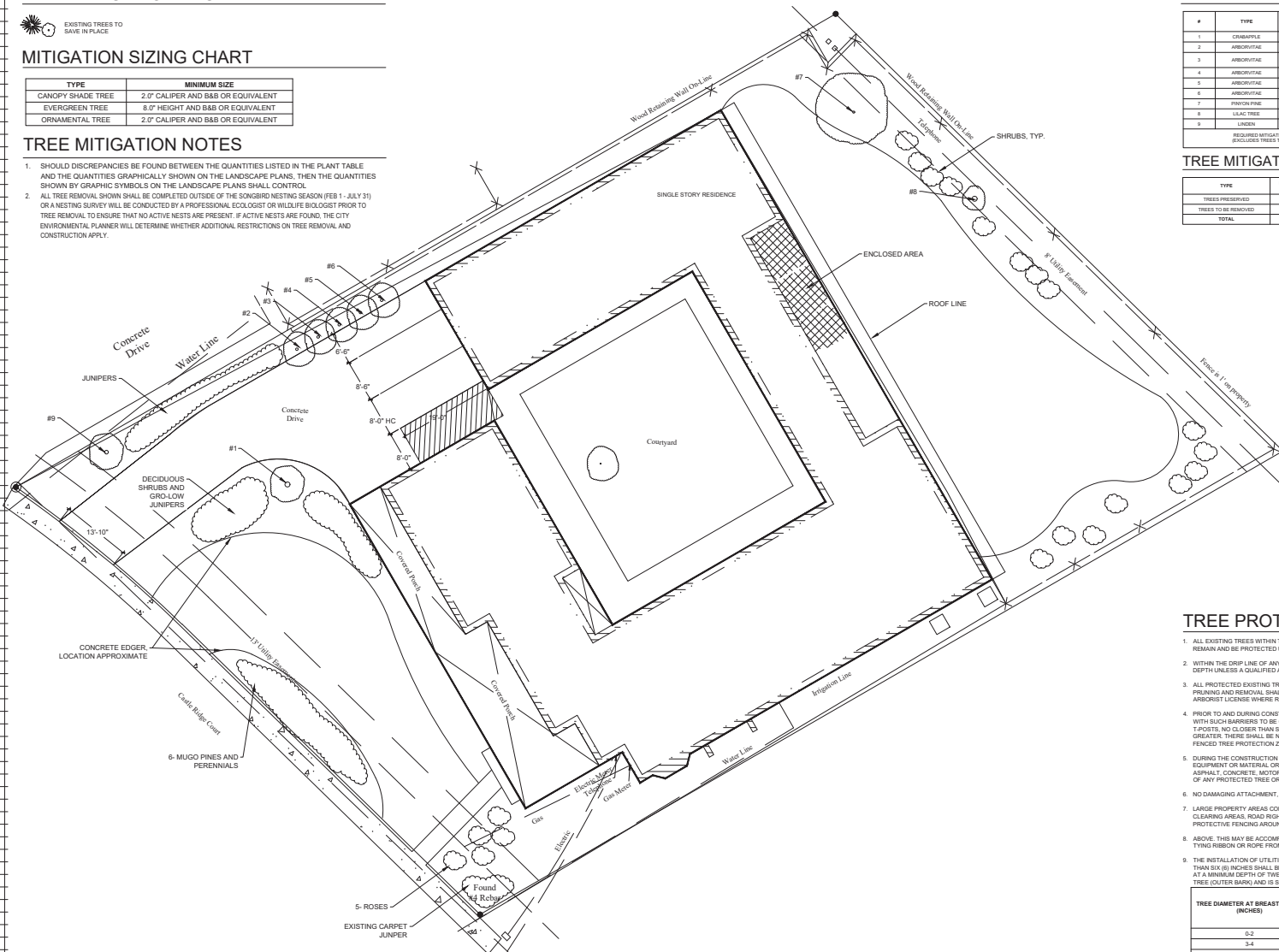
- SHOULD DISCREPANCIES BE FOUND BETWEEN THE QUANTITIES LISTED IN THE PLANT TABLE AND THE QUANTITIES GRAPHICALLY SHOWN ON THE LANDSCAPE PLANS, THEN THE QUANTITIES SHOWN BY GRAPHIC SYMBOLS ON THE LANDSCAPE PLANS SHALL CONTROL.
- ALL TREE REMOVAL SHALL BE COMPLETED OUTSIDE OF THE SONGBIRD NESTING SEASON (FEB 1 - JULY 31) OR A NESTING SURVEY WILL BE CONDUCTED BY A PROFESSIONAL ECOLOGIST OR WILDLIFE BIOLOGIST PRIOR TO TREE REMOVAL TO ENSURE THAT NO ACTIVE NESTS ARE PRESENT. IF ACTIVE NESTS ARE FOUND, THE CITY ENVIRONMENTAL PLANNER WILL DETERMINE WHETHER ADDITIONAL RESTRICTIONS ON TREE REMOVAL AND CONSTRUCTION APPLY.

TREE MITIGATION LEGEND

#	TYPE	DBH	CONDITION	MITIGATION	PRESERVE OR REMOVE	REASON FOR REMOVAL
1	CORNFLEAF	11"	FAIR	1.5	PRESERVE	
2	ARBORVITAE	7"	FAIR +	1.5	PRESERVE	
3	ARBORVITAE	8"	FAIR +	1.5	PRESERVE	
4	ARBORVITAE	7"	FAIR +	1.5	PRESERVE	
5	ARBORVITAE	7"	FAIR +	1	PRESERVE	
6	ARBORVITAE	7"	FAIR +	1	PRESERVE	
7	PIYON PINE	3.5	FAIR	1	PRESERVE	
8	LLAC TREE	6"	FAIR	1	PRESERVE	
9	UNIDEN	7"	FAIR +	1	PRESERVE	
REQUIRED MITIGATION TREES (EXCLUDES TREES TO REMAIN)					0	

TREE MITIGATION SUMMARY

TYPE	MITIGATION COUNT	REQUIRED MITIGATION TREE COUNT
TREES PRESERVED	9	0
TREES TO BE REMOVED	5	0.05
TOTAL	9	0.05

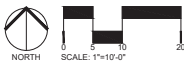


TREE PROTECTION NOTES

- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERRECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL, SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "BROWSED OFF" RATHER THAN ERRECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (3)(3).
- ABOVE THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING FIBER OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREST HEIGHT AS DESCRIBED IN THE CHART BELOW:

TREE DIAMETER AT BREST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
OVER 19	15

- ALL TREE REMOVAL, SHOWN SHALL BE COMPLETED OUTSIDE OF THE SONGBIRD NESTING SEASON (FEB 1 - JULY 31) OR CONDUCT A SURVEY OF TREES ENSURING NO ACTIVE NESTS IN THE AREA.




8/20/21 Possini Euro Ratner 5 1/2" High Black Modern LED Outdoor Wall Light - (E2443) Lamp, Fix

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SEARCH SALE WISHLIST CART

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PRODUCT DETAILS

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Additional Info:

- 6" wide x 5 1/2" high. Extends 6" from the wall. Squares to 6" wide x 5 1/2" high. Weighs 1.3 lbs.
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- Modern LED down light by the Possini Euro Design® brand. Wet location rated for outdoor use.
- Textured back finish steel frame.
- A Dark Sky compliant design. Can only be installed with the light facing down as shown.

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EXTERIOR LIGHT FIXTURE DETAILS



ILLUMINATION ZONE

AVERAGE : 0.8fc
MAXIMUM : 12.6fc

LIGHTING SCHEDULE:

MANUFACTURER	MODEL	QUANTITY	LUMENS	WATTAGE	TEMP
POSSINI EURO	RATNER	10	1150	13	3K

Plan View
Scale - 1" = 8ft



Current Engineering
Tom Schirmer, PE Principal
720.891.7710
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Fax: 303-652-5859

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PH: 303.775.7400 | F: 303.658.9846
EMAIL: MAIL@P9PRODUCTIONS.COM

CASTLE RIDGE GROUP HOME
636 Castle Ridge Ct.
Fort Collins, Colorado 80525

JOB NO.	1
DRAWN BY	DP
APPROVED BY	TJS
NO.	1
DATE	09-05-22
DESCRIPTION	SUBMITTAL DOCUMENTS
SHEET TITLE:	

LIGHTING PLAN & PHOTOMETRIC

E1.00

<u>Service</u>	<u>Schedule</u>	<u>Description</u>	<u>Mitigation</u>	<u>Impact to Local Traffic and Parking</u>
Staff	3 shifts (6:50 AM - 3:10 PM), (2:50 PM - 11:10 PM), (10:50 PM - 7:10 AM) 7 days/week	Zero to two single passenger vehicles. Scheduled shift start times are off-set to better accommodate local traffic patterns	<p>To mitigate traffic congestion during shift changes, this home shall implement both a parking plan and offer monetary incentives for multimodal and carpooling transit options. Strategies to be implemented include 1) last mile carpooling from Fossil Creek Park; 2) public transit and multimodal transit (bicycle, scooter, etc) options; 3) utilization off off-site public parking</p> <p>Werner Elementary starts at 8:50 AM and lets out at 3:28 PM. Start times for morning shift (2 caregivers) will be staggered at 10 minute intervals starting at 6:50 AM. There will be no conflict with traffic for school drop off or pedestrian students. The evening shift (2 caregivers) will be staggered at 10 minute intervals starting at 2:50 PM There will be minimal conflict with any school traffic picking up students and no conflict with pedestrian students. The night shift (1 caregiver) starts at 10:50 PM and there should be no conflicts with traffic or pedestrians.</p> <p>Parking conflicts between morning and afternoon shifts will be minimal. There is sufficient onsite and street parking to accommodate the change of shifts in a staggered fashion with inclement weather.</p>	Moderate to minimal depending on carpooling, use of multimodal transit options, and weather.
Visitors	Visitation can occur at any time but 9:00 AM - 6:00 PM 7 days/week are the encouraged visitation hours.	Single passenger vehicle.	<p>There is a natural increase in number of visits when a client first arrives at a new home by either local friends or family. There is also a variation of visitation relative to the local weather. On average it is expected that there will be 1 visitor per client per week. These visits are generally 15 to 45 minutes in length. Parking and traffic mitigation will also occur through the use of a third party parking application. This will maximize off street parking and minimize parking conflicts during shift changes. By pro-actively working with a clients family and friends to plan for when visitation occurs and where to park we can spread out traffic impacts and mitigate large clusters of visitors at any one time.</p>	Moderate
Physician Services	1.5 hours/every other week	Single passenger vehicle, morning visits.	Coordinate arrival and departure with other vendors and visitors	Minimal
Physical Therapy	2 hours/week	Single passenger vehicle, morning visits limited to 4-6 total visits per client depending on insurance and/or ongoing issues. Clients at this home will be ambulatory to start and ongoing PT services after the initial evaluation should be limited.	Coordinate arrival and departure with other vendors and visitors	Minimal
Occupational Therapy	< 1 hour/week	Single passenger vehicle, morning visits limited to 4-6 total visits per client depending on insurance and/or ongoing issues. Clients at this home will have limited OT needs after the initial evaluation.	Coordinate arrival and departure with other vendors and visitors	Minimal

<u>Service</u>	<u>Schedule</u>	<u>Description</u>	<u>Mitigation</u>	<u>Impact to Local Traffic and Parking</u>
Trash	5 minutes/week	Standard residential trash service with 95-gallon containers x 3.	No mitigation needed.	None
Recycling	5 minutes/week	Standard residential recycling service with 95-gallon containers x 1.	No mitigation needed.	None
Medical Waste Disposal	None	Blister packs and pill bottles will be recycled at local pharmacy or hospital pharmacy.	No mitigation needed	None
Entertainment	2 hours/month x 2 PM - 8:00 PM)	(6:00 Single passenger vehicle. This vendor would be the only scheduled visitor outside of normal visitation hours. This would most commonly be a musician.	Coordinate arrival and departure with other vendors and visitors	Minimal
Pet Therapy	2 hours/month	Single passenger vehicle	Coordinate arrival and departure with other vendors and visitors	Minimal
Massages	3 hours/every other week	Single passenger vehicle	Coordinate arrival and departure with other vendors and visitors	Minimal
Haircuts	4 hours/month	Single passenger vehicle	Coordinate arrival and departure with other vendors and visitors	Minimal
Outings	2 hours/month	Multi-passenger van	Outings will be no more than 5 clients at a time. Transportation will be with a rental van. No van or similar large vehicle will be kept onsite. Loading and unloading of clients will occur in the driveway.	Minimal
Hospice	Unknown	Delivery vehicle + single passenger vehicles. Hospice care is highly variable in terms of frequency, length of service required, and acuity of care. In terms of traffic impacts there is a single delivery of a hospital type bed, incontinence supplies, etc., via the driveway and central courtyard doors. Hospice services include a nurse case manager, CNA, social worker, and chaplain . Length of visitation can range from range from 15 minutes once/week to > one hour at end of life.	Coordinate arrival and departure with other vendors and visitors	Moderate to Minimal
Food Delivery	30 minutes/week	Single passenger vehicle. We plan to purchase our own food so there will be no delivery service. Food will be transported in a standard car and be unloaded via the driveway through the front door of the house.	No mitigation needed	Minimal
House Keeping	6 hours/week	Single passenger vehicle, morning arrival	Coordinate arrival and departure with other vendors and visitors	Minimal

<u>Service</u>	<u>Schedule</u>	<u>Description</u>	<u>Mitigation</u>	<u>Impact to Local Traffic and Parking</u>
Lawn Maintenance	2 hours/every other week	Single passenger vehicle, possible trailer	Coordinate arrival and departure with other vendors and visitors.	Minimal
General Maintenance	2 hours/week	Single passenger vehicle	Coordinate arrival and departure with other vendors and visitors.	Minimal
Snow Removal	As Needed	Single passenger vehicle, possible trailer	No mitigation needed	
Laundry	Not Applicable	All laundry will be done on site.	No mitigation needed	None
Medication Delivery	5 minutes/week	Single passenger vehicle. Medication deliveries typically occur at night between 8:00 PM and 9:00 PM.	None	Minimal
Emergency Medical Services	Unknown. Less than 30 minutes on site if called.	Fire truck and/or ambulance. EMS calls fall into two general categories. Acute medical emergencies (heart attack, stroke, etc.) and acute non-medical incidents (falls).	EMS entities can be asked to use neither sirens or flashing lights for calls to this home. This is a common practice among even among larger assisted living facilities that are within residential neighborhoods. This home is also able to leverage its technological assets to allow for telemedicine evaluation of residents who fall. This should further mitigate the need for EMS calls.	Moderate to Minimal
Holidays	To Be Determined	Certain holidays have a potential natural increase in visitation numbers (Mother's Day, Father's day, Christmas).	This home can communicate well ahead of time to family and friends that for certain holidays we need a hard count of potential visitors. For warm weather holidays we would plan for off-site events at local park shelters to accommodate a larger number of visitors if needed. For cold weather holidays an off-site event is one option. Another option being a series of smaller event weekend events around a given holiday to spread out the traffic and parking pressures on the neighborhood.	Moderate to Minimal
Clergy/Spiritual Services	1 hour/2 months	Single passenger vehicle. In person visitation for this client population is rare outside of end of life visitation.	Coordinate arrival and departure with other vendors and visitors.	Minimal
Administrator	2-4 hours/week	Single passenger vehicle	Coordinate arrival and departure with other vendors and visitors.	Minimal
Medical Transportation (non-emergent)	As Needed	Single passenger vehicle. Unless prearranged this is the responsibility of the clients family or friends. Clients with extensive medical needs would not fall under the licensing guidelines for this home.	Coordinate scheduling with family	Minimal
Funeral Home Services	30 minutes	Single passenger van	No mitigation needed	Minimal
Coroner	30 minutes	Single passenger vehicle	No mitigation needed	Minimal

DELICH ASSOCIATES Traffic & Transportation Engineering

2272 Glen Haven Drive Loveland, Colorado 80538
Phone: (970) 669-2061 Fax: (970) 669-5034



MEMORANDUM

TO: C. Eric Shenk, M.D.
Alex Gresh, F9 Productions
Nicole Hahn, Fort Collins Traffic Operations

FROM: Matt Delich

DATE: August 31, 2022

SUBJECT: Residential Assisted Living Home at 636 Castle Ridge Court Traffic Impact Study (File: 2118ME02)



A change of use is proposed in the single family home at 636 Castle Ridge Court in Fort Collins. A previous traffic impact study memorandum (dated May 13, 2021) was prepared with 16 beds in this facility. The proposal is now for 10 beds in this facility. Castle Ridge Court is classified as a Local Street on the Fort Collins Master Street Plan. It has a two-lane cross section (not striped) with on-street parking. There are sidewalks along Castle Ridge Court. Castle Ridge Court intersects with Highcastle Drive to the east. Highcastle Drive is classified as a 2-Lane Collector Street. The site plan is provided. There is a driveway that accesses garages on the northwest side of the house. The following comment was provided in the Concept Review letter for this proposal: *"We will need the applicant to provide us with a letter or memo detailing the anticipated traffic they can expect on a daily basis at this site. Please include hours of operation, number of staff, deliveries, and expected daily guests. This will allow us to determine if a more thorough evaluation, or Traffic Impact Study, will be needed."* Since the trip generation is expected to be low, a memorandum documenting compliance with the **Larimer County Urban Area Street Standards (LCUASS)**, 4.2.2E – No TIS Required, was prepared.

The existing house is a single family residence. **Trip Generation, 11th Edition**, ITE was used as the reference document in calculating the trip generation for the existing and the proposed land uses in these analyses. The existing house is large with a four car garage. The house is currently occupied. Given its size, it is reasonable to expect that this home would have multiple drivers and have vehicles in 3 or 4 of the garage spaces. Since number of residents is a trip generation variable, with a high trip generation correlation, it was used in the trip generation calculation, along with the dwelling unit variable. For the trip generation analysis, the dwelling unit variable and the number of residents variable (4 residents) were used. The average daily and peak hour trip generation was calculated as shown in Table 1. The calculated trip generation for the existing house: 10 daily trip ends, 1 morning peak hour trip end, and 1 afternoon peak hour trip end.

The proposed residential assisted living home will have 10 beds. There will be five employees: two on the day and evening 8-hour shifts and one on the night 8-hour shift. To be conservative, it was assumed that shift changes occurred during the peak hours. According to information provided, visitors will be required to make appointments to limit/monitor this travel aspect. Assisted Living (Code 254), with both floor area and number of employees as the trip generation variables, were used to calculate the trip generation. Table 2 shows the trip generation for the proposed residential assisted living home. The average calculated trip generation for the proposed use is: 24 daily trip ends, 2 morning peak hour trips ends, and 2 afternoon peak hour trip ends.

The following addresses each of the items in **LCUASS**, 4.2.2E - No TIS Required (Fort Collins Criteria): 1. The peak hour trip generation will be 24 daily trip ends, 2 morning peak hour trip ends, and 2 afternoon peak hour trip ends. However, the difference (net increase) in traffic, compared to the single family residential unit, will be: 14 more daily trip ends, 1 more morning peak hour trip end, and 1 more afternoon peak hour trip end; 2. No additional accesses are proposed; 3. This is a redevelopment; 4. The primary mode of travel for employees and visitors will be by private automobile; 5. The land use will not likely cause less than acceptable level of service on the adjacent streets and intersections; 6. There is no known significant accident history on adjacent streets and intersections; 7. The land use proposal does not directly access a State Highway; 8. Site traffic will not significantly impact adjacent, existing residential areas; 9. In the neighborhood meeting, there was neighborhood opposition concerning a number of issues, including traffic; and 10. Site traffic will not negatively impact bicycle and pedestrian facilities.

There are sidewalks along the adjacent street frontage. Bike lanes are not required on local streets. Bike lanes are currently striped on Highcastle Drive.

The trip generation related to the proposed residential assisted living home will be minimal. It is respectfully requested that no further traffic impact analyses be required for the proposed residential assisted living home.

TABLE 1
Trip Generation for the Existing Single Family Dwelling Unit

Code	Use	Size	AWDTE		AM Peak Hour		PM Peak Hour	
			Rate	Trip Ends	Rate	Trip Ends	Rate	Trip Ends
210	Single Family Detached Housing	1 DU	9.43	10	0.70	1	0.94	1
210	Single Family Detached Housing	4 Residents	2.65	10	0.21	1	0.28	1
Average Trip Generation				10		1		1

TABLE 2
Trip Generation for the Proposed Residential Assisted Living Home

Code	Use	Size	AWDTE		AM Peak Hour		PM Peak Hour	
			Rate	Trip Ends	Rate	Trip Ends	Rate	Trip Ends
254	Assisted Living	10 Beds	2.60	26	0.18	2	0.24	2
254	Assisted Living	5 Employees	4.24	22	0.42	2	0.48	2
Average Trip Generation				24		2		2



Castle Ridge Group Home Neighborhood Meeting Summary (7/28/2022)

Neighborhood Meeting Date: July 28, 2022

City Staff – Attendees:

JC Ward – Senior City Planner Neighborhood Services
Kai Kleer – City Planner
Katie Claypool – Admin Services

Applicant Contact:

Stephanie Hansen

Eric Shenk

Xioma Diaz

Project Information Presented:

- JC Ward (JC) opens by discussing the ground rules for this neighborhood meeting. She introduces Kai Kleer (Kai)
- Kai discusses the location of the proposed Castle Ridge Group Home and its relation to Harmony and South College Avenue.
- Kai highlights that the proposed Group Home for Assisted Living and Memory Care will hold 10 residents and 2 employees.
- Kai discusses the project history and shares that the home was built in 2002 and that the subject lot was platted as part of the Castle Ridge at Miramont PUD in 1993. It is a fully built out residential subdivision.
- Kai clarifies the requirements of sign posting, and shares that over 380 letters were sent out to neighborhood, but to please inform the City if any neighbors did not receive a letter.
- Stephanie Hansen (Stephanie) begins sharing a project overview.

Project Overview

- Stephanie begins by discussing the residents who would live in this home. It is their hope to own and care for seniors in this house as it was ADA compliant and a perfect house for this use.

- Stephanie shows a timeline of the Castle Ridge meetings beginning in 2020.
- Stephanie expresses they have heard the local concerns and that they have adjusted to meet them and find compromise.
- Stephanie recognizes that the facility projected is compliant and allowed with the site, and that they are requesting a group home.
- Stephanie vocalizes it is not their hope to provide a large facility, but instead a small home for seniors to live and be taken care of as a “family”.
- Stephanie then highlights the benefits of this home-like living area compared to regular dorm style senior living homes.
- Stephanie vocalizes that neighbors have expressed concern with privacy and large capacity of seniors and employees at this site. To remedy these concerns, Stephanie says they have lowered the number of residents as well as workers (from 16 residents to 10 and 3 caregivers to 2). In addition, they have reduced the number of proposed windows from 4 to 1. Trips per day have proven to be less than projected.
- Stephanie says that these changes will reduce the number of renovations made and reduce neighborhood disruptions. In addition, reduced vehicle parking spots will aim to avoid neighborhood parking being used by the Castle Ridge Group Home.
- Stephanie discusses street travel with the topic of parking in mind. She adds that residents will not have vehicles so they will not be coming and going. The only vehicles that would come or go from the property would be staff that are there, groceries that are acquired once a week, as well as visitor vehicles. In addition, emergency vehicles have been requested to come with sirens off, however none have been required to come in the last six months.
- Stephanie says that under current conditions, there are no projected needs for more care workers.

Questions/Comments and Answers (answers provided by the applicant group unless otherwise noted).

- **A neighbor asks if it’s realistic for 2 caregivers to care for 10 residents. If they are doing the cooking, cleaning, and care for the entire group, and another resident needs help from both the caregivers, how are they able to help the rest?** In response (Eric), the applicants say most of the cooking is done at night to handle higher levels of help required by residents during the day. With a fixed staffing ratio of 1 to 5, it is statistically better staffed than larger institutions.
- **A neighbor that lives next to the proposed development highlights concerns about accessory roles covered by other staff and not the caregivers. In addition, she doubts the projected estimates on travel and traffic from this residential home. Will there also be on-site administrators?** Caregiver parking spaces would be located in the garage. However, there are parking spaces in the driveway for short term trip drop-offs. There will also be a lawn service as there are for other homes in the neighborhood. The intent is to be a residential home as opposed to an institutional elderly home with lots of traffic. In addition (Michelle), wants to assure everyone that assisted living is regulated by the state. With that being said, the care being given would be compliant with Colorado law and more favorable for residents than large facilities. There will be regulators ensuring the residents are getting proper care.
- **Why did the original proposal change from 16 to 10 residents? How will the residency be financially viable with 10 residents now?** It would be preferable to have 16 residents. However, if the project is to be viable then it must be 10. With that number being lowered, the cost of living for residents will have to be increased. With 10 residents, the cost of Medicare and

Medicaid will go up, bed quality goes down, and costs are increased. However, the applicants are still passionate about the project and some compromises will have to be made.

- **Is the proposed project an assisted memory care facility or an assisted living home?** Technically, they are the same. Memory care is a specialized service that would be offered here but it is also an assisted living home.
- **Will there be an on-sight van or bus for resident outings?** No.
- **A neighbor has would like clarification on who is a part of the company pursuing this group home.** A portion of the applicant team, Eric Shenk and Xioma Diaz are the only parties involved in pursuing this memory care facility (aside from Stephanie who is helping represent Eric and Xioma).
- **Is the intent still for residents to be housed in the garage?** The garage is being renovated to be a bedroom. It will no longer be a garage and will have the living standards and quality of any other bedroom in the house.
- **Is this meeting valid due to not following the 14-day required signage requirements?** There is a requirement to send mailed notice for a public meeting or hearing. Mail notices did go out 14 days before the meeting. The second part is the posted notice, which is a sign that goes into the yard which happens after a formal submittal of an application under code section 226 b. There is no requirement in this instance to post it before the meeting.
- **Will the applicants be living in the home even when the residency units are at full capacity?** No they will not be living there.
- **Once the proposal is submitted, how much could be changed?** The applicant can change their proposal after being submitted but it is unlikely. There could be a reduction in residents, but any major changes made would require subsequent neighborhood meetings.
- **How will you avoid having cars parked in front of other houses in the neighborhood?** In addition to the garage, there will be 3 designated parking spots in the driveway with another 2 that can be staggered.
- **What is the difference between caregivers and staff? Would hospice care staff be classified differently?** Staff and caregiver are used interchangeably. Hospice care would be provided by a third-part service, so there wouldn't be full time employees there to provide that.
- **Can residents or their families contract additional caregivers?** Yes.
- **Does having a business here comply with residential zoning?** The subject property is in a low-density residential (RL) district. A group home is a residential use approved in this zoning district.
- **How can it be guaranteed that neighborhood parking will not be adversely affected?** There will be room for 8 vehicles in the driveway. Although the applicants cannot control where everybody parks, they anticipate individuals parking in the driveway and will communicate that to visitors.
- **If the number of employees or residents were to change in the future, would that be subject to public hearings and development review?** Yes, if that was the case, subsequent public meetings would be required.
- **Where will the new windows be installed?** Four new windows are required to be added to comply with safety standards. Additional vegetation can help screen and offer more privacy for neighbors.
- **How will trash and wheelchair access be managed? Will there be wheelchair ramps?** There will not be a wheelchair ramp since the house is accessible. On garbage days, the bins associated with this residence will be placed in front of the property.
- **Who is going to monitor the parking when the applicants are not there?** Parking will be monitored and there will be a house manager who can be reached 24/7 if there are concerns.

- **Will there be a medical director or another staff member with similar qualifications on-site?**
The applicants will find a medical director once the property is approved as a care home. The applicants will not serve as the medical director for this property.
- **Would the applicants be open to a fence which adds more privacy for neighbors, such as a 6-foot fence with additional vegetation?** The applicants are open to vinyl fencing instead of wrought iron fencing for more privacy. In addition, there are plans to add vegetation as another level of privacy.



April 23, 2022

Via E-mail only

Michelle A. Pinkowski

1630 A 30th Street # 526

Boulder, Co 80301

michelle@pinkowskilaw.com

Denver Office

Jeffrey B. Smith

Direct 303.991.2066

jsmith@altitude.law

Re: *Miramont Homeowners Association / 636 Castle Ridge Court
Our File No. 9075.0002*

Dear Ms. Pinkowski:

Thank you for your correspondence on March 21, 2022 (the "Letter"), as well as the email on April 4, 2022 where you provided the Association with your clients' modified request for reasonable accommodation which was provided to the City of Fort Collins ("Modified Request"). The Board of Directors for the Miramont Homeowners Association ("Association") has asked me to respond to the Letter and the Modified Request.

First, I think it is important to point out that the Association is not a party to any process you are undertaking with the City of Fort Collins. If information is not specifically provided to the Association like the Modified Request, the Association has not received it. Likewise, the Association has not authorized any representative to attend or partake in any of the City's activities regarding the Property. Any owner who has participated has done so in their individual capacity, and not on behalf of the Association, the Board, or any Committee of the Association.

As pointed out in my last letter, the Association simply assumed from your lack of correspondence for almost a year that your client had decided to deal with the City process, before engaging the Association for its own review.

Two of your reasonable accommodation requests have direct links to the parking concerns of the Association. Having so many people living at the home, as well as staff, visitors and doctors, is a major concern giving the parking limitations and the narrowness of the street in question. It is for these reasons that the Association requested additional information regarding parking which was only provided to the Association on March 21, 2022. The fact that the Modified Request brings the number of beds from 16 down to 10 certainly helps with this issue.

Your client has requested a reasonable accommodation to Article II, Section 28 of the Declaration. Pursuant to the Modified Request, and the documents attached to the Letter, the Association agrees to grant a reasonable accommodation to Article II, Section 28 of the

Page 2

Michelle A. Pinkowski

April 23, 2022

Declaration to allow for no more than 10 individuals, whether related or unrelated to live and receive care at the property.

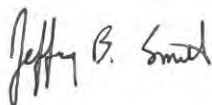
With regard to the garage door accommodation of Article IX, Section 7, based on the Modified Request, your client will be keeping one of the garages in its current state to be used for parking by staff of the property. Based on this representation, no reasonable accommodation is required as this portion of the Modified Request complies with the Declaration. The Association's main concern remains that cars only be parked on one side of the street, so please ensure that the remaining garage is utilized for parking, and that cars are not parked both sides of the street.

With regard to your final accommodation request pertaining to Section 2.3 of the fence guidelines, the Association will grant a reasonable accommodation to the fence height. However, your client will still need to submit plans for approval of the fence to the ARC. The ARC will be informed that an accommodation for the height of the fence has been granted, and that the fence can be 6 feet tall. All other criteria, still remains in place, and the ARC can make its decision based on that criteria.

It appears that there will have to be other exterior changes to the property besides the fence (specifically I assume there will be changes for the conversion of the one garage). Any exterior or landscaping change must go through the ARC process as outlined in the Declaration. If you feel another accommodation is required for your proposed plan, please let the Board know and we will review it in the same manner as the fence accommodation was reviewed. If an accommodation is necessitated and required, the Association will grant said accommodation, but the design and all other requirements still must be approved by the ARC.

Again, the Association has and will continue to work with your client. The Association has not delayed in responding to any of your letters. The Association has requested additional information, and then when it did not hear from you for almost a year, the Association assumed you were proceeding first with the City review process before engaging the Association. Now that you have come to the Association with actual documents we have been able to grant the requests of your client, and the Association anticipates working with you and your client in the future in a similar manner.

Sincerely,



Jeffrey B. Smith

Altitude Community Law P.C.

JBS/jbs

c: BOD and Pete Dauster



May 19, 2022

Michelle Pinkowski

Delivered via email to:

michelle@pinkowskilaw.com

Reasonable Accommodation Decision Letter- 636 Castle Ridge Court: Modified Request

Ms. Pinkowski,

On April 4, 2022, you submitted a modified Reasonable Accommodation request to the City of Fort Collins ("City") on behalf of your client Peacock Assisted Living, LLC, regarding a proposed assisted living facility to be located at 636 Castle Ridge Court. A similar proposal with an alternate operating model and different request for accommodation was previously evaluated in June 2021. This determination letter is based on an evaluation of relevant information from the first request, supplemented by information provided as a part of the 2022 request.

The subject property is zoned Low Density Residential (RL). The applicant is seeking relief from Section 3.8.6 (A) of the Land Use Code, which limits the occupancy of a group home in the RL district subject to lot size limitations. The request is to allow 10 people with disabilities to reside at 636 Castle Ridge Court.

After careful consideration, I make the following findings of fact pursuant to Section 2.19(E) of the Fort Collins Land Use Code:

- a) The property at issue, 636 Castle Ridge Ct., will be used by people considered to be disabled under the federal Fair Housing Amendments Act ("FHAA").
- b) Based upon the nature of the group living model utilized by Peacock Assisted Living LLC, the Reasonable Accommodation is necessary to make housing at 636 Castle Ridge Ct. available to people with disabilities. Through the documentation provided with the original application, with the current proposal, and during the interactive meeting held on April 25, 2022, the applicant has demonstrated that the ratio of staff to residents impacts the therapeutic benefit of the caregiving model and is related to the ability of disabled residents to reside in the home, and that the number of residents permitted directly impacts the financial and operational viability of this facility. The revised model of ten residents and two onsite caregivers represents an attempt by the applicant to retain the therapeutic benefit of this caregiving model, while also addressing neighborhood concerns and retaining the financial and operational viability of the proposal.
- c) The requested reasonable accommodation would not impose an undue financial or administrative burden upon the City.

- d) The requested reasonable accommodation would not require a fundamental alteration in the nature of a Land Use Code provision.
- Pursuant to the FHAA, the City is required to reasonably accommodate disabled people with regards to zoning regulations that might otherwise deny disabled individuals certain housing opportunities.
 - As expressed in the previous Reasonable Accommodation determination, the Land Use Code allows other uses in the RL zone with similar or greater impacts to the proposed Reasonable Accommodation in situations that do not involve people considered to be disabled under the FHAA. Examples include:
 - The Land Use Code allows an unlimited number of people comprising a family to live in the house. A family of 10 related individuals could occupy this home with no required review, notification, or other consideration.
 - The Land Use Code allows shelters for victims of domestic violence in the RL zone without a limit to the number of residents permitted.
 - Other more intense uses with greater potential for traffic, noise, and visual impacts are permitted in the RL zone such as places of worship and assembly (permitted subject to administrative review) and schools and childcare centers (permitted subject to review by the Planning and Zoning Commission).
 - The effect on the built environment of the lot size and other requirements for group homes in the RL zone is maintenance of single-family residential character of development, and a pattern of development that conforms to certain proportions between building size and lot size. In this case, the property has already been developed and the application does not propose any new construction. Impact to the physical characteristics of the building in this proposal have been minimized, including retaining a two-car garage to provide additional on-site parking and to retain residential character.
 - The RL zone district permits group homes of up to eight residents subject to lot size limitations. This request is specifically to allow up to ten disabled people to live in this home according to the operational model, financial conditions, and other specific circumstances described in the application materials and interactive meeting. As a group home, this proposal is subject to a type two review by the Planning and Zoning Commission, and this process is not affected by this Reasonable Accommodation. Aside from the number of residents, the facility will be required to comply with all other standards and requirements of the Land Use Code for group homes as permitted in the RL zone.

Based upon these findings, I am granting the modified Reasonable Accommodation request to allow ten unrelated individuals with disabilities (not including non-resident on-site staff) as described in the materials submitted with the request to live at 636 Castle Ridge Ct., subject to the following conditions:

- The proposal for a group home is subject to a type two review by the Planning and Zoning Commission.
- The facility will be required to comply with all other standards and requirements of the Land Use Code for group homes as permitted in the RL zone and may be subject to

conditions of approval including but not limited to requirements for parking, limitation of hours of drop-off and pick-up, regulation of lighting intensity and hours of illumination, requirements related to trash and recycling, screening, storage, and fencing.

- As described in the application materials and Reasonable Accommodation request, the facility will implement measures to mitigate impacts and retain residential character including retaining one of the garages to provide for additional off-street parking, maintaining the garage doors on the garage converted to living space, no signage indicating that this is a group home, and no more than two staff working shifts on-site at any given time (with the exception of emergencies and shift changes).

In granting the Reasonable Accommodation request, I am not finding that the people that are the subject of the Reasonable Accommodation request constitute a family as defined under the Land Use Code. However, in part because a family without limitation to numbers could live at 636 Castle Ridge Ct., I find it reasonable to accommodate the request in consideration of the FHAA.

This Reasonable Accommodation is applicable to the specified provisions of the Land Use Code and does not modify Building Code requirements. The applicant is advised to consult with the Building Services Division to ensure compliance with the Building Code.

Regards,

A handwritten signature in blue ink, appearing to read "Paul Sizemore".

Paul Sizemore
Director of Community Development and Neighborhood Services

ITEM 5

Castle Ridge Group Home

SUPPLEMENTAL DOCUMENTS

Katie Claypool

From: Development Review Comments
Sent: Monday, November 28, 2022 2:22 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] 636 Castle Ridge Court memory care facility proposal

Categories: P&Z

We'll probably get a lot of these heading to the Dec. P&Z hearing. I will save them in the PDP_FDP folder and forward to you

From: KEN PATRICK <traceyken@comcast.net>
Sent: Monday, November 21, 2022 1:59 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] 636 Castle Ridge Court memory care facility proposal

To whom it may concern,

I am submitting comments with regards to the proposed memory care facility at 636 Castle Ridge Ct. In reminder, my family and I live in the home that is the direct next door home to the proposed project. I spoke at the P&Z meeting with regards to this project.

It appears that the prior granted reasonable accommodation of 16 residents, on the basis that it was "reasonable and necessary", has actually been deemed not reasonable and no longer necessary for this project to move forward. In addition, a new reasonable accommodation of 10 residents has been granted on the same premise. I am sure you can understand how this is quite confusing and frustrating as the number and determination appear to arbitrary and not based on what is actually reasonable nor necessary. 16 and 10 cannot both be necessary, and so it begs the question as to how this determination is made and, without clear standard, should most reasonably default to the current municipal code of 8.

My family and I stand firm in our opposition to the density of the project due to the increased traffic and parking burden to the neighborhood and the high likelihood of a one lane bottleneck of the main road in the neighborhood. This would create an issue for emergency response vehicles and other larger transiting vehicles in and out of the neighborhood. This is especially concerning on snowy days as this road is not plowed. The proposed limited control measures that the applicants has put forth are unlikely to be fully utilized and are totally unenforceable.

The applicants do not fully answer the question asked by city representatives regarding anticipated traffic to the site on a daily basis with estimated staff, deliveries, etc. The applicants do not provide details on the estimated trips for:

1. Deliveries for food, pharmacy, supplies, packages to residents, etc.
2. Number of provider visits for physician/provider evaluations, dental, occupational therapy, physical therapy, speech therapy, massage therapy, wound care, etc.
3. Number of visits for religious providers
4. Number of transports of residents out in to the community for on site medical/dental visits, salon appointments, community outings, etc. Will there be a van to transport the residents? Where will it

CORRESPONDENCE 1

be housed? Where is the loading and unloading site for the transportation vehicle for the residents if all the parking spots are utilized in the driveway?

5. Number of estimated visitation from family and friends. The applicants continue to state that they will require visitors to make appointments which is against Colorado code for assisted living and hospice care as previously noted.

6. Number of service visits for general maintenance of the home, landscape, snow removal, etc.

The consultant even commented in her presentation to P&Z that if the number of residents was different they would still require the same number of services including the nurses, therapists, massages, etc.

In addition, I continue to have concerns that the number of caregivers is grossly underestimated. What happens if the project goes forward and it is determined that additional staff are needed to provide care to the residents, meal preparation, housecleaning services, etc? What if traffic and parking are above and beyond what was projected? How does the city go back and decrease the number of residents allowed?

There are simply too many unknowns with regards to the impact this project will have on this neighborhood with regards to traffic, parking and therefore safety of residents of the neighborhood and of the proposed facility. There are no enforceable rules to limit the traffic and on street parking. Limiting this project to the current code of 8 residents allows for the facility to get up and running and be able to effectively answer these unknowns with data, decreasing the risk to the neighborhood and facility residents. If, after a period of FULL occupancy operations at 8 residents (i.e. 1-2 years) the impact is minimal and not presenting a risk then the applicants can apply for a "reasonable accommodation" to increase to 10. However, if 10 is granted now, and the operation presents a safety issue how does the city go back?

We respectfully request that this project be denied at the current density proposed.

Respectfully,
Tracey Stefanon
Ken Patrick
642 Castle Ridge Ct.

Katie Claypool

From: Development Review Comments
Sent: Monday, November 28, 2022 2:22 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] 636 Castle Ridge Court Group Home Proposal

Categories: P&Z

From: dan c <danclawson9@gmail.com>
Sent: Monday, November 28, 2022 9:12 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] 636 Castle Ridge Court Group Home Proposal

Regarding the proposal for a Group Home at the above address, my concerns remain that there is insufficient parking. When vehicles are parked on both sides of the street (which cannot be prevented) it has been shown that traffic will be restricted to One Way and large commercial vehicles (Trash Trucks, Emergency Fire Vehicles) will have difficulty passing through. Also, the Applicants suggestion that Guests utilize a Third Party Parking App is not realistic, given no such App exists (I doubt it would be used even if such an app did exist). I also don't believe it is realistic to expect Resident visitors to scheduled appointments prior to visiting. Thank you for your consideration.

Dan Clawson
5219 Castle Ridge Pl, Fort Collins, CO 80525

Katie Claypool

Subject: FW: [EXTERNAL] Fwd: P&Z meeting

From: srsunde@aol.com <srsunde@aol.com>
Sent: Wednesday, November 30, 2022 6:27 AM
To: Development Review Comments <devreviewcomments@fcgov.com>; devreview/comments@fcgov.com
<devreview/comments@fcgov.com>
Cc: srsunde@aol.com <srsunde@aol.com>; Kai Kleer <kkleer@fcgov.com>; Em Myler <emyler@fcgov.com>
Subject: [EXTERNAL] Fwd: P&Z meeting

Good Morning Em,

Would you please forward this full email along with the attached video "street-in-action" to all of the Planning and Zoning Commission members for their review prior to the meeting scheduled for December 15, 2022, concerning the proposed group home on Castle Ridge?

This very short video shows a real-life street-in-action shot of the street in front of 636 Castle Ridge Court. It shows very clear evidence that the exceptionally narrow private street in front of this house is inadequate to accommodate anything even close to the kind of parking and traffic which would occur if this proposal should be approved. Just these very few vehicles totally bottleneck this street to the point of real danger for those beyond the bottleneck.

Commission members, can you imagine a fire truck or even a trash truck trying to navigate this? Can you imagine what it would be like with family members of multiple residents parking here as well for visitation? Please imagine the holidays.

The street is too narrow. This proposal would be dangerous. Allowing this proposal would clearly violate the street traffic, parking, and fire codes which are all present for a reason. My home sits at the cul-de-sac end of this street. There is no other entrance or exit for myself or for my neighbors.

Would you also please also provide this video for a live showing at the December 15 hearing? It will be most important for all to see.

Thank you for your attention to this serious safety matter.

Respectfully submitted,

Steve Sunderman, MD
607 Castle Ridge Court
Fort Collins, CO 80525

<https://youtube.com/shorts/UC7Z3rDgsNE?feature=share>

11/30/2022

To the Planning and Zoning Commission Members:

Thank you for your time and dedication related to your previous review of the initial 636 Castle Ridge Group Home application. We, as residents in this beautiful neighborhood are most appreciative of your prior efforts to evaluate right vs wrong concerning this proposal, and of your UNANIMOUS decision to decline approval of the initial proposal.

The applicants are now coming forward with a new proposal which is simply the same proposal with a minimal reduction of residents by only 4. This, in effect, would lead to the same devastating results to our community that the original proposal would have had.

The reasons for you to reject this second proposal are numerous. Just a few are listed below:

TRUTHFULNESS AND HONESTY IN THE APPLICATION

The applicants began their application process by stating that they surveyed the neighbors, explained their proposals, and found no resistance from the surrounding neighbors. This is blatantly untrue. I have communicated with nearly everyone in the community here, and without exception, not one person has told me they ever supported this proposal. Objection from neighbors has been universal. I, myself, have communicated to the applicants my own objections and also those of our many neighbors.

The applicants have repeatedly asserted to City Planners that they want to be good friends and neighbors in this community and that they have made every effort to do that. In reality, they both actively try their best to avoid any contact with any of our wonderful neighbors in this development.

The applicants have repeatedly presented clearly false expectations about traffic, parking, visitation, change in residential appearance, noise, and safety.

They have intentionally misrepresented their credentials.

DISHONEST MISREPRESENTATION

The applicants both promoted Eric Shenk as a physician in a dishonest attempt to gain credibility for their project. We have discovered, and Eric Shenk has finally admitted in recorded session, that he no longer has a license to practice medicine. He refuses to give details of the loss of his license and of his medical practice, although physicians in the area have reported that he was ousted by his own peers many years ago. Erik Shenk has openly admitted in recorded session that he and his wife are currently housing at least two at risk individuals even though he does not have a license to practice medicine, and even though they do not currently hold a license to operate a nursing home. A formal inquiry request has been filed with the Division of Regulatory Agencies. Red flags about the legality of their current operation are flying high. The Planning and Zoning Commission and the City of Fort Collins need to make sure they are not playing into an approval to support a possibly illegal operation. The investigation is still in process and MUST be resolved before any approval can be even considered.

REASONABLENESS

This neighborhood was carefully planned as a low-density residential neighborhood for single family dwellings only. Part of the agreement from the original developer, Gary Nordic, was to also provide higher density homes in nearby areas which he did to the letter as per his prior agreements with the city planners.

Off street parking is severely limited on this narrow private road, and cannot accommodate the massive increase that would be required if this proposal should be approved.

The street in front of this house is a private street which is significantly narrower than conventional city streets. It was planned and authorized as such with the understanding and agreement by city planners and the developer that traffic and parking would be expected to be very minimal due to the design of single-family dwellings only, and three or four car garages for each home. It was agreed from the beginning that high traffic businesses would not be allowed.

MIS-APPLICATION OF THE FHA

The Fair Housing Act has been grossly mis-applied to this proposal. The Fair Housing Act was not created to allow an opportunist to personally benefit himself at tremendous expense to others without fairness and reasonableness.

The owners of 636 Castle Ridge court do NOT belong to a protected class. They are both able bodied and in no way disabled or protected. The touted Protected class of individuals they are flying the banner of does not even exist at this time. The goal of these opportunists is to gather together in the near future a group of memory impaired individuals, claim that they as owners of this opportunistic business are part of that disabled body, and then USE these individuals for wrongful personal profit – all at tremendous damage to our beautiful neighborhood and at tremendous expense to all of the surrounding neighbors by drastically lowering our property values.

The FHA has limitations. Any application under FHA rules is required to be a REASONABLE application. It MUST fit the neighborhood. It must be SAFE. Any accommodations made MUST be reasonable accommodations, not unreasonable accommodations. Any application of this rule must NOT “Take away” substantial value from others while “Giving” substantial value to profiteers at others’ expense.

FAILURE OF THE CITY TO FOLLOW DUE PROCESS

The City Staff have made it clear from the outset that they are determined to push forward this opportunistic proposal by their repeated failure to follow due process.

City Staff have accepted deceptive and inaccurate statements from the applicants without questioning the validity of their claims.

City Staff have bypassed the required rules of notice and meetings.

City Staff have silenced those of us who hold valid objections by actively censoring some of us at prior meetings.

City Staff have repeatedly promised opportunities for us to have real open and honest communication with them and with the applicants, and then they have repeatedly reneged on these promises. (I will provide an email chain later that verifies this in detail).

HARM TO THE NEIGHBORHOOD

Trying to “sardine” 10 Alzheimer’s individuals into one floor of a single-family home along with nursing staff, aides, pharmacy, PT, OT, cooking services, cleaning services, laundry services, and 10 families of regular visitors would clearly be a disservice to the residents packed into the home as well as to the beauty of the neighborhood, traffic, parking, safety, and surrounding home values. Recoverable financial damages to the residents of Castle Ridge alone could conservatively be estimated to be into the millions of dollars if this proposal should be allowed to go through.

DUTY

One major duty of the City Staff as well as of the Planning and Zoning commission is to protect the beauty and value of the neighborhood as a whole and to honor the master plan originally drafted. There is no duty to aid and abet an opportunist who is wrongfully flying the banner of a protected group for his or her own personal profit at massive expense to all others in the neighborhood. It does not get any more wrong than this.

It is imperative that the Zoning and Planning Commission once again reject this opportunistic and wrongful proposal.

My most sincere thanks to you in advance for exercising rational judgement, for protecting our community, and for doing the Right thing for our neighborhood.

Respectfully Submitted,

Steve Sunderman, MD
607 Castle Ridge Court
Fort Collins, CO 80525

Katie Claypool

From: Em Myler
Sent: Monday, December 5, 2022 12:07 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Thread for P and Z Commission review

Categories: P&Z

From: srsunde@aol.com <srsunde@aol.com>
Sent: Sunday, December 4, 2022 1:21 PM
To: Kai Kleer <kkleer@fcgov.com>; Development Review Comments <devreviewcomments@fcgov.com>; Em Myler <emyler@fcgov.com>
Cc: srsunde@aol.com <srsunde@aol.com>
Subject: [EXTERNAL] Thread for P and Z Commission review

Good afternoon Em,

Would you please forward this entire communication thread to all of the members of the P and Z Commission for review prior to the hearing scheduled for 12/15/2022?

This thread can give to the commission excellent verification of the repeated breaches in due process by City Staff throughout this entire application for 636 Castle Ridge Court, including:

- A clear bias by City Staff in directing for a predetermined outcome,
- Repeated broken promises to allow sincere face-to-face communication,
- Censoring those of us opposing this application during scheduled meetings,
- Admission of City Staff of ignoring legal requirements of the applicants,
- Misapplication of the FHA,
- Admission of ignoring the negative effects on home values for neighbors,

This application must be summarily rejected.

Respectfully submitted,

Steve Sunderman, MD

-----Original Message-----
From: srsunde@aol.com <srsunde@aol.com>
To: Kai Kleer <kkleer@fcgov.com>
Sent: Tue, Nov 8, 2022 5:30 am
Subject: Re: Re: Re: Group Home Notice with Link

Kai,

Thank you. I look forward to talking with you. I will have my phone available.

Steve

On Monday, November 7, 2022, 03:11:36 PM MST, Kai Kleer <kkleer@fcgov.com> wrote:

Hello Mr Sunderman,

I have some time on Wednesday from 10-11 am. Let me know if that timing works for you.

Best,

.....
KAI KLEER, AICP

City Planner

[City of Fort Collins](#)

From: srsunde@aol.com <srsunde@aol.com>
Sent: Monday, November 07, 2022 12:57 PM
To: Kai Kleer <kkleer@fcgov.com>
Subject: [EXTERNAL] Re: Re: Group Home Notice with Link

Good afternoon, Kai.

Here is the message I received from 'Em on October 19. I have received no more information from that committee. I have heard from neighbors that this process is in the works of being bypassed too. We continue to be ignored. I must again, on the record, strongly object on the grounds that due process is not being followed.

Would you please be so kind as to call me for a real-time discussion? I will be available essentially all day long on Wednesday Nov 9 at my cell phone 970-215-3162

Thank you,
Steve SundermanMD

On Wednesday, October 19, 2022, 08:45:00 AM MDT, Development Review Comments <devreviewcomments@fcgov.com> wrote:

Mr. Sunderman,

Please see below the message I sent to you last week, I apologize if it didn't reach you for some reason:

Mr. Sunderman,

Thank you for your patience on our response. Staff have decided not to pursue another neighborhood meeting for Castle Ridge Group Home at this time, virtually or in-person. Our Development Review requirements for public engagement have been met so far.

That doesn't mean this is the end of the conversation on this project. Here are the next steps and ways you can get involved:

- I sent out some information on the most recent submittal yesterday. That submittal will go through staff review until it is ready to go to Planning and Zoning Commission. I'd like to highlight that staff do not have the ability to decline to send this proposal to the Commission.
- During this time, I am available at this email address to field questions and comments to the best of my ability. Feel free to email me here any time
- Once the proposal is ready, it will go to the Planning and Zoning Commission, who will be the final decision makers. This is the place where you can next engage directly on this project by making a public comment. You can do so either by emailing written comments here and they will be included in the packet materials for Commissioners to read. Or, you can attend the meeting and speak in person. These comments are time limited and the Commissioners are not able to respond. However, the Commissioners have the ability to modify or deny the proposal based on evidence including public comment.
 - I would highly recommend taking a look at one of the public comments submitted for a recent project called Heartside Hill. I think it's a good example of how you could use a written comment to fully express the concerns I have heard from you. I've attached it here. If you'd like to submit something similar for P&Z, please send it to this email. I will email the Castle Ridge contact list when the project is scheduled to go to public hearing so you know.

Let me know if you have any questions.

Respectfully,

Em Myler
Neighborhood Development Liaison

As for your questions this morning:

1. The proposal is currently going through staff review. I have you on a list of names to alert when it has completed this step and is scheduled to go to the Planning and Zoning Commission.
2. The only actions right now include the usual staff comments on the submittal, and the applicants' responses. Staff is considering input from the neighborhood meetings in their comments. I will send comments and submittal updates when I have them.
3. Please see above regarding a face to face meeting
4. I think the best option to make sure that the Planning and Zoning Commission sees this email thread and you know that it has been seen is to include it as a public comment for their meeting materials when this proposal goes to hearing. That way, the Commissioners will read it as a part of the case on this proposal and the comment will be published publicly so you know that it has been included. This is the best way in my opinion to offer you the accountability you are looking for. I included more information on public comments in the original email above.

Best,

Em Myler
Neighborhood Development Liaison

From: srsunde@aol.com <srsunde@aol.com>
Sent: Wednesday, October 19, 2022 2:20 PM
To: Kai Kleer <kkleer@fcgov.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>;
srsunde@aol.com <srsunde@aol.com>
Subject: [EXTERNAL] Re: Group Home Notice with Link

Good morning Kai,

I have not heard back from you or from anyone on City Staff after my email from September 20, 2022 - attached below.

Could you please update me on where we are with this process?
Is any action happening from the City Staff or from the applicants?
When do we get our face-to-face meeting we have been promised?

Would you please forward this entire thread to the Planning and Zoning Commission and copy me so that I know it has been sent? Alternatively, if you would send me email contact information for the entire Planning and Zoning Commission, I can send it to them and copy you.

Thank you again for your attention, dedication, and assistance.

Respectfully,

Steve Sunderman, MD
970-215-3162

-----Original Message-----

From: srsunde@aol.com
To: kkleer@fcgov.com <kkleer@fcgov.com>; astephens@fcgov.com <astephens@fcgov.com>
Cc: devreviewcomments@fcgov.com <devreviewcomments@fcgov.com>; psizemore@fcgov.com <psizemore@fcgov.com>; srsunde@aol.com
Sent: Tue, Sep 20, 2022 6:41 am
Subject: Re: Group Home Notice with Link

Kai,

Thank you for your response.

We are not asking for an opportunity to have a meeting in which nobody from the City of decision-making authority is present. We are asking for an honest, sincere meeting with the applicants **and** with those of authority on City Staff (including Mr. Sizemore). My understanding is that the Planning and Zoning Commission does not come into play unless City Staff should move it forward to them. The Planning and Zoning Commission has already rejected **unanimously** the applicants' prior proposal which was previously passed on to them by City Staff. We must have an opportunity to stop at the beginning of the process this new proposal, which would also likely result in millions of dollars of recoverable damages if passed. Mr. Sizemore and City Staff must allow us due process and fairness. The application has been filled with misleading and false information from the beginning. The legal red flags are huge, and to this day, remain unanswered by the applicants and ignored by City Staff.

Respectfully,

Steve Sunderman, MD
970-215-3162

-----Original Message-----

From: Kai Kleer <kkleer@fcgov.com>
To: srsunde@aol.com <srsunde@aol.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>
Sent: Mon, Sep 19, 2022 11:53 am
Subject: RE: Re: Group Home Notice with Link

Hello Steve,

An in-person meeting is the goal. Since the decision maker is the Planning and Zoning Commission, they will not be present at the meeting. Did you have anyone else in mind?

Sincerely,

.....
KAI KLEER, AICP
City Planner
[City of Fort Collins](http://www.fcgov.com)

From: srsunde@aol.com <srsunde@aol.com>
Sent: Friday, September 16, 2022 10:37 AM
To: Kai Kleer <kkleer@fcgov.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>; srsunde@aol.com
Subject: [EXTERNAL] Re: Group Home Notice with Link

Hello Kai,

Thank you again for your response. Would you please confirm for me that the meeting you are working on will be in person and will include the neighbors here who feel a need to be heard as well as the City Staff who are responsible for making decisions?

Sincerely,

Steve Sunderman, MD
970-215-3162

-----Original Message-----

From: Kai Kleer <kkleer@fcgov.com>
To: srsunde@aol.com <srsunde@aol.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>
Sent: Thu, Sep 15, 2022 4:02 pm
Subject: RE: Re: Group Home Notice with Link

Hello Steve,

Thanks for your diligence and patience on this. We have been in contact with the applicant team and they would be interested in having further discussions with the neighborhood. Internally, our Neighborhood Services and Development Review staff are working through the finer details of the when and where of the meeting and how to best organize it for a productive conversation. Our Development Review Liaison, Emily Myler, will be in touch as soon as we know more.

Sincerely,

.....
KAI KLEER, AICP
City Planner
[City of Fort Collins](http://www.fcgov.com)

From: srsunde@aol.com <srsunde@aol.com>
Sent: Saturday, September 10, 2022 10:13 AM
To: Kai Kleer <kkleer@fcgov.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>; srsunde@aol.com
Subject: [EXTERNAL] Re: Group Home Notice with Link

Dear Mr. Kleer:

I have not heard back since my email of August 28, 2022. I am sending another email today to check with you on where we are concerning the promised face-to-face meeting regarding 636 Castle Ridge Court.

Again, this needs to be an open and honest meeting among the applicants, the neighbors, and non-biased City Staff.

I believe the recoverable damages to our neighborhood will likely be in the millions if this proposal is allowed to go through. The duty of the City remains with the collective residents.

I look forward to hearing from you about setting up an open and productive meeting.

Respectfully Submitted.

Steve Sunderman, MD
970-215-3162

Copy: Ms. Stephens, Mr. Sizemore, Development Review Committee, Self

-----Original Message-----

From: srsunde@aol.com
To: kkleer@fcgov.com <kkleer@fcgov.com>; astephens@fcgov.com <astephens@fcgov.com>
Cc: devreviewcomments@fcgov.com <devreviewcomments@fcgov.com>; psizemore@fcgov.com <psizemore@fcgov.com>; srsunde@aol.com
Sent: Sun, Aug 28, 2022 11:29 am
Subject: Re: Group Home Notice with Link

Mr. Kleer, Ms. Stephens, Mr. Sizemore, Development Review Committee:

Thank you for your response.

What is needed is a full, sincere, open meeting with the applicants and with open minded City Staff to re-evaluate this entire proposal.

The suggestions you have proposed below by City Staff are, yet again, a censorship of the most important items at hand, and an assertion that City Staff will not even consider a correction of prior decisions, no matter how wrong they may have been.

City Staff is well aware that the application for this proposal has been filled with substantially false and misleading information from the very beginning. Red flags about licensure and questions of legality of the applicants' current operations are gigantic and still remain unanswered. The City does indeed have an obligation to verify whether this process is legal or not. Further, if the City is going to be involved in potentially granting approval of this enormous business in the middle of a carefully planned low density residential only neighborhood, the City has an absolute obligation to the entire neighborhood and to the city as a whole to ensure this will not "take away" from the neighbors - and not to use its position to assist one family in generating a huge personal profit at tremendous expense to all others in this neighborhood.

If this wrongful proposal should be allowed to go through, the recoverable damages to the Castle Ridge neighbors alone could well be into the millions of dollars.

Let's please start over from step one.

Respectfully,

Steve Sunderman, MD
970-215-3162
srsunde@aol.com

-----Original Message-----

From: Kai Kleer <kkleer@fcgov.com>
To: srsunde@aol.com <srsunde@aol.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>
Sent: Wed, Aug 24, 2022 10:50 am
Subject: RE: Re: Group Home Notice with Link

Hello Steve,

Thanks for your patience. I have been working with staff internally to determine the best approach to facilitate a productive conversation between you and the applicant. In an effort to build out the agenda and request for the meeting, could we get some additional clarification about you specific questions/concerns for the applicant and/or staff and your anticipated outcome from the meeting?

To address some of the comments you've provided, here are some things that would not be productive and should not be considered as part of the agenda:

- Your assertion that the applicants are currently operating without a license. This is a matter that is outside of the City's jurisdiction and should be addressed by filing a complaint to the [Colorado Department of Public Health & Environment](#).
- Your assertion that this project would drastically drop community appeal and home values in the immediate area. Values of homes are not within the purview of the land use code and cannot be considered by staff or the Planning and Zoning Commission.
- We cannot reconsider any of the determinations made by the Reasonable Accommodation Request, nor can the Planning and Zoning Commission.

Here are some things that I've teased out of your comments that would be productive in discussion with the applicant:

- Improving the design, quality and character of new development through discussion around screening, landscaping, window placement, and fencing.
- Ensuring that operationally the land use mitigates impacts to the extent practicable through conversation around hours of deliveries, lighting, placement of trash receptacles, location and number of off-street parking spaces.
- Providing clarity around the procedural requirements of development plans.

Regarding the appeal, it must be filed within 14-days of any decision by the Planning and Zoning Commission. Additional notice will not be provided.

Let me know what if these are things that you would be interested in further discussing with the applicant or city staff and I will get something set up.

Thanks again for your patience.

Sincerely,

.....
KAI KLEER, AICP
City Planner

[City of Fort Collins](#)

From: srsunde@aol.com <srsunde@aol.com>
Sent: Saturday, August 20, 2022 9:44 AM
To: Kai Kleer <kkleer@fcgov.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>; srsunde@aol.com
Subject: [EXTERNAL] Re: Group Home Notice with Link

Dear Mr. Kleer, Mr. Sizemore, Ms. Stephens, and Development Review Committee:

I wanted to follow up on my most recent email (see below).

I was told that arrangements would be made for further opportunity for us to meet to express our concerns (and with face-to-face format). I have not received any response back since my email of August 4, 2022. I want to make sure that we, the neighbors are heard. I want to make sure our options for appeal and further legal action remain open if the City should decide to render approval of this flawed proposal. I want to be assured that the City is not supporting a business activity that currently shows huge legal red flags. Are the applicants currently operating without license or authority a lockdown facility of two at-risk seniors for personal profit? This needs to be investigated and answered.

Would you please respond to me about where we stand concerning our promised opportunity to express our concerns face to face without being limited or shut off by a moderator?

Please notify me and all of the residents in the Castle Ridge Subdivision formally if and when your decisions have been made, and when our deadline for filing appeals will be.

We currently have multiple grounds for appeal as documented by the appeal form and procedure documents forwarded to me by Mr. Kleer should the City decide to allow this proposal to move forward:

1. Failure to properly interpret and apply relevant provisions of the City Code, the Land Use Code, and Charter. This includes street and fire code.
2. Failure to conduct fair hearings by exceeding its authority or jurisdiction.
3. Failure to conduct fair hearings by ignoring established rules of procedure.
4. Failure to conduct fair hearings by considering evidence presented by the applicants which was substantially false or misleading.
5. Failure to receive all relevant evidence offered by the appellant.
6. Being clearly biased against the appellant.

I look forward to hearing back from you with your plans to allow us to present our concerns fully and in person.

Respectfully,

Steve Sunderman, MD
 607 Castle Ridge Court
 Fort Collins, CO 80525

-----Original Message-----
 From: srsunde@aol.com

To: kkleer@fcgov.com <kkleer@fcgov.com>; astephens@fcgov.com <astephens@fcgov.com>
Cc: devreviewcomments@fcgov.com <devreviewcomments@fcgov.com>; psizemore@fcgov.com <psizemore@fcgov.com>
Sent: Thu, Aug 4, 2022 5:15 am
Subject: Re: Group Home Notice with Link

Kia,

Again, my most sincere thanks to you for your response and offer.

Yes, we do need formal opportunity to meet face to face both with the applicants and with the city staff who are involved in making these decisions that would have a major impact on our entire community.

We feel as though we have been dismissed or silenced every step of the way. We feel the City is pushing an extreme left political agenda rather than exercising its duty to the population as a whole.

Again, I need to stress that the City has duty to the entire community as a whole, not to one family that is trying to "use" the entire neighborhood for self-enrichment at tremendous expense to all others.

I would like to stress that any use of "Reasonable Accommodation" has restrictions:

1. The applicant must be in a protected or disabled class. These applicants are neither disabled nor in a protected class. They are wrongfully flying the banner of and trying to "USE" a protected they are not even members of for personal self-gain.
2. Any "Reasonable Accommodations" must not result in a significant deterioration of existing environment or be a significant financial burden to others in this area. This project would totally alter in a negative way the entire atmosphere of this well-planned low-density community. This project would drastically drop community appeal and home values in the immediate area - most likely by millions of dollars collectively - all for one family's self profit. The damages against the neighborhood would be huge.
3. All such accommodations must consider existing rules and must not impact the safety of others. This project would clearly turn this area into a congested safety hazard for our children and for our parking and traffic. Existing general rules for street width, parking requirements, fire code, residential housing, low density, etc have been essentially thrown out the window for this one family's proposal.
4. The project and the accommodations must be "reasonable" not "unreasonable." Both this drastic reposing of a long established and well-planned residential community, and the accommodations sought are everything but reasonable.

Further, the City does have a duty to require fair process. The applicants for this project have been misleading and evasive about their application every step of the way; and to date, the city has allowed that to move on.

Further, if the City has reason to believe that inappropriate or possible illegal activities are involved, the city cannot operate as an aid to those activities. Eirc Shenk has now admitted in open and recorded session that he does not have a license to practice medicine even though he touted himself with physician credentials from day one. He has admitted in open and recorded session that he and his wife are currently caring for two at risk seniors in their home without a group home or nursing home license and without a Medical Director. Are they using their home as a lock down facility without a right or license? The red flags for this project are huge and growing.

This proposal should have been summarily rejected months ago.

Respectfully,

Steve Sunderman, MD
970-215-3162

-----Original Message-----

From: Kai Kleer <kkleer@fcgov.com>
To: srsunde@aol.com <srsunde@aol.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>
Sent: Mon, Aug 1, 2022 5:14 pm
Subject: RE: Re: Group Home Notice with Link

Hello Steve,

Thanks for the email. Unfortunately we cannot comment regarding the merits of medical licensing requirements for Eric Shenk and it is not a criterion that we evaluate land use applications under. We anticipate that any licensing, certification, and/or registration requirements will be administered and enforced by the Colorado Department of Public Health and Environment.

Regarding procedure, the section you referred to is for preapplication reviews by City Council and would not apply in this case. To clarify some of the confusion around the previous conversations, posted notice is required for neighborhood meetings pursuant to [2.2.2- Step 2: Neighborhood Meetings](#), however, the timeline for the sign posting is not specified under [2.2.6 – Step 6: Notice](#). In general, our goal is to post a sign as soon as the neighborhood meeting is scheduled; however, this is an odd case where the sign has been posted since March of 2021 and unfortunately removed by the applicant for resodding. We did talk to the applicant and made it clear that the sign must remain in place until a hearing has been held.

Knowing that there were a lot of people present at the neighborhood meeting and that we were unable to circle back around to you, I'd be happy to set something up and facilitate conversation between you and anyone on the applicant team. If that would be something you're interested in please let me know and I'll start coordinating schedules.

I'll also be sure to add your comments to the record for the Planning and Zoning Commission's consideration if and when a public hearing is scheduled for this project.

Please call or email me if you'd like to chat more.

Sincerely,

.....
KAI KLEER, AICP
City Planner
970-416-4284
[City of Fort Collins](#)

From: srsunde@aol.com <srsunde@aol.com>
Sent: Saturday, July 30, 2022 10:25 AM
To: Kai Kleer <kkleer@fcgov.com>; Alyssa Stephens <astephens@fcgov.com>
Cc: Development Review Comments <devreviewcomments@fcgov.com>; Paul S. Sizemore <psizemore@fcgov.com>; srsunde@aol.com
Subject: [EXTERNAL] Re: Group Home Notice with Link

Good morning, Kai,

Thank you again for your prior response to my concerns.

As you are aware, and as documented by the recording of our meeting on July 28, 2022, the applicants for the proposed 'Group Home' at 636 Castle Ridge Court finally admitted on record that Eric Shenk does not hold an active license to practice medicine. Further, they admitted that they are currently caring for two elderly patients in their home right now without a license for a group home and without a legal Medical Director.

This raises serious red flags for the welfare and safety of these patients, as well as concerns for the legalities of their current operation, and the validity of their pending application.

This is a serious concern that needs to be addressed yet by the Division of Regulatory Agencies for Colorado. I would like to insist that the city cannot act on this pending application until these questions are answered and resolved by DORA.

Further, I would like to again issue formal objection to procedure. The City has pushed through an invalid meeting without following required notice protocol.

Concerning notice requirements, Section 2.1.6 (c) of the Land Use Code states

Notice and Hearing Procedure.

*All preapplication hearings under above Subsections (A) or (B) this provision will be held in accordance with the provisions contained in Steps (6), (7)(B) and (7)(C) of the Common Development Review Procedures, except that the **signs required to be posted under Step (6)(B) shall be posted subsequent to the scheduling of the session and not less than fourteen (14) days prior to the date of the hearing.***

You commented to me in your last email that you were sorry I was cut off from my comments at the most recent meeting. Thank you. I appreciate that. We, the neighbors in this community have not been given fair opportunity present our cases. In your email below, dated July 22,2022, you offered that you would request the applicant to stay late if necessary. In spite of this reassurance, I was cut off from my comments, and the moderator of the meeting abruptly shut the meeting down. Yes, further time is essential for us to get our objections across. Yes, formal face-to-face meetings are essential. I would again like to stress that holding this meeting in a virtual atmosphere serves no purpose other than to allow the applicants to hide behind a computer, and the moderator to limit dialog that does not fit the agenda of simply pushing this wrongful project through.

The Land Use Code also states that the meetings are required to be held in the vicinity of the project. A virtual meeting instead of an on-site meeting clearly violates that requirement as well.

The city's duty is to the residents of this community as a whole, and to the city as a whole. The city does not have a duty to force through an unreasonable project to wrongfully enrich one family at tremendous cost to the surrounding neighborhood.

Please re-evaluate and please start over.

Respectfully submitted,

Steve Sunderman, MD
970-215-3162

-----Original Message-----

From: Kai Kleer <kkleer@fcgov.com>

To: srsunde@aol.com <srsunde@aol.com>; melanie@faithproperty.com <melanie@faithproperty.com>

Cc: Development Review Comments <devreviewcomments@fcgov.com>

Sent: Fri, Jul 22, 2022 3:31 pm

Subject: RE: Re: Group Home Notice with Link

Hello Steve, and thank you for your patience on my response. Regarding notice, the City's Land Use Code requires that notice for neighborhood meetings be sent out 2-weeks prior to the meeting date. In this case, the letter was mailed earlier than required and was sent on July 11, 2022 in anticipation of the July 28, 2022 meeting. With respect to your concerns around time having enough time, I will request that the applicant stay late if necessary. Finally, we are still holding all neighborhood meetings remotely and do not anticipate changing that format in the near future. If there is a desire to meet with the applicants 1x1, please let me know and I can help coordinate that.

Hope this helps.

Sincerely,

.....
KAI KLEER, AICP

City Planner

[City of Fort Collins](#)

Katie Claypool

From: Em Myler
Sent: Monday, December 5, 2022 12:08 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Fwd: Castle Ridge Court Group Home Public Hearing Dec. 15

Categories: P&Z

From: srsunde@aol.com <srsunde@aol.com>
Sent: Sunday, December 4, 2022 1:40 PM
To: jsunderm970@gmail.com <jsunderm970@gmail.com>; Em Myler <emyler@fcgov.com>
Subject: [EXTERNAL] Fwd: Castle Ridge Court Group Home Public Hearing Dec. 15

resent with corrected email for Josh Sunderman. Thank you

-----Original Message-----

From: srsunde@aol.com
To: emyler@fcgov.com <emyler@fcgov.com>; devreviewcomments@fcgov.com <devreviewcomments@fcgov.com>; kkleer@fcgov.com <kkleer@fcgov.com>
Cc: brandonthehess@gmail.com <brandonthehess@gmail.com>; vanesaf@msn.com <vanesaf@msn.com>; jsunderm970@gamil.com <jsunderm970@gamil.com>; srsunde@aol.com
Sent: Sun, Dec 4, 2022 1:38 pm
Subject: Re: Castle Ridge Court Group Home Public Hearing Dec. 15

Good Afternoon, Em,

Thank you for your efforts to coordinate comments for us. I will plan on being at the meeting in person on Dec 15, 2022, and I will plan on delivering my personal comments at that time.

At least 3 others would like to donate their minutes to me for presentation at the meeting:

1. Josh Sunderman, 607 Castle Ridge Court, 970-449-2218 jsunderm970@gmail.com
2. Brandon Hess, 5220 Parkway Circle E. 970-690-0475 Brandonthehess@gmail.com
3. Vanesa Hess, 5220 Parkway Circle E. 970-690-0475 Vanesaf@msn.com

Thank you,

Steve Sunderman, MD
 970-215-3162
 607 Castle Ridge Court

copies to Josh Sunderman, Brandon Hess, Vanesa Hess

-----Original Message-----

From: Em Myler <emyler@fcgov.com>
To: jessiemartin_2000@yahoo.com <jessiemartin_2000@yahoo.com>; traceyken@comcast.net <traceyken@comcast.net>; debbiegraff@gmail.com <debbiegraff@gmail.com>; troyt@pds-co.com <troyt@pds-co.com>; ctafoya@pds-co.com <ctafoya@pds-co.com>; ryantj2@hotmail.com <ryantj2@hotmail.com>; kchacho@aol.com <kchacho@aol.com>; pam@pamsundermandesign.com <pam@pamsundermandesign.com>; ANGIE.LEE05@gmail.com <ANGIE.LEE05@gmail.com>; btschwerin@gmail.com <btschwerin@gmail.com>; ednjoj@gmail.com

CORRESPONDENCE 6

<ednjoj@gmail.com>; kathleenmcnamaraphd@gmail.com <kathleenmcnamaraphd@gmail.com>; Karen Kotecki <kotecki_mauch@msn.com>; sarahmdoing@yahoo.com <sarahmdoing@yahoo.com>; kathleenmary127@gmail.com <kathleenmary127@gmail.com>; tomjgraff@gmail.com <tomjgraff@gmail.com>; Kurt Johnson <kejlbj@yahoo.com>; Clawson42@comcast.net <Clawson42@comcast.net>; lbjmom@comcast.net <lbjmom@comcast.net>; wiselyinvest@aol.com <wiselyinvest@aol.com>; sleuzze@vmware.com <sleuzze@vmware.com>; srsunde@aol.com <srsunde@aol.com>; hlcp187@aol.com <hlcp187@aol.com>; danclawson9@gmail.com <danclawson9@gmail.com>; schacho@aol.com <schacho@aol.com>; mikeleuzze@yahoo.com <mikeleuzze@yahoo.com>; cbsisson@gmail.com <cbsisson@gmail.com>

Sent: Mon, Nov 28, 2022 2:44 pm

Subject: Castle Ridge Court Group Home Public Hearing Dec. 15

Hi Neighbors,

I wanted to remind you all that this project is planned to go in front of the Planning and Zoning Commission on December 15. The hearing will be held at City Hall at 300 Laporte Ave beginning at 6 p.m.

The agenda and packet has yet to be published for this hearing, but will be posted [here](#) soon.

Members of the public can either watch the hearing live on [FCTV](#) or in-person in the Council Chambers. However, if you wish to make a public comment at the hearing, you must attend in-person! You can no longer make public comments on Zoom since the expiration of the COVID-19 emergency order.

Making a public comment in-person:

The Castle Ridge Group Home project will be one of several agenda items that night, and will have it's own public comment time between the presentation from staff and the deliberations of the Commission. In order to make a comment to the Commissioners directly, you will need to be present in the Council Chambers during this public comment time. Based on the number of commenters, the Commission Chair has the ability to limit the time allowed for comments, with a maximum time of 3 minutes. I recommend preparing to make your comments in about 2 minutes so you aren't cut off if there are many people commenting. Anyone is able to donate more time to another speaker. If there is a person who you would like to make comments on the behalf of the other neighbors, let me know soon and we can coordinate time donations for them.

Making a written public comment:

If you cannot make it to the hearing, or you would like to comment in more detail than 2-3 minutes will allow, I highly recommend making a written comment. These can include technical information, photos etc. that can be helpful for the Commission. Please send them to my other email, devreviewcomments@fcgov.com by 12 pm on Tuesday, December 13 at the latest so we can include them in the packet for Commissioners to read prior to the meeting. They can be in an email or in a word document or PDF attachment. I will make sure to confirm to each one at receipt. I'm expecting a high volume of public comments for this project, so if I don't confirm receipt within a couple days feel free to follow up with me.

Note: I ask that you please don't send public comments to my personal email address (this one) so I can keep them organized. I would be distraught if I lost a comment in this mailbox!. Feel free to send informal questions not intended for the Planning and Zoning Commission to either email.

Respectfully,

.....

Em Myler, MPPA

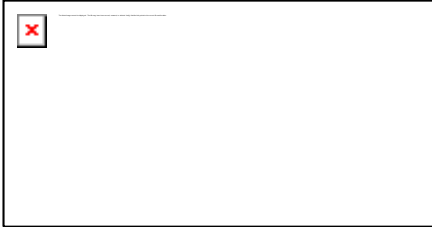
Pronouns: she/her

Sr Spc, Neighborhood Svcs

[City of Fort Collins](#)

970-224-6076

emyler@fcgov.com



Katie Claypool

From: Development Review Comments
Sent: Monday, December 5, 2022 1:55 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Castle Ridge group home

Categories: P&Z

From: Kurt Johnson <kejlbj@yahoo.com>
Sent: Monday, December 5, 2022 8:03 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Castle Ridge group home

Hello,

I would like to express issues concerning the Castle Ridge group home, specifically with respect to parking.

As was established last P&Z meeting, this is a narrow street that becomes one way should cars be parked on both sides of the street. The property has neighbors to both sides as well as across the street - as parking is at a premium one must consider the residents also have needs.

The driveway to the property is still the same narrow, one way access. The garage proposed to remain is directly in line with the driveway - thus requiring "musical cars" for in/out. This would be true in reality for anyone trying to park in the driveway or in the garage - the proposal for the amount of on-site parking is simply not realistic.

The parking app that is proposed is more a gimmick than a solution. How can this be required, and how can it be enforced? It simply can't, and likely will fade over time.

The proposal is that the staff of 2 will not only take care of the residents, but also manage the parking. As the priority will be serving the residents, this again in reality means parking will devolve to ad-hoc. The operational plan is based on guesswork due to the inexperience of the applicants.

Seneca House is another group home that was recently approved to increase to 10 residents. They had operated within code for a few years prior to that. This location though has abundant advantages for an exception to code: a circular driveway that is inviting to park, a secondary street with a parking lane, and no neighbors to the west. Castle Ridge has none of these advantages, only disadvantages.

As such, it is simply too risky to approve above code (in this case 10 residents) right from the beginning. The home should operate within code for a couple years at least - note the applicants are completely inexperienced in running such an operation and likely staff will be as well. During this time, parking can be monitored by the residents and applicants, and any increase in residents could then be considered on hard data via another type 2 review where data could be presented by both sides.

Regards,

Kurt Johnson
 612 Castle Ridge Ct.

Katie Claypool

From: Development Review Comments
Sent: Monday, December 5, 2022 2:05 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Review FDP220013 - Castle Ridge Group Home

Categories: P&Z

From: Peter Way <poogleway@gmail.com>
Sent: Monday, December 5, 2022 8:20 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Review FDP220013 - Castle Ridge Group Home

Hello,

As a resident of Miramont, I received the notice of the December 15 meeting. There isn't a document on the website that describes the project changes since the last review. It seems like the density has decreased to 10 residents, and there will be 6 off street parking spaces.

I'm very doubtful that the off-street parking will be enforced, as anyone can park where they wish in the neighborhood. In order for those parking spots to be used people would have to move cars around to get them out.

I'm sorry, but this proposal should be rejected based on the parking question.

Regards,

Peter Way
970.219.1301

Katie Claypool

From: Em Myler
Sent: Monday, December 5, 2022 2:39 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Re: Group home concerns
Attachments: Comment on proposed development of a group home at.docx

From: Thomas Graff <tomjgraff@gmail.com>
Sent: Monday, December 5, 2022 2:30 PM
To: Em Myler <emyler@fcgov.com>
Subject: [EXTERNAL] Re: Group home concerns

I show that this was sent to you on 15 Nov 2022. I may have done something wrong. Here's a fresh copy.

Please confirm receipt.
Thanks,
Tom Graff

On Mon, Dec 5, 2022 at 2:16 PM Em Myler <emyler@fcgov.com> wrote:

Hi Tom,

Thank you for reaching out to confirm. I have two emails from you. One from April 9th and one from May 5th. If you sent a more recent comment I apologize that I have not received it. Let me know ASAP so I can confirm that all of your comments are in the packet.

Thanks,

Em

From: Tom Graff <tomjgraff@gmail.com>
Sent: Monday, December 5, 2022 2:10 PM
To: Em Myler <emyler@fcgov.com>
Subject: [EXTERNAL] Group home concerns

Em, I sent you a letter/concerns about the group home proposed next to my home. You told that you would distribute it as appropriate. Can you confirm that it is in the packet to the P&Z?

Thanks,
Tom Graff

Comment on proposed development of a group home at 636 Castle Ridge Ct., Fort Collins

My wife and I live next door to the proposed group home. Our proximity is a concern because of the plan to eliminate much of the current privacy in our backyard. This is after we agreed to allow Prusnicks to build outside the development envelope (close to our lot line) since it would be a swimming pool room and garage wall facing our property. If approved, there will be close proximity with windows along that wall.

An even greater concern is that development is proposed on a narrow privately owned street with minimal off street parking. It is my understanding that when Gary Nordic proposed the neighborhood the narrow street was accepted by the city since all homes would be required to have 3 or more garages. At this time all of them do. The applicants are proposing to remove 2 of the garages (on the one house that will need them more than any other). I understand that the justification for this is that they will only have a staff of 2 at any one time. They have at least 2 there now, and it appears that those 2 are fairly busy with only 2 residents (for example, trash cans left out for 3 days after trash pickup). I ask that you imagine a morning with a staff of 2 when 10 memory care residents need to be awakened, personal hygiene taken care of, dressed, and taken to the dining room, all while someone on the staff is preparing breakfast. State minimum staff size will not determine the practical needed staff size. All of this will add to the parking and traffic problems. There will also be family visits, outside care givers (PT, nurses, pharmacists, and other medical professionals). Recently there was a medical supply truck parked in front of the house for over 4 hours on one day. There was a roofing truck parked across the street. There was barely room for my car, I doubt a fire truck could have made it through to my house if I had needed one. With 5 times as many residents, I suspect these scenarios will become much more common.

In summary, I think the concept of group homes in residential areas can be a workable idea. This is simply the wrong house on the wrong street.

I believe that they have failed to adequately address the major concern of the P&Z board at the first hearing (traffic and parking).

I believe that their staffing proposal is wrong and doesn't align with common sense.

At a minimum I believe they need to retain all four garages.

Any windows facing my lot line should be required to have frosted glass.

Thank you for your consideration of our concerns,

Tom and Debbie Graff

624 Castle Ridge Ct.

Fort Collins, CO 80525

Katie Claypool

From: Development Review Comments
Sent: Wednesday, December 7, 2022 4:11 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Castle Ridge Group Home

Categories: P&Z

From: Kai Kleer <kkleer@fcgov.com>
Sent: Wednesday, December 7, 2022 5:29 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: FW: [EXTERNAL] Castle Ridge Group Home

FYI

.....
KAI KLEER, AICP
City Planner
[City of Fort Collins](#)

From: Denise Newmark <newmarkdenise@gmail.com>
Sent: Wednesday, December 07, 2022 10:07 AM
To: Kai Kleer <kkleer@fcgov.com>
Subject: [EXTERNAL] Castle Ridge Group Home

Hi. I'm Denise Newmark. I live at 5000 Boardwalk Dr. Unit 12. I support the revised proposal for a 10 resident group home for assisted living and memory care. I think we neighbors will not be disturbed by it now that the number of residents will decrease. I also think it'll be nice for the group home residents to live in a residential neighborhood.

Thank you.

Comment on proposed development of a group home at 636 Castle Ridge Ct., Fort Collins

My wife and I live next door to the proposed group home. Our proximity is a concern because of the plan to eliminate much of the current privacy in our backyard. This is after we agreed to allow Prusnicks to build outside the development envelope (close to our lot line) since it would be a swimming pool room and garage wall facing our property. If approved, there will be close proximity with windows along that wall.

An even greater concern is that is development is proposed on a narrow privately owned street with minimal off street parking. It is my understanding that when Gary Nordic proposed the neighborhood the narrow street was accepted by the city since all homes would be required to have 3 or more garages. At this time all of them do. The applicants are proposing to remove 2 of the garages (on the one house that will need them more than any other). I understand that the justification for this is that they will only have a staff of 2 at any one time. They have at least 2 there now, and it appears that those 2 are fairly busy with only 2 residents (for example, trash cans left out for 3 days after trash pickup). I ask that you imagine a morning with a staff of 2 when 10 memory care residents need to be awakened, personal hygiene taken care of, dressed, and taken to the dining room, all while someone on the staff is preparing breakfast. State minimum staff size will not determine the practical needed staff size. All of this will add to the parking and traffic problems. There will also be family visits, outside care givers (PT, nurses, pharmacists, and other medical professionals). Recently there was a medical supply truck parked in front of the house for over 4 hours on one day. There was a roofing truck parked across the street. There was barely room for my car, I doubt a fire truck could have made it through to my house if I had needed one. With 5 times as many residents, I suspect these scenarios will become much more common.

In summary, I think the concept of group homes in residential areas can be a workable idea. This is simply the wrong house on the wrong street.

I believe that they have failed to adequately address the major concern of the P&Z board at the first hearing (traffic and parking).

I believe that their staffing proposal is wrong and doesn't align with common sense.

At a minimum I believe they need to retain all four garages.

Any windows facing my lot line should be required to have frosted glass.

Thank you for your consideration of our concerns,

Tom and Debbie Graff

624 Castle Ridge Ct.

Fort Collins, CO 80525

Katie Claypool

From: Development Review Comments
Sent: Monday, December 12, 2022 2:25 PM
To: Katie Claypool
Subject: Fw:

Categories: P&Z

From: Alyssa Cross <alysacross2005@icloud.com>
Sent: Monday, December 12, 2022 7:28 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject:

Hi my names Alyssa cross and i am writing this in regards to the castle ridge group home project. The elderly population here has MINIMAL impact. Especially when your comparing the smaller housing to brook and morning star
Sent from my iPhone

Katie Claypool

From: Development Review Comments
Sent: Monday, December 12, 2022 2:28 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Support of Castle Ridge

Categories: P&Z

From: Jillian <jilliankropp@gmail.com>
Sent: Monday, December 12, 2022 6:58 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Support of Castle Ridge

I Jillian am writing this email in support of the castle ridge group home project. It is disheartening to see that there are people who are against a plan that will help so many elderly with dementia, mainly because it may impose parking limitations and increased traffic flow. I sand wirh castle ridge and our elders!

Katie Claypool

From: Development Review Comments
Sent: Monday, December 12, 2022 2:29 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Support of Castle Ridge Group Memory Care home project

Categories: P&Z

From: Dorothy Hull <dehull424@yahoo.com>
Sent: Monday, December 12, 2022 5:23 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Support of Castle Ridge Group Memory Care home project

Planning and Zoning Board of Fort Collins

My name is Dorothy E. Hull. I am writing this email in support of the Castle Ridge Group Memory Care home project.

We live in Fort Collins. Our 98-year-old mother has dementia and needs Memory Care. Earlier, she lived in an assisted living facility in our hometown of Kansas. As her dementia worsened, our hometown assisted living facility could no longer give her the security and care required for her safety and asked us to come and get her.

We moved her to Fort Collins in June where she then lived in a nationally known Memory/Assisted Living facility. We found after she had numerous falls (seven) resulting in a broken arm that the type of higher level of Memory Care she requires just didn't exist there. No explanation was ever given for the cause of the falls just that they found her on the floor with no witnesses. We felt this was unacceptable. We continued our search for a more suitable place for our Mother.

She spent the next month of Rehab at another facility. Therapy there was appropriate, but the rooms of the Memory Care Unit were rather dark and gloomy with no private bathrooms. At that facility's staff meeting we were given a brochure of the newer Miramont Memory Care residential facility.

We decided to tour Miramont Memory Care at the Castle Ridge Group home project. To our great surprise and delight found it to be a beautiful, light, bright, spacious smaller residential home with professional owners who employ the adequate number of caring staff for the elderly with dementia. Ratio of staff to resident that provide improved one on one resident engagement with the higher level of care with dignity our advanced dementia Mother requires. What a great alternate memory care setting for the growing elderly population of Fort Collins with dementia. This is the type of Dementia Memory Care home we all would like for our loved ones. Our Mother is safe, comfortable, enjoys her beautiful setting with her own private room and bath. We visit her often.

We feel so fortunate to have found Miramont Memory Care and that Fort Collins has this type of facility available to elderly residents of Fort Collins with dementia. It fits well in the residential area in which it is located, and parking has never been a problem as we've had at some of the larger facilities.

Please feel free to contact us if you have any further questions regarding our support of Miramont Memory Care Castle Ridge Group home project. I suggest you tour it yourself. You will be impressed.

Best regards,

Patrick D. Hull and Dorothy E. Hull, PhD
dehull424@yahoo.com

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:08 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Fort Collins Planning and Zoning Board Castle Ridge Group Home

Categories: P&Z

From: Jennie Lindstrom <exaafa88@gmail.com>
Sent: Tuesday, December 13, 2022 6:55 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Cc: Jennifer- Me <exaafa88@gmail.com>
Subject: [EXTERNAL] Fort Collins Planning and Zoning Board Castle Ridge Group Home

My name is Jennifer Lindstrom. I moved to Fort Collins 5-years ago. I chose Fort Collins for many reasons, one being the community of caring & friendly citizens. Because of these characteristics, I am surprised by the self-serving & unfounded objections to a much-needed memory care residence. Personally, I have not needed this type of facility here in Northern Colorado. However, in the past, I have had to find a place for both my Mother & Father, both which had memory issues. This facility, Castle Ridge Group Home, owned & managed by Eric Shenk & Xioma Diaz, is exactly what my siblings & myself have looked for... a smaller residential home, with a more 'normal' feel, with caring staff, that are both highly qualified & committed. Please give the approval for this necessary facility, as soon as possible. Let's support these citizens of our community with the dignity & respect they deserve, and that which we would want, should the need present itself.
Thank you for your consideration, as a Board, for this very important approval.
-Jennifer Lindstrom

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:09 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Support for the Castle Ridge Group Home Project

Categories: P&Z

From: Sheryl Escalle <smilee_8306@yahoo.com>
Sent: Tuesday, December 13, 2022 6:53 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Support for the Castle Ridge Group Home Project

Hello,

My name is Sheryl Cox and I am writing this email in support of the Castle Ridge Group Home Project.

I live in this area and this community needs smaller residential homes for our elderly population with Dementia.

I have a mother that will be needing care in the near future and this type of home, in a neighborhood, is exactly what I will be looking for.

With research, I have found this very limited neighborhood Dementia Care Facility offers a safe and secure environment that protects against their residents from wandering and delivers their own dining area and common space for them to move around freely with personalized, individual, trained care. I have driven by this neighborhood on several occasions and have not seen any disorder or abundance of traffic or parked cars along the street of the Home Project.

With this being said, I am in support of Fort Collins giving seniors another option of care that will minimally impact the city's neighborhood, unlike the larger senior facilities such as Brookdale.

Thank you,

Sheryl Cox

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:09 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Comments for Castle Ridge Group Home

Categories: P&Z

From: MikePruz <mikepruz@gmail.com>
Sent: Tuesday, December 13, 2022 5:28 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Comments for Castle Ridge Group Home

Our names are Michael and Vera Pruznick, former owners of the property writing this email in support of the castle ridge group home project.

We lived in Fort Collins for 21 years, moved just south of the location when this project started, but have since relocated out of the area mostly due to the hate and harassment we received from some of the neighbors.

This project creates higher density housing that will benefit the memory care elderly population in a way that is fully consistent with approved council goals and objectives. The applicant family has been kind and considerate and have reached out to neighbors. Despite this, the applicant family, at great cost and delay, has modified their plans to address the most significant neighborhood concerns.

We are disappointed by people acting on fears instead of choosing to be educated on the subject, for example reading by the document at the link below and understanding that professionals know what they are doing and how to handle situations. Michael attended the City's FFHA training about a year ago, but didn't notice any of the opposition in attendance.

It has been demonstrated repeatedly that this type of home will not have the feared amount of parking/traffic that is seen in the larger assisted living communities. The other smaller residential care homes in Fort Collins have that data available.

Fort Collins needs smaller residential homes for its vulnerable population with Dementia whose family members may not be able to care for them at home. This type of home in a neighborhood is exactly what many would be looking for to place their family elderly member in an assisted living situation.

Michael and Vera Pruznick

Current location confidential for safety and security.

REFERENCE:

https://www.alz.org/national/documents/phase_4_home_care_recgs.pdf

See our previous submittals for details.

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:09 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Castle ridge group home project

Categories: P&Z

From: Matthew Richter <mjr2049@gmail.com>
Sent: Tuesday, December 13, 2022 4:53 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Castle ridge group home project

My name is Matthew Richter and I am writing this email in support of castle ridge group home project. I live in Fort Collins and I believe the city needs smaller residential homes for our elderly population with dementia. As an EMT I get calls for falls and other problems at elderly homes and I've seen some of the conditions in the large ones. If a relative of mine ever needed dementia care I would only use a smaller residential home such as castle ridge group home project.

Thank you for your time,
Matthew Richter

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:09 PM
To: Katie Claypool
Subject: Fw: Fort Collins Planning and Zoning Board Castle Ridge Group Home

Categories: P&Z

From: MAURICE SHENK <MAURICESHENK@msn.com>
Sent: Tuesday, December 13, 2022 4:33 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Fort Collins Planning and Zoning Board Castle Ridge Group Home

My name is Maurice Shenk. I have lived in Fort Collins for 50 years. This community needs smaller residential homes for our elderly population with Dementia and memory loss. Please give the approval for this much needed facility. Eric Shenk and Xioma Diaz are highly qualified to provide the necessary care this part of our population is in need of. So many of the objections are unfounded and spiteful, and should be disregarded as selfish in nature. I urge you as a board to approve this facility as soon as possible.

Thank you for your consideration,

Maurice Shenk

Sent from [Mail](#) for Windows

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:09 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Support of the Castle Ridge Group Home Project.

Categories: P&Z

From: jessie@chaos2art.com <jessie@chaos2art.com>
Sent: Tuesday, December 13, 2022 5:23 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Support of the Castle Ridge Group Home Project.

My name is Jessica Miller,

I am a patient advocate and volunteer at a 90 bed convalescent center that has been challenged with staffing issues since the outbreak of COVID-19. Many patients in *large facilities* live a daily struggle of under staffing that include:

No assistance to get out of bed resulting in only a few hours a month outside of the individuals' bed/room

Once weekly access to bathing or shower facilities

Change of soiled clothing limited to once a day

No personalized or individualized time spent with the resident

As a witness to the alarming lack of dignity and daily needs of memory care residents I am writing this email in support of the Castle Ridge Group Home Project.

A recent global survey conducted by Alzheimer's Disease International found that 84 percent of people living with dementia reported experiencing stigma and discrimination in at least one area in their life.

Many individuals describe the consequences of stigma as being as challenging as the dementia itself. An estimated 6.5 million Americans over the age of 65 are living with dementia. Stigma and discrimination limit access to small personalized facilities that offer:

Better staff-to-patient ratios

More accessible than larger facilities

Better able to accommodate personal needs of residents

Fewer staff and residents help prevent the spread of infectious illnesses

Statistically safer for residents (fewer falls and accidents)

10% of Americans over the age of 65 are diagnosed with dementia, so please support a small, safe and loving environment for a handful of our aging population by allowing *Castle Ridge Group Home Project* to provide care in our neighborhood.

Thank you,

Jessica Miller, Volunteer Patient Advocate

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:10 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Comment

Categories: P&Z

From: Regan Espinosa <tppc17@gmail.com>
Sent: Tuesday, December 13, 2022 4:18 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Comment

Hello,

I live in the Fort Collins area.

This community needs smaller residential homes for our elderly population with Dementia.

Thank you,
Reba.

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:10 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Support for Castle Ridge Group Home

Categories: P&Z

From: Hector Espinosa <hectorespinosa72@gmail.com>
Sent: Tuesday, December 13, 2022 4:09 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Support for Castle Ridge Group Home

My name is Hector Espinosa, and I'm writing this email in support of the Castle Ridge Group Home project.

The Fort Collins community needs these types of smaller residential care homes that offer a more personalized, and focused, support structure for our elderly population afflicted with dementia. This kind of home-like care facility offers a calming and peaceful environment for its residents which helps in their overall care and comfort.

I would hope that the city of Fort Collins realizes the benefits of having this type of an option in care for our elderly population.

--

Thank you.

Hector M. Espinosa

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:10 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Re: 636 Castle Ridge Court memory care facility proposal

Categories: P&Z

From: KEN PATRICK <traceyken@comcast.net>
Sent: Tuesday, December 13, 2022 2:57 AM
To: Development Review Comments <devreviewcomments@fcgov.com>; Em Myler <emyler@fcgov.com>
Subject: [EXTERNAL] Re: 636 Castle Ridge Court memory care facility proposal

To whom it may concern,

I would like to submit an additional comment for consideration at the P&Z meeting Dec. 15th and in review of the proposed project.

I would like to remind the P&Z committee that initially PFA required a fire lane marked covering nearly the entire length of Castle Ridge Ct. The applicant's attorney then confronted PFA about their decision, stating that parking on both sides of the street was going to be highly unlikely. PFA then withdrew their requirement. It has been demonstrated that it is highly LIKELY there will be parking on both sides of the street therefore creating a one way street at those times. This will be exacerbated during inclement weather when there is snow on the street (no plowing).

It does not appear that PFA has been asked or required to review the additional information presented during the prior P&Z evaluation/meeting and amend their decision if needed. Why? This despite another "reasonable accommodation" determination by the city for greater than 8 residents. The safety of all residents, including those that will be housed at the proposed facility, needs to be taken into consideration and procedure followed. With this potential to impact the safety of all of the residents, I urge the P&Z to decline this proposal due to the density of the project on this narrow street.

Kindest regards,
 Tracey Stefanon
 Ken Patrick
 642 Castle Ridge Ct.

On 11/28/2022 8:32 AM Development Review Comments <devreviewcomments@fcgov.com> wrote:

Good morning Ken,

Thank you for submitting your comments on the Castle Ridge Ct proposal.

I can't personally comment on the reasonable accommodation requests since I'm not an expert in the City's Land Use Code. I have passed your inquiry on to our planning staff, who are the

experts, and will make sure they get back to you so they can clear up confusion for you and the neighbors.

In the meantime, I will make sure your comment is included in the packet materials for the proposal that the Planning and Zoning Commission receive and use in their ultimate decision.

Please let me know if there is anything else I can help with

Respectfully,

Em Myler
Neighborhood Development Liaison

From: KEN PATRICK <traceyken@comcast.net>
Sent: Monday, November 21, 2022 1:59 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] 636 Castle Ridge Court memory care facility proposal

To whom it may concern,

I am submitting comments with regards to the proposed memory care facility at 636 Castle Ridge Ct. In reminder, my family and I live in the home that is the direct next door home to the proposed project. I spoke at the P&Z meeting with regards to this project.

It appears that the prior granted reasonable accommodation of 16 residents, on the basis that it was "reasonable and necessary", has actually been deemed not reasonable and no longer necessary for this project to move forward. In addition, a new reasonable accommodation of 10 residents has been granted on the same premise. I am sure you can understand how this is quite confusing and frustrating as the number and determination appear to arbitrary and not based on what is actually reasonable nor necessary. 16 and 10 cannot both be necessary, and so it begs the question as to how this determination is made and, without clear standard, should most reasonably default to the current municipal code of 8.

My family and I stand firm in our opposition to the density of the project due to the increased traffic and parking burden to the neighborhood and the high likelihood of a one lane bottleneck of the main road in the neighborhood. This would create an issue for emergency response vehicles and other larger transiting vehicles in and out of the neighborhood. This is especially concerning on snowy days as this road is not plowed. The proposed limited control measures that the applicants has put forth are unlikely to be fully utilized and are totally unenforceable.

The applicants do not fully answer the question asked by city representatives regarding anticipated traffic to the site on a daily basis with estimated staff, deliveries, etc. The applicants do not provide details on the estimated trips for:

1. Deliveries for food, pharmacy, supplies, packages to residents, etc.

2. Number of provider visits for physician/provider evaluations, dental, occupational therapy, physical therapy, speech therapy, massage therapy, wound care, etc.
3. Number of visits for religious providers
4. Number of transports of residents out in to the community for on site medical/dental visits, salon appointments, community outings, etc. Will there be a van to transport the residents? Where will it be housed? Where is the loading and unloading site for the transportation vehicle for the residents if all the parking spots are utilized in the driveway?
5. Number of estimated visitation from family and friends. The applicants continue to state that they will require visitors to make appointments which is against Colorado code for assisted living and hospice care as previously noted.
6. Number of service visits for general maintenance of the home, landscape, snow removal, etc.

The consultant even commented in her presentation to P&Z that if the number of residents was different they would still require the same number of services including the nurses, therapists, massages, etc.

In addition, I continue to have concerns that the number of caregivers is grossly underestimated. What happens if the project goes forward and it is determined that additional staff are needed to provide care to the residents, meal preparation, housecleaning services, etc? What if traffic and parking are above and beyond what was projected? How does the city go back and decrease the number of residents allowed?

There are simply too many unknowns with regards to the impact this project will have on this neighborhood with regards to traffic, parking and therefore safety of residents of the neighborhood and of the proposed facility. There are no enforceable rules to limit the traffic and on street parking. Limiting this project to the current code of 8 residents allows for the facility to get up and running and be able to effectively answer these unknowns with data, decreasing the risk to the neighborhood and facility residents. If, after a period of FULL occupancy operations at 8 residents (i.e. 1-2 years) the impact is minimal and not presenting a risk then the applicants can apply for a "reasonable accommodation" to increase to 10. However, if 10 is granted now, and the operation presents a safety issue how does the city go back?

We respectfully request that this project be denied at the current density proposed.

Respectfully,
Tracey Stefanon
Ken Patrick
642 Castle Ridge Ct.

**TESTIMONY IN SUPPORT OF THE
MIRAMONT MEMORY CARE HOME**

MY NAME IS HECTOR ESPINOSA

**I WOULD LIKE TO EXPRESS MY
SUPPORT FOR THE CASTLE RIDGE
GROUP HOME PROJECT.**

**WE ALL KNOW THAT THE DEMAND
FOR CARE FOR FAMILY MEMBERS
WITH ALZHEIMER OR DEMENTIA IS
GROWING. WE ALSO KNOW THE
CHALLENGE THEIR CARE
REPRESENTS FOR THEIR LOVE ONES.**

**THEY COULD BE ANY ONE OF OUR
SIBLINGS , ~~OR~~ PARENTS OR
PARTNERS.**

**AND WHAT A BETTER OPPORTUNITY
FOR THESE SENIORS WITH THESE**

CONDITIONS TO HAVE A PLACE LIKE CASTLE RIDGE WHERE THEY COULD LIVE IN SMALL HOMELIKE ENVIRONMENT. A PLACE WHERE THEY COULD GET MORE PERSONALIZED ATTENTION AND CARE, THAN IN LARGE INSTITUTION WITH 40 OR 50 OTHER INDIVIDUAL WITH THE SAME CONDITION.

THE CASTLE RIDGE IS INVESTING IN THE COMMUNITY AND ADHERING TO THE RULES AND REGULATIONS, TO ENSURE THE SAFETY AND THE INTEGRATION OF THE HOME RESIDENTS AND THE SAFETY AND COMFORT OF THEIR NEIGHBORS.

THANK YOU VERY MUCH FOR YOUR CONSIDERATION OF MY REQUEST

Testimony in support of the Miramont Memory Care Home or Castle Ridge Group Home

My name is Gustavo Espinosa, and I would like to express my support for the Castle Ridge Group Home Project.

Like many other people dealing with challenges of family members with Alzheimer's / Dementia we want to support and assist and keep them in their own home for as long as possible. However, we recognize the progressive nature of their condition and witness firsthand how they lose their abilities to live independently. When no longer possible, we look and advocate for homelike alternatives. The Castle Ridge Group is one of those alternatives we are presently considering for my 89-year-old sister who is a widow with no children. The Castle Ridge Group Home is a small, affordable and well-located alternative to have available for my sister.

Please consider that Castle Ridge is taking a big step by investing in the community. By adhering to the rules and regulations, it hopes to ensure the safety and the integration of the home residents, and the safety and comfort of their neighbors.

The difference that places like this make for the well being of those who need that kind of care and for the peace of mind of their families is priceless.

Thank you for your consideration of this request.

Gustavo Espinosa

3239 Barbera Ct.

Greeley CO 80634

Gespinosa2002@yahoo.com

Alfonso and Delia Rodríguez
3120 66th Avenue
Greeley, CO 80634
leyendapub@comcast.net

March 21, 2022

Planning and Zoning Board
Fort Collins, Colorado

Dear Members of the Board:

On the afternoon of March 18 my wife and I were given a tour of the Castle Ridge Group Home (Miramont Memory Care Home) owned by Mr. Eric Shenk and Miss Xioma Díaz. We were interested in learning of the operation of such services, since perhaps in the future we may be candidates for similar services. Thus, this is a letter of support for that initiative.

Mr. Shenk was kind enough to provide us with a thorough presentation of the premises, including plans for renovations in certain areas, and their goals in providing quality care to persons suffering with Alzheimer's and Dementia. He indicated that Castle Ridge Group Home would be, at this time, the only enterprise devoted exclusively to that type of service in northern Colorado. If this is the case, then it would constitute an important contribution to the community.

The place is impeccably clean and would only serve up to fifteen clients, which would almost guarantee a high quality of individual care. We have visited assisted living institutions in Loveland and other places, and have noticed that in those places some of the clients feel neglected and depressed due to low quality care. The Home, in this case, could easily become like a large family where people can enjoy many moments of real fellowship and amiable communication.

Also, Castle Ridge Group Home would be small enough to prevent uncomfortable traffic in the neighborhood.

In conclusion, for the reasons stated above we support the inauguration of CRGH. Thank you very much.

Respectfully,

Alfonso and Delia Rodríguez

Project Miramont Memory Care Home

1 message

Octavio Noda <nodav@comcast.net>
To: hespinosa78@gmail.com

Mon, Mar 21, 2022 at 9:26 AM

March 20, 2022

TO WHOM IT MAY CONCERN:

This is a brief note to express support for the project Miramont Memory Care Home, owned by Eric and Xioma Díaz.

A few days ago, I had the opportunity to tour the home, courtesy of Mr. Erick Shenk, one of the owners. He gave a few of us a complete tour of the house and answered all our questions. I was impressed by the design of the place. It is very attractive, and it seems like a very suitable place to serve persons suffering from Alzheimer's and Dementia. It is a well-equipped house to receive only a small number of people, a condition which almost assures excellent personal care.

The sector of town is tranquil and convenient for an enterprise such as the one that is proposed. I learned that this memory care home is unique in northern Colorado, and as such, it means that a significant contribution to the community will be made by its existence. Also, this enterprise will not interrupt the peace of the neighborhood.

Thank you for your attention to his letter.

Sincerely,

Octavio Noda
Berthoud, Colorado

----- Forwarded message -----

From: **ernesto espinosa** <espiusa99@gmail.com>

Date: Sun, Mar 20, 2022 at 9:44 AM

Subject: 23MAR2022 Agenda Item #4: Castle Ridge Group Home Project

To: <Devreviewcomments@fcgov.com>

Hello,

I'm commenting on behalf of Castle Ridge Group Home.

There are always those who oppose any kind of change. We typically refer to them as NIMBYs (Not In My Backyard). But some change can be a good thing for both sides. As communities we all too often look to place individuals with special needs in places where they are out of sight and out of mind to the detriment of those individuals. This type of group of home inside a residential community can provide huge benefits to the residents of the home as they are not locked away in some commercial location in a large size group home where they are treated more as an amazon package to be warehoused. This is a place where they can feel that they are in a home with multi generational neighbors and children playing in the streets. In a small size group home they can receive the attention and caring they deserve as individuals. Care and attention that is no longer possible at their own homes. These people will not be foreigners, or dangerous elements. They will be our mothers or fathers. People who raised our children, who've led wonderful lives that sacrificed for and contributed to our communities being what they are today and through no fault of their own now struggle to remember those lives and can no longer continue on their own. Should we not do what we can to help them and make them feel comfortable, valued, and wanted? In time, the current residents of this neighborhood may actually become residents of this group home. Imagine the benefit of not having to even leave their neighborhood. To have family so close by that a small walk is all that is needed to be visited by family.

Much is made of the maximum size of 16, but 16 allows for fluctuations in vacancy rates. With a size of 8, a single vacancy for any amount of time carries a large impact. In addition there is an over emphasis placed on parking on one time events such as holidays. There are always parking issues in those cases. All it takes is for one family or more to decide to hold a party. This shouldn't be a consideration. Besides I'm sure accommodations could be made. Perhaps the owners could arrange to shuttle people to/from a staging area should it be an extreme situation. There are always ways to make things happen without overly inconveniencing the neighbors.

I think "Neighborhood character" should be outlawed as a reason to ever deny a project. Neighborhoods change and should overtime as residents come and go overtime. Change is good for all of us. America is built on change. Colorado is built on change. Ft. Collins is built on change. Could you imagine if we never allowed a neighborhood's character to change? If you don't believe neighborhoods change may I suggest an online visit to the Fort Collins History Connection.

To summarize, I believe the Castle Ridge Group Home project can provide a positive and beneficial impact for the citizens of Fort Collins as well as the residents of Castle Ridge Court. We should say NNIMBYs (No Not In My Back_Yards) who just throw everything at the wall hoping something will stick because they resist all change.

Thank you for your thoughtful consideration of my words,

--

Thank you,
Ernesto Espinosa

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:11 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL]

Categories: P&Z

From: Mack Tulenko <tulenkomack@gmail.com>
Sent: Monday, December 12, 2022 7:51 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL]

My name is Mack Tulenko. I am writing this email in support of the castle ridge group home project. Fort Collins needs to change with the times and have other options for our elderly population that minimally impact our city instead of these big institution like facilities like Brookdale and Morning Star senior communities.

Katie Claypool

From: Development Review Comments
Sent: Tuesday, December 13, 2022 3:11 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL]

Categories: P&Z

From: Shai <sheek1031@gmail.com>
Sent: Monday, December 12, 2022 8:13 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL]

My name is Shai Krieger. I am writing this email in support of the castle ridge group home project. I am a caregiver at this home and it has been disgusting the way that some of the people in this neighborhood have harassed this family who is attempting to start a home that will benefit a large population of our elderly with dementia. Our elderly whom suffer with dementia need familiarity and stability more than anyone, something we are able to provide at this location. Including the ability to develop a interpersonal relationship with our residents, something that is not possible at larger facilities due to a 15:1 ratio of residents:staff, where we will be operating at a 5:1 ratio. The needs of the most vulnerable people in our society should take place over the petty "worries" the neighborhood clames. It has been demonstrated several times that this type of home will not have the large amount of traffic that is seen in the larger assisted living communities. The other smaller residential care homes in Fort Collins have that data available. What if it were you? Don't you want the best care and best quality of life? People with dementia deal with enough, give them a home they can live out the rest of their days in, with the love and support they not only need but deserve.

Katie Claypool

From: Development Review Comments
Sent: Wednesday, December 14, 2022 9:35 AM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Castle Ridge Group Home

Categories: P&Z

From: Taryn Morrow <taryn.morrow@gmail.com>
Sent: Wednesday, December 14, 2022 5:13 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Castle Ridge Group Home

My name is Taryn Morrow, and I am writing this email in support of the Castle Ridge Group Home project. I live in Fort Collins and have a grandmother who is struggling with dementia. When my grandfather passed away last year, we were able to find a home much like this one where she could live safely. There have been so many benefits to having her in a small home, much like the Castle Ridge Group Home. She was able to learn the easy layout quickly, which would have been more complicated in a larger facility. She has a consistent group of caregivers who know her and are well versed in her quirks due to this disease. They have been quick to learn what she does and doesn't like to eat and have even been willing to make adjustments just for her. We are able to call and FaceTime with the help of staff members, and we have been notified very quickly of illnesses, etc. This is critical to our being able to check in and have the reassurance she is being cared for. I truly believe these types of things would not happen as easily, or even at all, in a much larger facility. The home she currently resides in is located in another state where she has lived most of her life, however, she is far away from any family members. This type of home would be exactly where we would want her to live if it was ever best for her to be moved for any reason. We need options like these for our elderly, and especially those who struggle with memory. My grandmother couldn't tell you the date, and if she did, she would likely say something in the 1950's, but she can tell you all about what she was doing, where she was working, and how she learned to make the best pies. She is funny, and kind, but also very easily disoriented if she's out of familiar settings. A home like the one being proposed at Castle Ridge would be such an asset in Fort Collins. I ask that you take these things into consideration when making your decision.

Sincerely,
Taryn Morrow

Katie Claypool

From: Development Review Comments
Sent: Wednesday, December 14, 2022 10:15 AM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Castle Ridge Group Home

Categories: P&Z

From: Steve Dornseif <stevedornseif@gmail.com>
Sent: Wednesday, December 14, 2022 5:08 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Castle Ridge Group Home

My name is Steve Dornseif and I would like to once again express my strong support in favor of approving plans for the group home, Sign # 615, 636 Castle Ridge Court.\$

I owned and lived at 5031 Bluestem Ct, a neighbor of the property and a friend of a resident, for 15 years. Although I just moved to a Loveland rental and sold the home 3 months ago, I am still a neighbor and retain strong ties to Fort Collins and will probably be looking to return.

I support the updated plans for the Group Home and even if I were a close neighbor to the property, I would have little concern about impacts, and be very pleased that this service is being offered. This is exactly the kind of home that most us would be looking for when Memory Care is needed, whether for ourselves or for family members. This is a growing need for many, and an extremely important part of the solution.

I believe the current plan fully addresses the Parking needs, which seems to be the biggest issue to be resolved before approval. I believe the documents are very thorough in ensuring there would be minimal effects on access through Castle Ridge Court.

I continue to support staff parking / car-pooling off-site through the use of street parking on the WEST side of Boardwalk, the 5000 block. As a neighbor, I observe that the east side can be busy from the apartments, but the west side is little used. The 5100 block of Boardwalk also seems possible -- especially the West/South side -- only at certain times does park and condo parking affect that block. This parking is less than 500 yards away from the group home. The city has provided and maintains street parking, so it seems that it should be used in a reasonable manner and not left empty most of the time.

Thanks!
 - Steve Dornseif
 970-456-4361

Katie Claypool

From: Development Review Comments
Sent: Wednesday, December 14, 2022 2:54 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] 12/14/2022 City of FOCO Planning/Zoning Committe Support letter

Categories: P&Z

From: elizabeth giglio <lizziegiglio@gmail.com>
Sent: Wednesday, December 14, 2022 9:48 PM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] 12/14/2022 City of FOCO Planning/Zoning Committe Support letter

Hello!

My name is Elizabeth Giglio and I am writing in support of the Castle Ridge Group Home project.

With over 25 years of experience in healthcare working in nursing homes, assisted living, home health, and hospitals; one of my biggest passions is advocating for my patients. I feel writing this email is along those lines.

I am inspired by this Project and the incredible opportunity our community has to embrace a better lifestyle and quality of life for Memory care patients/clients and their families. Having both worked in large care facilities and having family members in such places at the ends of their lives, I know we can do better to provide more options to the people in our towns.

A group home setting allows for much more personal, individualized, adaptable care, a better rapport with staff and families, excellent staff to patient ratios, and a safe and quieter environment, that is truly HOME. It's the little details that make a big difference in this population, and QUALITY of life is key!

Having recently moved back to town to be closer to aging parents, and knowing the possibility of potentially needing resources such as these in the future, I LOVE knowing the option for a small group home model over a large care facility is available for my family.

It is disheartening that some people in the neighborhood feel it is okay to harass the family who is starting this group home that will truly benefit our ever growing elderly population with dementia. The parking in the neighborhood will be minimally impacted, as it is a HOME, not a huge facility! Having these types of homes throughout the town would make it SO much easier for families and care providers to both have access to their client and loved ones but also provide a better environment for the patients. Imagine you or your family member needing this type of care in your lives. What environment would you prefer? Where would you feel safest? What does quality of life mean to you? How can we better serve our patient populations and our communities? I think if you took even just a moment, you could see the incredible opportunity and benefit that the Castle Ridge Group Home Project provides.

Thank you for your time in reading this. Happy Holidays to you and yours.

Sincerely,
 Elizabeth G

Katie Claypool

From: Development Review Comments
Sent: Wednesday, December 14, 2022 7:02 PM
To: Katie Claypool
Subject: Fw: [EXTERNAL] Castle Ridge Group Home Project

Categories: P&Z

From: ADDISON SCHOLES <mercys@comcast.net>
Sent: Thursday, December 15, 2022 2:00 AM
To: Development Review Comments <devreviewcomments@fcgov.com>
Subject: [EXTERNAL] Castle Ridge Group Home Project

Dear Fort Collins Planning and Zoning Board Members,

The purpose of this correspondence is to express support for the Castle Ridge Group Home project. My wife and I feel that approval of this project would benefit memory care patients, their supportive families and friends, as well as the City of Fort Collins. Memory care patients would benefit by having a personalized, home-like alternative to the traditional institutional setting. Families and friends of these patients would benefit by having the assurance that their loved ones will receive the individual care they need, in an intimate, small-scale residential environment. I know from the experience of trying to find care for my aging mother that I did not want to place her in a large institution. I did not believe that she would be comfortable in that setting or that she would feel "at home". To be uprooted from your home at an advanced age, with diminished capacity to comprehend the circumstances of the move, must be a traumatic and frightening experience. And here is where we believe that the most powerful advantage of the residential, small-scale setting exists. It resembles home, and therefore the patient will be more likely to feel "at home". They are unlikely to feel as comfortable in a large institution. Finally, we believe that approval of the Castle Ridge Group Home project will benefit the City of Fort Collins by demonstrating progressive thinking regarding care of mental health patients as well as embracing the Fort Collins Housing Strategic Plan.

Thank you for your consideration of these thoughts.

Best regards,

Addison and Mercedes Scholes

City of Fort Collins Planning & Zoning Commission

Type 2 Review for proposed group home at 636 Castle Ridge Ct.

Neighborhood Response

12/15/22

1

Representation

Kurt/Laurie Johnson
612 Castle Ridge Ct

Jesus Martin/Angie Lee
637 Castle Ridge Ct

Steve/Kathy Chacho
631 Castle Ridge Ct

Ed/Joann Jaeger
643 Castle Ridge Ct

Troy/Carrie Tafoya
5213 Castle Ridge Pl

Barbara Schwerin
601 Castle Ridge Ct

Tracey Stefanon/Ken Patrick
Lily/Weston Patrick
642 Castle Ridge Ct

Lawrence Mauch/Karen Kotecki
625 Castle Ridge Ct

2

Representation (cont'd)

Tom/Debbie Graff
624 Castle Ridge Ct

Steve/Beth Williams
5301 Highcastle Ct

Gregg/Stacy Lesartre
619 Castle Ridge Ct

Tony/Sarah Doing
5206 Castle Ridge Pl

Michael Leuzze
5225 Castle Ridge Pl

Dan Clawson
5219 Castle Ridge Pl

Douglas/Katie Salter
613 Castle Ridge Ct

3

Agenda

- Previous Parking Conclusions (*which contributed to P&Z denying the previous 636 Castle Ridge Court application in its 3/23/2022 hearing*)
- Current Constraints
- Comparison with Seneca House
- Summary
- Recommended Approach

4

Previous Parking Conclusions

- Visitors and contractors will park on the street -- driveway is not inviting or obvious
- When cars are parked on both sides of street, street becomes one lane
- Sidewalks blend into curb, driveways not obvious
 - Some parking already on sidewalk
- Narrow street – variance predicated on 3-car garages



5

Satellite Image with Driveways

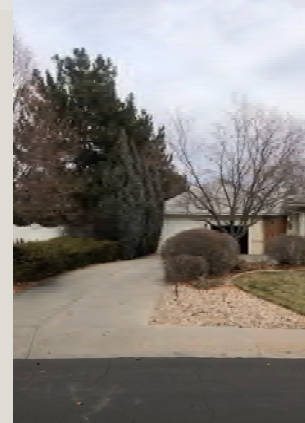
- Driveways and fire hydrant areas leave very limited street parking
- Visitors likely to park in front of and across the street from subject property
- 17 other residences with visitors, deliveries, services, maintenance, and potential need for emergency services
- Next-door neighbors letter: medical supply truck across from roofing contractor



6

Current Constraints

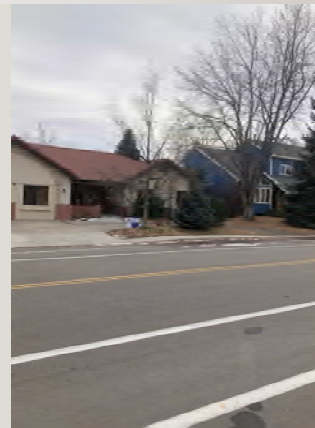
- Street width unchanged since 3/23/2022 denial
- Driveway layout unchanged since 3/23/2022 denial
 - Not obvious for occasional visitors
 - Requires “musical cars” to achieve stated capacity
 - Human nature at work
- Sidewalks blend into curb, driveways not obvious
- Neighbors on both sides and across street
- Narrow street – variance predicated on 3-car garages



7

Seneca House

- Recently approved for 10 residents
- Operated at 8 residents for several years
- Demonstrated compatibility
- Key built-in advantages related to parking

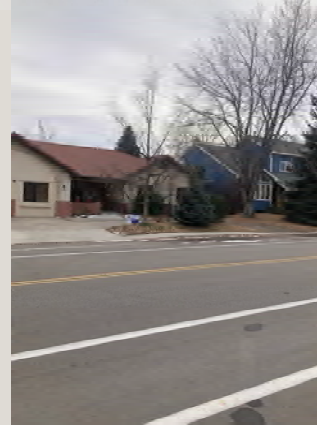


8

Seneca House – driveway



- Castle Ridge single entrance/exit
- Seneca circular layout
 - Obvious to visitors/contractors
 - Better circulation
 - More space



9

Seneca House – street



- Castle Ridge is narrow/private street
 - Constrained already; not designed for parking on both sides
- Seneca St is city “secondary” street
 - Designed to support on-street parking on both sides
- Seneca House has no neighbors to west
 - Lower impact to others



10

Seneca House – Impact

- Email in packet from last P&Z meeting – Seneca House operating at 8 residents:
 - “Sometimes we run out of on-site parking but we have so much on-street parking that it is never an issue. We are in a unique situation because there is a middle school across the street and our northern neighbor’s house faces Craig St.”



11

Summary

- Applicants have never run an operation like this before
- Applicant’s estimate that two staff can handle full-time care of residents while managing operations – not realistic
 - RA limits to 2 staff
- Parking app not practical – unlikely to be used by visitors or contractors
- “Operational Plan” is optimistic and dubious – not based on experience

12

Summary – Bottom Line

- Far too risky to approve 10 residents, above code, without hard data
- Applicants did not consider “environmental” factors, only house layout
- Seneca only increased to 10 residents after operating for several years

13

Summary – Bottom Line (cont'd)

- Operational plan mostly same and constraints exactly the same as when P&Z denied the project on 3/23/2022.
- Same issues of public health and safety exist with the current application as existed with the previous application
- A group home at more than the allowed intensity at this location jeopardizes neighborhood health and safety

14

Recommended Approach

- Deny initial application for 10 residents
- Gain experience for several years first within code
- Neighborhood and applicants gather actual parking data
- If appropriate, subsequent Type 2 review to assess feasibility for any increase based on operational success, parking data, and demonstrated compatibility

15

Additional Conditions Independent of Intensity

- **NOTE: Not a solution for proposed intensity, for consideration within code**
- 1. No bus/van parking on-site or on Castle Ridge (agreed to at neighborhood meeting)
- 2. Deliveries and short term visits to exclusively use the driveway, which enforces the proposed staggering

16

636 Castle Ridge Ct

Questions?