



Folsom City Council Staff Report

MEETING DATE:	9/8/2026
AGENDA SECTION:	Consent Calendar
SUBJECT:	Resolution No. 11695 – A Resolution Approving the Historic District Commission’s Recommendation for Approval of a Design Review for a New Custom Home Project Located at 315 Sutter Street and Determination that the Project is Exempt from CEQA.
FROM:	Community Development Department

RECOMMENDATION / CITY COUNCIL ACTION

The Historic District Commission held a public meeting for the project on September 2, 2026. Staff recommends that the City Council take the following action confirming the Commission’s decision:

1. Approve Resolution No. 11695 – A Resolution Approving the Historic District Commission’s Recommendation for Approval of a Design Review for a New Custom Home Project Located at 315 Sutter Street and Determination that the Project is Exempt from CEQA.

BACKGROUND / ISSUE

The applicant is requesting approval for design review application for a 3,991 square-foot new custom home, an 884 square-foot detached garage, and a 850 square-foot above garage detached Accessory Dwelling Unit (ADU) located at 315 Sutter Street, as discussed in the attached Staff Report.

POLICY / RULE

Folsom Municipal Code (FMC) Section 17.52.300 requires that all new office, industrial, commercial, and residential structures undergo design review by the Historic District Commission. However, as a result of the recent litigation, all entitlements in the Historic District are being submitted to City Council for final approval.

Folsom Municipal Code (FMC) Section 17.105.110 states that all accessory dwelling units (ADUs) which are not 66323 units in the Historic District shall be subject to a ministerial design review by the Community Development Director against objective design standards in FMC Sections 17.105.190 and 17.105.200. Furthermore, any proposed garage space that is a part of a detached ADU shall be reviewed concurrently through the ministerial review process.

ANALYSIS

Staff have determined that the project complies with the standards of the Folsom Municipal Code and the Historic District Design and Development Guidelines, as discussed in the attached staff report.

FINANCIAL IMPACT

The project does not impact the General Fund.

ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) and 15061(b)(3) (Common Sense) of the CEQA Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemptions in this case.

ATTACHMENTS

1. Resolution No. 11695 – A Resolution Approving the Historic District Commission's Recommendation for Approval of a Design Review for a New Custom Home Project Located at 315 Sutter Street and Determination that the Project is Exempt from CEQA.
2. Historic District Commission Staff Report and Attachments, dated September 2, 2026

Submitted,



PAM JOHNS

Community Development Director

Attachment 1

RESOLUTION NO. 11695

A RESOLUTION APPROVING THE HISTORIC DISTRICT COMMISSION'S RECOMMENDATION FOR APPROVAL OF A DESIGN REVIEW APPLICATION FOR A NEW CUSTOM HOME PROJECT LOCATED AT 315 SUTTER STREET AND DETERMINATION THAT THE PROJECT IS EXEMPT FROM CEQA

WHEREAS, the Historic District Commission on September 2nd, 2026, held a public meeting on the proposed design review application for the 315 Sutter St., New Custom Home Project (DRCL26-00101), reviewed the staff report as well as the associated exhibits and attachments, considered public comment, and provided a recommendation to City Council; and

WHEREAS notice has been given at the time and in the manner required by State Law and City Code; and

WHEREAS the Historic District Commission determined that the proposed project would be exempt from the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303 and Section 15061(b)(3);

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Folsom hereby confirms the recommendation of the Historic District Commission and approves a design review application for the 315 Sutter St., New Custom Home Project.

This approval is subject to the conditions of approval included in the staff report presented to the City Council and this Resolution is based on the following findings:

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) AND UNDER SECTION 15061 (COMMON SENSE) OF THE CEQA GUIDELINES.
- D. NONE OF THE EXCEPTIONS LISTED UNDER CEQA GUIDELINES SECTION 15300.2 ARE PRESENT.

DESIGN REVIEW FINDINGS

- E. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN, APPLICABLE ZONING ORDINANCES, AND THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY THE CITY COUNCIL.
- F. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

PASSED AND ADOPTED this 8th day of September, 2026, by the following roll-call vote:

AYES: Councilmember(s):
NOES: Councilmember(s):
ABSENT: Councilmember(s):
ABSTAIN: Councilmember(s):

Justin Raithel, MAYOR

ATTEST:

Christa Freemantle, CITY CLERK

Attachment 2



FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Meeting
Date: September 2, 2026

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

PROJECT INFORMATION

Project Name: 315 Sutter St., New Custom Home Project

File Number: DRCL26-00101

Request: Design Review and Determination that the Project is Exempt from CEQA

Location: 315 Sutter Street, Folsom, CA 95630 (APN 070-0120-068-0000)

General Plan Designation: Single-Family, High Density (SFHD)

Zoning: Residential, Single Family, Small Lot District (R-1-M); Figueroa Subarea (FIG) of the Historic Residential Primary Area of the Historic District

Staff Contact: Nathan Stroud, Associate Planner, nstroud@folsom.ca.us, (916) 461-6220

Property Owner: Paris Design + Build; 5464 2nd Street, Rocklin CA 95677

Applicant: Matthew Paris; 5464 2nd Street, Rocklin CA 95677

Project Summary: The proposed project involves Design Review for a 3,991 square-foot new custom home, an 884 square-foot detached garage, and an 850 square-foot above garage detached accessory dwelling unit (ADU), located at 315 Sutter Street. The residence has elements of the National Folk (c. 1850–1930) and Craftsman styles (c. 1905–1930), and the ADU has chosen to comply with the objective design requirements of the ADU Craftsman style outlined in FMC 17.105.200. Staff have determined that the project conforms to the development standards of the Folsom Municipal Code (FMC), and generally conforms with the design guidelines of the Historic District Design and Development Guidelines (DDGs).

The Historic District Commission's discretionary review authority is limited to only to the new custom home. The ADU and garage is subject only to a ministerial review for adherence to objective standards. The Historic District Commission will provide a recommendation, and the City Council will take final action.

Recommendation: Move to recommend confirming staff's determination that the 315 Sutter St., New Custom Home Project is exempt from CEQA under Section 15303 (New Construction or Conversion of Small Structures) and 15061(b)(3) (Common Sense Exemption), and recommend approval of an application (DRCL26-00101) for Design Review for said project at 315 Sutter Street, based on the findings (Findings A-F), and subject to the conditions of approval (Conditions 1-24) attached to the staff report.

PROJECT DESCRIPTION

Project Setting

The project site is a vacant 7,012 square-foot (0.16 acre) parcel with no existing structures or trees, located in the Figueroa Subarea of the Historic District. The property is a relatively flat lot with front street and rear alley access. The project site is not adjacent to any listed historic resources.



Figure 1 – Vicinity Map

Applicant's Request

The applicant, Matthew Paris, is requesting approval for Design for a 3,991 square-foot new custom home, an 884 square-foot detached garage, and an 850 square-foot above garage detached accessory dwelling unit (ADU), located at 315 Sutter Street. The residence is proposed to have elements of the National Folk (c. 1850–1930) and Craftsman (c. 1905 – 1930) styles , and the ADU has chosen to comply with the objective design requirements of the ADU Craftsman style outlined in FMC 17.105.200. The ADU is only subject to a ministerial review, and FMC 17.105.110(A)(1)(a) states that any garage attached to the ADU would be reviewed ministerially together with the ADU. As such, the design review for the ADU and garage is limited to adherence to objective standards in the FMC, and only the proposed main residence is subject to a discretionary design review. Staff have provided an analysis of the ADU and the detached garage's adherence to the objective standards of FMC 17.105 (Accessory Dwelling Units) and FMC 17.52.480 (Accessory Buildings) in later sections of this staff report.

Policy/Rule

Design Review – Main Residence

Folsom Municipal Code (FMC) Section 17.52.300 states that the Historic District Commission shall review projects involving new office, industrial, commercial, and

residential buildings in the Historic District. FMC Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

Additionally, as a result of the recent litigation, all entitlements in the Historic District are being submitted to City Council for final approval.

Design Review – ADU and Garage

Folsom Municipal Code (FMC) Section 17.105.110 states that all accessory dwelling units (ADUs) which are not 66323 units in the Historic District shall be subject to objective design standards in FMC Sections 17.105.190 and 17.105.200. Furthermore, all ADUs are subject to a ministerial review by the Community Development Director, and proposed garage space that is a part of a detached ADU shall be reviewed concurrently through the ministerial review process.

ANALYSIS

General Plan Consistency

The General Plan land-use designation of the project site is Single-Family, High Density (SFHD). This designation allows for single-family residential development. The following table shows applicable General Plan goals/policies:

General Plan Policies (2035)	
Goals/Policies	Description
NCR 5.1.6 (Historic District Standards)	Maintain and implement design and development standards for the Historic District.

As discussed later in this report, the project complies with the development standards of FMC Section 17.52.540, and generally meets the guidelines of the Historic District Design and Development Guidelines, consistent with General Plan Policy NCR 5.1.6. Overall, the project has been determined to comply with the goals and policies of the Folsom General Plan.

Zoning Consistency

The project site is within the Residential, Single Family, Small Lot Zoning District (R-1-

M) and is within the Figueroa Subarea (FIG) of the Historic Residential Primary Area of the Historic District. Within the zoning district, single-family residential uses are permitted. The project is primarily regulated by the standards of the Historic Residential Primary Area; however, in the absence of a specific standard, the provisions of the underlying R-1-M zoning district apply.

The following table shows how the proposed main residence relates to applicable development standards:

Historic Residential Primary Area Development Standards (FMC 17.52.540)		
Standard	Required	Proposed
Front Setback	20 Feet	20 Feet
Side Setback	5 Feet	≥5 Feet
Rear Setback	20 Feet	~52 Feet
Minimum Pervious Surface	45%	~50%
Parking Space Location	Located outside of front yard	Located outside of front yard
Applicable R-1-M Development Standards (FMC 17.52.540)		
Standard	Required	Proposed
Height Maximum	35 Feet	31 Feet, 8 Inches
Parking Requirement	2 Covered Parking Spaces	2 Covered Parking Spaces

The following table shows how the proposed detached ADU relates to applicable development standards:

Applicable Detached ADU Development Standards (FMC 17.105.150)		
Standard	Required	Proposed
Maximum Size (One Bedroom ADU)	850 square-feet	850 square-feet
Front Setback	Not located in front of main residence	Not located in front of main residence
Side Setback	4 Feet	≥5 Feet
Rear Setback	4 Feet	5 Feet
Building Separation	6 Feet	>14 Feet
Height Maximum	25 Feet	25 Feet

The following table shows how the proposed detached garage relates to applicable development standards:

Applicable Accessory Building Development Standards (FMC 17.52.480)		
Standard	Required	Proposed
Front Setback	20 Feet; Not located in front of main residence	102 Feet; Not located in front of main residence
Side Setback	5 Feet	≥5 Feet
Rear Setback	5 Feet	5 Feet
Maximum Size	50% of the size of the main residence	~22%
Maximum Rear Yard Coverage	50% of required rear yard	~43%

Overall, the project has been determined to satisfy the use and development standards of the Residential, Single Family, Small Lot Zoning District (R-1-M), the Historic District, and the ADU Ordinance outlined in the Folsom Municipal Code.

Discretionary Design Review

Architectural Context

The DDGs state that the intent is to allow architectural styles present in California between 1850 and 1950, thereby encouraging "the diversity which is the charm of old Folsom." Section 5.04.03(a) of the DDGs provides guidance on the design theme for the Figueroa Subarea, encouraging new construction to reflect a pre-1910 style, including those historically found in Folsom.

The proposed residence has elements of both the National Folk style (c. 1850–1930), particularly with the building's form and simplistic decoration, and the Craftsman style (c. 1905–1930) due to the inclusion of some elements common with Craftsman architecture. Both styles are considered compatible with the pre-1910s design period of the Figueroa Subarea.

National Folk style (c. 1850–1930), places function over form, having a minimalistic, casual appearance, and emerged out of the railroad-era's easy access of manufactured building materials. Exterior walls often had little variety, commonly using manufactured materials such as wood lap siding or board-and-batten siding. For the gable-front-and-wing form of this style, partial width front porches were common with either simple or minimally decorated columns. Windows are typically trimmed in simple colonial-style, with a built-up head and sill trim. The National Folk style is most often associated with the typical traditional "farmhouse" style.

The Craftsman style (c. 1905–1930) is influenced by the Arts and Crafts movement of the late 1880s through the early 1920s, emphasizing handcrafted stone and woodwork to imitate traditional carpenter workmanship in contrast to the simpler, mass-produced look of typical National Folk homes of the preceding era. Common features of the Craftsman style include exposed wooden beams, solid wood entry doors, custom detailing, and wide front porches supported by tapered or square columns. Exterior

walls often have great variety in materials and textures, and windows typically feature a single pane on the lower sash with multiple panes on the upper sash.

Proposed Architectural Design

The proposed main residence, as shown in Figure 2 below, contains elements of both the National Folk and Craftsman style.



Figure 2 – Project Rendering (Front)

The massing and form of the residence includes a two-story side-gabled main roof with front gabled tower elements on the front façade, and a rear extension for additional living space. Although the building seeks to imitate the appearance of a gable-front-and-wing form, common for the National Folk style, it is not a true gable-front-and-wing layout. However, this distinction does not impact its overall historic design compatibility, and the building form is similar to that of a National Folk styled residence. The project also utilizes board-and-batten and horizontal lap siding as the primary siding materials, composition shingles for the main roof, and standing seam metal for the porch roof. Overall, the use of these materials with minimal ornamentation are features commonly associated with National Folk architecture.

However, the project also includes elements of the Craftsman style. This includes the use of a front porch with prominent wooden square columns, the use of unenclosed eave overhangs with exposed roof rafters, wood stained porch columns, the use of wooden roof brackets and gable trusses, gable roof vents, solid-wood craftsman-style front door, and window grid pattern with multiple small panes above one large pane.

Overall, the residence can be considered an example of eclectic mix of the National Folk and the Craftsman styles, both of which are compatible with the pre-1910s design period specified for the Figueroa Subarea.

The property is located in the Figueroa Subarea, and the Historic Residential Design Criteria section of the DDGs apply.

Regarding windows, Section C.3 of the design criteria generally encourages that casement or double-hung windows be used, and that windows should generally be vertically proportioned depending on the chosen architectural style. As the vast majority of windows on the residence are vertically proportioned, single-hung windows, staff have determined the project meets this guideline.

Regarding doors, Section C.4 of the design criteria specifies that residentially scaled solid wood or glazed doors of various styles may be appropriate, whereas flush veneer, heavily carved "theme," and aluminum storefront doors are not. The proposed wood Craftsman-style front entry door and French double doors on the front elevation comply with these guidelines. While the project also proposes modern sliding glass doors on the side and rear elevations, the City has historically allowed flexibility for sliding glass doors not directly visible from the street. Because these sliding doors are located in an interior side courtyard and on the rear elevation, and is not visible from Sutter Street, staff have no concerns about their inclusion on the project.

Regarding porches, Section C.4 of the design criteria states that front porches oriented towards the street are encouraged in all new construction to maintain the residential character of the district. Porches are also generally encouraged to have a floor height of 1-2 feet above grade. The project utilizes a front porch oriented towards the street, with a raised floor level of 1 foot above grade, meeting this guideline.

Regarding roof forms, Section C.7 of the design criteria states that the design of roofs for new buildings shall be consistent with the small scale and residential materials that are prevalent in the neighborhood. The proposed residence uses a cross-gabled roof with black composition shingles. Other residences in the vicinity also commonly use a dark colored composition shingle roof, and some examples of a cross-gabled roof form exist.

Regarding parking, Section C.11 of the design criteria states that parking should generally be provided in the rear of the property along the alley, and that garages shall not be constructed to front onto a primary street. Furthermore, Section C.4 states that two single-car garage doors are preferred over a double door. The project proposes to construct a detached garage along the rear alley and utilize two single-car garage doors, in alignment with this guideline.

Overall, the project appears to meet all of the applicable guidelines to a new construction residential project as provided in the Historic Residential Design Criteria of the DDGs.

Colors and Materials

The Building Materials Palette of the DDGs provides a list of what is considered appropriate or inappropriate materials for certain building elements. The table below shows whether the proposed exterior materials are considered appropriate:

Building Materials Palette (Appendix D of DDGs)		
Building Element	Proposed Materials	Appropriate / Inappropriate
Exterior Walls	Board and Batten Siding	Appropriate
	Horizontal Lap Siding (Interior Hallway)	Appropriate
Roof	Composition Shingles	Appropriate
Porch Roof	Standing Seam Metal	Appropriate per Resolution HDC23-001
Porches and Railings	Wood Railings and Columns	Appropriate
Exterior Steps	Finished Concrete	Appropriate
Exterior Doors (Front)	Wood Doors with Glass Inserts	Appropriate
Windows	Vinyl and Aluminum Frames	Appropriate

Although the DDGs do not provide specific color recommendations for buildings in the Historic District, with the exception for some building elements, the project was compared with other buildings in the vicinity to determine the compatibility of the project. Staff's findings are provided in the table below:

Color Scheme Compatibility		
Building Element	Proposed Colors	Comparison
Exterior Walls	Creamy Tan (SW 7541) (Main Siding)	Similar colors to many residences in Figueroa Subarea nearby
	Antique White (SW 6119) (Trim, Fascia)	
Window Frames and French Door	Naval (SW 6244)	Some adjacent residences use white and black window frames
Porch Column/ Railing	Stained Wood*	Most porch columns in District are painted, however wood stained / unpainted balconies, decks, and railings do exist
Main Roof	Charcoal Color	Common Color for most roofs in district
Porch Roof	Dark Bronze	Appropriate per Resolution HDC23-001

* Staff have provided Condition 12e to clarify that stained wood is to be used to correct inaccurate color and materials board.

Regarding the color and materials board provided as the last sheet of the plans in Attachment 2, the renderings do contain some inaccuracies. This includes inaccurately stating that the porch columns were to be painted "Rockwood Brown", however the applicant confirmed that the porch columns and railings are to be stained wood. Due to this inaccuracy, Condition 12e has been provided clarifying that stained wood columns and railing are to be provided. Staff have also determined the stained wood columns are

compatible with the Figueroa Subarea since it is a feature used for some Craftsman (C 1905-1930) styled homes.

Regarding the window frames, the project proposes to paint them “Naval” (SW 6244) color, which is a dark blue. Most window frames in the area are white, with some examples of black or dark colored window frames. While the use of a dark blue for the window frames is not common for most homes, historic examples of colored window frames exist, as shown in Figure 3 below. and staff have no concerns with the dark blue color proposed. Due to the renderings not showing the color accurately, staff have placed Condition 12g requiring that the “Naval” color, if used, be limited to the window frames and French doors.



Figure 3 – Carson Mansion with Colored Window Frames (Eureka, CA)

Overall, staff have determined that the proposed project’s colors and materials are both consistent with the DDGs as well as compatible with surrounding residences.

Landscaping Requirements

After review by the City’s Arborist Division, two standard landscaping requirements have been provided. Condition 17 requires that the project plant one (1) street tree in the front yard of a 15-gallon container size or greater from a species listed in the Folsom Master Tree List. Additionally, Condition 18 has been provided reiterating the requirements of the State’s Model Water Efficient Landscape Ordinance (MWELO), which provides efficiency standards and water use limits for landscaping. Furthermore, staff have placed Condition 16 requiring that the project landscape at least 60% of the front 20 feet of the property and 50% of the remaining area of the property to comply with the landscaping minimums for the Historic Residential Primary Area of the Historic District in FMC 17.52.540(G).

Ministerial Design Review

Detached ADU and Garage – Objective Design Standards

Since the detached ADU and garage is located in the Historic District, this building is required to comply with the objective design standards for a specific historic style option outlined in FMC 17.105.200. In accordance with FMC 17.105.110, the ADU and garage structure is not subject to discretionary review by the Historic District Commission; both parts of the building are subject to objective development standards and shall be reviewed ministerially.

The following information about the ADU and garage has been provided solely to show how the ADU and garage meets the objective standards. In this instance, the applicant has chosen to comply with the objective design standards for the Craftsman Style. The table below shows how the project meets these standards:

Craftsman Style Objective Design Standards for ADUs (FMC 17.105.200(C)(2))		
Standard	Required	Proposed
Roof Style	Front-gabled, side-gabled, or cross gabled	Side-gabled
Roof Pitch	Between 3/12 and 8/12	8/12
Roof Detailing	Unenclosed eave overhangs with exposed roof rafters and/or braces	Unenclosed eave overhangs with exposed roof rafters*
Windows (Front Elevation)	Single- or double-hung	Single-hung
Window Detailing (Front Elevation)	Window grids with multiple panes above one large pane (at least three small panes above one large pane)	Window grids with three small panes above one large pane
Exterior Siding	Horizontal lap siding (between 2.5 inches and 6 inches wide); and/or board and batten siding; and/or stone or brick and mortar.	Board and batten siding, and horizontal lap siding†

* Applicant has stated this was the chosen option. Staff have provided Condition 12c requiring that this be reflected and noted on the plans submitted for permits.

† Staff have placed Condition 12c requiring that the plans submitted for permits place a note stating the siding width, and requires it be between 2.5 inches and 6 inches.

Regarding the garage door style, staff have provided Condition 12d requiring that the garage door style comply with the requirements outlined in Resolution HDC23-001. Overall, the detached ADU and garage as conditioned will comply with the objective standards required for the Craftsman style for an ADU in the Historic District.

ENVIRONMENTAL REVIEW

The proposed new custom home is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. This section exempts up to three single-family residences in urbanized areas, and exempts accessory (appurtenant) structures including garages, carports, patios, and fences. In this case the project falls within this exemption since it involves the construction of one single-family residence and a detached garage and ADU.

For these same reasons, the project is also exempt from CEQA under Section 15061(b)(3) (Common Sense Exemption), which provides that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. (Cal. Code Regs. Tit. 14, § 15061(b)(3).)

Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemptions in this case. These exceptions include:

- If there are activities where there is a reasonable possibility that the activity will have a Significant Effect on the environment due to unusual circumstances;
- If there is damage to scenic resources within a Scenic Highway;
- If the project is located on a Hazardous Waste Site;
- If there is a substantial adverse change in the significance of a Historical Resource.

Analysis: Significant Effect

The project is not anticipated to have an unusual or significant impact on the environment, as this is an infill project located on a developed, urbanized site of a comparable scale to other adjacent developments. There is no possibility that the project would have a significant effect on the environment beyond that of other existing buildings in the vicinity.

Analysis: Scenic Highway

The project site is not located near a scenic highway nor would the project result in damage to scenic resources within a scenic highway.

Analysis: Hazardous Waste Sites

The project site is not listed on the Hazardous Waste and Substances Sites List.

Analysis: Historical Resources

The project site does not contain a historic resource nor is the project site adjacent to

any listed historic resources. The project will not have a substantial adverse impact on the significance of any historic resources.

PUBLIC NOTICING AND OUTREACH

Public notification was achieved by posting the agenda, with this agenda item being listed, at least 72 hours prior to the meeting in print and electronically. Legal advertisement of the meeting was posted at the project site and mailing adjacent property owners at least five (5) days prior to the meeting that met the requirements of EMC Section 17.52.320.

After the initial review of the application materials, city staff provided a list of design recommendations for the project, and recommended that the applicant meet with the Heritage Preservation League (HPL) and the Historic Folsom Residents Association (HFRA) to gather additional feedback. During the applicant's meeting with HPL and HFRA, the two organizations expressed concerns with the original proposed design (Modern Farmhouse) due to its contemporary appearance and provided initial recommendations. These initial recommendations are provided as Attachment 4.

Based on that meeting and staff's initial recommendations, the project has been revised to increase consistency with historic architecture. This includes, but is not limited to:

1. Modifying the high contrast paint colors to a more historically compatible palette;
2. Modifying the window shapes, types, and grid pattern to be consistent with traditional single- and double-hung window forms;
3. Raising the porch floor height, adding porch railings, and using more decorated porch columns;
4. Removing the visor roof elements;
5. Using a solid wood, craftsman style front entrance;
6. Adding more features associated with the Craftsman style, including roof brackets and roof gable vents; and
7. Adding trim to the building edges and windows.

A side-by-side comparison of these changes are shown in Figure 4 below. After incorporating these modifications, HPL did not provide any further comment on the project as of the writing of this report.



Figure 4 – Project Rendering (Original and Revised)

HFRA Comment Letter, August 19, 2026

Following the revisions to the project shown in Figure 4 above and in Attachment 2, HFRA provided a subsequent comment letter (Attachment 5) on August 19, 2026 to provide additional feedback. In the letter, the organization still had concerns about its appearance being similar to a modern farmhouse, citing the following features:

1. Steep pitched roof;
2. The use of vertical board and batten; and
3. The use of mixed roofing materials (e.g., comp shingle for main roof, standing seam for porch roof).

Additionally, HFRA recommended that the project extend their front porch across the front entrance as shown in the alternative rendering provided in Figure 5 below. This rendering was shown and discussed alongside other alternatives during the project applicant's meeting with HFRA and HPL.



Figure 5 – Alternative Project Rendering

The project's use of board and batten siding, a steep roof (8/12), and a mix of a comp shingle and standing seam roof are features that can be found on some National Folk (c. 1850–1930) styled residences. National Folk is considered the original traditional "farmhouse" style and is compatible with the Figueroa Subarea's pre-1910s design period. In contrast, the later "Modern Farmhouse" is a reinterpretation of this original "farmhouse" style that is incompatible with the subarea. While the project originally proposed a Modern Farmhouse style, as shown in Figure 4 above, the project has since been redesigned to the more compatible National Folk style, with some Craftsman elements.

Regarding the front porch extension, the Historic Residential Design Criteria of the DDGs state that front porches are encouraged in all new constructions, but do not provide specific guidance on whether the porch should extend uninterrupted over the front entrance or if the current configuration is acceptable. Given the great variety of historic porch configurations, staff consider both options appropriate for the project

RECOMMENDED HISTORIC DISTRICT COMMISSION ACTION

Move to recommend confirming staff's determination that the 315 Sutter St., New Custom Home Project is exempt from CEQA under Section 15303 (New Construction or Conversion of Small Structures) and 15061(b)(3) (Common Sense Exemption), and recommend approval of an application (DRCL26-00101) for Design Review for said project at 315 Sutter Street, based on the findings (Findings A-F), and subject to the conditions of approval (Conditions 1-24) attached to the staff report.

FINDINGS

General Findings

- A. Notice of public meeting has been given at the time and in the manner required by State law and City code.
- B. The project is consistent with the General Plan and the Zoning Code of the City.

CEQA Findings

- C. The project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) and under Section 15061 (Common Sense Exemption) of the California Environmental Quality Act (CEQA) Guidelines.
- D. None of the exceptions listed under CEQA Guidelines Section 15300.2 are present.

Design Review Findings

- E. The project is in compliance with the General Plan, applicable Zoning Ordinances, and the Historic District Design and Development Guidelines adopted by City Council.
- F. The building materials, textures and colors used in the proposed project are

compatible with surrounding development and are consistent with the general design theme of the neighborhood.

ATTACHMENTS

1. Proposed Conditions of Approval
2. Plan Set
3. Site Photos
4. HFRA and HPL Initial Comments on Original Proposal
5. HFRA Subsequent Comments, dated August 19, 2026

Submitted,

A handwritten signature in blue ink, appearing to read "Pam Johns", with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

Attachment 1

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR 315 SUTTER ST., NEW CUSTOM HOME PROJECT (DRCL26-00101) 315 SUTTER STREET, DESIGN REVIEW				
Cond. No.	Mitigation Measure	Condition of Approval	When Required	Responsible Department
GENERAL REQUIREMENTS				
1.		<i>Final Development Plans</i> The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below, as modified by these conditions of approval: Plan Set (Attachment 2) This design review and density bonus approval is for the 315 Sutter St., New Custom Home Project (DRCL26-00101) located at 315 Sutter Street, which includes design review for a 3,991 square-foot new custom home, an 884 square-foot detached garage, and an 850 square-foot above garage detached accessory dwelling unit (ADU). Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.	B	CD (P)(E)
2.		<i>Community Development Department Subsequent Review</i> Building plans, and all civil engineering, improvement, landscape, and irrigation plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.	B	CD (P)(E)(B)
3.		<i>90-Day Protest Period</i> The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to <u>Government Code</u> Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions. The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of <u>Government Code</u> Section 66020, the applicant will be legally barred from later challenging such exactions.	OG	CD (E)(P)

4.		<i>Indemnity for City</i> The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur: • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith. The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.	OG	CD (P)(E)(B) PW, PR, FD, PD
5.		<i>Validity</i> The project approval granted under this staff report (design review) shall remain in effect for two years from final date of approval (Expires September 8, 2028). Failure to obtain the relevant building or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to <u>Folsom Municipal Code</u> Section 17.52.350. If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, demolition permit, sign permit or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the project contemplated herein, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the project approval shall be tolled during the time that any litigation is pending, including any appeals.	OG	CD (P)
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
6.		<i>Applicable Taxes, Fees, and Charges</i> The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD(P)(E)

7.		Existing Assessments If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD(E)
8.		Use of Outside Legal Counsel and Consultants The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	OG	CD(P)(E)
9.		Special Study Reimbursement If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the improvement plans, or beginning inspection, whichever is applicable.	B	CD(P)(E)
10.		Development Impact Fees This project shall be subject to all applicable City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all applicable City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (September 8, 2026). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P), PW, PK
11.		School District Fees The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the <u>Education Code</u> ; Chapter 4.7 (commencing with	B	CD (P) (E)

		Section 65970) of the <u>Government Code</u> ; and Sections 65995, 65995.5 and 65995.7 of the <u>Government Code</u> .		
ARCHITECTURAL REQUIREMENTS				
12.		Architectural Requirements The project shall comply with the following requirements: a) This approval is for the 315 Sutter St., New Custom Home Project (DRCL26-00101), which includes design review for a 3,991 square-foot new custom home, an 884 square-foot detached garage, and an 850 square-foot above garage detached accessory dwelling unit (ADU), as shown in Attachment 2. b) Any changes to the level of architectural detailing shown in Attachments 3, if not determined to be substantially consistent with the approved plans by the Community Development Department, shall be subject to a subsequent design review. c) In order to comply with the objective design standards of <u>FMC</u> 17.105.200, the plans submitted for building permits for the detached accessory dwelling unit and garage shall update building elevations and include a note on the following requirements: i) Horizontal Lap siding shall be between 2.5 and 6 inches wide. ii) Unenclosed eaves with exposed roof rafters shall be used. iii) All windows on the alley-facing elevation shall include window grids with at least three (3) or more small panes above one (1) large pane. d) The Garage Doors shall comply with the design requirements of Resolution HDC23-001, to the satisfaction of the Community Development Department. e) The porch columns and railings shall be wood stained a light brown color instead of being painted Rockwood Brown (SW 2806), to the satisfaction of the Community Development Department. f) The main residence shall include unenclosed eave overhangs with exposed roof rafters, to the satisfaction of the Community Development Department. The plans submitted for building permits shall include updated building elevations showing unenclosed eave overhangs with exposed roof rafters and include a note stating they will be used.	OG	CD (P)(E); PW

		g) The “Naval” (SW 6244) accent color proposed shall be limited to the window frames and French Doors of the main residence, to the satisfaction of the Community Development Department. h) A Building Permit shall be required. All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings.		
13.		<i>Residential Fencing Requirements</i> Fencing shall not exceed 3.5 feet in height in the front of the residence and shall not exceed 6 feet in height in the side and rear of the residence.	OG	CD (P)
ACCESSORY DWELLING UNIT REQUIREMENTS				
14.		<i>Accessory Dwelling Unit – Rental Limitations</i> Per <u>Government Code</u> Subsection 66323(e), all ADUs approved under this chapter may be rented separate from the primary residence; however, the rental must be for a term longer than thirty days.	OG	CD (P)
15.		<i>Accessory Dwelling Unit – Impact Fees Required</i> Impact Fees shall be required for ADUs greater than 750 square-feet	B, G	CD (E)
TREE AND LANDSCAPING REQUIREMENTS				
16.		<i>Minimum Landscaping Requirement</i> In accordance with <u>FMC</u> 17.52.540(G), landscaping shall be provided on at least 60% of the front 20-feet of the property and on at least 50% of the remaining area of the property. The proposed landscaping shall be reflected on the plans submitted for building permits as a separate sheet.	B	CD (P) (A)
17.		<i>Street Tree Required</i> Pursuant to <u>Folsom Municipal Code (FMC)</u> 12.16.190(A), applicants for building permits for construction on residential properties without existing street trees shall be responsible for the planting of street trees. The owner/applicant shall show the new street tree(s) in a landscape plan which shall be included with the building plan set, subject to review and approval by the Community Development Department. The owner/applicant shall plant a minimum of one (1) street tree in the front yard within 12.5' from the back of the sidewalk prior to the final	O	CD (A)

		building inspection for the project. The tree(s) shall be from a 15-gallon container size or greater and shall be a species listed on the Folsom Master Tree List.		
18.		<i>MWELO Requirements</i> Pursuant to the states Model Water Efficient Landscape Ordinance (MWELO), all new construction projects with an aggregate front yard landscape area equal to or greater than 500 square feet shall submit a landscape documentation package and landscape permit application to the CDD for review and approval. Landscape plans must be submitted with the building permit plan set. The landscape permit shall be applied and paid for prior to approval of the building permit plans. a) Projects with an aggregate front yard landscape area of 500 to 2,500 square feet may comply with either the Performance Approach requirements or the Prescriptive Approach requirements of the MWELO. b) Projects with an aggregate front yard landscape area of more than 2,500 square feet shall comply with the Performance Approach Requirements of the MWELO. c) The City-approved landscape plan shall be installed at the time of the final inspection for the building permit, prior to Certificate of Occupancy. Any significant modification to the City-approved landscaping shall comply with the States Model Water Efficient N/A Landscape Ordinance. d) For purposes of this condition of approval, landscape area means all the irrigated planting areas, irrigated turf areas, and water features in a landscape design plan or preliminary landscape plan. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or nonpervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).	B	CD (A)
TRIBAL AND CULTURAL RESOURCE REQUIREMENTS				
19.		<i>Accidental Discovery of Human Remains</i> Although considered highly unlikely, there is always the possibility that ground disturbing activities during construction may uncover previously unknown human remains. In the event of an accidental discovery or recognition of any human remains, Public Resource Code (PRC) Section 5097.98 must be followed. Once project-related earthmoving begins and if there is a discovery or recognition of human remains, the following steps shall be taken:	DC	CD (P)(E)

		1. There shall be no further excavation or disturbance of the specific location, or any nearby area reasonably suspected to overlie adjacent human remains until the County Coroner is contacted to determine if the remains are Native American and if an investigation of the cause of death is required. If the coroner determines the remains are Native American, the coroner shall contact the NAHC within 24 hours, and the NAHC shall identify the person or persons it believes to be the “most likely descendant” of the deceased Native American. The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains, and any associated grave goods as provided in PRC Section 5097.98, or 2. Where the following conditions occur, the landowner or his/her authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity either in accordance with the recommendations of the most likely descendent or on the project area in a location not subject to further subsurface disturbance: a. The NAHC is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 48 hours after being notified by the commission; b. The descendent identified fails to make a recommendation; or The landowner or their authorized representative rejects the recommendation of the descendent, and the mediation by the NAHC fails to provide measures acceptable to the landowner.		
20.		<i>Accidental Discovery of Cultural Resources</i> In the event that cultural resources are exposed during ground-disturbing activities, construction activities shall be halted within 100-feet of the discovery. Cultural resources could consist of but are not limited to stone, bone, wood, or shell artifacts, or features including hearths, structural remains, or historic dumpsites. If the resources cannot be avoided during the remainder of construction, an archaeologist, who meets the Secretary of the Interior’s Professional Qualifications Standards, shall be retained to assess the resource and provide appropriate management recommendations. If the discovery proves to be CRHR- or NRHP-	DC	CD (P)(E)

		eligible, additional work, such as data recovery excavation, may be warranted and shall be discussed in consultation with the Lead Agency.		
21.		<i>Management of Tribal Cultural Resources</i> Should any indications of possible tribal cultural resources (TCRs), such as cultural features, unusual amounts of bone or shell, or cultural belongings be encountered during any construction activities, work shall be suspended in the vicinity of the find and the appropriate oversight agency(ies) shall be notified immediately. The appropriate oversight agency(ies) shall retain a tribal representative or Tribal Historic Preservation Officer (THPO) who shall assess the significance of the find by evaluating the resource to determine if it is a TCR as defined in Section 21074 of the Public Resources Code. If the resource is a TCR as defined in state law, and it would be subject to disturbance or destruction, the City shall consult with the THPO or their designee to determine the appropriate treatment before resuming construction activities at the TCR.	DC	CD (P)(E)
MISCELLANEOUS REQUIREMENT				
22.		<i>Noise Ordinance</i> Compliance with the City of Folsom Noise Control Ordinance (<u>FMC</u> 8.42), General Plan Safety & Noise Element and Standard Construction Specifications and Details Section 7.23 is required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. Request to work during days and times not permitted under these regulations may only occur with written permission from the City of Folsom Community Development Director or duly authorized deputy.	I, B	CD (P)(E)
23.		<i>Drainage Restrictions</i> No drainage, including surface water, groundwater, or roof runoff, shall be directed or allowed to cross over the property line onto adjacent properties, unless through an easement. City standard drainage swales are required along all property lines where drainage runoff may cross over the property line.	OG	CD (P)(E)
24.		<i>Alleyway Parking Restrictions</i> If the property has access to an alleyway, parking for the property shall not impede public service access in the alleyway (e.g., waste collection, emergency vehicle access, etc.).	OG	CD (P)

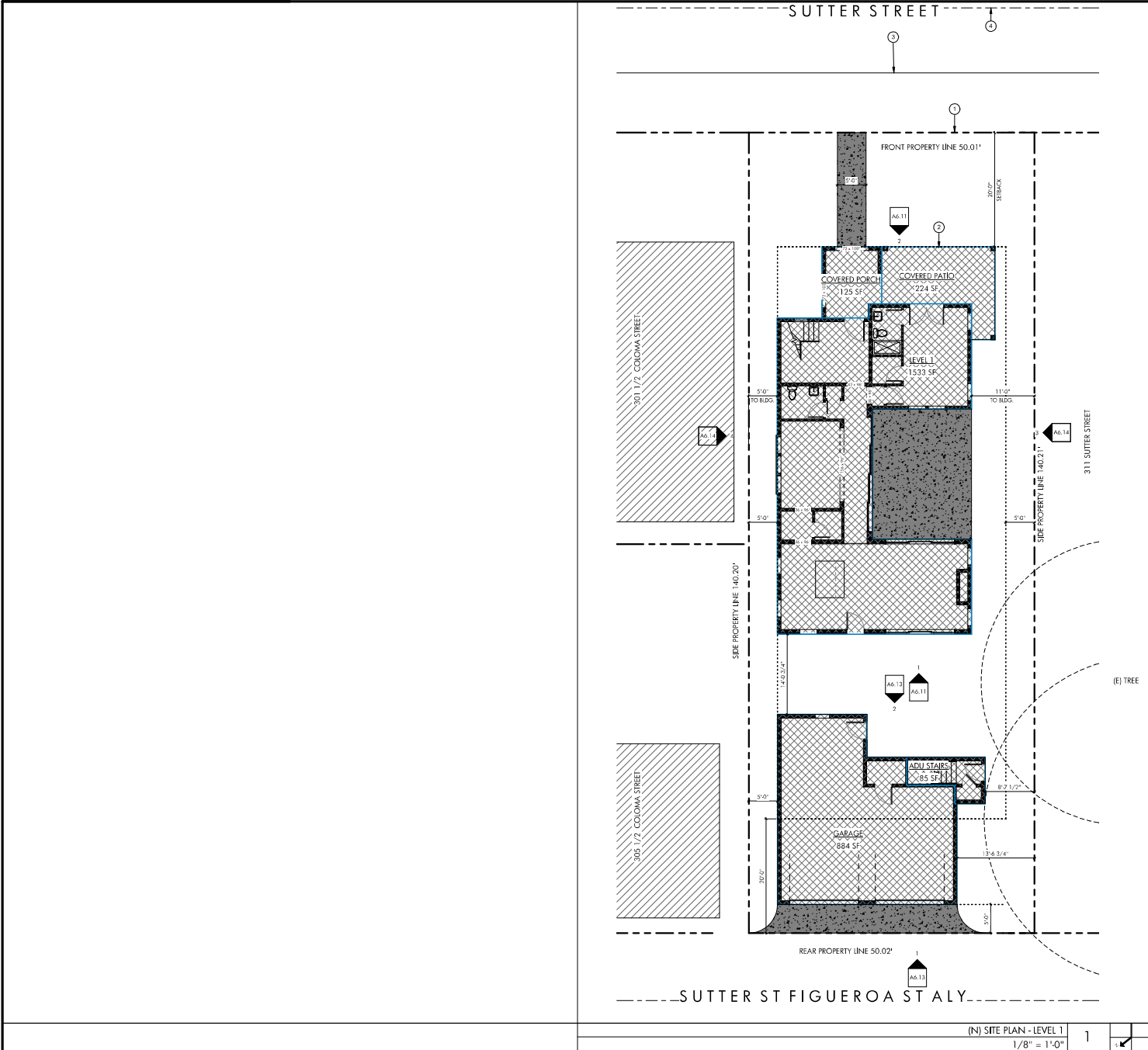
Historic District Commission
315 Sutter St., New Custom Home Project (DRCL26-00101)
Date: September 2, 2026

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(A)	Arborist Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		
FD	Fire Department		
UT	Utilities		

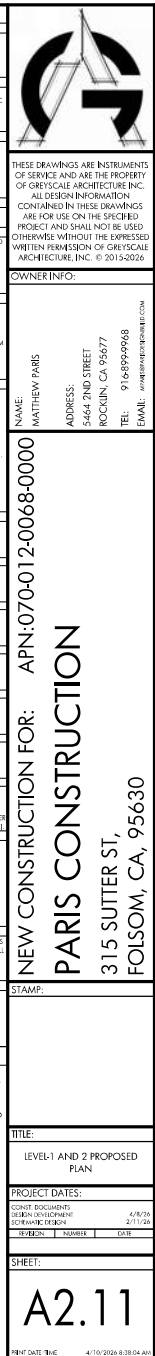
Attachment 2

Plan Set

THE CONTRACTOR SHALL VERIFY ALL FOR CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.



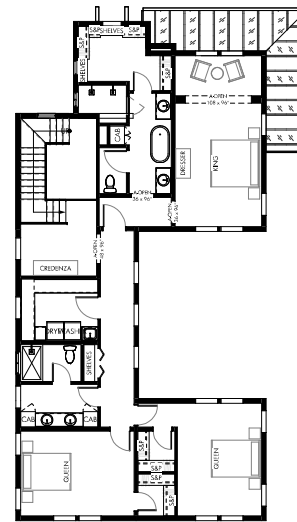
ZONING SITE COMPLIANCE: [CHAPTER 17.3]																																																										
<table><tr><th>CODE REQUIREMENT</th><th>REQUIRED</th><th>PROVIDED</th><th>DIFFERENCE</th><th>GENERAL NOTES</th></tr><tr><td>FRONT SETBACK</td><td>20'</td><td>20'</td><td>0'</td><td>COMPLIES</td></tr><tr><td>SIDE SETBACK</td><td>11' AND 5'</td><td>11' AND 5'</td><td>0'</td><td>COMPLIES</td></tr><tr><td>REAR SETBACK</td><td>20'</td><td>52.25'</td><td>32.25'</td><td>COMPLIES</td></tr><tr><td>MAX HEIGHT</td><td>33'</td><td>31.25'</td><td>-1.75'</td><td>COMPLIES</td></tr><tr><td>FLOOR AREA RATIO</td><td>0</td><td>0</td><td>0</td><td>N/A</td></tr><tr><td>LOT COVERAGE</td><td>45%</td><td>45.37%</td><td>0.37%</td><td>N/A < 2 ACRES</td></tr></table>	CODE REQUIREMENT	REQUIRED	PROVIDED	DIFFERENCE	GENERAL NOTES	FRONT SETBACK	20'	20'	0'	COMPLIES	SIDE SETBACK	11' AND 5'	11' AND 5'	0'	COMPLIES	REAR SETBACK	20'	52.25'	32.25'	COMPLIES	MAX HEIGHT	33'	31.25'	-1.75'	COMPLIES	FLOOR AREA RATIO	0	0	0	N/A	LOT COVERAGE	45%	45.37%	0.37%	N/A < 2 ACRES	<table><tr><th colspan="2">LOT SITE</th><th colspan="2">BUILDING SITE COVERAGE</th></tr><tr><td>(D) SF</td><td>(N) SF</td><td>CHANGE</td><td>(N) SF</td><td>CHANGE</td><td>(N) SF</td></tr><tr><td>7012 SF</td><td>7012 SF</td><td>0 SF</td><td>0 SF</td><td>0 SF</td><td>0 SF</td></tr><tr><td>0.00%</td><td>0.00%</td><td>0.00%</td><td>0.00%</td><td>0.00%</td><td>0.00%</td></tr></table>	LOT SITE		BUILDING SITE COVERAGE		(D) SF	(N) SF	CHANGE	(N) SF	CHANGE	(N) SF	7012 SF	7012 SF	0 SF	0 SF	0 SF	0 SF	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
CODE REQUIREMENT	REQUIRED	PROVIDED	DIFFERENCE	GENERAL NOTES																																																						
FRONT SETBACK	20'	20'	0'	COMPLIES																																																						
SIDE SETBACK	11' AND 5'	11' AND 5'	0'	COMPLIES																																																						
REAR SETBACK	20'	52.25'	32.25'	COMPLIES																																																						
MAX HEIGHT	33'	31.25'	-1.75'	COMPLIES																																																						
FLOOR AREA RATIO	0	0	0	N/A																																																						
LOT COVERAGE	45%	45.37%	0.37%	N/A < 2 ACRES																																																						
LOT SITE		BUILDING SITE COVERAGE																																																								
(D) SF	(N) SF	CHANGE	(N) SF	CHANGE	(N) SF																																																					
7012 SF	7012 SF	0 SF	0 SF	0 SF	0 SF																																																					
0.00%	0.00%	0.00%	0.00%	0.00%	0.00%																																																					
LEGEND: SITE PLAN																																																										
<table><tr><td></td><td>PROPOSED LOT COVERAGE</td></tr><tr><td></td><td>PROPOSED IMPERVIOUS LOT COVERAGE</td></tr></table>		PROPOSED LOT COVERAGE		PROPOSED IMPERVIOUS LOT COVERAGE	<table><tr><td></td><td>PROPOSED CONCRETE PAD</td></tr><tr><td></td><td>GAS IN TRACE CONCRETE</td></tr><tr><td></td><td>PROPOSED ASPHALT PAD</td></tr><tr><td></td><td>GAS IN TRACE ASPHALT</td></tr></table>		PROPOSED CONCRETE PAD		GAS IN TRACE CONCRETE		PROPOSED ASPHALT PAD		GAS IN TRACE ASPHALT																																													
	PROPOSED LOT COVERAGE																																																									
	PROPOSED IMPERVIOUS LOT COVERAGE																																																									
	PROPOSED CONCRETE PAD																																																									
	GAS IN TRACE CONCRETE																																																									
	PROPOSED ASPHALT PAD																																																									
	GAS IN TRACE ASPHALT																																																									
KEYNOTES: SITE PLAN																																																										
<table><tr><td>1. (N) PROPERTY LINE</td><td>13. (N) CONDENSER UNIT</td></tr><tr><td>2. (N) SETBACK LINE</td><td>14. (N) ROOF OVERHANG</td></tr><tr><td>3. (N) SIDEWALK LINE</td><td>15. (N) FENCE 4'-0" HIGH WOOD FENCE</td></tr><tr><td>4. (N) STREET CENTERLINE</td><td>16. (N) UTILITY POLE</td></tr><tr><td>5. (N) 20'0" LATERAL METER</td><td>17. (N) FIRM POLE - INSTALL PER MANUFACTURER'S SPECIFICATIONS, PLACED AT UNITS OF GRADING PER CALSTA STD 305</td></tr><tr><td>6. (N) OVERHEAD ELECTRICAL SERVICE</td><td>18. (N) VEHICLE & STORAGE AREA W/ 4" CRUSHED ROCK</td></tr><tr><td>7. (N) GAS METER</td><td>19. (N) STANDARD CONSTRUCTION FUEL ACCESS</td></tr><tr><td>8. (N) 3/4" POLYETHYLENE GAS LINE</td><td></td></tr><tr><td>9. (N) WATER METER - INSTALL PER CITY SPECS</td><td></td></tr><tr><td>10. (N) 2" PVC WATER LINE</td><td></td></tr><tr><td>11. (N) SEWER CLEANOUT - INSTALL PER CITY SPECS</td><td></td></tr><tr><td>12. (N) 4" ABS SEWER LINE W/ 25' SLOPE TO MAIN</td><td></td></tr></table>		1. (N) PROPERTY LINE	13. (N) CONDENSER UNIT	2. (N) SETBACK LINE	14. (N) ROOF OVERHANG	3. (N) SIDEWALK LINE	15. (N) FENCE 4'-0" HIGH WOOD FENCE	4. (N) STREET CENTERLINE	16. (N) UTILITY POLE	5. (N) 20'0" LATERAL METER	17. (N) FIRM POLE - INSTALL PER MANUFACTURER'S SPECIFICATIONS, PLACED AT UNITS OF GRADING PER CALSTA STD 305	6. (N) OVERHEAD ELECTRICAL SERVICE	18. (N) VEHICLE & STORAGE AREA W/ 4" CRUSHED ROCK	7. (N) GAS METER	19. (N) STANDARD CONSTRUCTION FUEL ACCESS	8. (N) 3/4" POLYETHYLENE GAS LINE		9. (N) WATER METER - INSTALL PER CITY SPECS		10. (N) 2" PVC WATER LINE		11. (N) SEWER CLEANOUT - INSTALL PER CITY SPECS		12. (N) 4" ABS SEWER LINE W/ 25' SLOPE TO MAIN																																		
1. (N) PROPERTY LINE	13. (N) CONDENSER UNIT																																																									
2. (N) SETBACK LINE	14. (N) ROOF OVERHANG																																																									
3. (N) SIDEWALK LINE	15. (N) FENCE 4'-0" HIGH WOOD FENCE																																																									
4. (N) STREET CENTERLINE	16. (N) UTILITY POLE																																																									
5. (N) 20'0" LATERAL METER	17. (N) FIRM POLE - INSTALL PER MANUFACTURER'S SPECIFICATIONS, PLACED AT UNITS OF GRADING PER CALSTA STD 305																																																									
6. (N) OVERHEAD ELECTRICAL SERVICE	18. (N) VEHICLE & STORAGE AREA W/ 4" CRUSHED ROCK																																																									
7. (N) GAS METER	19. (N) STANDARD CONSTRUCTION FUEL ACCESS																																																									
8. (N) 3/4" POLYETHYLENE GAS LINE																																																										
9. (N) WATER METER - INSTALL PER CITY SPECS																																																										
10. (N) 2" PVC WATER LINE																																																										
11. (N) SEWER CLEANOUT - INSTALL PER CITY SPECS																																																										
12. (N) 4" ABS SEWER LINE W/ 25' SLOPE TO MAIN																																																										
GENERAL NOTES: DRIVEWAY																																																										
<table><tr><td>1. DRIVEWAYS AND SEGMENTS THEREOF THAT ARE BETWEEN ZERO (0%) AND SEVENTEEN (17%) GRADE SHALL BE GRADE OR SUPPORTING A REINFORCED CONCRETE SLAB (AS REQUIRED BY A REGISTERED CIVIL ENGINEER, OR A MINIMUM OF FOUR (4) INCH CLASS 1 AGGREGATE BASE).</td></tr><tr><td>2. SURFACE WIDTHS SHALL BE TEN (10) FEET MINIMUM WITH ONE (1) FOOT EXCLUSIVES FOR DRIVEWAY GRADIES UP TO SEVENTEEN (17%) GRADE. FOR GRADES BETWEEN SEVENTEEN (17%) AND TWENTY (20%) GRADE, A MINIMUM OF TWO (2) FEET MINIMUM SURFACE WIDTH WITH ONE (1) FOOT EXCLUSIVES IS REQUIRED.</td></tr><tr><td>3. VERTICAL CLEARANCE SHALL BE FIFTY (50) FEET MINIMUM, MEASURED FROM THE OUTSIDE EDGE OF THE SHOULDER.</td></tr></table>		1. DRIVEWAYS AND SEGMENTS THEREOF THAT ARE BETWEEN ZERO (0%) AND SEVENTEEN (17%) GRADE SHALL BE GRADE OR SUPPORTING A REINFORCED CONCRETE SLAB (AS REQUIRED BY A REGISTERED CIVIL ENGINEER, OR A MINIMUM OF FOUR (4) INCH CLASS 1 AGGREGATE BASE).	2. SURFACE WIDTHS SHALL BE TEN (10) FEET MINIMUM WITH ONE (1) FOOT EXCLUSIVES FOR DRIVEWAY GRADIES UP TO SEVENTEEN (17%) GRADE. FOR GRADES BETWEEN SEVENTEEN (17%) AND TWENTY (20%) GRADE, A MINIMUM OF TWO (2) FEET MINIMUM SURFACE WIDTH WITH ONE (1) FOOT EXCLUSIVES IS REQUIRED.	3. VERTICAL CLEARANCE SHALL BE FIFTY (50) FEET MINIMUM, MEASURED FROM THE OUTSIDE EDGE OF THE SHOULDER.																																																						
1. DRIVEWAYS AND SEGMENTS THEREOF THAT ARE BETWEEN ZERO (0%) AND SEVENTEEN (17%) GRADE SHALL BE GRADE OR SUPPORTING A REINFORCED CONCRETE SLAB (AS REQUIRED BY A REGISTERED CIVIL ENGINEER, OR A MINIMUM OF FOUR (4) INCH CLASS 1 AGGREGATE BASE).																																																										
2. SURFACE WIDTHS SHALL BE TEN (10) FEET MINIMUM WITH ONE (1) FOOT EXCLUSIVES FOR DRIVEWAY GRADIES UP TO SEVENTEEN (17%) GRADE. FOR GRADES BETWEEN SEVENTEEN (17%) AND TWENTY (20%) GRADE, A MINIMUM OF TWO (2) FEET MINIMUM SURFACE WIDTH WITH ONE (1) FOOT EXCLUSIVES IS REQUIRED.																																																										
3. VERTICAL CLEARANCE SHALL BE FIFTY (50) FEET MINIMUM, MEASURED FROM THE OUTSIDE EDGE OF THE SHOULDER.																																																										
GENERAL NOTES:																																																										
<table><tr><td>1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.</td></tr><tr><td>2. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT (800) 485-5844, 48 HOURS BEFORE WORK IS TO BEGIN.</td></tr><tr><td>3. THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.</td></tr><tr><td>4. EXISTING ALL NEW DOWNPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.</td></tr><tr><td>5. NO PERMANENT STRUCTURE INCLUDING W/OUT LIMITED GARAGES, PATIOS, CONCRETE SLABS, TOOL SHEDS, ROCK OVERHANGS AND SIMILAR STRUCTURES SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OF ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.</td></tr><tr><td>6. DRAINAGE PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE FINAL PHASE OF CONSTRUCTION. ACTIVITY PROJECTS SHALL PREVENT EROSION AND KEPTAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARBER SYSTEM, WATER OR OTHER APPROVED METHOD.</td></tr><tr><td>7. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (R/W) (3). WHERE FLOODING MAY OCCUR, CONTRACTOR SHALL NOTIFY CDA.</td></tr><tr><td>8. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. (R/W) (3). EXCEPTING:</td></tr><tr><td>WHERE LOT BINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR DRAINS SHALL BE CONSTRUCTED TO DRAIN DRAINAGE AWAY FROM THE STRUCTURE. (R/W) (3), EXCEPTING:</td></tr><tr><td>WHEREVER THE ADDRESS ON THE BUILDING WILL NOT BE CLEARLY VISIBLE FROM THE PUBLIC STREET OR ACCESS ROAD FRONTING THE PROPERTY, THE ADDRESS SHALL ALSO BE PLACED AT THE PUBLIC STREET OR ACCESS ROAD IN A MANNER WHICH IS CLEARLY VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ON THE FRONTAGE ROAD OR STREET. WHEN NECESSARY TO FACILITATE EMERGENCY RESPONSE, THE ADDRESS SHALL BE POSTED IN ADDITIONAL LOCATIONS, SUCH AS A POLE IN A DRIVEWAY SERVING MORE THAN ONE RESIDENCE. (PCC 15.04.200)</td></tr><tr><td>11. THE CONTRACTOR SHALL COORDINATE REQUIRED UTILITY CONNECTIONS AND INCLUDE FIRMING IN THEIR BID.</td></tr></table>		1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.	2. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT (800) 485-5844, 48 HOURS BEFORE WORK IS TO BEGIN.	3. THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.	4. EXISTING ALL NEW DOWNPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.	5. NO PERMANENT STRUCTURE INCLUDING W/OUT LIMITED GARAGES, PATIOS, CONCRETE SLABS, TOOL SHEDS, ROCK OVERHANGS AND SIMILAR STRUCTURES SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OF ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.	6. DRAINAGE PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE FINAL PHASE OF CONSTRUCTION. ACTIVITY PROJECTS SHALL PREVENT EROSION AND KEPTAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARBER SYSTEM, WATER OR OTHER APPROVED METHOD.	7. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (R/W) (3). WHERE FLOODING MAY OCCUR, CONTRACTOR SHALL NOTIFY CDA.	8. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. (R/W) (3). EXCEPTING:	WHERE LOT BINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR DRAINS SHALL BE CONSTRUCTED TO DRAIN DRAINAGE AWAY FROM THE STRUCTURE. (R/W) (3), EXCEPTING:	WHEREVER THE ADDRESS ON THE BUILDING WILL NOT BE CLEARLY VISIBLE FROM THE PUBLIC STREET OR ACCESS ROAD FRONTING THE PROPERTY, THE ADDRESS SHALL ALSO BE PLACED AT THE PUBLIC STREET OR ACCESS ROAD IN A MANNER WHICH IS CLEARLY VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ON THE FRONTAGE ROAD OR STREET. WHEN NECESSARY TO FACILITATE EMERGENCY RESPONSE, THE ADDRESS SHALL BE POSTED IN ADDITIONAL LOCATIONS, SUCH AS A POLE IN A DRIVEWAY SERVING MORE THAN ONE RESIDENCE. (PCC 15.04.200)	11. THE CONTRACTOR SHALL COORDINATE REQUIRED UTILITY CONNECTIONS AND INCLUDE FIRMING IN THEIR BID.																																														
1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.																																																										
2. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT (800) 485-5844, 48 HOURS BEFORE WORK IS TO BEGIN.																																																										
3. THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.																																																										
4. EXISTING ALL NEW DOWNPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.																																																										
5. NO PERMANENT STRUCTURE INCLUDING W/OUT LIMITED GARAGES, PATIOS, CONCRETE SLABS, TOOL SHEDS, ROCK OVERHANGS AND SIMILAR STRUCTURES SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OF ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.																																																										
6. DRAINAGE PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE FINAL PHASE OF CONSTRUCTION. ACTIVITY PROJECTS SHALL PREVENT EROSION AND KEPTAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARBER SYSTEM, WATER OR OTHER APPROVED METHOD.																																																										
7. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (R/W) (3). WHERE FLOODING MAY OCCUR, CONTRACTOR SHALL NOTIFY CDA.																																																										
8. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. (R/W) (3). EXCEPTING:																																																										
WHERE LOT BINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR DRAINS SHALL BE CONSTRUCTED TO DRAIN DRAINAGE AWAY FROM THE STRUCTURE. (R/W) (3), EXCEPTING:																																																										
WHEREVER THE ADDRESS ON THE BUILDING WILL NOT BE CLEARLY VISIBLE FROM THE PUBLIC STREET OR ACCESS ROAD FRONTING THE PROPERTY, THE ADDRESS SHALL ALSO BE PLACED AT THE PUBLIC STREET OR ACCESS ROAD IN A MANNER WHICH IS CLEARLY VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ON THE FRONTAGE ROAD OR STREET. WHEN NECESSARY TO FACILITATE EMERGENCY RESPONSE, THE ADDRESS SHALL BE POSTED IN ADDITIONAL LOCATIONS, SUCH AS A POLE IN A DRIVEWAY SERVING MORE THAN ONE RESIDENCE. (PCC 15.04.200)																																																										
11. THE CONTRACTOR SHALL COORDINATE REQUIRED UTILITY CONNECTIONS AND INCLUDE FIRMING IN THEIR BID.																																																										
OWNER INFO:																																																										
<table><tr><td>NAME:</td><td>MATTHEW PARRIS</td></tr><tr><td>ADDRESS:</td><td>5444 7th Street</td></tr><tr><td></td><td>ROCKLIN, CA 95677</td></tr><tr><td>TEL:</td><td>916-899-9968</td></tr><tr><td>EMAIL:</td><td>matthew@parisconstruction.com</td></tr></table>		NAME:	MATTHEW PARRIS	ADDRESS:	5444 7th Street		ROCKLIN, CA 95677	TEL:	916-899-9968	EMAIL:	matthew@parisconstruction.com																																															
NAME:	MATTHEW PARRIS																																																									
ADDRESS:	5444 7th Street																																																									
	ROCKLIN, CA 95677																																																									
TEL:	916-899-9968																																																									
EMAIL:	matthew@parisconstruction.com																																																									
NEW CONSTRUCTION FOR: APN: 070-012-0068-0000																																																										
PARIS CONSTRUCTION																																																										
315 SUTTER ST, FOLSOM, CA, 95630																																																										
STAMP:																																																										
TITLE:																																																										
SITE PLAN																																																										
PROJECT DATES:																																																										
<table><tr><td>CONCEPT DEVELOPMENT</td><td>4/8/24</td></tr><tr><td>SCHEMATIC DESIGN</td><td>2/11/25</td></tr><tr><td>DESIGN</td><td>PENDING</td></tr><tr><td>CONSTRUCTION</td><td>START</td></tr></table>		CONCEPT DEVELOPMENT	4/8/24	SCHEMATIC DESIGN	2/11/25	DESIGN	PENDING	CONSTRUCTION	START																																																	
CONCEPT DEVELOPMENT	4/8/24																																																									
SCHEMATIC DESIGN	2/11/25																																																									
DESIGN	PENDING																																																									
CONSTRUCTION	START																																																									
SHEET:																																																										
A1.01																																																										
PRINT DATE: 2/11/25 8:39:04 AM																																																										



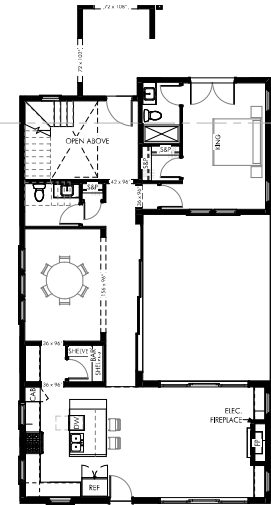
[illegible]



AI RENDERING
1/4" = 1'-0"



LEVEL-2 PROPOSED - FOR REFERENCE
1/8" = 1'-0"



LEVEL-1 DRAFT - FOR REFERENCE
1/8" = 1'-0"



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF GREYSCALE ARCHITECTURE, INC. ALL DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GREYSCALE ARCHITECTURE, INC. © 2015-2026

OWNER INFO:

NAME: MATTHEW PARS
ADDRESS: 5444 74TH STREET
ROCKLIN, CA 95677
TEL: 916-899-9968
EMAIL: info@greyscalearch.com

NEW CONSTRUCTION FOR: APN:070-012-0068-0000

PARIS CONSTRUCTION
315 SUTTER ST,
FOLSOM, CA, 95630

STAMP:

TITLE:

PRESENTATION

PROJECT DATES:

CONCEPT DEVELOPMENT: 4/8/24
DESIGN DEVELOPMENT: 4/8/24
SCHEMATIC DESIGN: 4/11/24

SHEET:

A6.00

PRINT DATE: 4/10/2024 9:28:10 AM

(N) SOUTHEAST ELEVATION MAIN RES.

[illegible]

2

Architectural elevation drawing of the front of a two-story building. The drawing includes dimensions for height and width, and labels for various components.

Dimensions:

- Overall height: 31'-8 1/4"
- Overall width: 7'-11 1/2"
- Roof height: 1'-1 1/4"
- Second floor height: 8'-0"
- First floor height: 10'-2"
- Side porch height: 8'-0"
- Side porch width: 10'-2"

Labels:

- (N) COMPOSITE SHINGLES
- (N) HORIZONTAL SIDING
- (N) GRADE 451
- (N) GRADE 451

Components:

- Roof: Gabled roof with composite shingles.
- Walls: Horizontal siding.
- Windows: Multiple windows on both floors, including a large window on the second floor and a smaller window on the first floor.
- Doors: A main entrance door on the first floor and a side entrance door on the side porch.
- Porch: A side porch with a railing and a door.

1

SECTION 08100 - FINISHES
PAINTING

1. SUMMARY

A. Section Includes

1. All exterior and interior surfaces of building

B. Related Sections

1. Exterior Windows and Doors - Section 08200

2. Interior Partitions - Section 08300

3. Stairs - Section 08400

4. Metal Decking - Section 08500

5. Floor Finishes - Section 08600

6. Wall Finishes - Section 08700

7. Ceiling Finishes - Section 08800

8. Roof Finishes - Section 08900

9. Signage - Section 09100

10. Security - Section 09200

11. Specialties - Section 09300

12. Windows and Doors - Section 09400

13. Stairs - Section 09500

14. Metal Decking - Section 09600

15. Floor Finishes - Section 09700

16. Wall Finishes - Section 09800

17. Ceiling Finishes - Section 09900

18. Roof Finishes - Section 10000

19. Signage - Section 10100

20. Security - Section 10200

21. Specialties - Section 10300

22. Windows and Doors - Section 10400

23. Stairs - Section 10500

24. Metal Decking - Section 10600

25. Floor Finishes - Section 10700

26. Wall Finishes - Section 10800

27. Ceiling Finishes - Section 10900

28. Roof Finishes - Section 11000

29. Signage - Section 11100

30. Security - Section 11200

31. Specialties - Section 11300

32. Windows and Doors - Section 11400

33. Stairs - Section 11500

34. Metal Decking - Section 11600

35. Floor Finishes - Section 11700

36. Wall Finishes - Section 11800

37. Ceiling Finishes - Section 11900

38. Roof Finishes - Section 12000

39. Signage - Section 12100

40. Security - Section 12200

41. Specialties - Section 12300

42. Windows and Doors - Section 12400

43. Stairs - Section 12500

44. Metal Decking - Section 12600

45. Floor Finishes - Section 12700

46. Wall Finishes - Section 12800

47. Ceiling Finishes - Section 12900

48. Roof Finishes - Section 13000

49. Signage - Section 13100

50. Security - Section 13200

51. Specialties - Section 13300

52. Windows and Doors - Section 13400

53. Stairs - Section 13500

54. Metal Decking - Section 13600

55. Floor Finishes - Section 13700

56. Wall Finishes - Section 13800

57. Ceiling Finishes - Section 13900

58. Roof Finishes - Section 14000

59. Signage - Section 14100

60. Security - Section 14200

61. Specialties - Section 14300

62. Windows and Doors - Section 14400

63. Stairs - Section 14500

64. Metal Decking - Section 14600

65. Floor Finishes - Section 14700

66. Wall Finishes - Section 14800

67. Ceiling Finishes - Section 14900

68. Roof Finishes - Section 15000

69. Signage - Section 15100

70. Security - Section 15200

71. Specialties - Section 15300

72. Windows and Doors - Section 15400

73. Stairs - Section 15500

74. Metal Decking - Section 15600

75. Floor Finishes - Section 15700

76. Wall Finishes - Section 15800

77. Ceiling Finishes - Section 15900

78. Roof Finishes - Section 16000

79. Signage - Section 16100

80. Security - Section 16200

81. Specialties - Section 16300

82. Windows and Doors - Section 16400

83. Stairs - Section 16500

84. Metal Decking - Section 16600

85. Floor Finishes - Section 16700

86. Wall Finishes - Section 16800

87. Ceiling Finishes - Section 16900

88. Roof Finishes - Section 17000

89. Signage - Section 17100

90. Security - Section 17200

91. Specialties - Section 17300

92. Windows and Doors - Section 17400

93. Stairs - Section 17500

94. Metal Decking - Section 17600

95. Floor Finishes - Section 17700

96. Wall Finishes - Section 17800

97. Ceiling Finishes - Section 17900

98. Roof Finishes - Section 18000

99. Signage - Section 18100

100. Security - Section 18200

101. Specialties - Section 18300

102. Windows and Doors - Section 18400

103. Stairs - Section 18500

104. Metal Decking - Section 18600

105. Floor Finishes - Section 18700

106. Wall Finishes - Section 18800

107. Ceiling Finishes - Section 18900

108. Roof Finishes - Section 19000

109. Signage - Section 19100

110. Security - Section 19200

111. Specialties - Section 19300

112. Windows and Doors - Section 19400

113. Stairs - Section 19500

114. Metal Decking - Section 19600

115. Floor Finishes - Section 19700

116. Wall Finishes - Section 19800

117. Ceiling Finishes - Section 19900

118. Roof Finishes - Section 20000

119. Signage - Section 20100

120. Security - Section 20200

121. Specialties - Section 20300

122. Windows and Doors - Section 20400

123. Stairs - Section 20500

124. Metal Decking - Section 20600

125. Floor Finishes - Section 20700

126. Wall Finishes - Section 20800

127. Ceiling Finishes - Section 20900

128. Roof Finishes - Section 21000

129. Signage - Section 21100

130. Security - Section 21200

131. Specialties - Section 21300

132. Windows and Doors - Section 21400

133. Stairs - Section 21500

134. Metal Decking - Section 21600

135. Floor Finishes - Section 21700

136. Wall Finishes - Section 21800

137. Ceiling Finishes - Section 21900

138. Roof Finishes - Section 22000

139. Signage - Section 22100

140. Security - Section 22200

141. Specialties - Section 22300

142. Windows and Doors - Section 22400

143. Stairs - Section 22500

144. Metal Decking - Section 22600

145. Floor Finishes - Section 22700

146. Wall Finishes - Section 22800

147. Ceiling Finishes - Section 22900

148. Roof Finishes - Section 23000

149. Signage - Section 23100

150. Security - Section 23200

151. Specialties - Section 23300

152. Windows and Doors - Section 23400

153. Stairs - Section 23500

154. Metal Decking - Section 23600

155. Floor Finishes - Section 23700

156. Wall Finishes - Section 23800

157. Ceiling Finishes - Section 23900

158. Roof Finishes - Section 24000

159. Signage - Section 24100

160. Security - Section 24200

161. Specialties - Section 24300

162. Windows and Doors - Section 24400

163. Stairs - Section 24500

164. Metal Decking - Section 24600

165. Floor Finishes - Section 24700

166. Wall Finishes - Section 24800

167. Ceiling Finishes - Section 24900

168. Roof Finishes - Section 25000

169. Signage - Section 25100

170. Security - Section 25200

171. Specialties - Section 25300

172. Windows and Doors - Section 25400

173. Stairs - Section 25500

174. Metal Decking - Section 25600

175. Floor Finishes - Section 25700

176. Wall Finishes - Section 25800

177. Ceiling Finishes - Section 25900

178. Roof Finishes - Section 26000

179. Signage - Section 26100

180. Security - Section 26200

181. Specialties - Section 26300

182. Windows and Doors - Section 26400

183. Stairs - Section 26500

184. Metal Decking - Section 26600

185. Floor Finishes - Section 26700

186. Wall Finishes - Section 26800

187. Ceiling Finishes - Section 26900

188. Roof Finishes - Section 27000

189. Signage - Section 27100

190. Security - Section 27200

191. Specialties - Section 27300

192. Windows and Doors - Section 27400

193. Stairs - Section 27500

194. Metal Decking - Section 27600

195. Floor Finishes - Section 27700

196. Wall Finishes - Section 27800

197. Ceiling Finishes - Section 27900

198. Roof Finishes - Section 28000

199. Signage - Section 28100

200. Security - Section 28200

201. Specialties - Section 28300

202. Windows and Doors - Section 28400

203. Stairs - Section 28500

204. Metal Decking - Section 28600

205. Floor Finishes - Section 28700

206. Wall Finishes - Section 28800

207. Ceiling Finishes - Section 28900

208. Roof Finishes - Section 29000

209. Signage - Section 29100

210. Security - Section 29200

211. Specialties - Section 29300

212. Windows and



OWNER INFO:

NAME: MATTHEW PARIS
ADDRESS: 5464 2ND STREET
ROCKLIN, CA 95677
TEL: 916-899-9968
EMAIL: mattparis@comcast.com

NEW CONSTRUCTION FOR: APN:07Q-012-0068-0000
PARIS CONSTRUCTION
 315 SUTTER ST,
 FOLSOM, CA, 95630

STAMP:

[illegible]

100

1000

10. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

1. *Journal of the American Medical Association*, 2000; 284: 1039-1044.

100

TITLE:

EXTERIOR ELEVATIONS MAIN

RES.

© 2006 Pearson Education, Inc.

PROJECT DATES:

CONST. DOCUMENTS	
DESIGN DEVELOPMENT	4/8/2
SCHEMATIC DESIGN	2/11/2

REVISION	NUMBER	DATE
----------	--------	------

[illegible]

SHEET:

1000

14411

| A0. | |

7. CONCLUSIONS

PRINT DATE/TIME 4/10/2024 9:19:12 AM

TABLE 1

GREYSCALE ARCHITECTURE, INC. LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL ASSEMBLY CONDITIONS. PLANS WITHOUT FUNCTIONAL APPROVAL SHALL BE NULL AND VOID.

Architectural elevation drawing of a two-story house. The drawing includes detailed annotations for materials, dimensions, and structural elements.

Materials and Finishes:

- (N) WOODEN GABLE TRUSS OR SP4
- (N) COMPOSITE SHINGLES
- (N) VERTICAL SIDING
- (N) HORIZONTAL SIDING

Dimensions and Levels:

- Overall width: 15'-4" (A to B), 22'-0" (B to C), 6'-7" (C to D), 15'-9" (D to E), 2'-6" (E to F), 7'-0" (F to G), 3'-0" (G to H), 3'-0" (H to I).
- Overall height: 11'-1 1/4" (RES. BUILDING HT (31'-3 1/4") - LEVEL PLATE (20'-2 1/4")), 3'-10 7/8" (LEVEL PLATE (20'-2 1/4") - LEVEL PLATE (17'-2 1/4")), 1'-2" (LEVEL PLATE (17'-2 1/4") - LEVEL PLATE (15'-0 1/4")), 10'-0" (LEVEL PLATE (15'-0 1/4") - FIN GRADE +0.1).

Structural and Material Callouts:

- W204 (N) 36"x60"
- W205 (N) 36"x60"
- W209 (N) 36"x60"
- W210 (N) 36"x60"
- W213 (N) 36"x60"
- W101 (N) 36"x60"
- W102 (N) 36"x60"
- D103 (N) 240"x6"
- W105 (N) 36"x60"
- W106 (N) 36"x60"

Other Annotations:

- RES. BUILDING HT (31'-3 1/4")
- LEVEL PLATE (20'-2 1/4")
- LEVEL PLATE (17'-2 1/4")
- LEVEL PLATE (15'-0 1/4")
- FIN GRADE +0.1

3

 Δ

LEGEND: ELEVATIONS

[illegible]

THESE DRAWINGS ARE INSTRUMENTS
OF SERVICE AND ARE THE PROPERTY
OF GREYSKALE ARCHITECTURE INC.
ALL DESIGN INFORMATION
CONTAINED IN THESE DRAWINGS
ARE FOR USE ON THE SPECIFIED
PROJECT AND SHALL NOT BE USED
OTHERWISE WITHOUT THE EXPRESSED
WRITTEN PERMISSION OF GREYSKALE
ARCHITECTURE, INC. © 2015-2026

OWNER INFO:

NAME: MATTHEW PARIS
ADDRESS: 5464 2ND STREET
ROCKLIN, CA 95666
TEL: 916-899-6400
EMAIL: MP@PARISARTS.COM

○

-0000-

8.

0-012-006

NEW CONSTRUCTION FOR: **PARIS CONSTRUCTION**
315 SUTTER ST,
FOLSOM, CA, 95630

STAMP

TITLE:

EXTERIOR ELEVATIONS MAIN
RCS

PROJECT DATES:

CONST. DOCUMENTS		
DESIGN DEVELOPMENT		4/8/76
SCHEMATIC DESIGN		2/11/76
REVISION	NUMBER	DATE

SHEET:

A6.12

PRINT DATE/TIME 4/10/2026 8:38:15 AM

Architectural elevation drawing of the front of a two-story house. The drawing includes dimensions for height and width, material callouts for composite shingles and horizontal siding, and window specifications. The roof is gabled with a 12/12 pitch. The front facade features two large multi-paned windows on the ground floor and two smaller windows on the second floor. The drawing is divided into sections labeled 4A, 3A, 2A, and 1A.

Dimensions:

- Overall Height: 28'0"
- Overall Width: 36'1"
- Section Widths: 15'5", 15'9", 4'3 1/2"
- Ground Floor Window Widths: D111 (N) 14'x'90", D112 (N) 14'x'90"
- Second Floor Window Widths: W227 (N) 36"x60", W228 (N) 36"x60", W229 (N) 36"x60"

Materials:

- (N) COMPOSITE SHINGLES (Roof)
- (N) HORIZONTAL SIDING (Walls)

Windows:

- Ground Floor: D111 (N) 14'x'90", D112 (N) 14'x'90"
- Second Floor: W227 (N) 36"x60", W228 (N) 36"x60", W229 (N) 36"x60"

Roof: 12/12 Pitch

Sections: 4A, 3A, 2A, 1A

	(N) SOUTHEAST ELEVATION ADU	2
--	-----------------------------	---

[illegible]

NAME: MATTHEW PARIS
ADDRESS: 5464 2ND STREET
ROCKLIN, CA 95677
TEL: 916-899-9968
EMAIL: matthew@parisrocklin.com

NEW CONSTRUCTION FOR: APN: 070-012-0068-0000
PARIS CONSTRUCTION
 315 SUTTER ST.
 FOLSOM, CA, 95630

[illegible]

EXTERIOR ELEVATIONS ADU

REVISION		NUMBER	DATE

SHEET:

A6.13

[illegible]

		(N) NORTHEAST ELEVATION ADU	4
--	--	-----------------------------	---

[illegible]

THESE DRAWINGS ARE INSTRUMENTS
OF SERVICE AND ARE THE PROPERTY
OF GREYSCALE ARCHITECTURE INC.
ALL DESIGN INFORMATION
CONTAINED IN THESE DRAWINGS
ARE FOR USE ON THE SPECIFIED
PROJECT AND SHALL NOT BE USED
OTHERWISE WITHOUT THE EXPRESSED
WRITTEN PERMISSION OF GREYSCALE
ARCHITECTURE, INC. © 2015-2026

NAME: MATTHEW PARIS

ADDRESS: 5464 2ND STREET
ROCKLIN, CA 95677

TEL: 916-899-9968

EMAIL: matthew@mattparis.com

NEW CONSTRUCTION FOR: APN:070-012-0068-0000
PARIS CONSTRUCTION
 315 SUTTER ST,
 FOLSOM, CA, 95630

EXTERIOR ELEVATIONS ADU

CONST. DOCUMENTS	
DESIGN DEVELOPMENT	4/8/26
SCHEMATIC DESIGN	2/11/26

SHEET:

A6.14

DESIGN BOARD

COLOR & MATERIAL PALETTE



BODY
Creamy Tan
SW 7541
(Main Siding)



TRIM & GABLE
Antique White
SW 6119
(Trim, fascia,
corner boards,
window trim)



WOOD ACCENT
Rockwood Brown
SW 2806
(Columns, railings,
front door, details)



ACCENT
Naval
SW 6244



PORCH ROOF
Dark Bronze
(Metal)



MAIN ROOF
Charcoal

Attachment 3

Site Photos







Attachment 4

HFRA and HPL Initial Comments on Original Proposal

Nathan Stroud

From: The HFRA <thehfra@gmail.com>
Sent: Friday, July 10, 2026 12:00 PM
To: Nathan Stroud
Cc: Mike Reynolds; Carrie Lane; Kale Elledge; Bob Walter; Laura Fisher
Subject: Re: Request for Comments – DRCL26-000101: 315 Sutter St., New Custom Home and ADU Project

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Nathan,

HFRA appreciates being given the opportunity to provide initial feedback on the residential new construction project proposed for 315 Sutter Street.

While the design of the house is beautiful, the modern farmhouse style does not fit the 1850-1950 design criteria for the Historic District as the modern farmhouse style originated in 2010.

The design of this project looks very modern when compared to surrounding homes both on the street and in the neighborhood. When describing General Design Intent, The Historic District Design and Development Guidelines state one of the objectives is to "To ensure that new construction reflects the residential scale and character of neighborhoods." HFRA does not feel that the current design of this project meets either of those objectives and encourages staff to work with the applicant to modify the project to fit one of the styles noted in the DDG Style section that could be found between 1850-1950: Craftsman, Queen Anne, Delta, Contemporary, 50s Ranch Style, Spanish Eclectic or Italianate.

Thank you for your consideration,

Mike Reynolds, HFRA President
Laura Fisher, HFRA Treasurer
Carrie Lane, HFRA Merchant Association Liaison
Kale Elledge, HFRA Communications

HERITAGE PRESERVATION LEAGUE OF FOLSOM

PROJECT APPLICATION REVIEW

July 14, 2026

PROJECT: New Custom Home with a detached ADU
315 Sutter Street in the Central Subarea

PROJECT HISTORY: Application Circulated by the City on July 2, 2026
Feedback requested by July 15, 2026

PROJECT SITE

The project site is a standard Theodore Judah lot located at the east end of Sutter Street. In the Municipal Code and the Design and Development Guidelines for the Historic District the Central Subarea is characterized as 'average homes' from 1850-1950 with reduced visibility of cars.

ARCHITECTURE

Residence

The proposed architecture does not reflect the design criteria of the area or any specific architectural style. As a result, the building has a contemporary feel and does not appear to belong in the Historic District. HPL recommends that the applicant should work with staff to modify the following aspects of the design:

1. Rework the front entrance area.
 - a) The squared off entryway may be eliminated so the front porch can be extended.
 - b) The steep pitch of the front facing gables can be lowered to match the overall roof areas.
2. Select a uniform window style.
 - a) Replace the tall undivided windows along the front façade (facing north and west) with hung windows.
 - b) Select doors with divided windowpanes for the front façade.
3. Create a more uniform look by modifying the façade materials.
 - a) Limit the use of board and batten to the upper gable areas.
 - b) Select a uniform roof material (standing seam or composition shingles).
4. Use black as an accent color (for trim) and avoid using black as a wall color.

Garage

The large garage doors emphasize the presence of cars. HPL is suggesting that the applicant could be encouraged to work with staff to reduce the visual impact:

1. Select garage doors that resemble carriage house doors.
2. Recess one garage bay by a few feet.

Attachment 5
HFRA Subsequent Comments, dated
August 19, 2026

Nathan Stroud

From: The HFRA <thehfra@gmail.com>
Sent: Wednesday, August 19, 2026 7:45 AM
To: Nathan Stroud
Cc: Mike Reynolds; Carrie Lane; Kale Elledge; Laura Fisher; Bob Walter
Subject: Re: REVISED: Request for Comments – DRCL26-000101: 315 Sutter St., New Custom Home and ADU Project
Attachments: IMG_3446.jpeg
Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, Nathan,

While HFRA appreciates the revisions to the design based on our meeting with the applicants and HPL, we still think the house looks more like a modern farmhouse than a craftsman and do not think it is consistent with a design style found between 1850-1910. Three elements of concern are the steep pitched roof, the vertical board and batten siding surrounding the front entrance and the mixed roofing materials. At a minimum we would like the suggestion we discussed for extending the porch roof to cover the front door (see attached rendering) incorporated.

We encourage staff and the HDC to protect the character of the Historic District by ensuring that the all of the HD design guidelines are applied to this project.

Thank you,

Mike Reynolds, HFRA President
Laura Fisher, HFRA Treasurer
Carrie Lane, HFRA Merchant Association Liaison

