



Folsom City Council Staff Report

MEETING DATE:	9/8/2026
AGENDA SECTION:	Consent Calendar
SUBJECT:	Resolution No. 11694 – A Resolution Approving the Historic District Commission’s Recommendation for Approval of a Design Review and Density Bonus Application for the Sutter Lofts Project Located at 807 and 809 Sutter Street and Determination that the Project is Exempt from CEQA
FROM:	Community Development Department

RECOMMENDATION / CITY COUNCIL ACTION

The Historic District Commission held a public meeting for the project on September 2, 2026. During the meeting, the Commission recommended the addition of Condition 29 requiring that the property owner/applicant notify tenants of the Sutter Street 3-hour parking restriction, which is reflected in Attachment 3 of this report. Staff recommends that the City Council take the following action confirming the Commission’s decision:

1. Approve Resolution No. 11694 – A Resolution Approving the Historic District Commission’s Recommendation for Approval of a Design Review and Density Bonus Application for the Sutter Lofts Project Located at 807 and 809 Sutter Street and Determination that the Project is Exempt from CEQA.

BACKGROUND / ISSUE

The applicant is requesting approval for design review application for a six (6) unit, 4,374 square-foot rear apartment building located at 807 and 809 Sutter Street, as discussed in the attached Staff Report.

POLICY / RULE

Folsom Municipal Code (FMC) Section 17.52.300 requires that all new office, industrial, commercial, and residential structures undergo design review by the Historic District Commission. However, as a result of the recent litigation, all entitlements in the Historic District are being submitted to City Council for final approval.

Government Code Section 65589.5, known as the Housing Accountability Act (HAA), limits the City’s authority to deny or reduce the density of a proposed housing development project without

making specific findings. The City cannot deny a housing development project unless the project has been determined to have a specific, adverse impact on the public health or safety, and that there is no feasible method to mitigate or avoid this impact satisfactorily other than by disapproving the project or requiring a lower density. Furthermore, the HAA limits the City's discretion to evaluating the project's adherence to objective standards.

FMC Chapter 17.60 states that in the Sutter Street Subarea, a conditional use permit is required for residential projects involving three or more dwelling units. However, Government Code Section 65912.157(a) states that qualifying housing development projects within one-quarter mile of a major transit stop is an allowed use by right. Thus, the project is not subject to the conditional use permit requirement.

FMC 17.102.030(A) states that the City shall grant a density bonus to an applicant or developer of a housing development consisting of five or more dwelling units, who agrees to restrict a certain percentage of units for low-income households. Government Code Section 65915(f) states that in exchange for the maximum 50% density bonus, the project must restrict at least 24% of the base density units for low income households for a period of 55 years.

ANALYSIS

Staff have determined that the project complies with the standards of the Folsom Municipal Code and the Historic District Design and Development Guidelines, as discussed in the attached staff report.

FINANCIAL IMPACT

The project does not impact the General Fund.

ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) and 15061(b)(3) (Common Sense) of the CEQA Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemptions in this case.

ATTACHMENTS

1. Resolution No. 11694 – A Resolution Approving the Historic District Commission's Recommendation for Approval of a Design Review and Density Bonus Application for the Sutter Lofts Project Located at 807 and 809 Sutter Street and Determination that the Project is Exempt from CEQA.
2. Historic District Commission Staff Report and Attachments, dated September 2, 2026
3. Commission Revised Conditions of Approval, dated September 2, 2026

Submitted,



PAM JOHNS
Community Development Director

Attachment 1

RESOLUTION NO. 11694

A RESOLUTION APPROVING THE HISTORIC DISTRICT COMMISSION'S RECOMMENDATION FOR APPROVAL OF A DESIGN REVIEW AND A DENSITY BONUS APPLICATION FOR THE SUTTER LOFTS PROJECT LOCATED AT 807 AND 809 SUTTER STREET AND DETERMINATION THAT THE PROJECT IS EXEMPT FROM CEQA

WHEREAS, the Historic District Commission on September 2nd, 2026, held a public meeting on the proposed design review and density bonus application for the Sutter Lofts Project (MSTR26-00054), reviewed the staff report as well as the associated exhibits and attachments, considered public comment, and provided a recommendation to City Council; and

WHEREAS notice has been given at the time and in the manner required by State Law and City Code; and

WHEREAS the Historic District Commission determined that the proposed project would be exempt from the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303 and Section 15061(b)(3);

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Folsom hereby confirms the recommendation of the Historic District Commission and approves a design review and density bonus application for the Sutter Lofts Project.

This approval is subject to the commission revised conditions of approval presented to the City Council as Attachment 3 and this Resolution is based on the following findings:

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) AND UNDER SECTION 15061 (COMMON SENSE) OF THE CEQA GUIDELINES.
- D. NONE OF THE EXCEPTIONS LISTED UNDER CEQA GUIDELINES SECTION 15300.2 ARE PRESENT.

DESIGN REVIEW FINDINGS

- E. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN, APPLICABLE ZONING ORDINANCES, AND THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY THE CITY COUNCIL.
- F. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

DENSITY BONUS FINDINGS

- G. THE PROJECT QUALIFIES FOR A DENSITY BONUS IN THAT THE PROJECT IS PROVIDING AT LEAST ONE UNIT FOR LOW INCOME HOUSEHOLDS FOR THE STATUTORILY REQUIRED TIME PERIOD.
- H. THE PROPOSED PROJECT QUALIFIES FOR THE REQUESTED PROJECT DENSITY OF 46.2 DWELLING UNITS PER ACRE.
- I. THE PROJECT AS CONDITIONED WILL NOT HAVE A SPECIFIC ADVERSE IMPACT UPON THE PUBLIC HEALTH AND SAFETY OF THE COMMUNITY OR THE PHYSICAL ENVIORNMENT.

PASSED AND ADOPTED this 8th day of September, 2026, by the following roll-call vote:

AYES: Councilmember(s):
NOES: Councilmember(s):
ABSENT: Councilmember(s):
ABSTAIN: Councilmember(s):

Justin Raithel, MAYOR

ATTEST:

Christa Freemantle, CITY CLERK

Attachment 2



FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: September 2, 2026

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

PROJECT INFORMATION

Project Name: Sutter Lofts Project

File Number: MSTR26-00054

Request: Design Review, Density Bonus, and Determination that the Project is Exempt from CEQA

Location: 807 & 809 Sutter Street, Folsom, CA 95630 (APN 070-0103-007-0000)

General Plan Designation: Historic Folsom, Mixed-Use (HF)

Zoning: Sutter Street Subarea (SUT) of the Historic District Zoning District (HD)

Staff Contact: Nathan Stroud, Associate Planner, nstroud@folsom.ca.us, (916) 461-6220

Property Owner: Visione Entrprs LLC; P.O. Box 6493, Folsom, CA 95630

Applicant: Anthony Mull; 108 Sombrero Way, Folsom, CA 95630

Project Summary: The proposed project involves Design Review and a Density Bonus for a six (6) unit, 4,374 square-foot rear apartment building, located at 807 & 809 Sutter Street. The project involves a Density Bonus bringing the total number of dwelling units allowed from four (4) to six (6) units total in exchange for restricting one (1) unit for low income households for a period of at least 55 years. Staff have determined that the project conforms to the objective development standards of the Folsom Municipal Code (FMC), and generally aligns with the design guidelines of the Historic District Design and Development Guidelines (DDGs). This housing development project is only subject to objective standards in accordance the Housing Accountability Act (HAA).

The Historic District Commission will provide a recommendation, and the City Council will take final action.

Recommendation: Move to recommend confirming staff's determination that the Sutter Lofts Project is exempt from CEQA under Section 15303 (New Construction or Conversion of Small Structures) and 15061(b)(3) (Common Sense Exemption), and recommend approval of an application (MSTR26-00054) for Design Review and a Density Bonus for said project at 807 & 809 Sutter Street, based on the findings (Findings A-I), and subject to the conditions of approval (Conditions 1-28) attached to the staff report.

PROJECT DESCRIPTION

Project Setting

The project site contains an existing single story, 2,370 square-foot commercial building built in 1895 on a 5,663 square-foot (0.13 acre) parcel, located in the Sutter Street Subarea of the Historic District. The property is sloped, with a higher elevation along the rear alleyway and a lower elevation along Sutter Street. Currently, four (4) on-site parking spaces are provided along the alley where the project is proposed to be located. The project site abuts two (2) properties listed on the City's Cultural Resources Inventory located at 802 and 806 Figueroa Street. Both involve historic residences located nearest to the Figueroa Street side of their respective properties, greater than 100 feet away from the project site.



Figure 1 – Vicinity Map

Applicant's Request

The applicant, Anthony Mull, is requesting approval for Design Review and a Density Bonus for a six (6) unit, 4,374 square-foot rear apartment building, located at 807 & 809 Sutter Street. Four (4) of the units are proposed to be 600 square-foot studio lofts, and two (2) 987 square-foot one (1) bedroom lofts, each with its own balcony facing Sutter Street. The project involves the use of the State's Density Bonus Law to increase the allowed density by 50%, raising the maximum number of units allowed from four (4) units to six (6) units in exchange to designating at least one (1) unit for low income residents.

No changes to the existing commercial building are proposed as part of this project, and the proposed apartment building would be a standalone building located along the rear alleyway on the property. Due to its location on a downward sloping lot, the apartment building is proposed to be three (3) stories on the downslope facing Sutter Street, and two (2) stories on the upslope facing the rear alleyway.

Policy/Rule

Design Review

Folsom Municipal Code (FMC) Section 17.52.300 states that the Historic District Commission shall review projects involving new office, industrial, commercial, and residential buildings in the Historic District. FMC Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

Additionally, as a result of the recent litigation, all entitlements in the Historic District are being submitted to City Council for final approval.

Housing Accountability Act (HAA)

Government Code Section 65589.5, known as the Housing Accountability Act (HAA), limits the City's authority to deny or reduce the density of a proposed housing development project without making specific findings. Pursuant to Gov. Code section 65589.5(j)(1), to deny a qualifying housing development project or condition its approval to develop at a lower density, the local agency must determine that:

- 1. The project would have a specific, adverse impact on public health or safety; and
- 2. There is no feasible method to mitigate or avoid this impact satisfactorily, other than by disapproving the project or requiring a lower density.

A "specific adverse impact" is defined as a "significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards" (Gov. Code Section 6589.5(j)(1)(A)).

Furthermore, the HAA limits the City's discretion to evaluating the project's adherence to objective standards. Objective means "involving no personal or subjective judgment by a public official and ... uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant ... and the public official".

Conditional Use Permit

FMC Chapter 17.60 states that in the Sutter Street Subarea, a conditional use permit is required for residential projects involving three or more dwelling units. However,

Government Code Section 65912.157(a), if a housing development project is located within one-quarter (0.25) mile of a Tier 2 transit stop (e.g., light rail station), it qualifies as a transit-oriented housing development project and is an allowed use. Additionally, to qualify, the housing development needs to include at least five (5) units, have a density greater than 30 dwelling units per acre, and meet the minimum density requirements. As this project is within one-quarter (0.25) mile of the Historic Folsom Light Rail Station, consists of six (6) units at a density of 46.2 dwelling units per acre, and exceeds the minimum density requirements, this transit-oriented housing development project is an allowed use by right and not subject to the conditional use permit requirement.

Density Bonus

FMC 17.102.030(A) states that the City shall grant a density bonus to an applicant or developer of a housing development consisting of five or more dwelling units, who agrees to provide the following:

- a. At least ten percent of the total units of a housing development for low-income households; or
- b. At least five percent of the total units of a housing development for very low-income households; or
- c. A senior citizen housing development.

All density calculations resulting in fractional units shall be rounded up to the next whole number.

Government Code Section 65915(f) provides the percentage density bonus allowed based on the number of units restricted for low or very low-income households. In exchange for the maximum 50% density bonus, the project proposes to restrict at least 24% of the base density units for low income households for a period of 55 years. The allowable base density permits a maximum of four (4) units; by requiring one (1) unit to be deed-restricted for low-income households in exchange for a two (2) unit (50%) density bonus, the project is able to develop for a maximum of six (6) units total.

ANALYSIS

General Plan Consistency

The General Plan land-use designation of the project site is Historic Folsom, Mixed-Use (HF). The following table shows applicable General Plan goals/policies:

General Plan Policies (2035)	
Goals/Policies	Description
LU 1.1.12 (Infill Development)	Respect the local context. New development should improve the character and connectivity of the neighborhood in which it occurs. Physical design should respond to the scale and features of the surrounding community, while improving critical elements such as transparency and permeability.
LU 2.1.1 (Historic Folsom)	Maintain the existing street fabric and pattern and enhance the tourist-oriented, historic commercial uses in the Historic Folsom commercial areas to preserve the unique character of Folsom's historic center and support local business.
LU 6.1.3 (Efficiency through Density)	Support an overall increase in average residential densities in identified urban centers and mixed-use districts. Encourage new housing types to shift from lower-density, large-lot developments to higher-density, small-lot and multifamily developments, as a means to increase energy efficiency, conserve water, reduce waste, as well as increase access to services and amenities (e.g., open space) through an emphasis of mixed uses in these higher-density developments.
NCR 5.1.6 (Historic District Standards)	Maintain and implement design and development standards for the Historic District.
H-3.6 (Density Bonus)	The City shall continue to make density bonuses available to affordable and senior housing projects, consistent with State law and Title 17 of the Folsom Municipal Code.

The project involves the addition of a six (6) unit apartment building on an existing commercial property. The Historic Folsom Mixed-Use (HF) General Plan Designation specifies a Floor-Area-Ratio (FAR) between 0.5 and 2.0. As the project site involves a 4,374 square-foot proposed new apartment building and a 2,370 square-foot existing commercial building on a 5,663 square-foot parcel, the FAR of the project as proposed is 1.19, within the specified FAR. Furthermore, the HF General Plan designation allows for a density of between 20 and 30 dwelling units per acre (DU/Ac). The project's density is ~46 DU/Ac, exceeding the requirements of the HF General Plan designation; however, the project is seeking a density bonus due to the inclusion of affordable housing units, as discussed further in the Density Bonus section of the analysis.

As discussed later in this report, the project complies with the objective development standards of the FMC 17.52.510, and generally meets the guidelines of the Historic District Design and Development Guidelines, consistent with General Plan Policy NCR 5.1.6. The project maintains the existing street fabric and pattern, in accordance with General Plan Policy LU 2.1.1, due to its front façade design, which is compatible with

other developments on Sutter Street, and due to its substantial front setback, which minimizes visual impacts from Sutter Street. Additionally, the project's scale and architectural design are compatible with the surrounding character and context of the Sutter Street Subarea in accordance with General Plan Policy LU 1.1.12. The project is also consistent with General Plan Policy LU 6.1.3 by proposing a small-lot, high density multifamily development within a mixed-use district, providing alternative housing options to traditional lower-density single-family residences for lower income workers. Furthermore, the compact design also efficiently uses local infrastructure, roads, and services and the location in a mixed-use district provides greater access to services and amenities.

For these reasons, the project has been determined to comply with the goals and policies of the Folsom General Plan.

Zoning Consistency

The project site is within the Sutter Street Subarea (SUT) of the Historic District Zoning District (HD). Within this subarea of the zoning district, residential uses are permitted; however, developments containing three or more dwelling units require a Conditional Use Permit (CUP), subject to Historic District Commission review. In accordance with the State's Density Bonus Law (Gov. Code Section 65915), the applicant has requested a waiver of this CUP requirement, as discussed later in this report.

The following table shows how the project relates to applicable development standards:

Sutter Street Subarea Development Standards (FMC 17.52.510)		
	Required	Proposed
Setbacks	No Setbacks Required	~0-Foot Side Setbacks; ~5-foot Rear Setback; ~75-foot Front Setback.
Height Maximum	35 Feet	Avg. 34 Feet, 3 Inches.

Per FMC 17.02.110, Building height means the vertical distance measured from the average of the highest and lowest point of that portion of the lot covered by the building to the highest point of the roof, ridge, or parapet wall. Measuring the proposed project to the highest parapet, the project on average is approximately 34 feet, 3 inches tall. As such, the project is within the maximum 35-foot height limit.

Overall, the project has been determined to satisfy the objective use and development standards of the Sutter Street Subarea (SUT) of the Historic District Zoning District (HD) outlined in the Folsom Municipal Code.

Historic Context

Background

The existing commercial building at 807 & 809 Sutter Street was originally built in approximately 1895 according to Sacramento County records. The property is not a listed historic resource in the local, state, or national registers of historic places, and has not been previously evaluated for eligibility.

The project does not propose to modify the existing commercial building, and instead will construct a new apartment building in undeveloped space at the rear of the property, preserving the existing commercial building.

Design Review

Housing Accountability Act (HAA) (Government Code Section 65589.5)

Under the provisions of the HAA, only objective design and development standards can be used when reviewing the design of a multi-family housing development project. In this context, “objective” means “involving no personal or subjective judgment by a public official and being uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official”. Furthermore, the City also cannot deny or reduce the density of the project, unless the project has been found to have a specific, adverse impact on public health or safety.

As a result, while staff have provided an analysis of the project’s consistency with the Historic District Design and Development Guidelines (DDGs) in this staff report below, failure to comply with the guidelines cannot constitute a basis for denial of the project or for modifications that would reduce the number of units or project density or render the project infeasible for the development of low-income units.

Architectural Design

The Sutter Street Subarea encompasses Folsom’s original commercial district, featuring a mix of architecture representative of the 1860s through the early 1900s. Since Folsom, like many towns of its era, was prone to fires, most surviving historic buildings were constructed of fire-resistant materials, such as brick, masonry, and stucco. The predominant building form was the Western False-Front style, characterized by the use of a raised parapet to give the appearance of a taller structure and often concealed a gabled roof to give a flat top appearance.

In recognition of this common form of construction, the Historic Commercial Design Criteria of the DDGs generally encourage that new construction be compatible with the subarea it is in, using buildings on the same street and the predominant style of the subarea for comparison. The design criteria also state that the use of brick veneer is acceptable, and that the use of wood panels and moldings may be appropriate for some

buildings.



Figure 2 – Project Rendering (Front / Rear)

The proposed apartment building, as shown in Figure 2 above, is proposed to have a brick veneer façade facing Sutter Street, and have board and batten siding for the side and rear elevations. A rooftop parapet conceals the rooftop equipment, faux windows are proposed on the side elevations to add detailing, and each unit is proposed to have a balcony with black wrought iron railings, French double doors, and traditional detailing for the platform. The rear elevation includes vertically proportioned windows, gooseneck lighting, and a concealed integrated trash enclosure. The subsequent sections of this report analyze how each architectural element compares to the guidelines of the DDGs.

Generally, the project incorporates many of the same elements used by the Whiskey Row Lofts (905 Sutter Street), including the use of faux windows on the side, a brick veneer front façade, and similar balcony design. The project also includes design elements to better match the existing commercial building at the property, including using the same window frame colors, the use of a brick front façade, and similarly styled windows and French double doors. A photo comparison of the project's design elements with existing buildings in the Sutter Street Subarea have been provided in Attachment 5.

Under the Housing Accountability Act (HAA), staff cannot require design revisions that are not codified as objective design standards; however, staff did provide preliminary recommendations to increase the project's historic compatibility. The applicant voluntarily incorporated several of these suggestions, including removing the original accent metal paneling, redesigning alley windows with vertical proportions and gridded panes to match the existing commercial building, replacing balcony sliding doors with French double doors, using a more decorated cornice for the front parapet, adjusting the color scheme, and matching frame colors to the existing commercial building. A comparison between the original and the revised renderings are provided in Figure 3 below. As proposed, the project is considered compatible with the Sutter Street Subarea.



Figure 4 – Project Rendering (Original and Revised)

Historic Commercial Design Criteria Guidelines (Appendix D, Section B)

The property is located in the Sutter Street Subarea, and the Historic Commercial Design Criteria section of the DDGs apply. This section is intended more to provide guidelines for commercial design, however some guidelines applicable to residential projects are included. Generally, in section B.2 of the design criteria, new construction projects are encouraged to be designed with respect to historic architectural design, drawing influence from existing adjacent buildings on Sutter Street.

Regarding massing and form, Section B.11 of the design criteria states that the historic pattern of the district is that building widths imitate the typical 40-foot frontage of a typical Judah Lot, and break up the massing for sites with greater than 40-foot frontages. Since this site has 40 foot of frontage, the full 40-foot width of the building is considered compatible with the intent of the design criteria.

Regarding upper floor windows, Section B.5 of the design criteria generally encourages that windows be vertically proportioned to be consistent in design with a historical prototype of a double-hung window. Based on recommendations by staff, the project has been adjusted to ensure that the rear upper story windows are vertically proportioned and include a horizontal grid to give the appearance of a double hung window to increase consistency with this requirement.

Regarding entries for residential complexes, Section B.8 of the design criteria states that generally the main entry should be clearly identified and relate directly to the main street frontage. However, to avoid making modifications to the existing commercial building, which was built in 1895, the project proposes to locate the apartment building along the rear of the property and have the main entry be from the alley. Staff recognizes the challenges of modifying the existing commercial building to comply with this guideline and supports the proposed rear main entry as it effectively preserves the existing commercial building.

Regarding roof forms, Section B.14 of the design criteria states that roof parapets should be used to screen roofing, rooftop elements, and rooftop mechanical equipment. Furthermore, new buildings are generally encouraged to maintain the predominant building shape of the area. The project proposes using a parapet which will screen rooftop equipment and a dedicated solar panel area, and the building shape is generally compatible with other buildings in the Sutter Street Subarea in conformity with this section of the design criteria. Furthermore, the project provides a decorated cornice similar to other buildings on Sutter Street, as shown in Figure 4 below.



Figure 4 – Proposed Cornice on Parapet

Regarding trash enclosures, Section B.18 of the design criteria states that the preferred trash enclosure arrangement will be a structure that is connected to and integrated with the building through the use of compatible materials and detailing. The project proposes to use an integrated trash enclosure along the rear of the property which, based on recommendations by staff, has been modified to use Hardie board panels for the sides painted to match the “Sage Green” color of the building siding. As proposed, the trash enclosure meets the intent of the design criteria.

Overall, the project appears to meet nearly all of the applicable guidelines for a new construction residential project, with the exception of the location of the main entry, as provided in the Historic Commercial Design Criteria of the DDGs.

Colors and Materials

The Building Materials Palette of the DDGs provides a list of what is considered appropriate or inappropriate materials for certain building elements. The table below shows whether the proposed exterior materials are considered appropriate:

Building Materials Palette (Appendix D of DDGs)		
Building Element	Proposed Materials	Appropriate / Inappropriate
Exterior Walls	Brick Veneer Siding (Front Façade)	Appropriate
	Board and Batten Siding (Side and Rear)	Appropriate
	Horizontal Lap Siding (Interior Hallway)	Appropriate
Porches and Railings	Black Wrought Iron Railings	Appropriate
Window Frames	Aluminum-clad wood frames	Appropriate

Although the DDGs do not provide specific color recommendations for buildings in the Historic District, the project was compared with other buildings in the vicinity to determine compatibility. Staff's findings are provided in the table below:

Color Scheme Compatibility		
Building Element	Proposed Colors	Compatibility
Exterior Walls	Red Brick (Front Façade)	Consistent with Existing Commercial Building
	"Sage Green" Siding with Darker Accent Color for Trim (Side and Rear)	Similar Color as used at 727 Sutter Street
	Black Faux Window Shutters	Similar Color as used on Whiskey Row Lofts (905 Sutter Street)
Window Frames	Burgundy Colored Window Frames	Consistent with Existing Commercial Building
Balcony Railings	Black Wrought Iron Railings	Similar Color as used for railings on Whiskey Row Lofts (905 Sutter Street)

Overall, staff have determined that the proposed project's colors and materials are consistent with the DDGs as well as compatible with both the existing commercial building as well as with surrounding buildings.

Visual Impact

Set back approximately 75 feet from Sutter Street and located behind an existing single-story commercial building, the proposed apartment project will have minimal visual impacts to the Sutter Street streetscape, as shown in Figure 5 below. Figure 6 shows how the building will look to pedestrians on Leidesdorff Street and also shows that the building's height is similar to adjacent buildings near the Sutter and Wool Street intersection. Additionally, the proposed brick front façade complements the existing streetscape, where brick exteriors are common. Overall, staff have determined that the project would not adversely impact the Sutter Street streetscape due to its limited visibility and complimentary brick exterior façade.

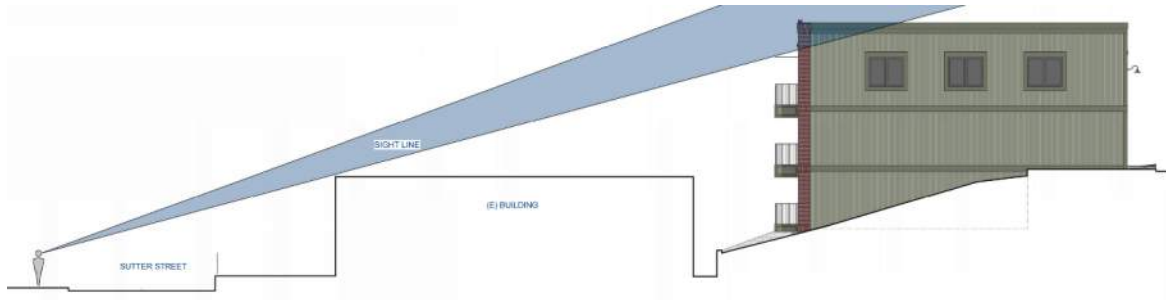


Figure 5 - Sight Line from Sutter Street



Figure 6 - Rendering of View from Leidesdorff Street

Parking Requirements

Pursuant to Government Code Section 65863.2 (AB 2097), parking is not required for developments located within one-half (0.5) mile of a major public transit stop. Due to its location near the Historic Folsom Light Rail Station, the project is not subject to minimum parking requirements.

Two (2) dedicated parking spaces are proposed to be provided on-site, and other residents are anticipated to utilize alternative modes of transportation, such as the light rail station, and/or use existing public parking facilities in the vicinity. Condition 27 has been provided reiterating the prohibition on parking in the alleyway, in accordance with FMC 10.20.220.

Utilities

Overhead utility lines currently cross the project site from the alley to serve the existing commercial building on the property, and water and sewer lines are accessible from Sutter Street and one sewer line is accessible from the rear alley.

The project proposes to underground the overhead utility lines which will serve both the existing commercial building and the proposed apartment building. Sewer access is proposed to be from the alley, and water is proposed to be accessed from Sutter Street.

After review by the Utilities Department, Conditions 18 and 19 have been provided to specify requirements for the utility connections. This includes, but is not limited to, restoration work to the Sutter Street sidewalk and curb if these improvements are impacted by the utility work, and that the connections be made in accordance with City standard construction specifications and design standards. Condition 20 has also been

provided requiring coordination with utility companies for development of the project.

Drainage

The project site topography is sloped towards Sutter Street, and surface flow currently drains into an existing drainage inlet on the property. The project proposes directing rooftop collection to drain into the alley while the remaining drainage would be directed to the existing drainage inlet on the property. The alley currently slopes towards Decatur Street, with a surface drain to collect rainwater. After review, staff of the Utilities Department had no concerns with the drainage on the property.

Staff have included Condition 26, a standard requirement prohibiting drainage across property lines onto adjacent parcels, unless authorized by a dedicated drainage easement.

Signage

Signage within the Sutter Street Subarea is regulated by the general Sign Code in FMC 17.59, as modified by the specific subarea sign requirements in FMC 17.52.510(E). While FMC 17.52.510(E) primarily regulates commercial signs and generally prohibits neon and internal illumination, it lacks specific standards for residential signage. As such, staff applied the citywide base sign standards under FMC 17.59 for this project.

FMC 17.59.040(D) states that for multifamily residential uses, one externally illuminated or non-illuminated wall sign is allowed, not to exceed 40 square-feet, not to project more than 18 inches from the building wall, and not to exceed 75% of the width of the building frontage. Furthermore, the signs generally should match the architectural style of the complex.

The project proposes using two (2) wall signs, one (1) on each of the front and rear elevations, constructed of individual letters colored black. In terms of size (apprx. 9.5 sq ft each), width (apprx. 33% of frontage), and projection (<2 inches), the signs meet the standards of the Sign Code. However, the project would need to reduce the number of wall signs to one (1) wall sign. Staff have no concerns with the design, which is similar to the wall signage used for Sutter Court and the Whiskey Row Lofts at 905 Sutter Street. Staff have provided Condition 28 requiring that the project submit for a sign permit and revise their proposed signage to comply with the requirements of FMC 17.52.510 and FMC 17.59.

Density Bonus

FMC 17.102 (Density Bonus and Other Developer Incentives) and Government Code Section 65915 (Density Bonus and Other Incentives) states that a density bonus shall be granted to an applicant or developer of a qualifying housing development project who agrees to restrict a portion of the total units of the housing development for low-income households. California Density Bonus Law requires that, in exchange for the maximum

50% density bonus, a 55 year restrictive covenant be placed on at least 24% of the base density units to restrict them for low-income households.

The project site has a maximum base density of 30 dwelling units per acre (DU/Ac), resulting in a maximum of four (4) units allowed. By requiring one (1) of the four (4) base density units (25%) to be deed-restricted for low-income households, the project would qualify for a 50% density bonus for two (2) additional units, resulting in a maximum of six (6) units total. The proposed density bonus plan is provided in Attachment 4, and Condition 27 states that the project approval is contingent upon deed-restricting one (1) unit for low income households for a period of at least 55 years.

No concessions, incentives, or reductions have been requested as part of the density bonus, however the applicant has requested one waiver from the conditional use permit requirement to develop a three (3) or more unit residential development in the Sutter Street Subarea. After further review by staff, this waiver is not necessary since the project is considered an allowed use by right according to Government Code 65912.157(a) due to being within a one-quarter (0.25) mile of the light rail station, among other requirements.

ENVIRONMENTAL REVIEW

The proposed six (6) unit apartment building is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. This section exempts apartments designed for up to six (6) units in urbanized areas, and in this case the project falls within this exemption since it involves six (6) units. (Cal. Code Regs. Tit. 14, § 15303(b).)

For these same reasons, the project is also exempt from CEQA under Section 15061(b)(3) (Common Sense Exemption), which provides that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. (Cal. Code Regs. Tit. 14, § 15061(b)(3).)

Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemptions in this case. These exceptions include:

- If there are activities where there is a reasonable possibility that the activity will have a Significant Effect on the environment due to unusual circumstances;
- If there is damage to scenic resources within a Scenic Highway;
- If the project is located on a Hazardous Waste Site;
- If there is a substantial adverse change in the significance of a Historical Resource.

Analysis: Significant Effect

The project is not anticipated to have an unusual or significant impact on the environment,

as this is an infill project located on a developed, urbanized site of a comparable scale to other adjacent developments. There is no possibility that the project would have a significant effect on the environment beyond that of other existing buildings in the vicinity.

Analysis: Scenic Highway

The project site is not located near a scenic highway nor would the project result in damage to scenic resources within a scenic highway.

Analysis: Hazardous Waste Sites

The project site is not listed on the Hazardous Waste and Substances Sites List.

Analysis: Historical Resources

The project site does not contain a historic resource; however, two properties immediately adjacent to the project site to the south are listed on the City's Cultural Resources Inventory, as shown in Figure 7 below. This includes the Historic Higgins Residence at 802 Figueroa Street, and the Historic Gable Residence at 806 Figueroa Street. These properties were included on the City's inventory due to the historic value of the main residences located along Figueroa Street. Along the alley, 802 Figueroa Street has a secondary house constructed in 2007, and 806 Figueroa Street has a detached garage constructed in the 1990s with an above-garage unit constructed in 2000. Neither of these accessory structures contribute to the value of either historic resource.

In assessing impacts, staff evaluated the potential visual impacts to these historic resources. Due to the screening provided by the ADU and the secondary home located on each of the historic properties, and due to the distance between the project site and the historic residences (>110 feet), visual impacts to the historic residences are anticipated to be very limited. Furthermore, since the project is approximately the same height as existing adjacent commercial buildings, it has been determined that there would be a non-substantial change to the existing visual setting to adjacent historic properties. Overall, staff have determined that the project would not have a substantial adverse impact on the historic significance of adjacent locally listed historic resources.



Figure 7 – Locally Listed Historic Properties (Red) and Project Site (Yellow)

PUBLIC NOTICING AND OUTREACH

Public notification was achieved by posting the agenda, with this agenda item being listed, at least 72 hours prior to the meeting in print and electronically. Legal advertisement of the meeting was posted at the project site and mailing adjacent property owners at least five (5) days prior to the meeting that met the requirements of FMC Section 17.52.320.

Heritage Preservation League Comments

On August 16, 2026, the Heritage Preservation League (HPL) provided a letter providing comment on the project, which is included as Attachment 7. The letter expressed concerns with the building height being too tall, accessibility, and provided recommendations for the design.

As discussed earlier in this report, FMC 17.02.110 (Building Height) establishes how building height is measured on a sloped lot. Based on staff's measurements of the project, the project's average building height is 34 feet, 3 inches, which is within the 35-foot maximum height limit. Furthermore, the project's roofline is anticipated to be similar to existing commercial buildings adjacent to the east of the property. The DDGs do not mention any limitation of building heights to increases of one floor increments, and based on staff's assessment, the project meets the objective development standards of the Folsom Municipal Code for building height.

Regarding accessibility, the Building Division was routed a preliminary review of the project and did not express any initial concerns with accessibility. The project is required to comply with the California Building Code, and will be evaluated in depth for compliance with accessibility requirements during the building permit review.

Regarding design recommendations, HPL recommended:

1. Adding a more prominent cornice to the parapet;
2. Modifying color palette;
3. Incorporating additional window grids;
4. Installing a wood gate for the trash enclosure; and
5. Using brick and stucco instead of board and batten siding.

As noted earlier in this report, under the Housing Accountability Act (HAA), design recommendations or guidelines that are not objective and codified are voluntary and cannot be mandated by the City for a housing development project. Following discussions with staff, the applicant voluntarily revised the project to include:

1. A more decorated cornice and brickwork; and
2. Addition of an accent color to the color palette.

The following other recommendations were not incorporated, and staff have provided an explanation for each item below:

3. Staff support the proposed window grid design, given its consistency with the existing commercial structure, as shown in Attachment 5.
4. City specifications require that metal doors be used on trash enclosures. To limit the enclosure's visual impact, the applicant proposes painting these doors to match the building's exterior colors.
5. Board and batten, and wood siding generally, exists within the Sutter Street Subarea and the DDGs do not prohibit their use. The Fat Rabbit building at 825 Sutter Street uses board and batten siding, and the Folsom Hotel at 703 Sutter Street uses horizontal lap siding. Staff supports the proposed siding because the project utilizes brick along the primary front façade, which is the most visible side from the streetscape, and since the use of brick on only the front façade is consistent with established precedent in the Historic District as seen at Sutter Court and Whiskey Row Lofts, as shown in Attachment 5.

RECOMMENDED HISTORIC DISTRICT COMMISSION ACTION

Move to recommend confirming staff's determination that the Sutter Lofts Project is exempt from CEQA under Section 15303 (New Construction or Conversion of Small Structures) and 15061(b)(3) (Common Sense Exemption), and recommend approval of an application (MSTR26-00054) for Design Review and a Density Bonus for said project at 807 & 809 Sutter Street, based on the findings (Findings A-I), and subject to the conditions of approval (Conditions 1-28) attached to the staff report.

FINDINGS

General Findings

- A. Notice of public meeting has been given at the time and in the manner required by State law and City code.
- B. The project is consistent with the General Plan and the Zoning Code of the City.

CEQA Findings

- C. The project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) and under Section 15061 (Common Sense Exemption) of the California Environmental Quality Act (CEQA) Guidelines.
- D. None of the exceptions listed under CEQA Guidelines Section 15300.2 are present.

Design Review Findings

- E. The project is in compliance with the General Plan, applicable Zoning Ordinances, and the Historic District Design and Development Guidelines adopted by City

Council.

- F. The building materials, textures and colors used in the proposed project are compatible with surrounding development and are consistent with the general design theme of the neighborhood.

Density Bonus Findings

- G. The project qualifies for a density bonus in that the project is providing at least one unit for low income households for the statutorily required time period.
- H. The proposed project qualifies for the requested project density of 46.2 dwelling units per acre.
- I. The project as conditioned will not have a specific adverse impact upon the public health and safety of the community or the physical environment.

ATTACHMENTS

1. Proposed Conditions of Approval
2. Project Narrative
3. Plan Set
4. Density Bonus Plan
5. Design Element Comparison
6. Site Photos
7. HPL Comment Letter

Submitted,



PAM JOHNS
Community Development Director

Attachment 1

Proposed Conditions of Approval

**CONDITIONS OF APPROVAL FOR
SUTTER LOFTS PROJECT (MSTR26-00054)
807 & 809 SUTTER STREET, DESIGN REVIEW**

Cond. No.	Mitigation Measure	Condition of Approval	When Required	Responsible Department
GENERAL REQUIREMENTS				
1.		<i>Final Development Plans</i> The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below, as modified by these conditions of approval: • Plan Set (Attachment 3) • Density Bonus Site Plan (Attachment 4) This design review and density bonus approval is for the Sutter Lofts Project (MSTR26-00054) located at 807 & 809 Sutter Street, which includes design review for a six (6) unit, 4,374 square-foot rear apartment building. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.	B	CD (P)(E)
2.		<i>Community Development Department Subsequent Review</i> Building plans, and all civil engineering, improvement, landscape, and irrigation plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.	B	CD (P)(E)(B)
3.		<i>90-Day Protest Period</i> The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to <u>Government Code</u> Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions. The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of <u>Government Code</u> Section 66020, the applicant will be legally barred from later challenging such exactions.	OG	CD (E)(P)

4.		Indemnity for City The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur: • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith. The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.	OG	CD (P)(E)(B) PW, PR, FD, PD
5.		Validity The project approval granted under this staff report (design review and density bonus) shall remain in effect for two years from final date of approval (Expires September 8, 2028). Failure to obtain the relevant building or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to <u>Folsom Municipal Code</u> Section 17.52.350. If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, demolition permit, sign permit or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the project contemplated herein, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the project approval shall be tolled during the time that any litigation is pending, including any appeals.	OG	CD (P)
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
6.		Applicable Taxes, Fees, and Charges The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD(P)(E)

7.		Existing Assessments If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD(E)
8.		Use of Outside Legal Counsel and Consultants The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	OG	CD(P)(E)
9.		Special Study Reimbursement If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the improvement plans, or beginning inspection, whichever is applicable.	B	CD(P)(E)
10.		Development Impact Fees This project shall be subject to all applicable City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all applicable City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (September 8, 2026). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P), PW, PK
11.		School District Fees The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the <u>Education Code</u> ; Chapter 4.7 (commencing with	B	CD (P) (E)

		Section 65970) of the <u>Government Code</u> ; and Sections 65995, 65995.5 and 65995.7 of the <u>Government Code</u> .		
SITE DEVELOPMENT REQUIREMENTS				
12.		<i>Geotechnical Report</i> Prior to the issuance of any grading, improvement permit, and/or building permit, the owner/applicant shall have a geotechnical report prepared by an appropriately licensed engineer that includes an analysis of site suitability, proposed foundation design for all proposed structures, and roadway and pavement design. The geotechnical report shall be inclusive of any proposed wall calculations. The report and calculations are subject to review and approval by the Community Development Department.	G, B	CD (E)
13.		<i>Improvement Plan Review</i> The improvement plans for the required public and/or private improvements shall be reviewed and approved by the Community Development Department prior to issuance of a building permit for the project.	I, B	CD (E)
ARCHITECTURAL REQUIREMENTS				
14.		<i>Architectural Requirements</i> The project shall comply with the following requirements: a) This approval is for the Sutter Lofts Project (MSTR26-00054), which includes design review for a six (6) unit, 4,374 square-foot rear apartment building as shown in Attachment 3, located at 807 & 809 Sutter Street. b) Any changes to the level of architectural detailing shown in Attachments 3, if not determined to be substantially consistent with the approved plans by the Community Development Department, shall be subject to a subsequent design review. c) Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features. d) A Building Permit shall be required. All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings.	OG	CD (P)(E); PW

15.		Site and Building Lighting All lighting, including but not limited to landscape/walkway lights and building-attached lights shall be designed to be screened, shielded, and directed downward onto the project site and away from adjacent properties and public rights-of-way. The final design of the building-attached lights shall be subject to review and approval by the Community Development Department. Lighting shall be equipped with a timer or photo condenser.	I, B	CD (P)
16.		Addressing Plan An addressing and building number plan shall be submitted for review and approval by the City consistent with the City's addressing guidelines prior to or as part of the building permit package.	B	CD (P), FD, PD
DENSITY BONUS REQUIREMENTS				
17.		Affordable Unit Restriction Project approval is contingent upon the owner/applicant recording a restrictive covenant requiring at least one (1) residential unit within the project to be restricted to low-income households, as defined by the California Department of Housing and Community Development, for a minimum period of 55 years.	B	CD (P)
WASTEWATER REQUIREMENTS				
18.		Wastewater Requirements The following requirements apply to the wastewater connection location as depicted on the plan set in Attachment 3 for a 4-inch sewer lateral size. Any subsequent changes or deviations must be submitted to the Utilities and Public Works Departments for review and approval, and shall comply with any requirements imposed for the revised configuration and/or size: a) The sewer lateral from the ROW/property line to the sewer distribution main shall be gravity flow only. b) A Lower Lateral cleanout shall be placed at the ROW/property line and the on-site force main shall connect upstream of the lower lateral cleanout on private property. c) The on-site lift station and force main shall be privately owned, operated and maintained by the owner/applicant d) All sewer located within the public ROW per City Design Standard is required to be SDR-26 pipe with heavy wall SDR-26 sewer fittings. e) The sewer lateral connection to the main shall be constructed in accordance with City of Folsom sewer construction standards and details.	I	UT

WATER REQUIREMENTS				
19.		Water Requirements The following requirements apply to the water connections as depicted on the plan set in Attachment 3. Any subsequent changes or deviations from these plans must be submitted to the Utilities and Public Works Departments for review and approval, and shall comply with any requirements imposed for the revised configuration and/or size: a) All backflow devices shall be RPPA backflow devices paired with OS&Y shut-off valves designed to fit tight spaces to be consistent with all other RP devices located on Sutter Street. b) All RPPA devices shall be USC approved. c) All backflow devices will be required to be installed in a custom fabricated cover/box similar to all other devices located on Sutter Street. d) Per the City's Standard Construction Specifications section 4.12.2.B water service pipes, water meters and backflow devices shall all be the same size. Necking down of piping is not allowed. e) Per City of Folsom Water Design Standards 16.4.O.1 – Residential Water Services saddles shall be a minimum of 12-inches from the end of the water main and 18 inches to 24 inches away from any other water service saddle or pipe joint. f) The water service and all appurtenances shall be designed and constructed in accordance with City of Folsom water construction standards and details. g) Any installation or connection to the Sutter Street waterline that impacts existing public right-of-way improvements shall require coordination with the Public Works and Community Development Departments. The owner/applicant is responsible for restoring all disturbed areas—including but not limited to paving, granite lip and gutter, and concrete—to City standards and within limits determined by staff.	I	UT
DRY UTILITY REQUIREMENTS				
20.		Coordination with Utility Agencies The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.).	OG	CD (P) (E), PW
21.		Dry Utility Connections Future dry utility connection services (electrical, gas, telephone, etc.) for new buildings shall be placed underground at the project site.	B	CD (E)
TRIBAL AND CULTURAL RESOURCE REQUIREMENTS				
22.		Accidental Discovery of Human Remains Although considered highly unlikely, there is always the possibility that ground disturbing	DC	CD (P)(E)

		activities during construction may uncover previously unknown human remains. In the event of an accidental discovery or recognition of any human remains, Public Resource Code (PRC) Section 5097.98 must be followed. Once project-related earthmoving begins and if there is a discovery or recognition of human remains, the following steps shall be taken: 1. There shall be no further excavation or disturbance of the specific location, or any nearby area reasonably suspected to overlie adjacent human remains until the County Coroner is contacted to determine if the remains are Native American and if an investigation of the cause of death is required. If the coroner determines the remains are Native American, the coroner shall contact the NAHC within 24 hours, and the NAHC shall identify the person or persons it believes to be the “most likely descendant” of the deceased Native American. The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains, and any associated grave goods as provided in PRC Section 5097.98, or 2. Where the following conditions occur, the landowner or his/her authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity either in accordance with the recommendations of the most likely descendent or on the project area in a location not subject to further subsurface disturbance: a. The NAHC is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 48 hours after being notified by the commission; b. The descendent identified fails to make a recommendation; or The landowner or their authorized representative rejects the recommendation of the descendent, and the mediation by the NAHC fails to provide measures acceptable to the landowner.		
23.		<i>Accidental Discovery of Cultural Resources</i> In the event that cultural resources are exposed during ground-disturbing activities, construction activities shall be halted within 100-feet of the discovery. Cultural resources could consist of but are not limited to stone, bone, wood, or shell artifacts, or features including	DC	CD (P)(E)

		hearths, structural remains, or historic dumpsites. If the resources cannot be avoided during the remainder of construction, an archaeologist, who meets the Secretary of the Interior's Professional Qualifications Standards, shall be retained to assess the resource and provide appropriate management recommendations. If the discovery proves to be CRHR- or NRHP-eligible, additional work, such as data recovery excavation, may be warranted and shall be discussed in consultation with the Lead Agency.		
24.		Management of Tribal Cultural Resources Should any indications of possible tribal cultural resources (TCRs), such as cultural features, unusual amounts of bone or shell, or cultural belongings be encountered during any construction activities, work shall be suspended in the vicinity of the find and the appropriate oversight agency(ies) shall be notified immediately. The appropriate oversight agency(ies) shall retain a tribal representative or Tribal Historic Preservation Officer (THPO) who shall assess the significance of the find by evaluating the resource to determine if it is a TCR as defined in Section 21074 of the Public Resources Code. If the resource is a TCR as defined in state law, and it would be subject to disturbance or destruction, the City shall consult with the THPO or their designee to determine the appropriate treatment before resuming construction activities at the TCR.	DC	CD (P)(E)
MISCELLANEOUS REQUIREMENT				
25.		Noise Ordinance Compliance with the City of Folsom Noise Control Ordinance (<u>FMC 8.42</u>), General Plan Safety & Noise Element and Standard Construction Specifications and Details Section 7.23 is required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. Request to work during days and times not permitted under these regulations may only occur with written permission from the City of Folsom Community Development Director or duly authorized deputy.	I, B	CD (P)(E)
26.		Drainage Restrictions No drainage, including surface water, groundwater, or roof runoff, shall be directed or allowed to cross over the property line onto adjacent properties, unless through an easement. City standard drainage swales are required along all property lines where drainage runoff may cross over the property line.	OG	CD (P)(E)
27.		Alleyway Parking Restrictions If the property has access to an alleyway, parking for the property shall not impede public	OG	CD (P)

		service access in the alleyway (e.g., waste collection, emergency vehicle access, etc.).		
28.		Sign Permit Required A Sign Permit is required for proposed signage. The proposed signage shall be revised to comply with the requirements of <u>FMC</u> 17.59.070(D) (Sign Requirements for Multifamily Residential) and <u>FMC</u> 17.52.510(E) (Sutter Street Subarea Sign Requirements)	B	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(A)	Arborist Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		
FD	Fire Department		
UT	Utilities		

Attachment 2

Project Narrative



CITY OF FOLSOM, BUILDING AND PLANNING DEPARTMENTS

14 JULY 2026

REVISED PROJECT NARRATIVE - SUTTER LOFTS DESIGN REVIEW: MSTR26-00054

New Construction, Infill
807/809 Sutter Street. Folsom, Ca. 95630

To whom it may concern,

On behalf of the owner, the applicant proposes a small infill residential project consisting of six rental loft units on an existing alley-accessed parcel located to the rear of an existing commercial building fronting Sutter Street in the Historic district of Folsom. The project is designed as a compact, walkable addition to the Historic District's housing stock, with no on-site parking required under current standards.

The building is 3 stories in total, with 2 stories fronting the alley and the lower level excavated, due the natural slope of the site. The max building height is 34', less than the max allowed height of 35'. The total square footage of the proposed building is 4,374 square feet, broken up into six units. The unit mix consists of four 600 square feet studio lofts and two 987 square feet one bedroom lofts, each with its own balcony.

The architecture is intended to be compatible with the Historic District, using a combination of board and batten siding facing the alley and brick facing Sutter Street. Because of the slope of the site, the proposed design, and the existing building facing Sutter Street, the new proposal will mostly not be visible for pedestrians on Sutter Street (see diagram on design review plans).

Primary access and use of the proposal will be accessed from the Alley, enhancing activity and passive surveillance while maintaining the Historic frontage character on Sutter Street.

The project is designed to comply with all building, fire, safety, and accessibility code requirements, offering two accessible units off the main level of the alley.

Based on previous discussions with Stephanie Henry and Nathan Stroud at the City of Folsom Community Development Department and Planning Department, we are proposing four dwelling units by right with a density bonus increase of 50%, bringing the total unit count to six. The proposal intends to achieve this by following the State Density Bonus Law for either one dwelling unit at very low income or two dwelling units reserved for low income residents. At this time, we are not requesting any further concessions, waivers, or incentives.

Revisions to Project Narrative

Conditional Use Permit (CUP): As part of the density bonus and for a project containing more than three units, the owner requests a waiver from the Conditional Use Permit (CUP) requirements.

Overhead Utility Lines (OHU): The project site has overhead lines serving the existing commercial building. The plan for the project is to relocate the OHU underground for both the new structure and the existing commercial structure. During the Construction Documents phase, the team will develop a detailed plan with our Electrical Engineer and Civil Engineer.

Drainage: The project site is sloped in the direction of the existing commercial building. The existing conditions handle the drainage of the slope with an existing drainage inlet at the low end of the site, near the back of the commercial building. With the new structure taking up most of the space of the existing slope, the team's intention is direct the roof drainage back to the alley while the existing drainage inlet continues to maintain any other drainage requirements.

Sewer and Water Studies: Per our conversations with the City of Folsom, we are proceeding without the studies at this time and acknowledge that these studies may be required in the future.

Thank you for your time and consideration.

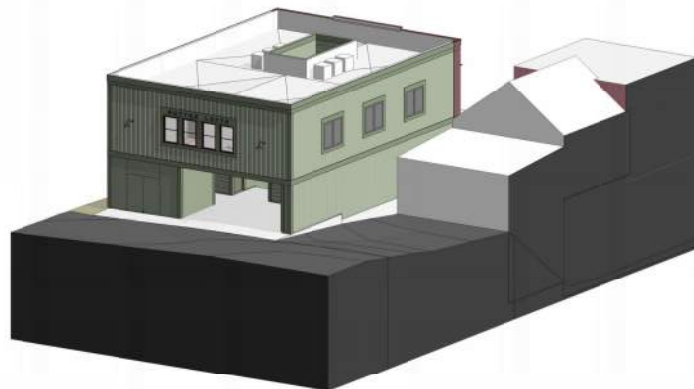
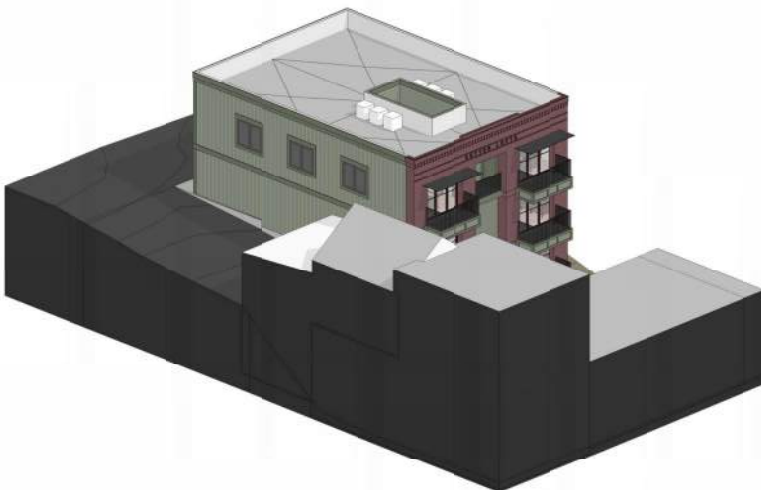
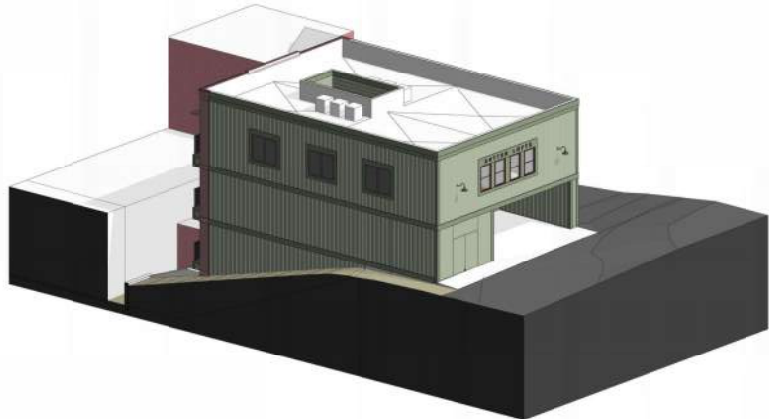
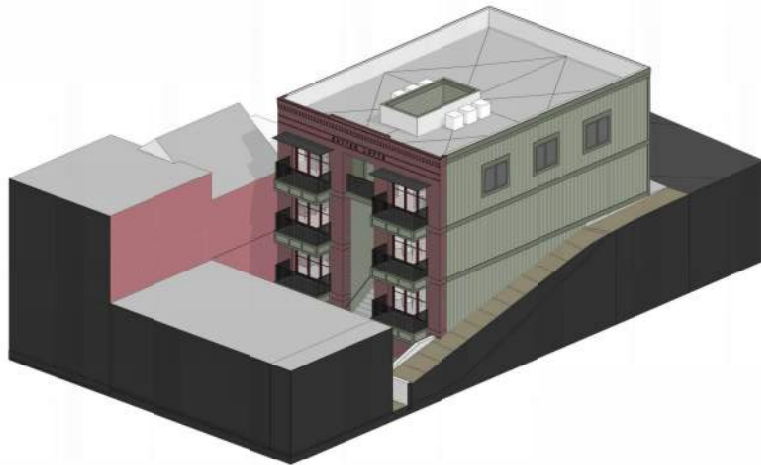
Sincerely,

A handwritten signature in black ink, appearing to read 'Anthony Mull', written in a cursive style.

Anthony Mull, Architect

Attachment 3

Plan Set



ANTHONY MULL
ARCHITECTS



DATE: 12/15/2023
BY: [Signature]

PROJECT: 807/809 SUTTER ST.
FOLSOM, CA, 95630

CLIENT: MOE HIRANI

PROJECT NAME: SUTTER LOFTS

REVISIONS

NO. DESCRIPTION

1. 12/15/2023

2. 12/15/2023

3. 12/15/2023

4. 12/15/2023

5. 12/15/2023

6. 12/15/2023

7. 12/15/2023

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10. 12/15/2023

11. 12/15/2023

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13. 12/15/2023

14. 12/15/2023

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16. 12/15/2023

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18. 12/15/2023

19. 12/15/2023

20. 12/15/2023

21. 12/15/2023

22. 12/15/2023

23. 12/15/2023

24. 12/15/2023

25. 12/15/2023

NOT FOR CONSTRUCTION

PHOTO: [Signature]

DESIGN REVIEW

SHEET NAME

3D AXONS

SHEET NUMBER

A001



ANTHONY MULL
ARCHITECTS



DATE: 8/17/23
BY: AM
PROJECT: SUTTER LOFTS

CLIENT: MOE HIRANI

PROJECT ADDRESS: 807/809 SUTTER ST., FOLSOM, CA, 95630

PROJECT NAME: SUTTER LOFTS

REVISIONS
DESCRIPTION

NOT FOR CONSTRUCTION

PHOTO: DESIGN REVIEW

SHEET NAME: PERSPECTIVES

SHEET NUMBER: A002



FROM WOOL STREET

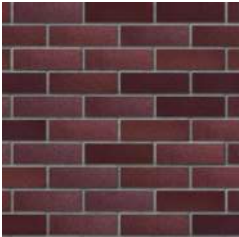


FROM LEIDESDORFF STREET



FROM RAILROAD PLAZA

MATERIAL BOARD & REFERENCES:



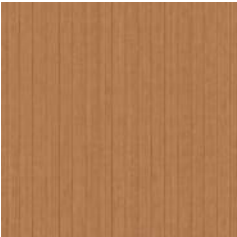
THIN FACED BRICK



HARDIE BOARD & BATTEN
SAGE GREEN



HARDIE LAP PLANK
SAGE GREEN



WOOD T&G @ CEILING



WINDOW & DOOR FRAMES
TO MATCH EXISTING BUILDING (807 SUTTER)



BALCONY & RAILING
SIMILAR TO WHISKEY ROW LOFTS WITH
THINNER LOWER PROFILE



GOOSENECK, EXTERIOR LIGHT



ANTHONY MULL
ARCHITECTS



JOB #
ARCHITECT
DATE
REVISION
CLIENT
MOE HIRANI

PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME

SUTTER LOFTS

REVISIONS
DESCRIPTION

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PHOTO
DESIGN REVIEW
SHEET NAME

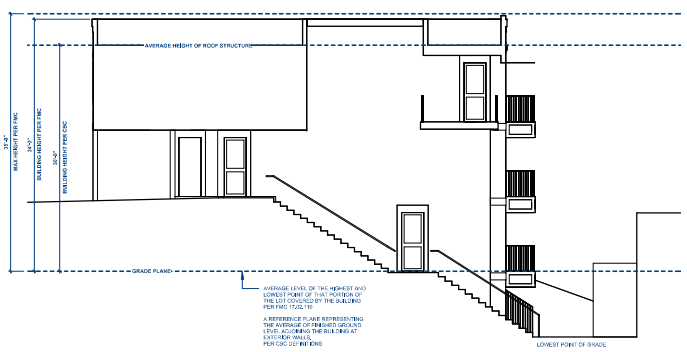
SITE PHOTOS &
MATERIALS

SHEET NUMBER

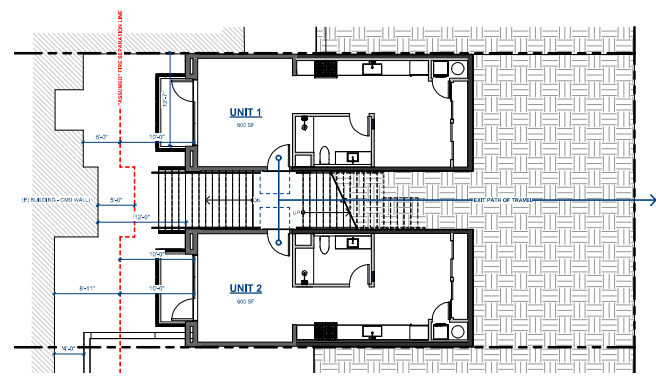
A003

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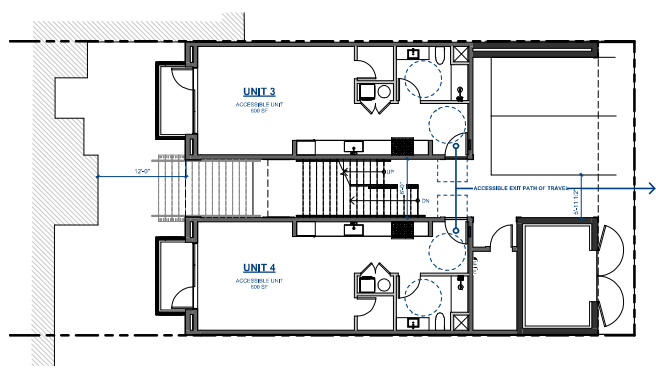
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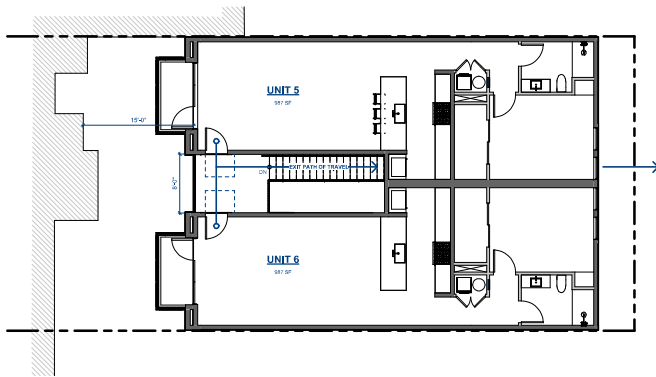
BUILDING HEIGHT DIAGRAM
1/8" = 1'-0"



FLS - BASEMENT
1/8" = 1'-0"



FLS - ALLEY
1/8" = 1'-0"



FLS - UPPER
1/8" = 1'-0"

2025 CBC BUILDING CODE ANALYSIS:		
SECTION	CODE SECTION	PROJECT COMPLIANCE
001.2	OCCUPANCY CLASSIFICATION & USE	
700.1	RESIDENTIAL GROUP R-2	APARTMENT BUILDING
001.4	SPECIAL DETAIL REQUIREMENTS	
400.2	SEPARATION WALLS	WALLS SEPARATING UNITS TO BE CONSTRUCTED AS FIRE PARTITIONS, SECTION 708
400.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING UNITS TO BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES, SECTION 711
400.4	AUTOMATIC SPRINKLER SYSTEM	FIRE SPRINKLERS REQUIRED
400.5	FIRE ALARM SYSTEMS & SMOKE ALARMS	FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED, SECTION 702
400.6	GROUP II COOKING FACILITIES	COOKING APPLIANCES USED FOR DOMESTIC COOKING OPERATIONS SHALL BE IN ACCORDANCE WITH THE CBC.
001.5	GENERAL BUILDING HEIGHTS & AREAS	
700.2	BUILDING ADDRESS	BUILDING SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION
700.3	STAIRWELL SHAFT, LOT	SHALL BE REGULATED AS SEPARATE BUILDINGS
700.4	ALLOWABLE BUILDING HEIGHT	34' [TYPE I-A] - 30' MAX HEIGHT
700.5	NUMBER OF STORIES	34' [TYPE I-A] - 3 STORIES
700.6	ALLOWABLE AREA	34' [TYPE I-A] - 12,000 SF
001.6	TYPES OF CONSTRUCTION	
700.7	FIRE RESISTANCE TO RISERS	TYPICAL: PRIMARY STRUCTURAL MEMBERS, FLOOR AND ROOF ASSEMBLIES: 1-HR RATED INTERIOR AND EXTERIOR WALLS AND PARTITIONS: 1-HR RATED
700.8	TYPE V	STRUCTURAL ELEMENTS, EXTERIOR ELEVATION WALLS AND OF ANY MATERIALS PERMITTED BY THE CBC.
001.7	FIRE & SMOKE PROTECTION FEATURES	
700.9	PROJECTED	2' AT FIRE SEPARATION DISTANCE OF 5' OR GREATER, THE MINIMUM SEPARATION FOR PROJECTED UP TO FIRE.
700.10	FIRE SEPARATION DISTANCE	5' OR 1-HR [3' AT 5' OR GREATER]
700.11	CONTINUITY	THE MINIMUM SEPARATION OF EXTERIOR WALLS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR 4' ABOVE FINISHED GRADE TO ONE OF THE FOLLOWING: 1. THE UNDERLAP OF THE EXTERIOR WALL ROOF FINISHING, DECK OR SLAB ABOVE. 2. THE UNDERLAP OF A FLOOR FINISHING AND FINISHING SHALL BE MINIMUM SEPARATION DISTANCE SHALL BE GREATER THAN THE EXTERIOR WALL AND THE FIRE SEPARATION DISTANCE IS GREATER THAN 10 FEET.
700.12	MAX AREA OF EXTERIOR WALL OPENINGS	OPENINGS SHALL NOT PERMITTED [300" x 100" [10' x 10'] [10' x 10'] [10' x 10']
700.13	VERTICAL EXPOSURE	OPENING PROTECTIVES NOT LESS THAN 1-HR RATING SHALL BE PROVIDED IN EVERY OPENING THAT IS LESS THAN 10 FEET OR 10' ABOVE THE ROOF OF AN ADJACENT BUILDING
700.14	PARALLEL CONSTRUCTION	EXTERIOR FIRE RATING AS SUPPORTING WALLS SHALL BE ABOVE INTERSECTION OF ROOF SURFACE AND WALL
700.15	FIRE PARTITIONS	WALLS SEPARATING DWELLING UNITS 1-HR, 1-HR
700.16	DOOR, ASSEMBLY & CLOTHING UNITS	1-HR
700.17	DOOR ENCLOSURES	NOT LESS THAN 1-HR RATING, CONNECTING LESS THAN FOUR STORIES
001.8	FIRE PROTECTION & LIFE SAFETY	
900.1	SMoke DETECTION SYSTEMS	SMoke DETECTION SYSTEMS SHALL BE PROVIDED IN EVERY UNIT
900.2	SMoke DETECTION SYSTEMS	SMoke DETECTION SYSTEMS SHALL BE PROVIDED IN EVERY UNIT
900.3	PORTABLE FIRE EXTINGUISHERS	REQUIRED
900.4	FIRE ALARM SYSTEM - 10	NOT REQUIRED FOR EXEMPTION 1
900.5	CARBON MONOXIDE - DWELLING UNITS	OUTSIDE OF EACH SEPARATE DWELLING AREA IN THE MINIMUM SECURITY OF THE BEDROOMS
001.9	MEANS OF EGRESS	
1000.1	CEILING HEIGHT	7'0" MIN
1000.2	MAX AREA PER OCCUPANT	RESIDENTIAL - 30 SQ FT
1000.3	SPACES WITH ONE EXIT	30' MAX OCC. LOAD + 30' MAX COMMON PATH OF EGRESS + 10'
1000.4	SIZE OF DOORS	DOOR OPENING WITH 30' EXCEPTED AREA, UNITS DOES NOT HAVE 1 TO NON-ACCESSIBLE UNITS
1000.5	DOOR WIDTH & CLEARANCE	MIN. WIDTH = 32" EXCEPTED AREA, UNITS DOES NOT HAVE 1 TO NON-ACCESSIBLE UNITS
001.10	HOUSING ACCESSIBILITY (HAP)	
1100.1	DOOR HEIGHTS	DOOR HEIGHTS ARE NOT PERMITTED ON EXTERIOR STAIRWAYS, EXCEPTING: 1. OPENING TO MIN. 10' UP BETWEEN THE BASE OF RISERS AND TREADS. 2. OPENING TO MIN. 10' UP BETWEEN THE BASE OF RISERS AND TREADS.
001.11	INTERIOR ENVIRONMENT (IEP)	
1200.1	ACROBATIC SOUND	WALLS, PARTITIONS AND FLOORING ASSEMBLIES SEPARATING DWELLING UNITS SHALL HAVE A STC 50



ANTHONY MULL ARCHITECTS



Moe Hirani

PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME
SUTTER LOFTS

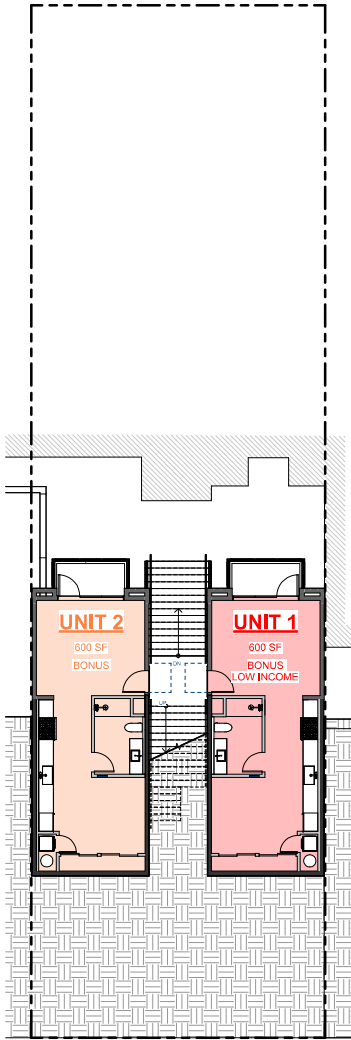
DESIGNER
0010
DESCRIPTION

DESIGN REVIEW
DESIGN NAME

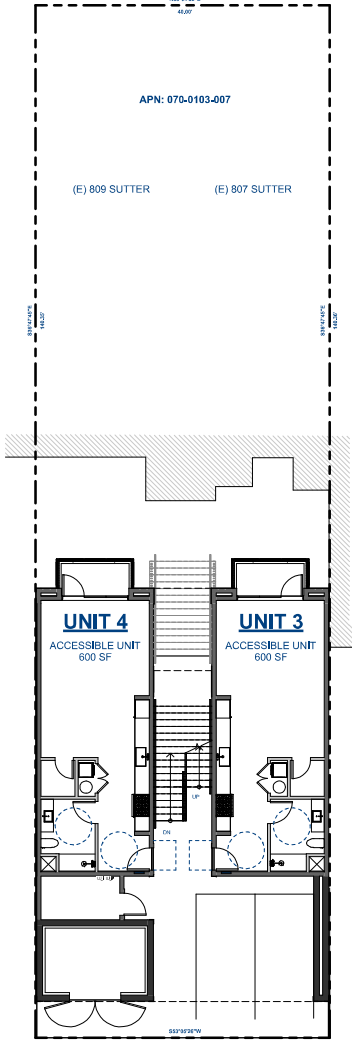
CODE ANALYSIS & SUMMARY

SHEET NUMBER
A010

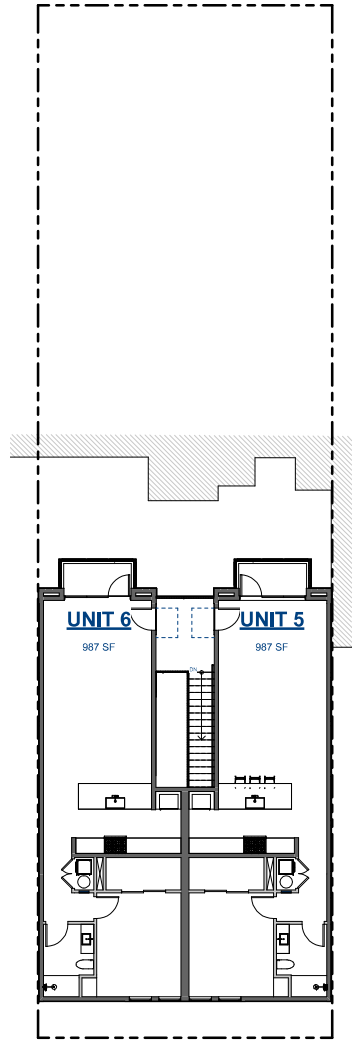
NOT FOR CONSTRUCTION



UNITS - BASEMENT
1/8" = 1'-0"



UNITS - ALLEY
1/8" = 1'-0"



UNIT - UPPER
1/8" = 1'-0"

UNIT TYPE & DENSITY BONUS:				
UNIT	DENSITY	TYPE	SIZE	
UNIT 1	BONUS	LOW INCOME / RENT CAP	600 SF	
UNIT 2	BONUS		600 SF	
UNIT 3	BY RIGHT	ACCESSIBLE	600 SF	
UNIT 4	BY RIGHT	ACCESSIBLE	600 SF	
UNIT 5	BY RIGHT		987 SF	
UNIT 6	BY RIGHT		987 SF	
DENSITY BONUS: 4 UNITS BY RIGHT WITH A BONUS OF 50%, ALLOWING FOR 6 UNIT MAX. LOW INCOME RENT CAP: THE PRODUCT OF 30 PERCENT TIMES 60 PERCENT OF THE AREA MEDIAN INCOME ADJUSTED FOR FAMILY SIZE APPROPRIATE FOR THE UNIT				



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FOLSOM, CA. 95630

PROJECT NAME
SUTTER LOFTS

REVISIONS
DATE DESCRIPTION

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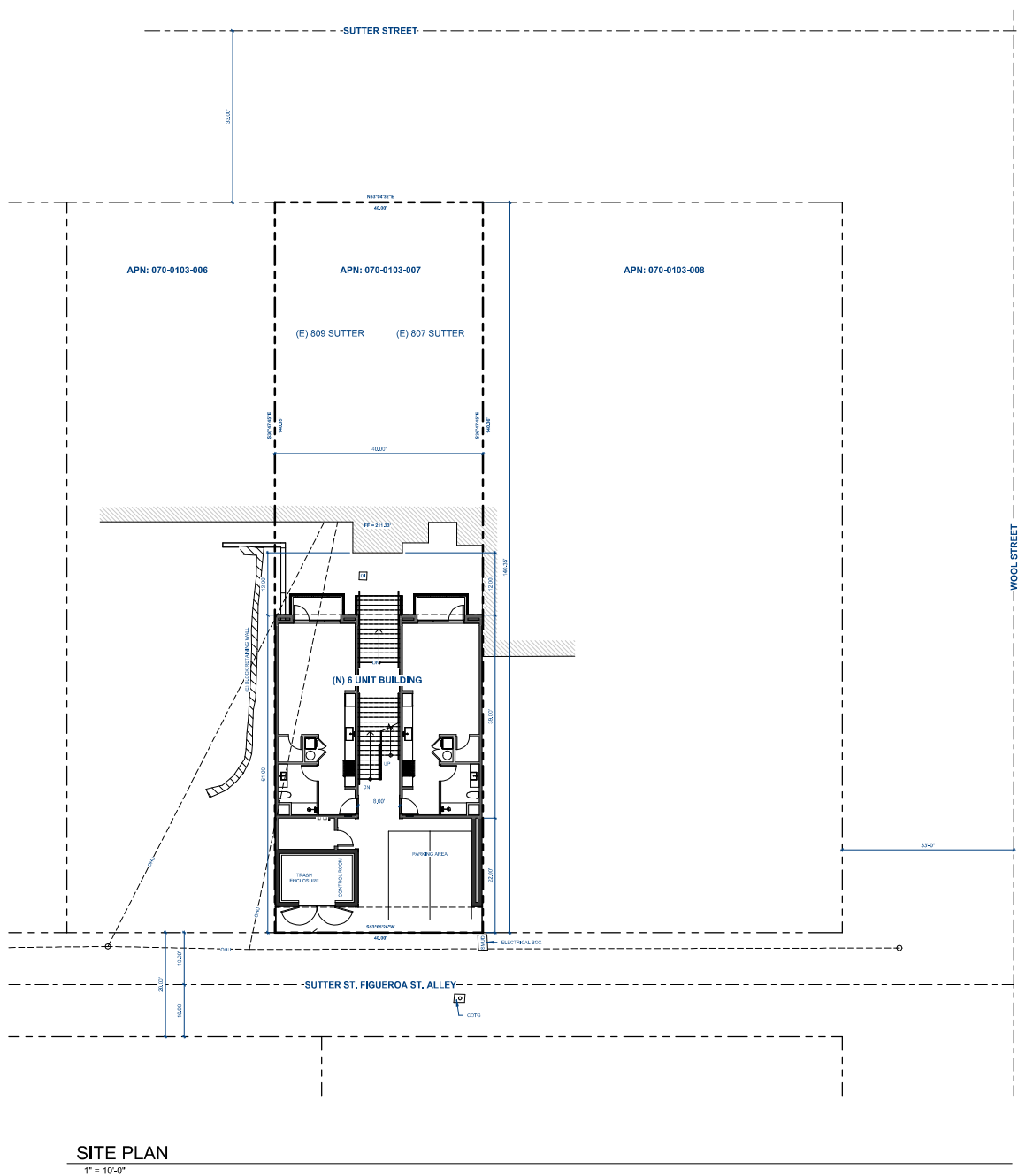
PHOTO
DESIGN REVIEW

SHEET NAME
UNIT TYPES & DENSITY
BONUS

SHEET NUMBER
A020

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8/17/2023 12:48:37 PM
1/2" SCALE

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SITE PLAN
1" = 10'-0"

KEYNOTES

- GENERAL SITE PLAN NOTES:
1. SURVEY BY LODESTAR ENGINEERING
 2. REFER TO CIVIL PLANS FOR GRADING, DRAINAGE, AND SITE DETAILS
 3. REFER TO STRUCTURAL PLANS FOR SITE RETAINING WALLS



ANTHONY MULL
ARCHITECTS



PROJECT #
8/17/2023
DATE
8/17/2023
CLIENT
MOE HIRANI

PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME

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REVISIONS
DESCRIPTION

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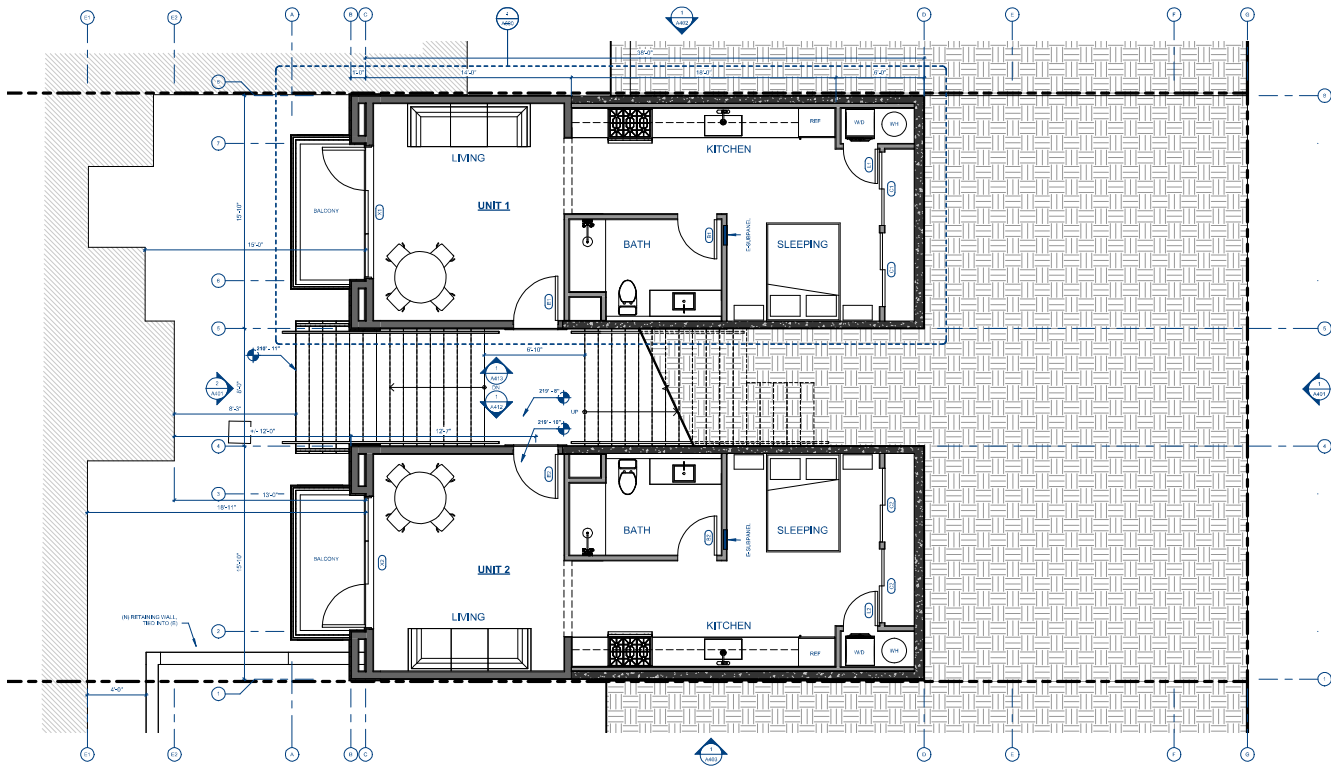
PROJECT
DESIGN REVIEW

SHEET NAME

SITE PLAN

SHEET NUMBER

A090



L0- BASEMENT PLAN
1/4" = 1'-0"

KEYNOTES



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ARCHITECTS

[Signature]
ANTHONY MULL
ARCHITECTS

PROJECT #
DATE
REVISION
CLIENT
MOE HIRANI

PROJECT ADDRESS
**807/809 SUTTER ST.
FOLSOM, CA. 95630**

PROJECT NAME

SUTTER LOFTS

REVISIONS
DATE DESCRIPTION

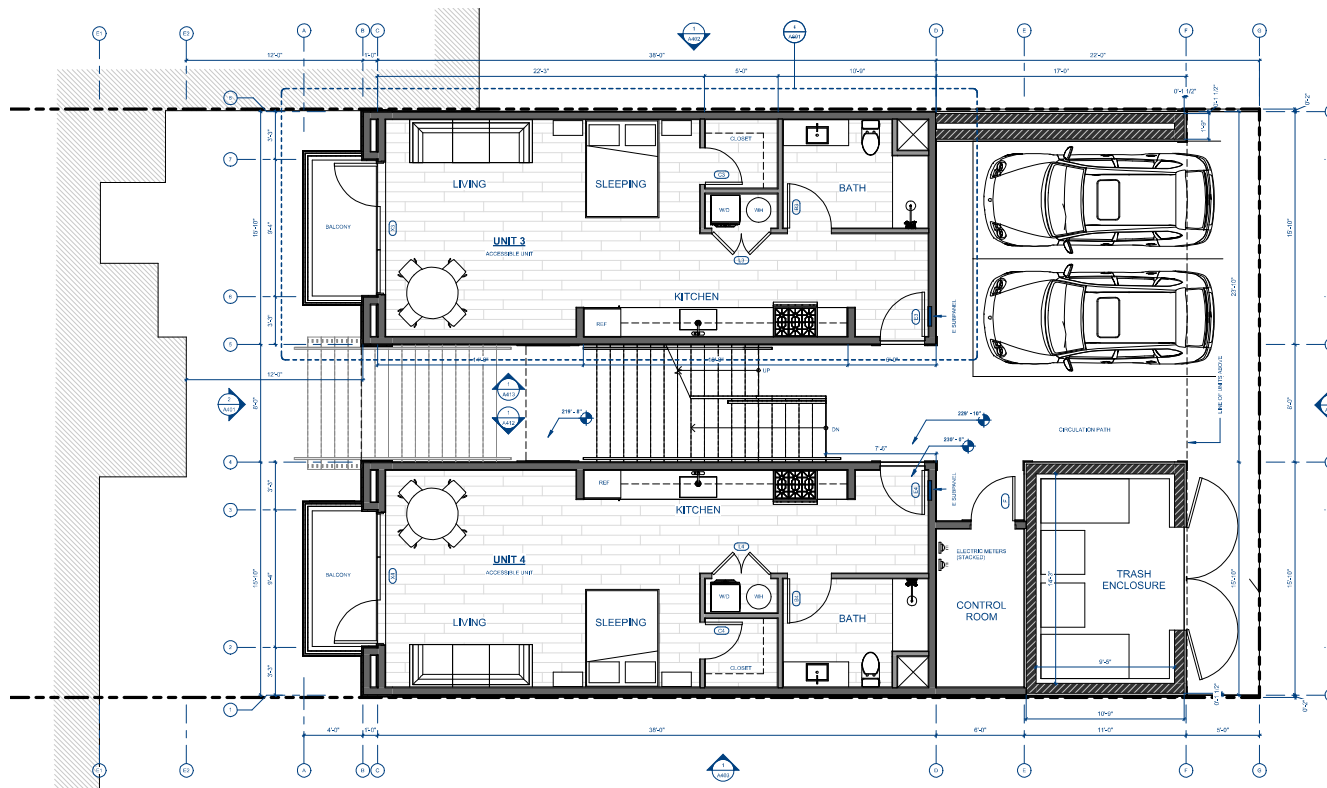
NOT FOR CONSTRUCTION

PROJECT
DESIGN REVIEW

SHEET NAME
**BASEMENT FLOOR
PLAN**

SHEET NUMBER

A100



L1 - ALLEY LEVEL

1/4" = 1'-0"

KEYNOTES



ANTHONY MULL
ARCHITECTS

PROJECT ADDRESS
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FOLSOM, CA, 95630

PROJECT NAME
SUTTER LOFTS

CLIENT
MOE HIRANI

DATE

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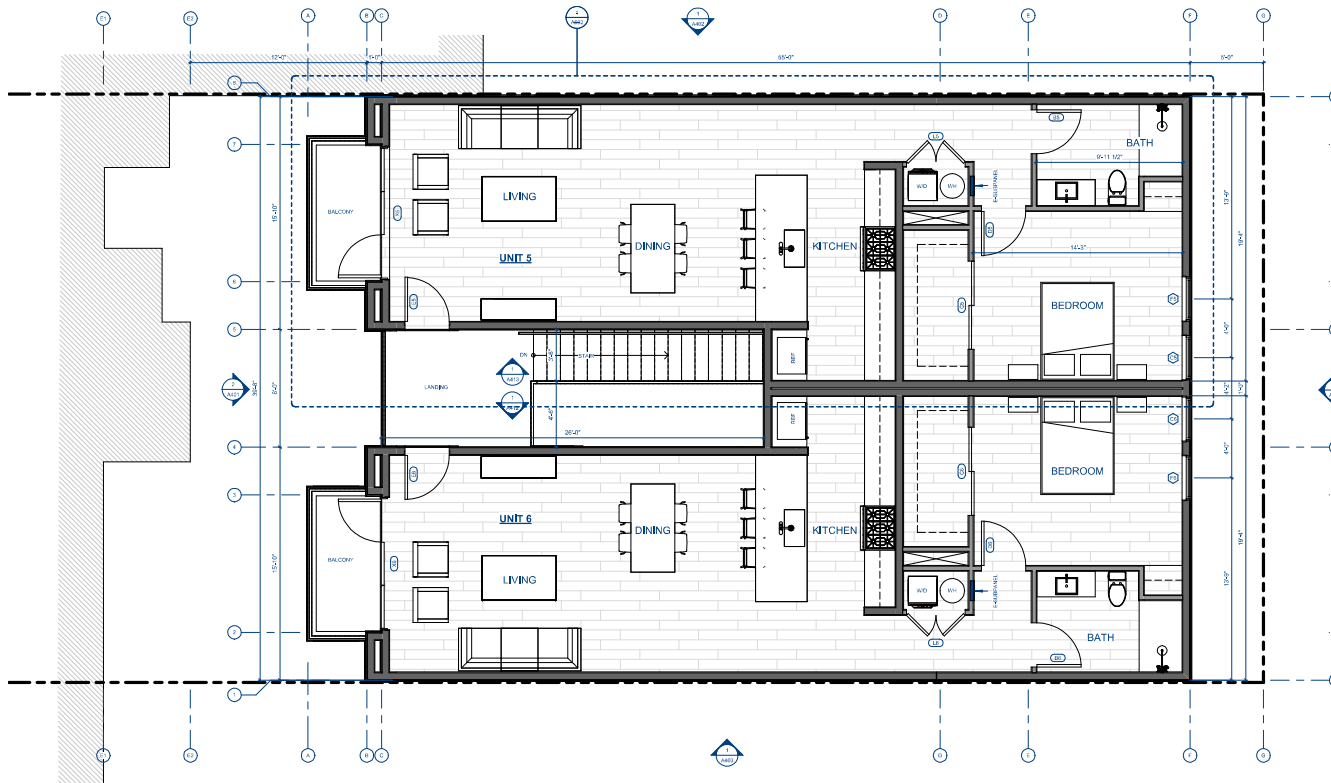
REVISION

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REVISION

REVISION



L2 - UPPER PLAN

1/4" = 1'-0"

KEYNOTES



ANTHONY MULL
ARCHITECTS

[Signature]
ANTHONY MULL
ARCHITECTS

PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME
SUTTER LOFTS

REVISIONS
DESCRIPTION

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PROJECT ADDRESS
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FOLSOM, CA. 95630

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DESCRIPTION

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DESCRIPTION

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PROJECT NAME
SUTTER LOFTS

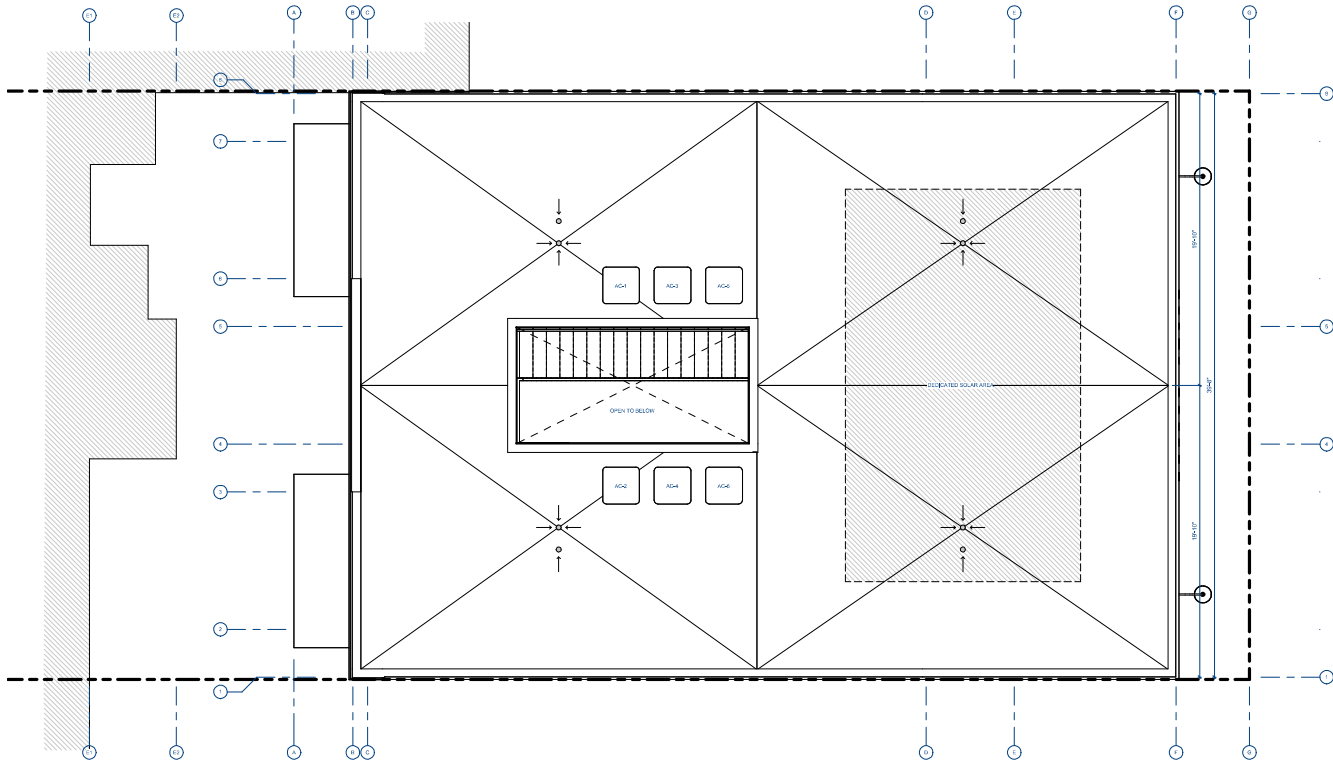
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DESCRIPTION

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PROJECT NAME
SUTTER LOFTS

REVISIONS
DESCRIPTION



L3 - ROOF PLAN
1/4" = 1'-0"

KEYNOTES



ANTHONY MULL
ARCHITECTS



DATE: 08/20/2023
PROJECT: SUTTER LOFTS
CLIENT: MOE HIRANI

PROJECT ADDRESS:
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME:
SUTTER LOFTS

REVISIONS	#	DATE	DESCRIPTION
NOT FOR CONSTRUCTION			

PROJECT:
DESIGN REVIEW
SHEET NAME:
ROOF PLAN
SHEET NUMBER:
A130



SOUTH ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



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ARCHITECTS



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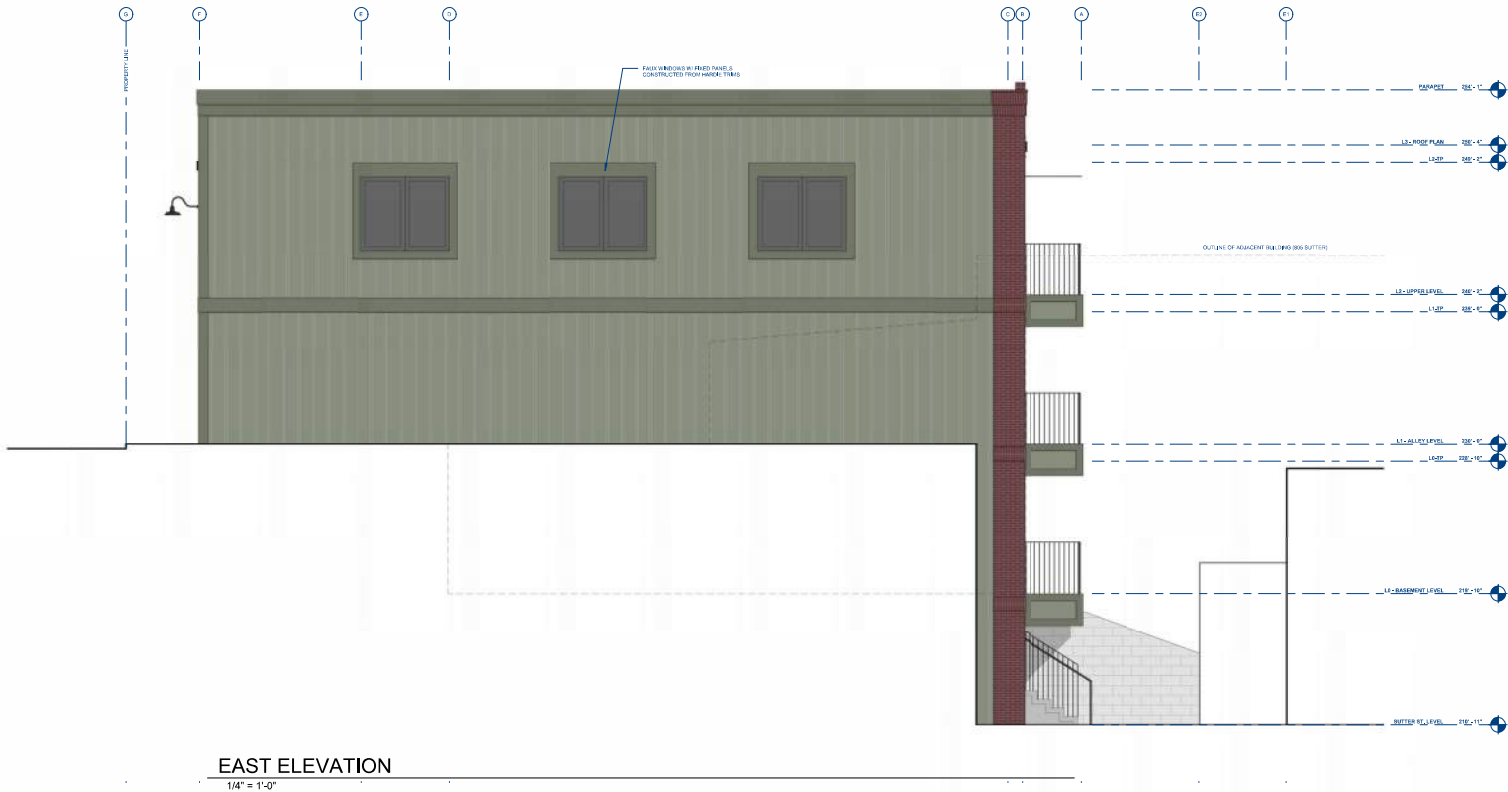
PROJECT NAME
SUTTER LOFTS

REVISIONS
DESCRIPTION

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PRINTED
DESIGN REVIEW
SHEET NAME
ELEVATIONS

SHEET NUMBER
A401



KEYNOTES



ANTHONY MULL
ARCHITECTS



PROJECT #
ARCHITECT
DATE
REVISIONS
CLIENT
MOE HIRANI

PROJECT ADDRESS
**807/809 SUTTER ST.
FOLSOM, CA. 95630**

PROJECT NAME
SUTTER LOFTS

REVISIONS
DESCRIPTION

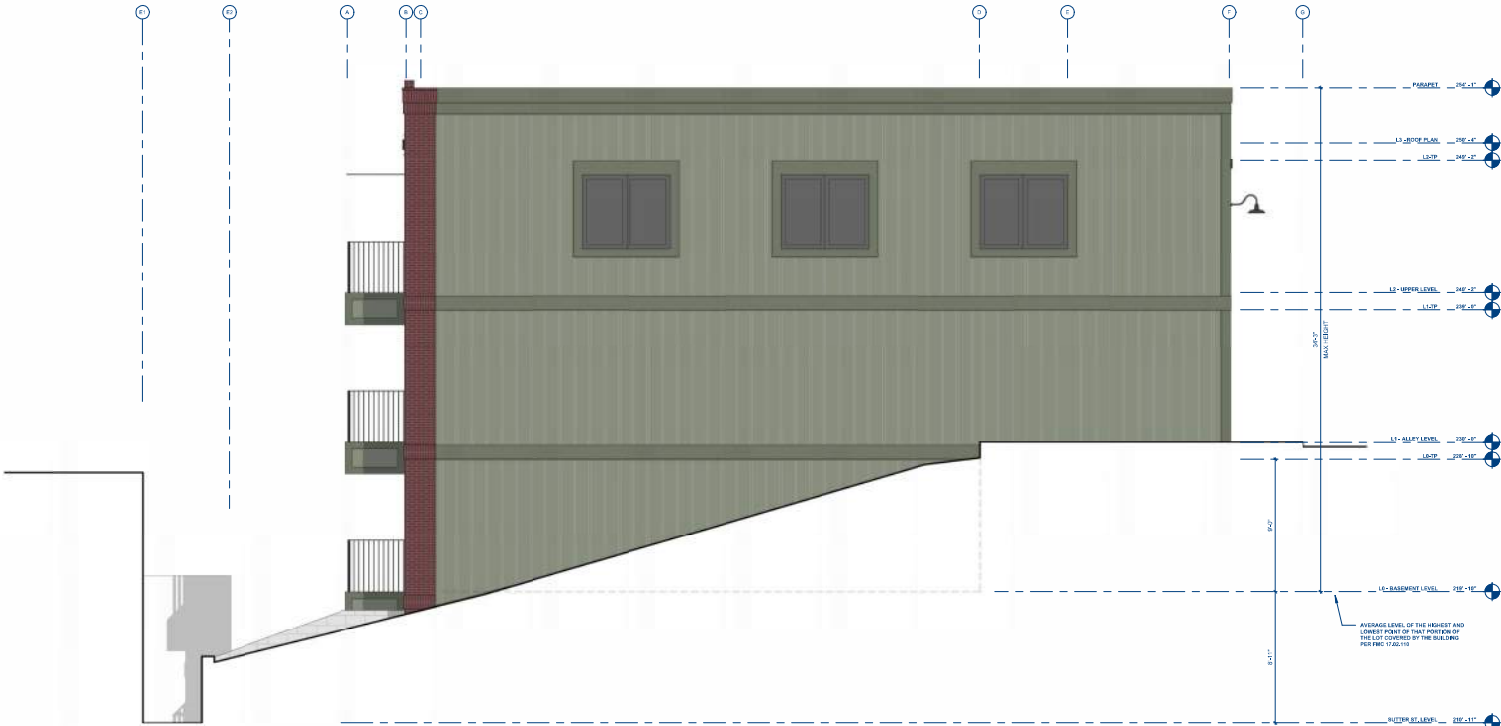
NOT FOR CONSTRUCTION

PROJECT
DESIGN REVIEW

SHEET NAME
ELEVATIONS

SHEET NUMBER

A402



WEST ELEVATION

1/4" = 1'-0"

KEYNOTES



ANTHONY MULL
ARCHITECTS



DATE: 8/10/2023
CLIENT: MOE HIRANI

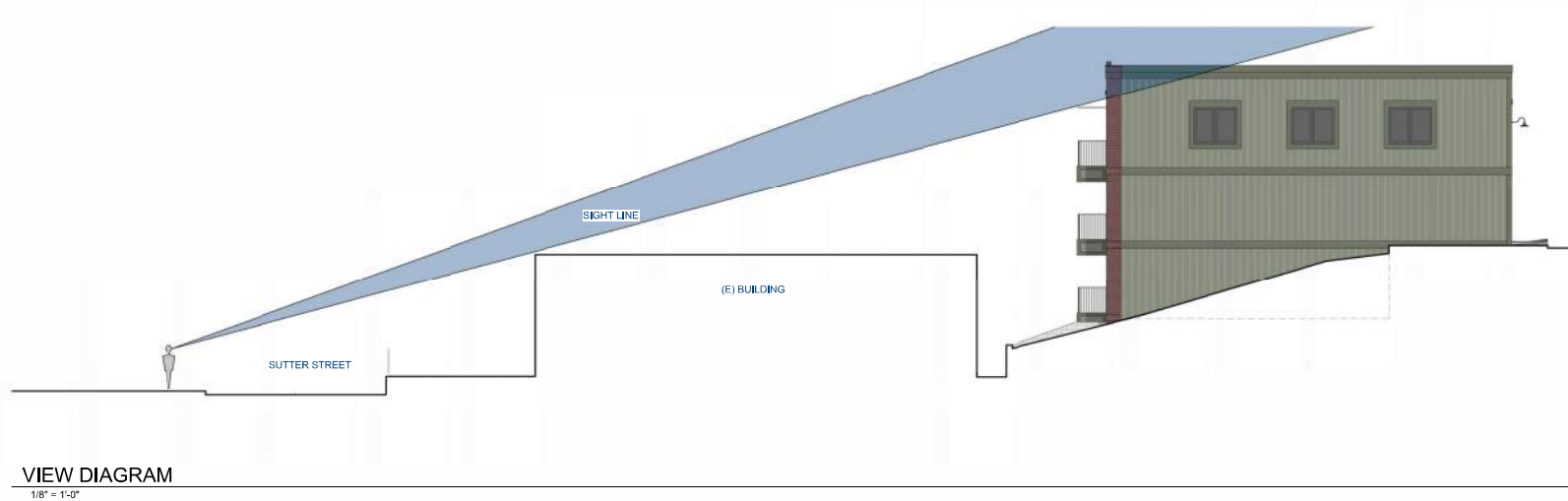
PROJECT ADDRESS:
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME:
SUTTER LOFTS

REVISIONS	DATE	DESCRIPTION
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NOT FOR CONSTRUCTION

PROJECT:
DESIGN REVIEW
SHEET NAME:
ELEVATIONS
SHEET NUMBER:
A403



ANTHONY MULL
ARCHITECTS



PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME
SUTTER LOFTS

DATE
10/10/2014

CLIENT
MOE HIRANI

PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME
SUTTER LOFTS

REVISIONS
DESCRIPTION

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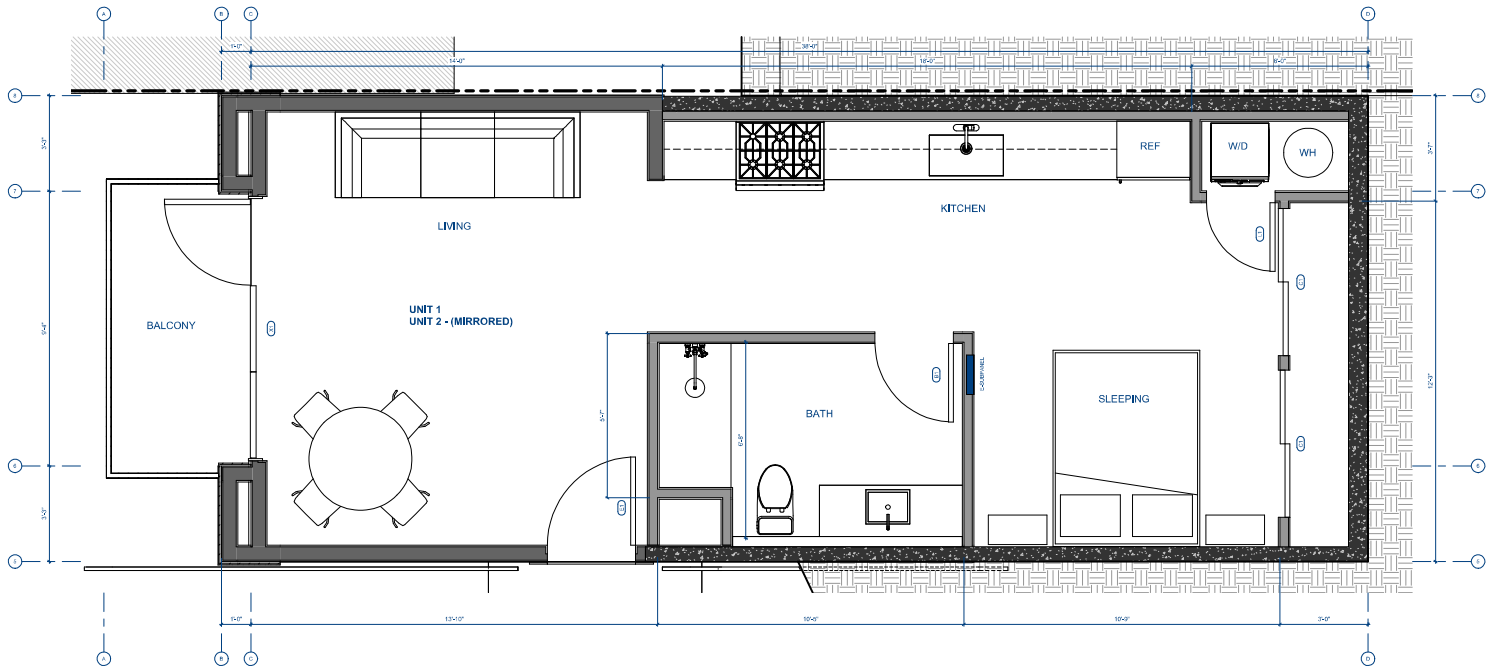
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NOT FOR CONSTRUCTION

PROJECT
DESIGN REVIEW

SHEET NAME
VIEW DIAGRAM

SHEET NUMBER
A421



L0- BASEMENT PLAN - ENLARGED
1/2" = 1'-0"

KEYNOTES



ANTHONY MULL
ARCHITECTS

Anthony Mull
ANTHONY MULL
ARCHITECTS
DATE: 8/27/23
PROJECT: SUTTER LOFTS

PROJECT ADDRESS:
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME:
SUTTER LOFTS

REVISIONS	DATE	DESCRIPTION
1	8/27/23	ISSUED FOR CONSTRUCTION

NOT FOR CONSTRUCTION

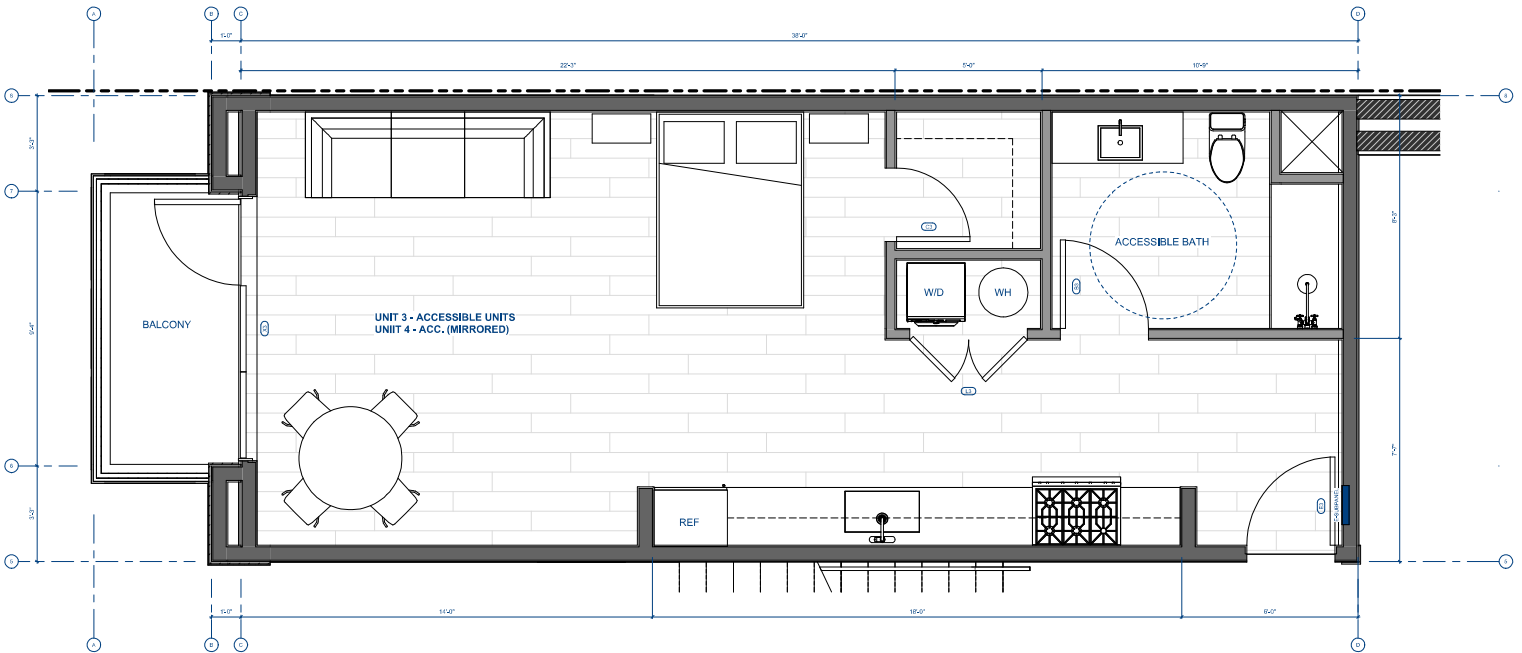
PROJECT:
SUTTER LOFTS

DESIGN REVIEW:
SUTTER LOFTS

ENLARGED PLANS

SHEET NUMBER:
A600

1/2" SCALE



L1 - ALLEY LEVEL - ENLARGED
1/2" = 1'-0"

KEYNOTES

ANTHONY MULL
ARCHITECTS

DATE: 10/15/2024
PROJECT: SUTTER LOFTS
CLIENT: MOE HIRANI

PROJECT ADDRESS:
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME:

SUTTER LOFTS

REVISIONS
DATE DESCRIPTION

NOT FOR CONSTRUCTION

PRINT:
DESIGN REVIEW
SHEET NAME:
ENLARGED PLANS

SHEET NUMBER:

A601





ANTHONY MULL
ARCHITECTS

Signature

DATE
REVISION
CLIENT
MOE HIRANI

PROJECT ADDRESS
**807/809 SUTTER ST.
FOLSOM, CA. 95630**

PROJECT NAME

SUTTER LOFTS

REVISIONS
DESCRIPTION

NOT FOR CONSTRUCTION

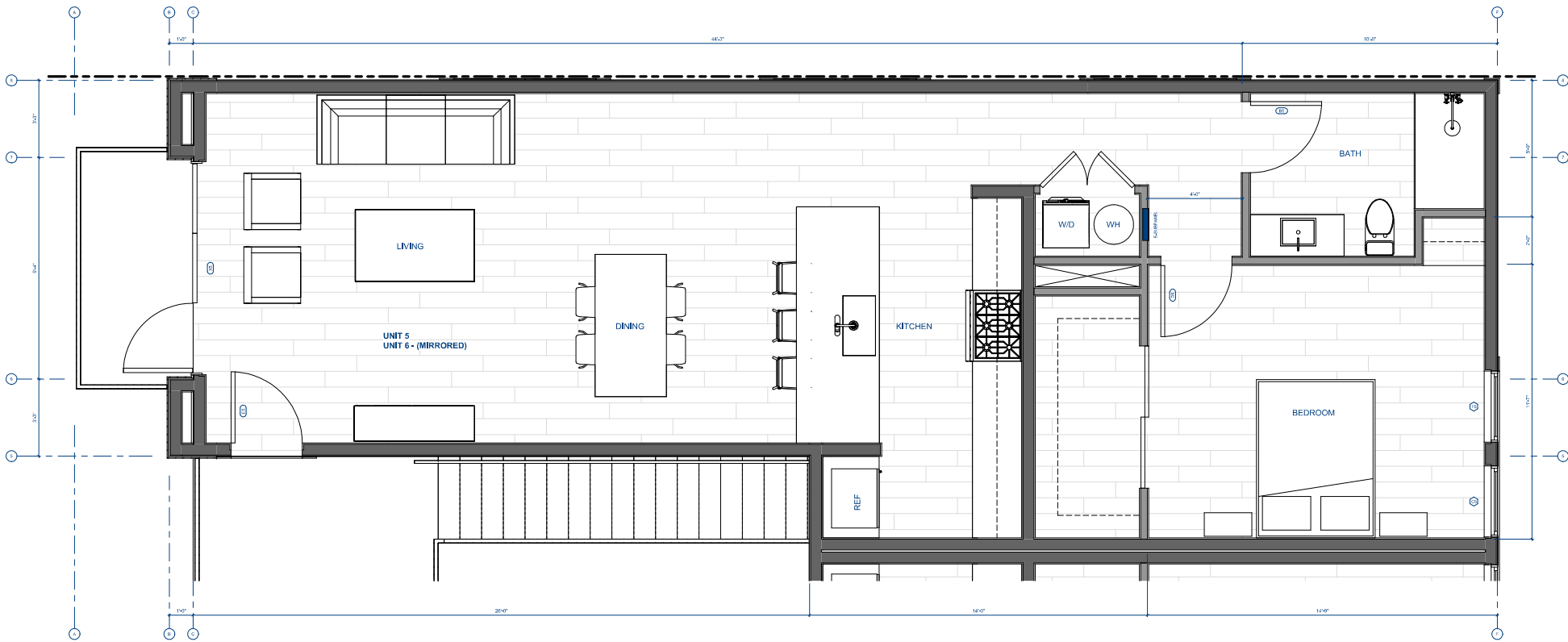
PROJECT
DESIGN REVIEW
SHEET NAME

ENLARGED PLANS

SHEET NUMBER

A602

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1/2" = 1'-0"



L2 - UPPER PLAN - ENLARGED
1/2" = 1'-0"

DOORS							
ID	WIDTH	HEIGHT	TYPE	LOCATION	NOTES	FIRE	COUNT
L0 - BASEMENT LEVEL							
UNIT 1							
E1	3'-0"	8'-0"	ENTRY DOOR	EXTERIOR			1
X1	9'-0"	8'-0"	3 PANEL, SLIDING DOOR, XOO	EXTERIOR	TEMPERED		1
B1	2'-8"	6'-8"	SWING	INTERIOR			1
C1	5'-0"	6'-8"	CLOSET, BI-PASS	INTERIOR			2
L1	2'-4"	6'-8"	SWING, LOUVERED	INTERIOR	LOUVERED		1
UNIT 2							
E2	3'-0"	8'-0"	ENTRY DOOR	EXTERIOR			1
X2	9'-0"	8'-0"	3 PANEL, SLIDING DOOR, XOO	EXTERIOR	TEMPERED		1
B2	2'-8"	6'-8"	SWING	INTERIOR			1
C2	5'-0"	6'-8"	CLOSET, BI-PASS	INTERIOR			2
L2	2'-4"	6'-8"	SWING, LOUVERED	INTERIOR	LOUVERED		1
L1 - ALLEY LEVEL							
G	7'-0"	7'-0"					1
F	3'-0"	8'-0"	FIRE CONTROL DOOR	EXTERIOR			1
UNIT 3							
E3	3'-0"	8'-0"	ENTRY DOOR	EXTERIOR			1
X3	9'-0"	8'-0"	3 PANEL, SLIDING DOOR, XOO	EXTERIOR	TEMPERED		1
B3	3'-0"	6'-8"	SWING	INTERIOR			1
C3	2'-6"	6'-8"	SWING, CLOSET	INTERIOR			1
L3	4'-0"	6'-8"	DOUBLE SWING, LOUVERED	INTERIOR			1
UNIT 4							
E4	3'-0"	8'-0"	ENTRY DOOR	EXTERIOR			1
X4	9'-0"	8'-0"	3 PANEL, SLIDING DOOR, XOO	EXTERIOR	TEMPERED		1
B4	3'-0"	6'-8"	SWING	INTERIOR			1
C4	2'-6"	6'-8"	SWING, CLOSET	INTERIOR			1
L4	4'-0"	6'-8"	DOUBLE SWING, LOUVERED	INTERIOR			1
L2 - UPPER LEVEL							
UNIT 5							
E5	3'-0"	8'-0"	ENTRY DOOR	EXTERIOR			1
X5	9'-0"	8'-0"	3 PANEL, SLIDING DOOR, XOO	EXTERIOR	TEMPERED		1
B5	3'-0"	6'-8"	SWING	INTERIOR			1
D5	3'-0"	6'-8"	SWING	INTERIOR			1
UNIT 6							
E6	3'-0"	8'-0"	ENTRY DOOR	EXTERIOR			1
X6	9'-0"	8'-0"	3 PANEL, SLIDING DOOR, XOO	EXTERIOR	TEMPERED		1
B6	3'-0"	6'-8"	SWING	INTERIOR			1
C5	6'-0"	6'-8"	CLOSET, BI-PASS	INTERIOR			1
C6	6'-0"	6'-8"	CLOSET, BI-PASS	INTERIOR			1
D6	3'-0"	6'-8"	SWING	INTERIOR			1
L5	4'-0"	6'-8"	DOUBLE SWING, LOUVERED	INTERIOR	LOUVERED		1
L6	4'-0"	6'-8"	DOUBLE SWING, LOUVERED	INTERIOR	LOUVERED		1
WINDOWS							
ID	WIDTH	HEIGHT	SILL	TYPE	NOTES		COUNT
L2 - UPPER LEVEL							
UNIT 5							
C5	3'-0"	5'-0"	3'-0"	CASEMENT		EGRESS	1
F5	3'-0"	5'-0"	3'-0"	FIXED			1
UNIT 6							
C6	3'-0"	5'-0"	3'-0"	CASEMENT		EGRESS	1
F6	3'-0"	5'-0"	3'-0"	FIXED			1



ANTHONY MULL
ARCHITECTS



ANTHONY MULL
ARCHITECTS

PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA. 95630

PROJECT NAME
SUTTER LOFTS

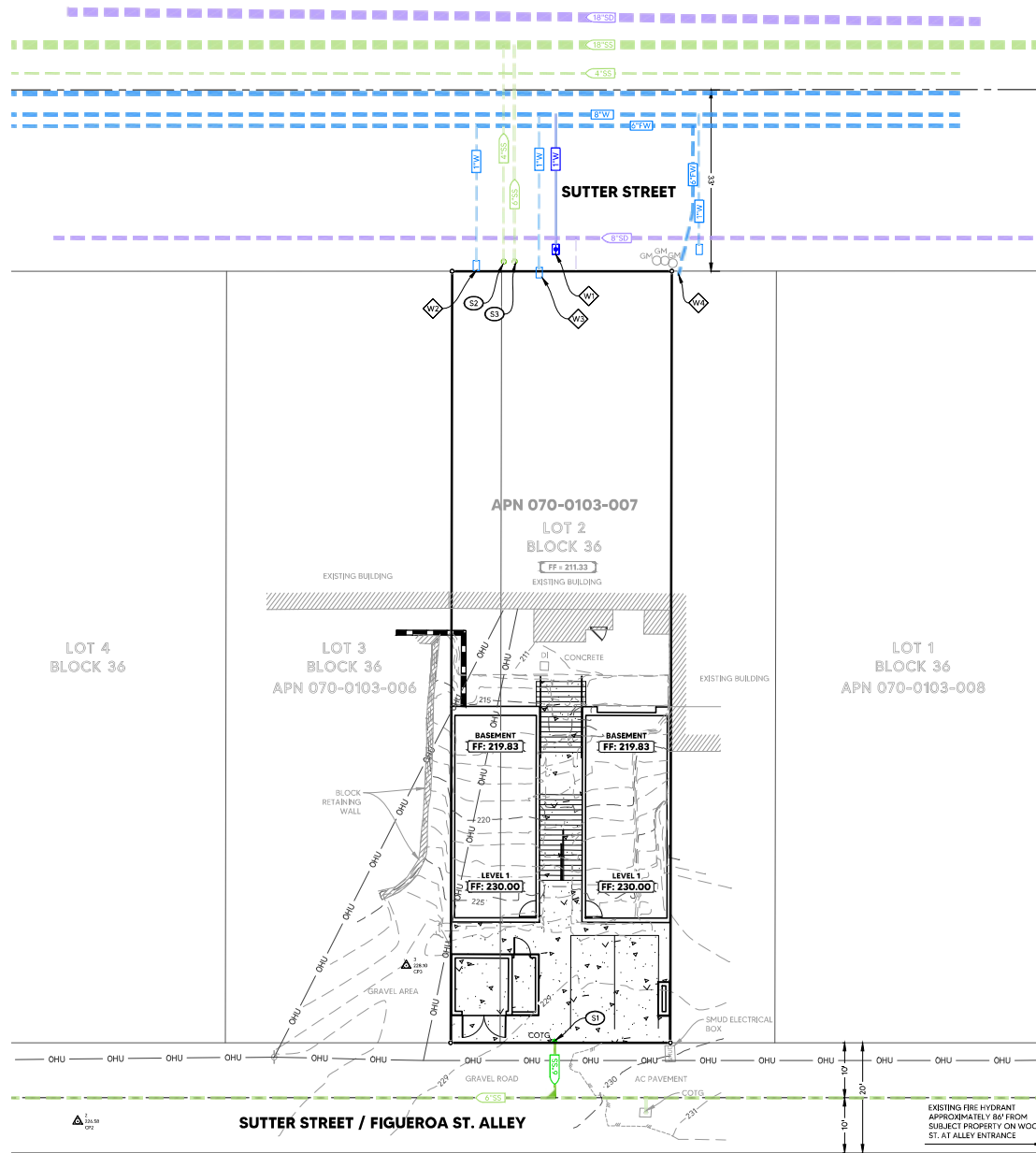
REVISIONS
DATE DESCRIPTION

NOT FOR CONSTRUCTION

PHOTO
DESIGN REVIEW
SHEET NAME
SCHEDULES
SHEET NUMBER

A900





SHEET LEGEND

PROPOSED	DESCRIPTION	EXISTING
	(P) STORM DRAIN	
	(P) SANITARY SEWER	
	(P) WATER	
	COTG (SB) WATER METER	

SANITARY SEWER KEYNOTES:

- (S1) PROPOSED 4" SANITARY SEWER LATERAL AT MINIMUM 2.0% SLOPE. NEW BUILDINGS TO HAVE SEWER PUMP UP TO NEW GRAVITY SEWER LINE.
- (S2) EXISTING SEWER LATERAL (FOR GREASE) TO REMAIN.
- (S3) EXISTING SEWER LATERAL (FOR BUILDING) TO REMAIN.

WATER KEYNOTES:

- (W1) PROPOSED 1" SERVICE AND METER. ON CUSTOMER SIDE OF METER CONSTRUCT 2" SERVICE LINE THROUGH EXISTING BUILDING TO NEW UNITS OF SUBJECT PROJECT. NEW SERVICE TO BE UTILIZED FOR DOMESTIC FLOW AND FIRE FLOW IF POSSIBLE.
- (W2) EXISTING IRRIGATION SERVICE (FOR PUBLIC LANDSCAPING) TO REMAIN.
- (W3) EXISTING 1" DOMESTIC SERVICE (FOR EXISTING BUILDING AT 807/809 SUTTER STREET) TO REMAIN.
- (W4) EXISTING 6" FIRE SERVICE TO REMAIN. FIRE SPRINKLER DESIGNER TO ANALYZE EXISTING AND PROPOSED BUILDING FIRE DEMAND TO DETERMINE IF UTILIZING EXISTING 6" FIRE SERVICE IS NECESSARY AND/OR POSSIBLE. SEE KEYNOTE W1.



APPROVED	BY	DATE	REVISION	NO.	CHECK	DATE	DESIGN	DRAWN	QUANT.	SCALE

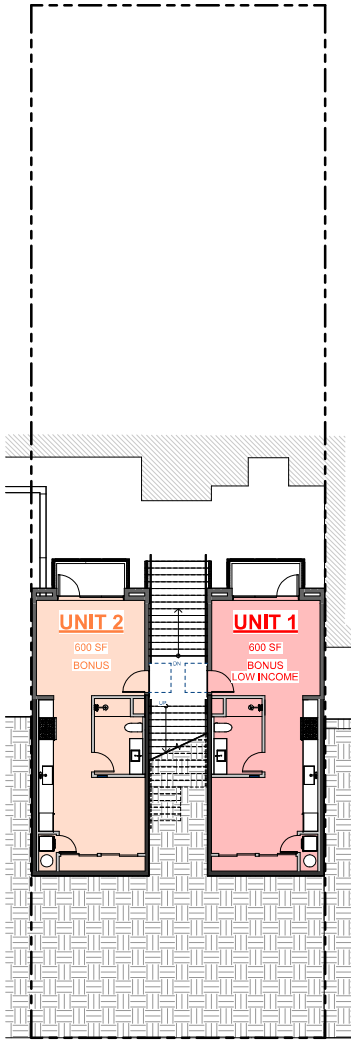
ANTHONY MULL ARCHITECTS, INC.
 108 SOMERCKWAY
 FOLSOM, CA 95630
 PH: (916) 770-0740

**807 SUTTER STREET
 FOLSOM, CA
 PRELIMINARY WATER &
 SEWER PLAN**

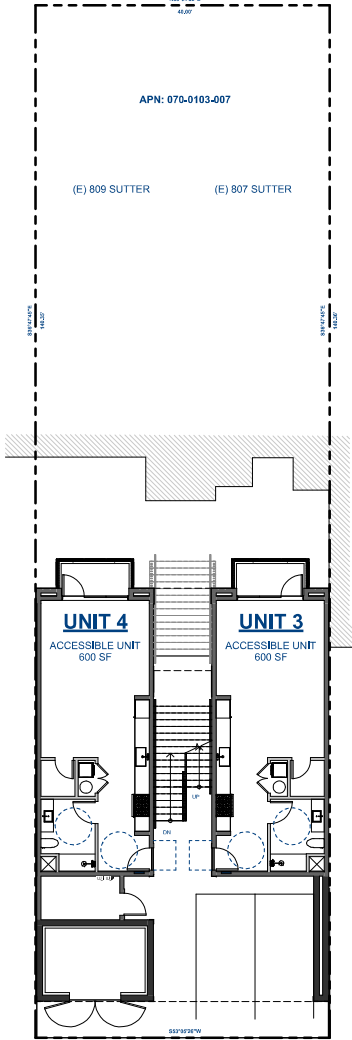
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C1
 2 of 2
 7/3/2024

Attachment 4

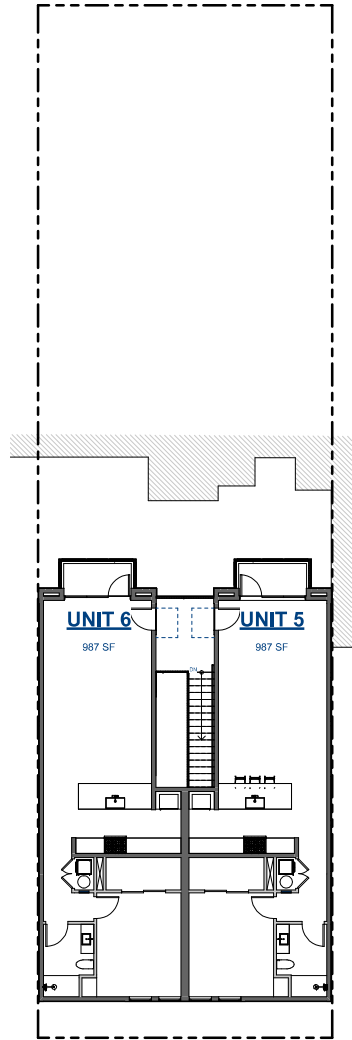
Density Bonus Plan



UNITS - BASEMENT
1/8" = 1'-0"



UNITS - ALLEY
1/8" = 1'-0"



UNIT - UPPER
1/8" = 1'-0"

UNIT TYPE & DENSITY BONUS:				
UNIT	DENSITY	TYPE	SIZE	
UNIT 1	BONUS	LOW INCOME / RENT CAP	600 SF	
UNIT 2	BONUS		600 SF	
UNIT 3	BY RIGHT	ACCESSIBLE	600 SF	
UNIT 4	BY RIGHT	ACCESSIBLE	600 SF	
UNIT 5	BY RIGHT		987 SF	
UNIT 6	BY RIGHT		987 SF	

DENSITY BONUS: 4 UNITS BY RIGHT WITH A BONUS OF 50%, ALLOWING FOR 6 UNIT MAX.

LOW INCOME RENT CAP: THE PRODUCT OF 30 PERCENT TIMES 80 PERCENT OF THE AREA MEDIAN INCOME ADJUSTED FOR FAMILY SIZE APPROPRIATE FOR THE UNIT

ANTHONY MULL
ARCHITECTS

THIS DOCUMENT IS THE PROPERTY OF ANTHONY MULL ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ANTHONY MULL ARCHITECTS.

JOB #
ARCHITECT
DATE
REVISION
CLIENT
MOE HIRANI

PROJECT ADDRESS
807/809 SUTTER ST.
FOLSOM, CA, 95630

PROJECT NAME
SUTTER LOFTS

REVISIONS
DESCRIPTION

NOT FOR CONSTRUCTION

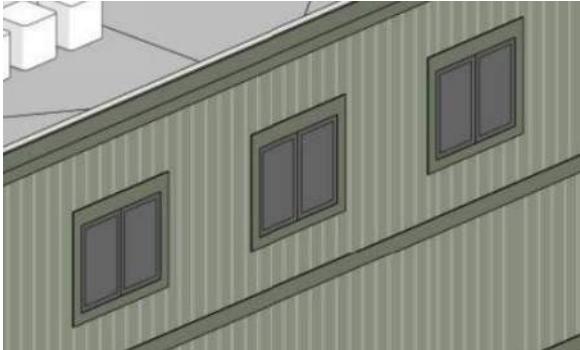
PHOTO
DESIGN REVIEW
SHEET NAME
UNIT TYPES & DENSITY
BONUS

SHEET NUMBER
A020

Attachment 5

Design Element Comparison

Design Element Comparison		
Building Element	Project Building	Other Buildings
Brick Veneer Front Façade	 Sutter Lofts (807 & 809 Sutter Street)	 Whiskey Row Lofts (905 Sutter Street)
Balcony Design	 Sutter Lofts (807 & 809 Sutter Street)	 Whiskey Row Lofts (905 Sutter Street)
Cantilever Patio Cover	 Sutter Lofts (807 & 809 Sutter Street)	 Roundhouse Building (824 Sutter Street)

Window Frame Color (Burgundy) and Window Grid Pattern	 Sutter Lofts (807 & 809 Sutter Street)	 Existing Commercial Building (807 & 809 Sutter Street)
Faux Windows	 Sutter Lofts (807 & 809 Sutter Street)	 Whiskey Row Lofts (905 Sutter Street)
Cornice	 Sutter Lofts (807 & 809 Sutter Street)	 Existing Commercial Building (807 & 809 Sutter Street)

Attachment 6

Site Photos





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other items in this
bin. For more
information, call
916-457-4000.

**CENTRAL VALLEY
TOWING**
916-457-4000

NO PARKING
ANYTIME

FOLSOM
A CITY OF CALIFORNIA

TRIBECA OVEN

CHURCH MARKET
PREMIUM FRESH MEATS



STREET USE
EXCEPTED ONLY
AND NOTED BY CITY
ALL OTHER PARKING
WILL BE TOWED
AT OWNER'S
EXPENSE
TOWED VEHICLE
WILL BE HELD
FOR 30 DAYS
CENTRAL VALLEY
TOWING



Attachment 7

Heritage Preservation League

Comment Letter

HERITAGE PRESERVATION LEAGUE OF FOLSOM
PROJECT APPLICATION REVIEW

August 10, 2026

PROJECT: New Residential Building with six units named Sutter Lofts
807 Sutter Street in Sutter Street Subarea

PROJECT HISTORY: Application Circulated by the City on July 16, 2026
Feedback requested by July 31, 2026

The Heritage Preservation League has been in contact with the applicant regarding the visibility of the proposed building from surrounding public right-of-way areas. No conclusion has been reached.

PROJECT SITE

Sutter Street Subarea is Folsom's historic business district. The Design Concept for this area is commercial designs used in Folsom before year 1900. Only exceptional building designs from a somewhat earlier time frame (1900-1950) may be considered.

A one-story retail building is currently located at 807 Sutter Street. The applicant is proposing to add a 4,374 square foot residential building with six units in the south half of the property. This building would be accessed from the alley.

BUILDING SIZE

It is the applicant's conclusion that the proposed building will only be marginally visible from Sutter Street. No information is available regarding visibility from Wool Street or the rear alley. Because it is not possible to verify how much of the building can be seen from adjacent right-of-way areas, HPL has assumed that the architecture along all sides of the building will need to be addressed.

The overall height of the proposed building (when measured along the north façade) is 42 feet. This is 7 feet above the height requirement for buildings along Sutter Street. Because the north façade is set back 80 feet, it is not clear if the proposed building height should require the applicant to apply for a height variance.

HPL has noted that the proposed building is three stories high, while the existing buildings at 807 Sutter Street and 811 Sutter Street (west of the project site) are only one story high. This does not conform to the massing standards of the Design Guidelines for the Historic District. According to the Historic Commercial Design Criteria, building heights should only increase in one floor increments.

Recommendation:

- The applicant should provide more information regarding the visibility of the new building (from Sutter Street, Wool Street, and the rear alley), before staff makes a decision regarding building height requirements and the potential need for a variance.

ARCHITECTURE

The proposed architecture does not reflect the design criteria of the area or any specific architectural style. As a result, the building (and especially the front façade facing the alley) does stand out as a recent addition to the Sutter Street Subarea. The following details contribute to this impression:

- a) The selection of board and batten siding for a building with a flat roof.
- b) The use of metal panels for the trash enclosure/control room.
- c) Glazing with large undivided windowpanes.

It is HPL's opinion that relatively minor design changes could improve the overall impression of the proposed new building. The applicant is encouraged to consider some of the following design changes:

Recommendations:

- Replace the proposed façade materials with brick and stucco.
(As an example, the two lower floors of the front and side elevations [including the trash enclosure] could be covered by brick, and the top floor could be covered by stucco.)
- Consider several minor changes along the visible part of the north façade.
(Including adding a more prominent cornice at the top of the building, using balcony windows with divided windowpanes, and adding an arch at the top to the of the open stairwell (below the building sign).)
- Select front windows (facing the alley) with a more historic look.
(At a minimum divided windowpanes could be used.)
- Add a more prominent cornice at the top of the building.
(Along all sides of the building.)
- Use a soft color palette that is compatible with the existing brick façade along the east side of 801 Sutter Street (facing Wool Street).
- Select a rustic wood gate for the trash enclosure.

BUILDING CODE

The following aspects of the proposed building design have raised HPL's concerns:

- a) The only windows in four of the proposed residential units are facing the rear balcony (and the narrow open space behind the building).
- b) An elevator has not been included with the proposed three-story building.

If the adjacent commercial building at 811 Sutter Street (west of the project site) is enlarged in the future, the small rear courtyard behind the proposed residential building would become enclosed on all sides. As a result, four of the proposed residential units could only be accessed through the central staircase.

Recommendation:

- HPL recommends that the staff report/presentation should include an accessibility study prepared by the Building Department.

Attachment 3

**CONDITIONS OF APPROVAL FOR
SUTTER LOFTS PROJECT (MSTR26-00054)
807 & 809 SUTTER STREET, DESIGN REVIEW**

Cond. No.	Mitigation Measure	Condition of Approval	When Required	Responsible Department
GENERAL REQUIREMENTS				
1.		<i>Final Development Plans</i> The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below, as modified by these conditions of approval: • Plan Set (Attachment 3) • Density Bonus Site Plan (Attachment 4) This design review and density bonus approval is for the Sutter Lofts Project (MSTR26-00054) located at 807 & 809 Sutter Street, which includes design review for a six (6) unit, 4,374 square-foot rear apartment building. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.	B	CD (P)(E)
2.		<i>Community Development Department Subsequent Review</i> Building plans, and all civil engineering, improvement, landscape, and irrigation plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.	B	CD (P)(E)(B)
3.		<i>90-Day Protest Period</i> The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to <u>Government Code</u> Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions. The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of <u>Government Code</u> Section 66020, the applicant will be legally barred from later challenging such exactions.	OG	CD (E)(P)

4.		Indemnity for City The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur: • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith. The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.	OG	CD (P)(E)(B) PW, PR, FD, PD
5.		Validity The project approval granted under this staff report (design review and density bonus) shall remain in effect for two years from final date of approval (Expires September 8, 2028). Failure to obtain the relevant building or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to <u>Folsom Municipal Code</u> Section 17.52.350. If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, demolition permit, sign permit or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the project contemplated herein, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the project approval shall be tolled during the time that any litigation is pending, including any appeals.	OG	CD (P)
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
6.		Applicable Taxes, Fees, and Charges The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD(P)(E)

7.		Existing Assessments If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD(E)
8.		Use of Outside Legal Counsel and Consultants The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	OG	CD(P)(E)
9.		Special Study Reimbursement If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the improvement plans, or beginning inspection, whichever is applicable.	B	CD(P)(E)
10.		Development Impact Fees This project shall be subject to all applicable City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all applicable City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (September 8, 2026). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P), PW, PK
11.		School District Fees The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the <u>Education Code</u> ; Chapter 4.7 (commencing with	B	CD (P) (E)

		Section 65970) of the <u>Government Code</u> ; and Sections 65995, 65995.5 and 65995.7 of the <u>Government Code</u> .		
SITE DEVELOPMENT REQUIREMENTS				
12.		<i>Geotechnical Report</i> Prior to the issuance of any grading, improvement permit, and/or building permit, the owner/applicant shall have a geotechnical report prepared by an appropriately licensed engineer that includes an analysis of site suitability, proposed foundation design for all proposed structures, and roadway and pavement design. The geotechnical report shall be inclusive of any proposed wall calculations. The report and calculations are subject to review and approval by the Community Development Department.	G, B	CD (E)
13.		<i>Improvement Plan Review</i> The improvement plans for the required public and/or private improvements shall be reviewed and approved by the Community Development Department prior to issuance of a building permit for the project.	I, B	CD (E)
ARCHITECTURAL REQUIREMENTS				
14.		<i>Architectural Requirements</i> The project shall comply with the following requirements: a) This approval is for the Sutter Lofts Project (MSTR26-00054), which includes design review for a six (6) unit, 4,374 square-foot rear apartment building as shown in Attachment 3, located at 807 & 809 Sutter Street. b) Any changes to the level of architectural detailing shown in Attachments 3, if not determined to be substantially consistent with the approved plans by the Community Development Department, shall be subject to a subsequent design review. c) Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features. d) A Building Permit shall be required. All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings.	OG	CD (P)(E); PW

15.		Site and Building Lighting All lighting, including but not limited to landscape/walkway lights and building-attached lights shall be designed to be screened, shielded, and directed downward onto the project site and away from adjacent properties and public rights-of-way. The final design of the building-attached lights shall be subject to review and approval by the Community Development Department. Lighting shall be equipped with a timer or photo condenser.	I, B	CD (P)
16.		Addressing Plan An addressing and building number plan shall be submitted for review and approval by the City consistent with the City's addressing guidelines prior to or as part of the building permit package.	B	CD (P), FD, PD
DENSITY BONUS REQUIREMENTS				
17.		Affordable Unit Restriction Project approval is contingent upon the owner/applicant recording a restrictive covenant requiring at least one (1) residential unit within the project to be restricted to low-income households, as defined by the California Department of Housing and Community Development, for a minimum period of 55 years.	B	CD (P)
WASTEWATER REQUIREMENTS				
18.		Wastewater Requirements The following requirements apply to the wastewater connection location as depicted on the plan set in Attachment 3 for a 4-inch sewer lateral size. Any subsequent changes or deviations must be submitted to the Utilities and Public Works Departments for review and approval, and shall comply with any requirements imposed for the revised configuration and/or size: a) The sewer lateral from the ROW/property line to the sewer distribution main shall be gravity flow only. b) A Lower Lateral cleanout shall be placed at the ROW/property line and the on-site force main shall connect upstream of the lower lateral cleanout on private property. c) The on-site lift station and force main shall be privately owned, operated and maintained by the owner/applicant d) All sewer located within the public ROW per City Design Standard is required to be SDR-26 pipe with heavy wall SDR-26 sewer fittings. e) The sewer lateral connection to the main shall be constructed in accordance with City of Folsom sewer construction standards and details.	I	UT

WATER REQUIREMENTS				
19.		Water Requirements The following requirements apply to the water connections as depicted on the plan set in Attachment 3. Any subsequent changes or deviations from these plans must be submitted to the Utilities and Public Works Departments for review and approval, and shall comply with any requirements imposed for the revised configuration and/or size: a) All backflow devices shall be RPPA backflow devices paired with OS&Y shut-off valves designed to fit tight spaces to be consistent with all other RP devices located on Sutter Street. b) All RPPA devices shall be USC approved. c) All backflow devices will be required to be installed in a custom fabricated cover/box similar to all other devices located on Sutter Street. d) Per the City's Standard Construction Specifications section 4.12.2.B water service pipes, water meters and backflow devices shall all be the same size. Necking down of piping is not allowed. e) Per City of Folsom Water Design Standards 16.4.O.1 – Residential Water Services saddles shall be a minimum of 12-inches from the end of the water main and 18 inches to 24 inches away from any other water service saddle or pipe joint. f) The water service and all appurtenances shall be designed and constructed in accordance with City of Folsom water construction standards and details. g) Any installation or connection to the Sutter Street waterline that impacts existing public right-of-way improvements shall require coordination with the Public Works and Community Development Departments. The owner/applicant is responsible for restoring all disturbed areas—including but not limited to paving, granite lip and gutter, and concrete—to City standards and within limits determined by staff.	I	UT
DRY UTILITY REQUIREMENTS				
20.		Coordination with Utility Agencies The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.).	OG	CD (P) (E), PW
21.		Dry Utility Connections Future dry utility connection services (electrical, gas, telephone, etc.) for new buildings shall be placed underground at the project site.	B	CD (E)
TRIBAL AND CULTURAL RESOURCE REQUIREMENTS				
22.		Accidental Discovery of Human Remains Although considered highly unlikely, there is always the possibility that ground disturbing	DC	CD (P)(E)

		activities during construction may uncover previously unknown human remains. In the event of an accidental discovery or recognition of any human remains, Public Resource Code (PRC) Section 5097.98 must be followed. Once project-related earthmoving begins and if there is a discovery or recognition of human remains, the following steps shall be taken: 1. There shall be no further excavation or disturbance of the specific location, or any nearby area reasonably suspected to overlie adjacent human remains until the County Coroner is contacted to determine if the remains are Native American and if an investigation of the cause of death is required. If the coroner determines the remains are Native American, the coroner shall contact the NAHC within 24 hours, and the NAHC shall identify the person or persons it believes to be the “most likely descendant” of the deceased Native American. The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains, and any associated grave goods as provided in PRC Section 5097.98, or 2. Where the following conditions occur, the landowner or his/her authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity either in accordance with the recommendations of the most likely descendent or on the project area in a location not subject to further subsurface disturbance: a. The NAHC is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 48 hours after being notified by the commission; b. The descendent identified fails to make a recommendation; or The landowner or their authorized representative rejects the recommendation of the descendent, and the mediation by the NAHC fails to provide measures acceptable to the landowner.		
23.		<i>Accidental Discovery of Cultural Resources</i> In the event that cultural resources are exposed during ground-disturbing activities, construction activities shall be halted within 100-feet of the discovery. Cultural resources could consist of but are not limited to stone, bone, wood, or shell artifacts, or features including	DC	CD (P)(E)

		hearths, structural remains, or historic dumpsites. If the resources cannot be avoided during the remainder of construction, an archaeologist, who meets the Secretary of the Interior's Professional Qualifications Standards, shall be retained to assess the resource and provide appropriate management recommendations. If the discovery proves to be CRHR- or NRHP-eligible, additional work, such as data recovery excavation, may be warranted and shall be discussed in consultation with the Lead Agency.		
24.		Management of Tribal Cultural Resources Should any indications of possible tribal cultural resources (TCRs), such as cultural features, unusual amounts of bone or shell, or cultural belongings be encountered during any construction activities, work shall be suspended in the vicinity of the find and the appropriate oversight agency(ies) shall be notified immediately. The appropriate oversight agency(ies) shall retain a tribal representative or Tribal Historic Preservation Officer (THPO) who shall assess the significance of the find by evaluating the resource to determine if it is a TCR as defined in Section 21074 of the Public Resources Code. If the resource is a TCR as defined in state law, and it would be subject to disturbance or destruction, the City shall consult with the THPO or their designee to determine the appropriate treatment before resuming construction activities at the TCR.	DC	CD (P)(E)
MISCELLANEOUS REQUIREMENT				
25.		Noise Ordinance Compliance with the City of Folsom Noise Control Ordinance (<u>FMC 8.42</u>), General Plan Safety & Noise Element and Standard Construction Specifications and Details Section 7.23 is required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. Request to work during days and times not permitted under these regulations may only occur with written permission from the City of Folsom Community Development Director or duly authorized deputy.	I, B	CD (P)(E)
26.		Drainage Restrictions No drainage, including surface water, groundwater, or roof runoff, shall be directed or allowed to cross over the property line onto adjacent properties, unless through an easement. City standard drainage swales are required along all property lines where drainage runoff may cross over the property line.	OG	CD (P)(E)
27.		Alleyway Parking Restrictions If the property has access to an alleyway, parking for the property shall not impede public	OG	CD (P)

		service access in the alleyway (e.g., waste collection, emergency vehicle access, etc.).		
28.		<u>Sign Permit Required</u> A Sign Permit is required for proposed signage. The proposed signage shall be revised to comply with the requirements of <u>FMC</u> 17.59.070(D) (Sign Requirements for Multifamily Residential) and <u>FMC</u> 17.52.510(E) (Sutter Street Subarea Sign Requirements)	B	CD (P)
29.		<u>Sutter Street Parking Restrictions</u> <u>Tenants shall be advised of the 3-hour parking restriction on Sutter Street by the owner/applicant. (This condition was added at the 9/2/26 Historic District Commission meeting).</u>	OG	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(A)	Arborist Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		
FD	Fire Department		
UT	Utilities		