

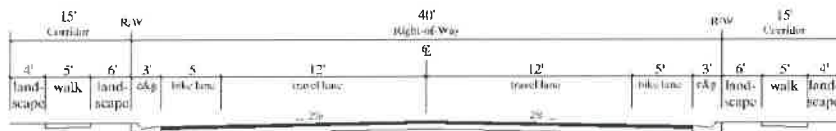
**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

**Cost Per Linear Foot
Westwood Drive
WWD 3 (TI=7)
2 Lane Collector**

Item	Description	Qty.	Unit	Unit Cost	Per Foot Cost
1	Subgrade Preparation	40	SF	\$0.60	\$24.00
2	4" Asphalt Concrete over 8.5" Aggregate Base	34	SF	\$4.70	\$159.80
3	Curb & Gutter, Type 2 (Vertical Curb)	2	LF	\$27.00	\$54.00
4	Median Curb, Type 5 (Barrier Curb)	2	LF	\$20.00	\$40.00
5	PCC Sidewalk w/6" AB	10	SF	\$7.50	\$75.00
6	Signing & Striping (2-lanes)	3	LF	\$1.60	\$4.80
7	Street Lights (Type A, 220' spacing, both sides)	1	LF	\$53.00	\$53.00
				Subtotal	\$410.60
				Use	\$420.00

**Westwood Drive
2 Lane Collector**



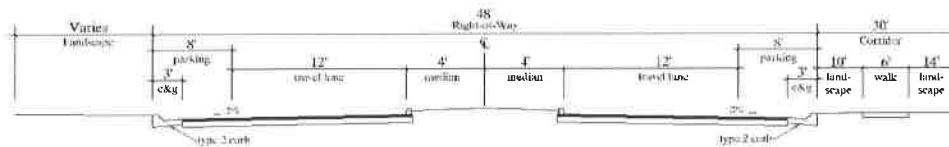
**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

**Cost Per Linear Foot
Russell Ranch Road
RRR 1 (TI=7)
2 Lane Collector**

Item	Description	Qty.	Unit	Unit Cost	Per Foot Cost
1	Subgrade Preparation	40	SF	\$0.60	\$24.00
2	4" Asphalt Concrete over 12" Aggregate Base (1)	34	SF	\$5.60	\$190.40
3	Curb & Gutter, Type 2 (Vertical Curb)	2	LF	\$27.00	\$54.00
4	Median Curb, Type 5 (Barrier Curb)	2	LF	\$20.00	\$40.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	16	SF	\$7.00	\$112.00
6	PCC Sidewalk w/6" AB	6	SF	\$7.50	\$45.00
7	Signing & Striping (2-lanes)	2	LF	\$1.60	\$3.20
8	Street Lights (Type A, 220' spacing, both sides)	1	LF	\$53.00	\$53.00
Subtotal					\$521.60
Use					\$530.00

**Russell Ranch Road
2 Lane Collector**



Note: (1) Pavement section is based on Geotechnical Engineering Study for Russell Ranch South Folsom California

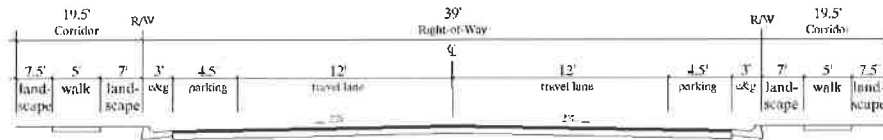
**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

**Cost Per Linear Foot
Scenic Vista Court
SVC 1 (TI=6)
2 Lane Residential Road**

Item	Description	Qty.	Unit	Unit Cost	Per Foot Cost
1	Subgrade Preparation	39	SF	\$0.60	\$23.40
2	3" Asphalt Concrete over 10.5" Aggregate Base (1)	35	SF	\$4.10	\$143.50
3	Curb & Gutter, Type 2 (Vertical Curb)	2	LF	\$27.00	\$54.00
4	Median Curb, Type 5 (Barrier Curb)	2	LF	\$20.00	\$40.00
5	PCC Sidewalk w/6" AB	10	SF	\$7.50	\$75.00
6	Signing & Striping (2-lanes)	2	LF	\$1.60	\$3.20
7	Street Lights (Type A, 220' spacing, both sides)	1	LF	\$53.00	\$53.00
Subtotal					\$392.10
Use					\$400.00

Scenic Vista Court
2 Lane Residential



Note: (1) Pavement section is based on Geotechnical Engineering Study for Russell Ranch South Folsom California

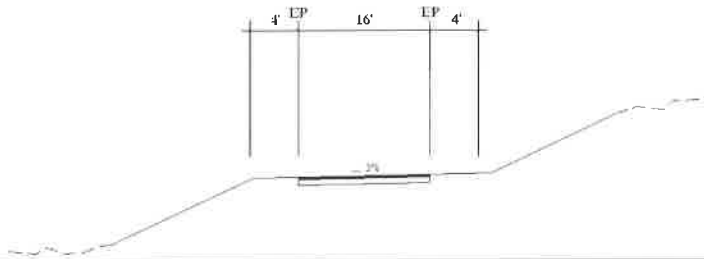
**Folsom Plan Area
 Backbone Infrastructure
 Construction Cost Estimate**

7919.000

**Cost Per Linear Foot
 Sewer Pipe Line Access Road
 ACP 1 thru 6, OAP 2 thru 4, MP 2-3, SS 1-2
 1-Lane Access Road**

Item	Description	Qty.	Unit	Unit Cost	Per Foot Cost
1	Subgrade Preparation	16	SF	\$0.60	\$9.60
2	3" Asphalt Concrete over 7.5" Aggregate Base	16	SF	\$3.90	\$62.40
				Subtotal	\$72.00
				Use	\$80.00

Sewer Line Access Road



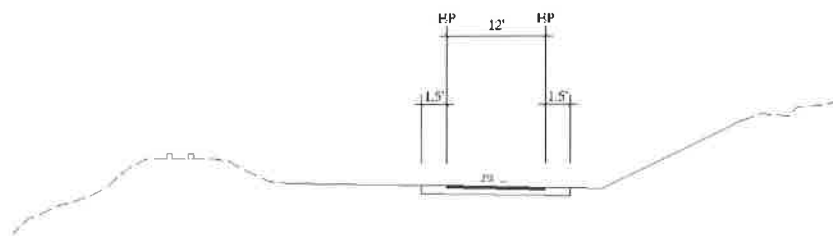
**Folsom Plan Area
 Backbone Infrastructure
 Construction Cost Estimate**

7919.000

**Cost Per Linear Foot
 Placerville Road Utility Corridor
 PRC 1-4
 1-Lane 69kV Access Road**

Item	Description	Qty.	Unit	Unit Cost	Per Foot Cost
1	Subgrade Preparation	15	SF	\$0.60	\$9.00
2	3" Asphalt Concrete over 8" Aggregate Base	12	SF	\$3.90	\$46.80
				Subtotal	\$55.80
				Use	\$60.00

69 kV Access Road

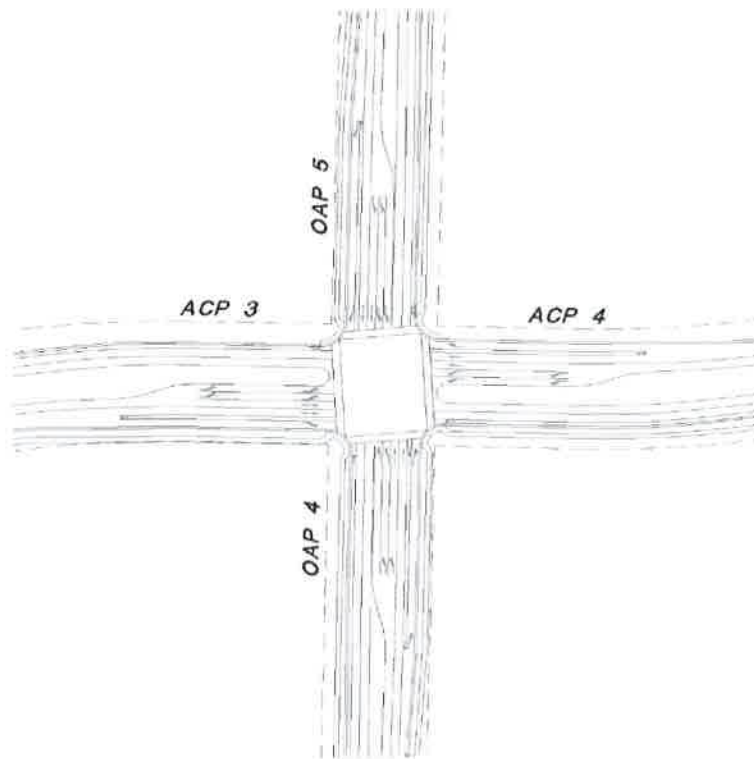


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.00

**Intersection No. 1
Alder Creek Parkway & Oak Avenue Parkway Intersection
ACP / OAP
6-Lane Ultimate (4 Lane Road & 2 Future) / 4 Lane Road**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	103,000	SF	\$0.60	\$61,800.00
2	6" Asphalt Concrete over 13" Aggregate Base	93,000	SF	\$7.50	\$697,500.00
3	Curb & Gutter, Type 2 (Vertical Curb)	3,200	LF	\$27.00	\$86,400.00
4	Median Curb, Type 5 (Barrier Curb)	3,200	LF	\$20.00	\$64,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	14,000	SF	\$7.00	\$98,000.00
6	Median Landscaping & Irrigation (Future Travel Lanes)	18,000	SF	\$5.00	\$90,000.00
7	PCC Sidewalk w/6" AB	14,400	SF	\$7.50	\$108,000.00
8	Signing & Striping (4-lanes)	6,400	LF	\$1.60	\$10,240.00
9	Street Lights (Type A, 220' spacing, both sides)	1,600	LF	\$53.00	\$84,800.00
10	Traffic Signals	1	LF	\$320,000	\$320,000.00
Subtotal					\$1,620,740.00
Use					\$1,621,000.00

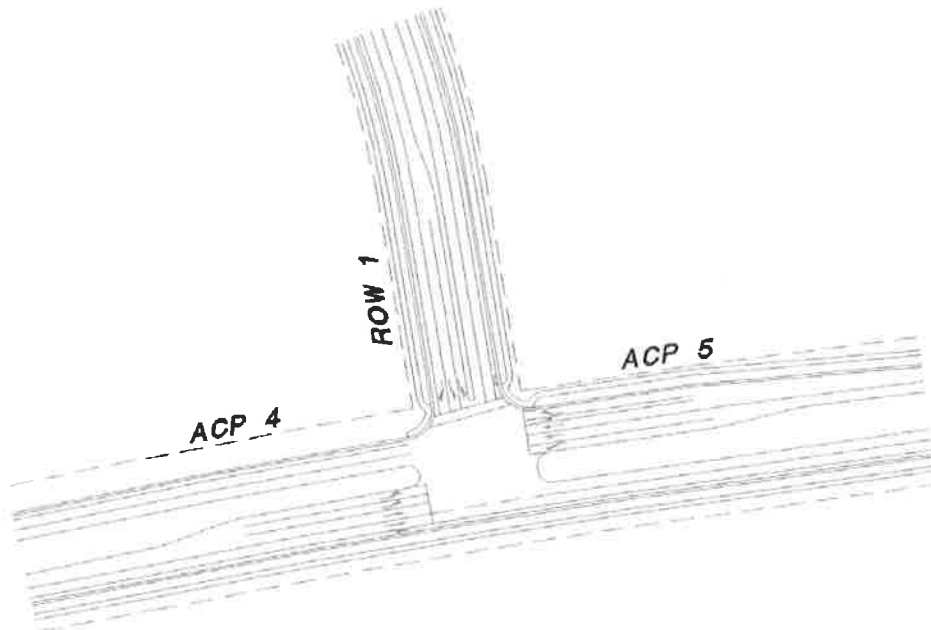


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.00

**Intersection No. 2
Alder Creek Parkway & Rowberry Drive Intersection
ACP / ROW
6-Lane Ultimate (4 Lane Road & 2 Future) / 4 Lane Road**

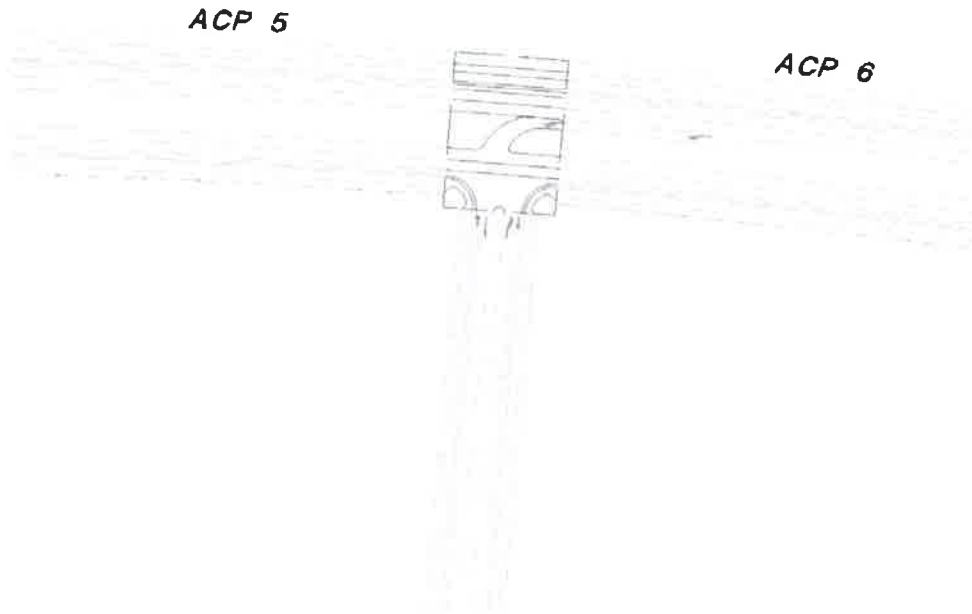
Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	77,000	SF	\$0.60	\$46,200.00
2	6" Asphalt Concrete over 13" Aggregate Base	70,000	SF	\$7.50	\$525,000.00
3	Curb & Gutter, Type 2 (Vertical Curb)	2,500	LF	\$27.00	\$67,500.00
4	Median Curb, Type 5 (Barrier Curb)	2,400	LF	\$20.00	\$48,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	11,000	SF	\$7.00	\$77,000.00
6	Median Landscaping & Irrigation (Future Travel Lanes)	18,000	SF	\$5.00	\$90,000.00
7	PCC Sidewalk w/6" AB	12,000	SF	\$7.50	\$90,000.00
8	Signing & Striping (4-lanes)	4,800	LF	\$1.60	\$7,680.00
9	Street Lights (Type A, 220' spacing, both sides)	1,200	LF	\$53.00	\$63,600.00
10	Traffic Signals	1	LF	\$265,000	\$265,000.00
				Subtotal	\$1,279,980.00
				Use	\$1,280,000.00



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

**Intersection No. 3
Alder Creek Parkway / Residential Street
ACP at Residential Street
6-Lane Ultimate (4 Lane Road & 2 Future)**

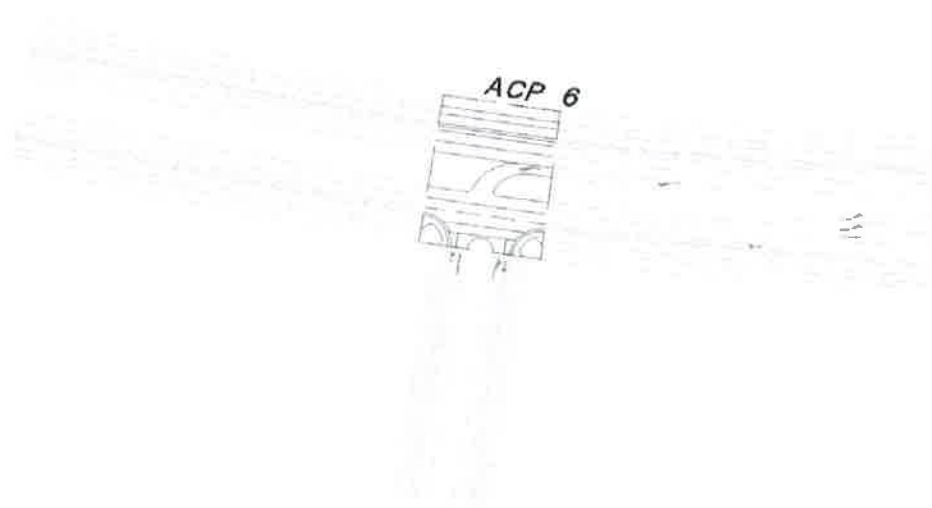
Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	11,000	SF	\$0.60	\$6,600.00
2	6" Asphalt Concrete over 13" Aggregate Base	10,000	SF	\$7.50	\$75,000.00
3	Curb & Gutter, Type 2 (Vertical Curb)	300	LF	\$27.00	\$8,100.00
4	Median Curb, Type 5 (Barrier Curb)	350	LF	\$20.00	\$7,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	1,100	SF	\$7.00	\$7,700.00
6	Median Landscaping & Irrigation (Future Travel Lanes)	2,100	SF	\$5.00	\$10,500.00
7	PCC Sidewalk w/6" AB	1,550	SF	\$7.50	\$11,625.00
8	Signing & Striping (4-lanes)	500	LF	\$1.60	\$800.00
9	Street Lights (Type A, 220' spacing, both sides)	120	LF	\$53.00	\$6,360.00
10	Traffic Signals	1	LF	\$265,000	\$265,000.00
				Subtotal	\$398,685.00
				Use	\$399,000.00



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

**Intersection No. 4
Alder Creek Parkway
ACP / Collector Road (W. of East Bidwell St.)
6-Lane Ultimate (4 Lane Road & 2 Future)**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	12,000	SF	\$0.60	\$7,200.00
2	6" Asphalt Concrete over 13" Aggregate Base	11,000	SF	\$7.50	\$82,500.00
3	Curb & Gutter, Type 2 (Vertical Curb)	300	LF	\$27.00	\$8,100.00
4	Median Curb, Type 5 (Barrier Curb)	350	LF	\$20.00	\$7,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	1,600	SF	\$7.00	\$11,200.00
6	Median Landscaping & Irrigation (Future Travel Lanes)	2,400	SF	\$5.00	\$12,000.00
7	PCC Sidewalk w/6" AB	1,630	SF	\$7.50	\$12,225.00
8	Signing & Striping (4-lanes)	600	LF	\$1.60	\$960.00
9	Street Lights (Type A, 220' spacing, both sides)	130	LF	\$53.00	\$6,890.00
10	Traffic Signals	1	LF	\$265,000	\$265,000.00
Subtotal					\$413,075.00
Use					\$414,000.00



Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

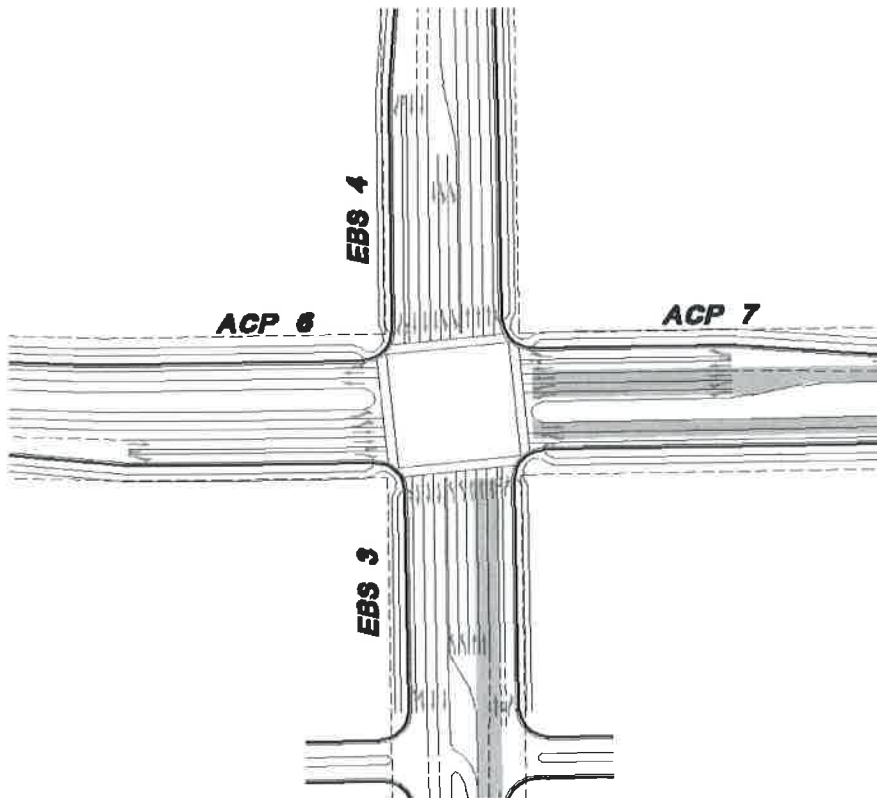
Intersection No. 5
Alder Creek Parkway & East Bidwell Street Intersection
ACP / EBS
6-Lane Ultimate (4 Lane Road & 2 Future) / 6-Lane Ultimate (4 Lane Road & 2 Future)

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	137,700	SF	\$0.60	\$82,620.00
2	2" Asphalt Concrete Paving Overlay	18,350	SF	\$1.60	\$29,360.00
3	3" Asphalt Concrete Paving Overlay	15,300	SF	\$2.40	\$36,720.00
4	6" Asphalt Concrete over 13" Aggregate Base	127,700	SF	\$7.50	\$957,750.00
5	Curb & Gutter, Type 2 (Vertical Curb)	3,200	LF	\$27.00	\$86,400.00
6	Median Curb, Type 5 (Barrier Curb)	2,300	LF	\$20.00	\$46,000.00
7	Median Landscaping & Irrigation (CNL & Street Trees)	8,820	SF	\$7.00	\$61,740.00
8	Median Landscaping & Irrigation (Future Travel Lanes)	16,170	SF	\$5.00	\$80,850.00
9	PCC Sidewalk w/6" AB	21,600	SF	\$7.50	\$162,000.00
10	Signing & Striping (4-lanes)	6,800	LF	\$1.60	\$10,880.00
11	Street Lights (Type A, 220' spacing, both sides)	1,700	LF	\$53.00	\$90,100.00
12	Traffic Signals	1	EA	\$320,000.00	\$320,000.00

Subtotal **\$1,964,420.00**

Note: Grey Hatch Area Represents Existing Improvements

Use **\$1,965,000.00**



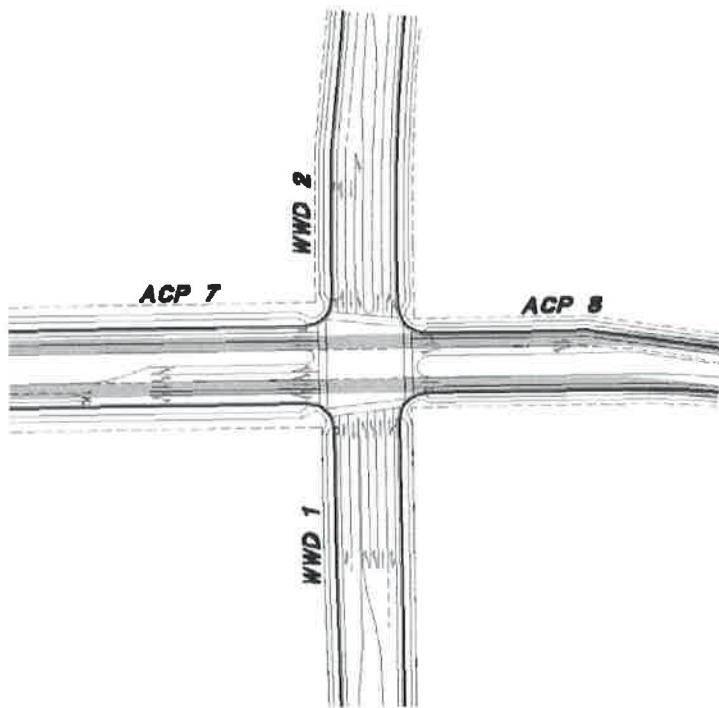
**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.00

**Intersection No. 6
Alder Creek Parkway & Westwood Drive Intersection
ACP / WWD**

6-Lane Ultimate (4 Lane Road & 2 Future) to 2 Lane Road / 4-Lane Ultimate (2 Lane Road & 2 Future)

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	86,000	SF	\$0.60	\$51,600.00
2	2" Asphalt Concrete Paving Overlay	35,000	SF	\$1.60	\$56,000.00
3	4" Asphalt Concrete over 8.5" Aggregate Base	48,000	SF	\$4.70	\$225,600.00
4	6" Asphalt Concrete over 13" Aggregate Base	28,000	SF	\$7.50	\$210,000.00
5	Curb & Gutter, Type 2 (Vertical Curb)	3,300	LF	\$27.00	\$89,100.00
6	Median Curb, Type 5 (Barrier Curb)	2,300	LF	\$20.00	\$46,000.00
7	Median Landscaping & Irrigation (CNL & Street Trees)	21,200	SF	\$7.00	\$148,400.00
8	Median Landscaping & Irrigation (Future Travel Lanes)	7,700	SF	\$5.00	\$38,500.00
9	PCC Sidewalk w/6" AB	20,900	SF	\$7.50	\$156,750.00
10	Signing & Striping (4-lanes)	6,400	LF	\$1.60	\$10,240.00
11	Street Lights (Type A, 220' spacing, both sides)	1,600	LF	\$53.00	\$84,800.00
12	Traffic Signals	1	EA	\$320,000	\$320,000.00
				Subtotal	\$1,436,990.00
Note: Grey Hatch Area Represents Existing Improvements				Use	\$1,437,000.00



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.00

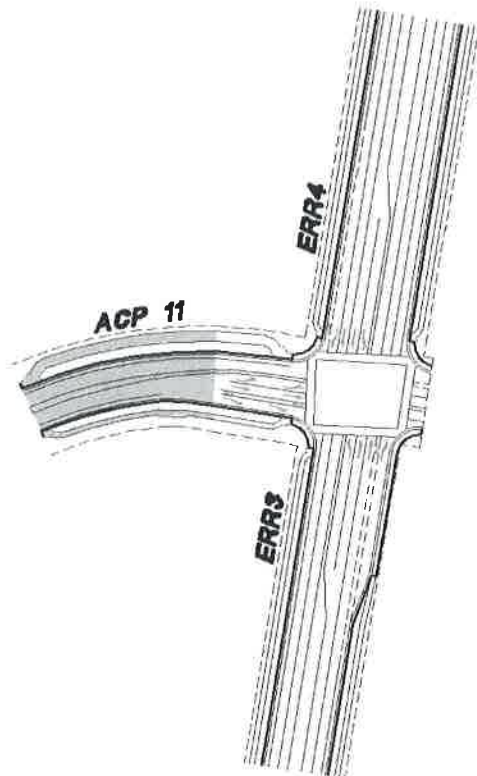
**Intersection No. 7
Alder Creek Parkway & Empire Ranch Road Intersection
ACP / ERR
2-Lane Collector / 2 Lane Major Arterial (Future 4 and 6-lane)**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	86,000	SF	\$0.60	\$51,600.00
2	4" Asphalt Concrete over 8.5" Aggregate Base	5,000	SF	\$4.70	\$23,500.00
3	6" Asphalt Concrete over 13" Aggregate Base	75,000	SF	\$7.50	\$562,500.00
4	Curb & Gutter, Type 2 (Vertical Curb)	1,920	LF	\$27.00	\$51,840.00
5	Median Curb, Type 5 (Barrier Curb)	1,880	LF	\$20.00	\$37,600.00
6	Median Landscaping & Irrigation (CNL & Street Trees)	1,920	SF	\$7.00	\$13,440.00
8	PCC Sidewalk w/6" AB	3,970	SF	\$7.50	\$29,775.00
9	Signing & Striping (2-lanes)	4,300	LF	\$1.60	\$6,880.00
10	Street Lights (Type A, 220' spacing, both sides)	1,100	LF	\$53.00	\$58,300.00
11	Traffic Signals	1	EA	\$320,000	\$320,000.00

Subtotal **\$1,155,435.00**

Note: Grey Hatch Area Represents Existing Improvements

Use **\$1,156,000.00**

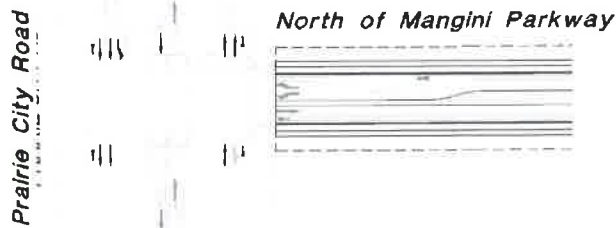


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

**Intersection No. 8
Collector Road North of Mangini Parkway
PCR Intersection
2 Lane Road**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	21,000	SF	\$0.60	\$12,600.00
2	4" Asphalt Concrete over 8.5" Aggregate Base	21,000	SF	\$4.70	\$98,700.00
3	Curb & Gutter, Type 2 (Vertical Curb)	800	LF	\$27.00	\$21,600.00
4	Median Curb, Type 5 (Barrier Curb)	800	LF	\$20.00	\$16,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	4,500	SF	\$7.00	\$31,500.00
6	PCC Sidewalk w/6" AB	9,000	SF	\$7.50	\$67,500.00
7	Signing & Striping (2-lanes)	1,600	LF	\$1.60	\$2,560.00
8	Street Lights (Type A, 220' spacing, both sides)	400	LF	\$53.00	\$21,200.00
9	Traffic Signals	1	EA	\$265,000	\$265,000.00
				Subtotal	\$536,660.00
				Use	\$537,000.00

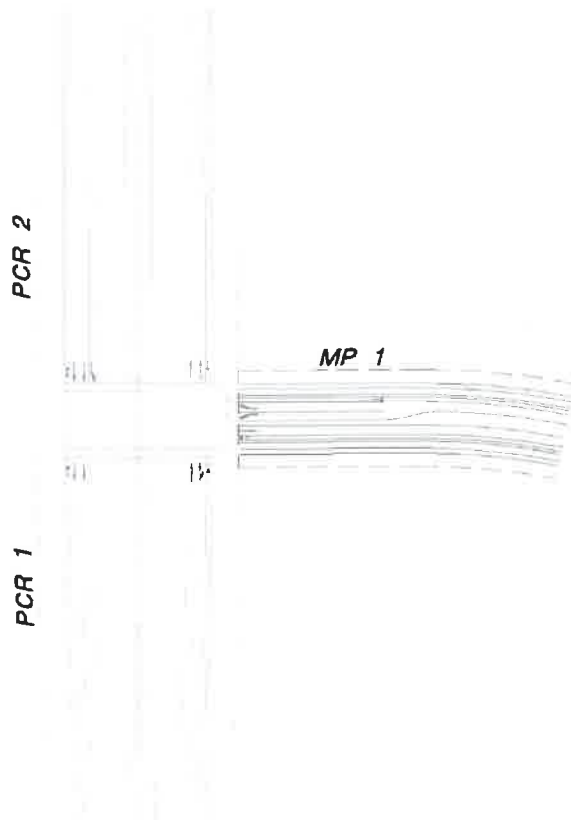


**Folsom Plan Area
 Backbone Infrastructure
 Construction Cost Estimate**

7919,000

**Intersection No. 9
 Prairie City Road & Mangini Parkway
 MP 1A
 2 Lane Road**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	16,000	SF	\$0.60	\$9,600.00
2	4" Asphalt Concrete over 8.5" Aggregate Base	14,000	SF	\$4.70	\$65,800.00
3	Curb & Gutter, Type 2 (Vertical Curb)	800	LF	\$27.00	\$21,600.00
4	Median Curb, Type 5 (Barrier Curb)	800	LF	\$20.00	\$16,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	9,000	SF	\$7.00	\$63,000.00
6	PCC Sidewalk w/6" AB	4,800	SF	\$7.50	\$36,000.00
7	Signing & Striping (2-lanes)	800	LF	\$1.60	\$1,280.00
8	Street Lights (Type A, 220' spacing, both sides)	800	LF	\$53.00	\$42,400.00
9	Traffic Signals	1	EA	\$265,000	\$265,000.00
				Subtotal	\$520,680.00
				Use	\$521,000.00

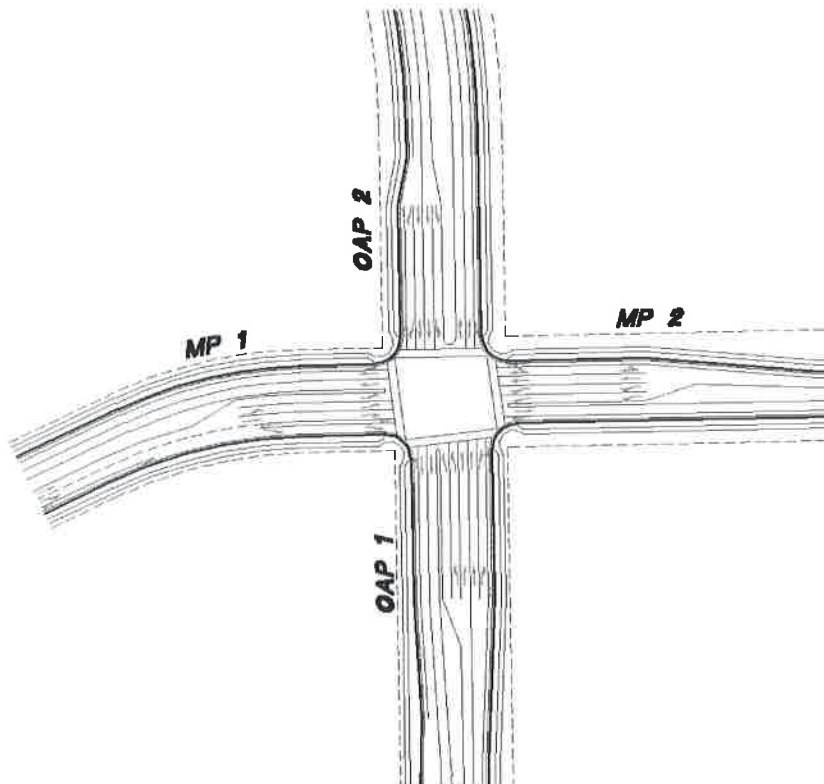


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.00

**Intersection No. 10
Mangini Parkway & Oak Avenue Parkway Intersection
MP / OAP
2 Lane Road / 4 Lane Road**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	125,400	SF	\$0.60	\$75,240.00
2	4" Asphalt Concrete over 8.5" Aggregate Base Paving	17,000	SF	\$4.70	\$79,900.00
3	6" Asphalt Concrete over 13" Aggregate Base	98,200	SF	\$7.50	\$736,500.00
4	Curb & Gutter, Type 2 (Vertical Curb)	3,400	LF	\$27.00	\$91,800.00
5	Median Curb, Type 5 (Barrier Curb)	3,200	LF	\$20.00	\$64,000.00
6	Median Landscaping & Irrigation (CNL & Street Trees)	14,200	SF	\$7.00	\$99,400.00
7	PCC Sidewalk w/6" AB	19,200	SF	\$7.50	\$144,000.00
8	Signing & Striping (2-lanes)	4,800	LF	\$1.60	\$7,680.00
9	Street Lights (Type A, 220' spacing, both sides)	1,600	LF	\$53.00	\$84,800.00
10	Traffic Signals	1	EA	\$320,000.00	\$320,000.00
Subtotal					\$1,703,320.00
Use					\$1,704,000.00

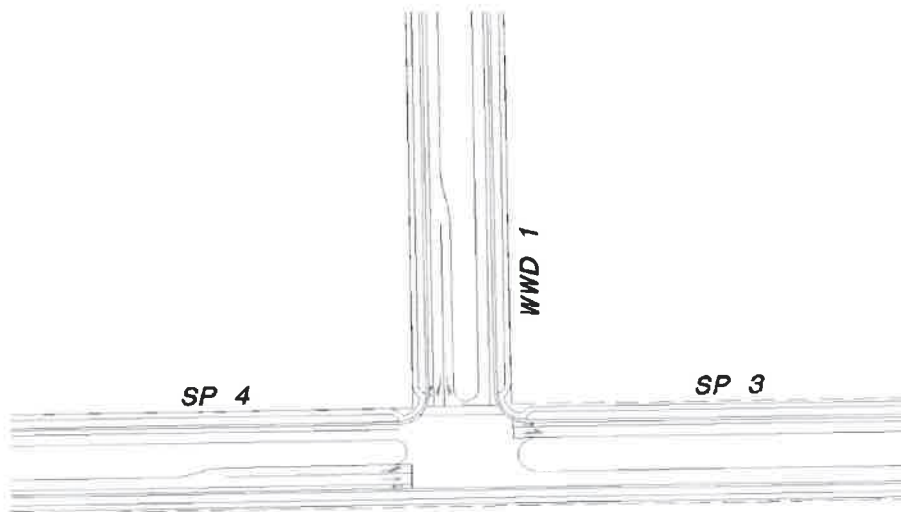


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

**Intersection No. 12
Savannah Parkway & Westwood Drive Intersection
SP / WWD
4-Lane Ultimate (2 Lane Road & 2 Future) / 4-Lane Ultimate (2 Lane Road & 2 Future)**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	54,000	SF	\$0.60	\$32,400.00
2	4" Asphalt Concrete over 8.5" Aggregate Base Paving	47,000	SF	\$4.70	\$220,900.00
3	Curb & Gutter, Type 2 (Vertical Curb)	2,400	LF	\$27.00	\$64,800.00
4	Median Curb, Type 5 (Barrier Curb)	2,400	LF	\$20.00	\$48,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	14,000	SF	\$7.00	\$98,000.00
6	Median Landscaping & Irrigation (Future Travel Lanes)	18,000	SF	\$5.00	\$90,000.00
7	PCC Sidewalk w/6" AB	14,400	SF	\$7.50	\$108,000.00
8	Signing & Striping (2-lanes)	2,400	LF	\$1.60	\$3,840.00
9	Street Lights (Type A, 220' spacing, both sides)	1,200	LF	\$53.00	\$63,600.00
10	Traffic Signals	1	EA	\$265,000.00	\$265,000.00
Subtotal					\$994,540.00
Use					\$995,000.00



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

**Intersection No. 13
East Bidwell Street & Mangini Parkway Intersection
EBS / MP
4-Lane Road / 2 Lane Road**

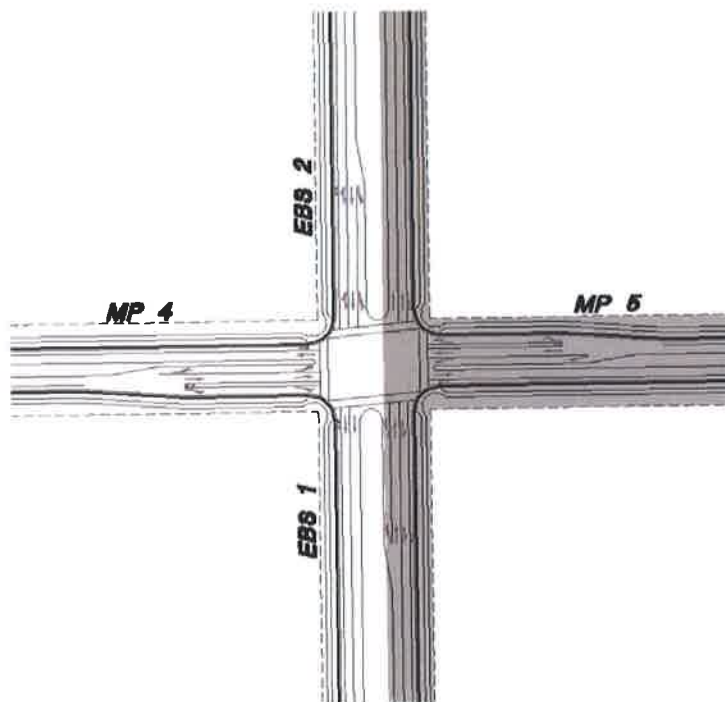
Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	58,000	SF	\$0.60	\$34,800.00
2	4" Asphalt Concrete over 8.5" Aggregate Base Paving	18,000	SF	\$4.70	\$84,600.00
3	6" Asphalt Concrete over 13" Aggregate Base	34,000	SF	\$7.50	\$255,000.00
4	Curb & Gutter, Type 2 (Vertical Curb)	1,700	LF	\$27.00	\$45,900.00
5	Median Curb, Type 5 (Barrier Curb)	1,700	LF	\$20.00	\$34,000.00
6	Median Landscaping & Irrigation (CNL & Street Trees)	6,900	SF	\$7.00	\$48,300.00
7	Median Landscaping & Irrigation (Future Travel Lanes)	18,900	SF	\$5.00	\$94,500.00
8	PCC Sidewalk w/6" AB	9,800	SF	\$7.50	\$73,500.00
9	Signing & Striping (6-lanes)	2,400	LF	\$1.60	\$3,840.00
10	Street Lights (Type A, 220' spacing, both sides)	1,000	LF	\$53.00	\$53,000.00
11	Traffic Signals	1	EA	\$320,000.00	\$0.00

Subtotal **\$727,440.00**

Note: Grey Hatch Area Represents Existing Improvements

Use **\$728,000.00**

Traffic Signal constructed by Mangini Improvement Company.



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

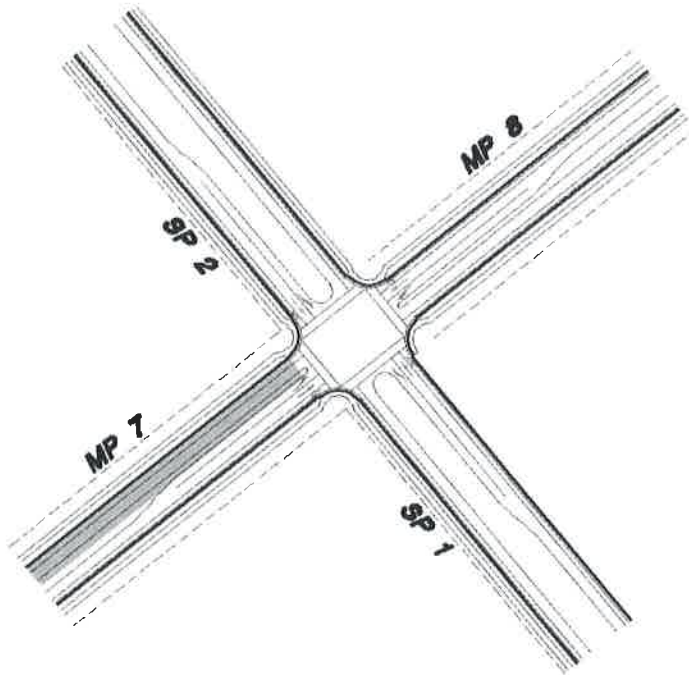
**Intersection No. 14
Savannah Parkway & Mangini Parkway Intersection
SP / MP
4-Lane Ultimate (2 Lane Road & 2 Future)**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	75,000	SF	\$0.60	\$45,000.00
2	4" Asphalt Concrete over 8.5" Aggregate Base Paving	66,000	SF	\$4.70	\$310,200.00
3	Curb & Gutter, Type 2 (Vertical Curb)	3,000	LF	\$27.00	\$81,000.00
4	Median Curb, Type 5 (Barrier Curb)	3,300	LF	\$20.00	\$66,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	15,900	SF	\$7.00	\$111,300.00
6	Median Landscaping & Irrigation (Future Travel Lanes)	17,600	SF	\$5.00	\$88,000.00
7	PCC Sidewalk w/6" AB	3,000	SF	\$7.50	\$22,500.00
8	Signing & Striping (2-lanes)	3,200	LF	\$1.60	\$5,120.00
9	Street Lights (Type A, 220' spacing, both sides)	1,600	LF	\$53.00	\$84,800.00
10	Traffic Signals	1	EA	\$320,000.00	\$320,000.00

Note: Grey Hatch Area Represents Existing Improvements

Subtotal **\$1,133,920.00**

Use **\$1,134,000.00**

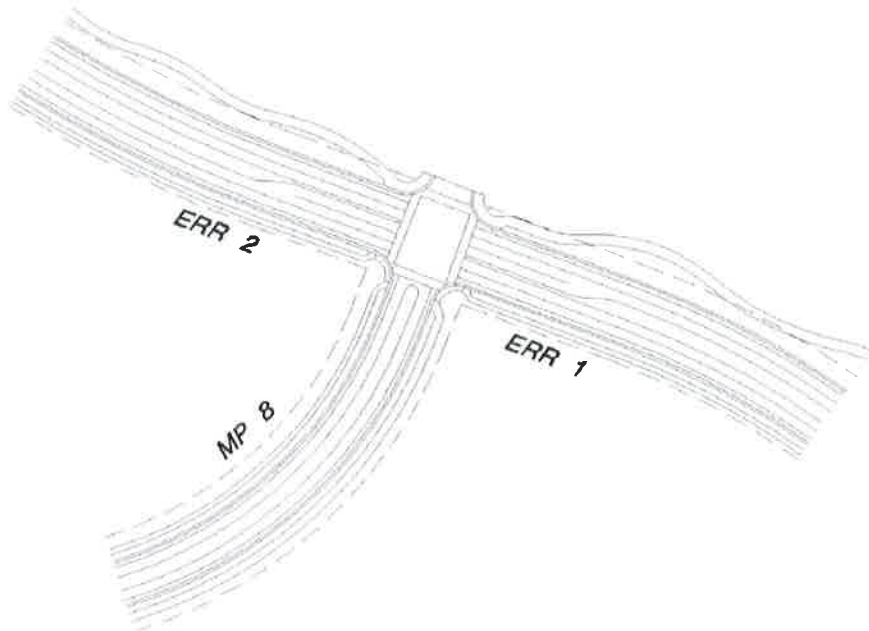


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

**Intersection No. 15
Empire Ranch Road & Mangini Parkway Intersection
MP / ERR
4-Lane Ultimate (2-Lane Road & 2 Future)**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	65,000	SF	\$0.60	\$39,000.00
2	4" Asphalt Concrete over 8.5" Aggregate Base Paving	16,000	SF	\$4.70	\$75,200.00
3	6" Asphalt Concrete over 13" Aggregate Base	42,000	SF	\$7.50	\$315,000.00
4	Curb & Gutter, Type 2 (Vertical Curb)	7,700	LF	\$27.00	\$207,900.00
5	Median Curb, Type 5 (Barrier Curb)	7,700	LF	\$20.00	\$154,000.00
6	Median Landscaping & Irrigation (CNL & Street Trees)	13,200	SF	\$7.00	\$92,400.00
7	Median Landscaping & Irrigation (Future Travel Lanes)	17,800	SF	\$5.00	\$89,000.00
8	PCC Sidewalk w/6" AB	9,600	SF	\$7.50	\$72,000.00
9	Signing & Striping (2-lanes)	2,400	LF	\$1.60	\$3,840.00
10	Street Lights (Type A, 220' spacing, both sides)	1,200	LF	\$53.00	\$63,600.00
11	Traffic Signals	1	EA	\$320,000.00	\$320,000.00
				Subtotal	\$1,431,940.00
				Use	\$1,432,000.00

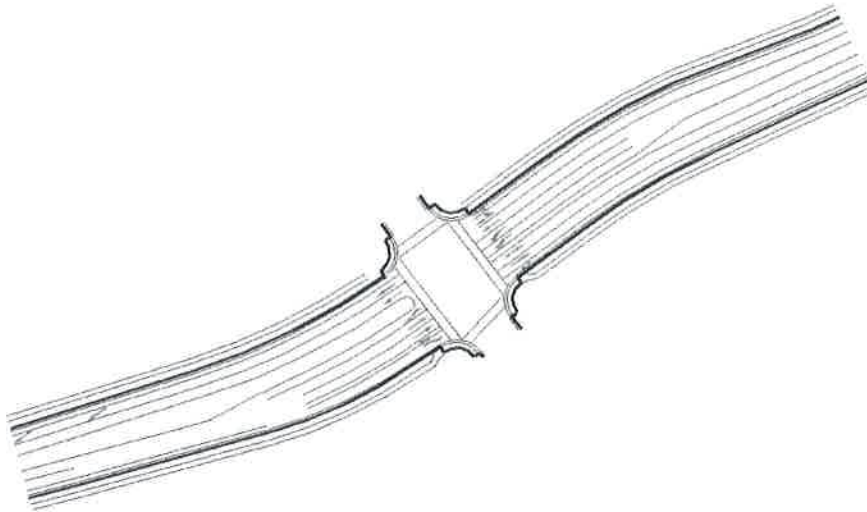


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

**Intersection No. 16
Mangini Parkway & High School Access Intersection
MP 1B / High School Access
4-Lane Road**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	54,400	SF	\$0.60	\$32,640.00
2	5.5" Asphalt Concrete over 11" Aggregate Base Paving	49,000	SF	\$5.70	\$279,300.00
3	Curb & Gutter, Type 2 (Vertical Curb)	1,800	LF	\$27.00	\$48,600.00
4	Median Curb, Type 5 (Barrier Curb)	1,600	LF	\$20.00	\$32,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	6,300	SF	\$7.00	\$44,100.00
6	PCC Sidewalk w/6" AB	10,800	SF	\$7.50	\$81,000.00
7	Signing & Striping (4-lanes)	3,200	LF	\$1.60	\$5,120.00
8	Street Lights (Type A, 220' spacing, both sides)	800	LF	\$53.00	\$42,400.00
9	Traffic Signals	1	EA	\$320,000.00	\$320,000.00
Subtotal					\$885,160.00
Use					\$886,000.00

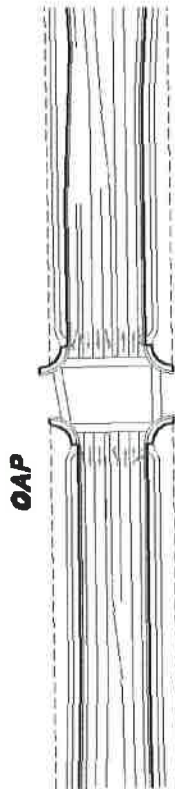


**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

**Intersection No. 17
Oak Avenue Parkway & High School Access Intersection
OAP 1 / High School Access
4 Lane Major Arterial**

Item	Description	Qty.	Unit	Unit Cost	Total Cost
1	Subgrade Preparation	62,000	SF	\$0.60	\$37,200.00
2	5.5" Asphalt Concrete over 11" Aggregate Base Paving	56,600	SF	\$5.70	\$322,620.00
3	Curb & Gutter, Type 2 (Vertical Curb)	1,800	LF	\$27.00	\$48,600.00
4	Median Curb, Type 5 (Barrier Curb)	1,600	LF	\$20.00	\$32,000.00
5	Median Landscaping & Irrigation (CNL & Street Trees)	6,300	SF	\$7.00	\$44,100.00
6	PCC Sidewalk w/6" AB	10,800	SF	\$7.50	\$81,000.00
7	Signing & Striping (4-lanes)	3,200	LF	\$1.60	\$5,120.00
8	Street Lights (Type A, 220' spacing, both sides)	800	LF	\$53.00	\$42,400.00
9	Traffic Signals	1	EA	\$320,000.00	\$320,000.00
Subtotal					\$933,040.00
Use					\$934,000.00



APPENDIX E:

Dry Utility Construction Cost Estimates

Backbone Infrastructure Dry Utility System Exhibit	E-1
Backbone Infrastructure Construction Cost Estimate	E-2



11/11/2017 10:11:20 AM P:\Projects\Infrastructure\Finance Plan\Public Facilities\Infrastructure\Backbone Infrastructure\Dry Utility System\Map\Map.dwg
 P:\Projects\Infrastructure\Finance Plan\Public Facilities\Infrastructure\Backbone Infrastructure\Dry Utility System\Map\Map.dwg
 P:\Projects\Infrastructure\Finance Plan\Public Facilities\Infrastructure\Backbone Infrastructure\Dry Utility System\Map\Map.dwg



Financing responsibility for the 69kV power line located in Easton Valley Parkway from Prairie City Road to the existing 69kV power line located in the 300 foot wide power line corridor is included in the Folsom Plan Area Public Facilities Financing Plan. All other necessary 69kV power lines and the SMUD Electrical Sub-Stations will be paid for by SMUD.

LEGEND

- Underground Joint Trench
- 69 kV Overhead Utility Relocation
- Segment Break Marker
- Phase I Dry Utility Improvements
- 69 kV Power Pole Relocation (PP)
- SMUD Substation Approximate Location (SS)
- Phase I PP Relocation & SS

NORTH
Folsom Plan Area
 Public Facilities Finance Plan
Backbone Infrastructure
Dry Utility System

 November, 2017
 2/14/18

Mackay and Somp's is not responsible for the accuracy or completeness of the information presented here. It is the user's responsibility to verify the information presented here.

DRY UTILITY SYSTEM

**FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate**

7919.000

Roadway	Construction Cost	SMUD Contract Cost (50%)	Soft Cost (15%)	Contingency (20%)	Total
Backbone Dry Utility System Summary					
Alder Creek Parkway	\$2,217,300	\$1,108,650	\$332,595	\$443,460	\$4,102,005
Prairie City Road	\$2,591,600	\$1,295,800	\$388,740	\$518,320	\$4,794,460
Oak Avenue Parkway	\$1,635,900	\$817,950	\$245,385	\$327,180	\$3,026,415
East Bidwell Street	\$361,000	\$180,500	\$54,150	\$72,200	\$667,850
Westwood Drive	\$412,300	\$206,150	\$61,845	\$82,460	\$762,755
Empire Ranch Road	\$1,238,800	\$619,400	\$185,820	\$247,760	\$2,291,780
Rowberry Drive	\$254,600	\$127,300	\$38,190	\$50,920	\$471,010
Mangini Parkway	\$2,200,200	\$1,100,100	\$330,030	\$440,040	\$4,070,370
Savannah Parkway	\$1,081,100	\$540,550	\$162,165	\$216,220	\$2,000,035
Subtotal Backbone Roadways Dry Utility System Summary	\$11,992,800	\$5,996,400	\$1,798,920	\$2,398,560	\$22,186,680
Electrical Transmission System - 69KV Pole Relocation					
Alder Creek Parkway	\$680,000	\$340,000	\$102,000	\$136,000	\$1,258,000
Total Backbone Dry Utility System	\$12,672,800	\$6,336,400	\$1,900,920	\$2,534,560	\$23,444,680

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Cost	SMUD Contract Costs (50%)	Soft Costs (15%)	Contingency (20%)	Total
Backbone Dry Utility System (Natural Gas, Electrical, Telecommunications & Broadband)										
Alder Creek Parkway										
ACP 1-DU	Alder Creek Parkway (Sta 379+00 to Sta 389+00)	1,000	LF	\$190	100%	\$190,000	\$95,000	\$28,500	\$38,000	\$351,500
ACP 2-DU	Alder Creek Parkway (Sta 389+00 to Sta 400+30)	1,130	LF	\$190	100%	\$214,700	\$107,350	\$32,205	\$42,940	\$397,195
ACP 3-DU	Alder Creek Parkway (Sta 400+30 to Sta 418+40)	1,810	LF	\$190	100%	\$343,900	\$171,950	\$51,585	\$68,780	\$636,215
ACP 4-DU	Alder Creek Parkway (Sta 418+40 to Sta 442+00)	2,360	LF	\$190	100%	\$448,400	\$224,200	\$67,260	\$89,680	\$829,540
ACP 5-DU	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	2,480	LF	\$190	100%	\$471,200	\$235,600	\$70,680	\$94,240	\$871,720
ACP 6-DU	Alder Creek Parkway (Sta 466+70 to Sta 493+50)	2,690	LF	\$190	100%	\$511,100	\$255,550	\$76,665	\$102,220	\$945,535
ACP 7-DU	Alder Creek Parkway (Sta 493+50 to Sta 506+90)	1,340	LF	\$190	0%	\$0	\$0	\$0	\$0	\$0
ACP 8-DU	Alder Creek Parkway (Sta 506+90 to Sta 524+10)	1,730	LF	\$190	0%	\$0	\$0	\$0	\$0	\$0
ACP 11-DU	Alder Creek Parkway (Sta 563+70 to Sta 568+20)	200	LF	\$190	100%	\$38,000	\$19,000	\$5,700	\$7,600	\$70,300
Prairie City Road										
PCR 1-DU	Prairie City Road (Sta 99+40 to Sta 121+80)	2,240	LF	\$190	100%	\$425,600	\$212,800	\$63,840	\$85,120	\$787,360
PCR 2-DU	Prairie City Road (Sta 121+80 to Sta 143+40)	2,170	LF	\$190	100%	\$412,300	\$206,150	\$61,845	\$82,460	\$762,755
PCR 3-DU	Prairie City Road (Sta 143+40 to Sta 176+30)	3,300	LF	\$190	100%	\$627,000	\$313,500	\$94,050	\$125,400	\$1,159,950
PCR 4-DU	Prairie City Road (Sta 176+30 to Sta 194+50)	1,820	LF	\$190	100%	\$345,800	\$172,900	\$51,870	\$69,160	\$639,730
PCR 5-DU	Prairie City Road (Sta 194+50 to Sta 235+50)	4,110	LF	\$190	100%	\$780,900	\$390,450	\$117,135	\$156,180	\$1,444,665
Oak Avenue Parkway										
OAP 1-DU	Oak Avenue Parkway (Sta 100+30 to Sta 119+00)	1,880	LF	\$190	100%	\$357,200	\$178,600	\$53,580	\$71,440	\$660,820
OAP 2-DU	Oak Avenue Parkway (Sta 119+00 to Sta 129+50)	1,050	LF	\$190	100%	\$199,500	\$99,750	\$29,925	\$39,900	\$369,075
OAP 3-DU	Oak Avenue Parkway (Sta 129+50 to Sta 153+50)	2,400	LF	\$190	100%	\$456,000	\$228,000	\$68,400	\$91,200	\$843,600
OAP 4-DU	Oak Avenue Parkway (Sta 153+50 to Sta 176+90)	2,340	LF	\$190	100%	\$444,600	\$222,300	\$66,690	\$88,920	\$822,510
OAP 5-DU	Oak Avenue Parkway (Sta 176+90 to Sta 186+20)	940	LF	\$190	100%	\$178,600	\$89,300	\$26,790	\$35,720	\$330,410

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Qty.	Unit	Unit Cost	Const. Cost	SMUD Contract Costs (50%)	Soft Costs (15%)	Contingency (20%)	Total	
Backbone Dry Utility System (Natural Gas, Electrical, Telecommunications & Broadband) (Continued)										
East Bidwell Street										
EBS 1A-DU	East Bidwell Street (Sta 100+60 to 109+50)	890	LF	\$190	100%	\$169,100	\$84,550	\$25,365	\$33,820	\$312,835
EBS 2B-DU	East Bidwell Street (Sta 136+30 to 144+10)	780	LF	\$190	0%	\$0	\$0	\$0	\$0	\$0
EBS 3-DU	East Bidwell Street (Sta 144+10 to 157+90)	1,380	LF	\$190	0%	\$0	\$0	\$0	\$0	\$0
EBS 4-DU	East Bidwell Street (Sta 157+90 to 195+20)	1,010	LF	\$190	100%	\$191,900	\$95,950	\$28,785	\$38,380	\$355,015
Westwood Drive										
WWD 1-DU	Westwood Drive (Sta 100+00 to Sta 113+70)	1,380	LF	\$190	50%	\$131,100	\$65,550	\$19,665	\$26,220	\$242,535
WWD 2-DU	Westwood Drive (Sta 113+70 to Sta 121+50)	780	LF	\$190	100%	\$148,200	\$74,100	\$22,230	\$29,640	\$274,170
WWD 3-DU	Westwood Drive (Sta 121+50 to Sta 128+40)	700	LF	\$190	100%	\$133,000	\$66,500	\$19,950	\$26,600	\$246,050
Empire Ranch Road										
ERR 1-DU	Empire Ranch Road (Sta 105+70 to Sta 129+30)	2,370	LF	\$190	100%	\$450,300	\$225,150	\$67,545	\$90,060	\$833,055
ERR 2-DU	Empire Ranch Road (Sta 129+30 to Sta 145+80)	1,650	LF	\$190	100%	\$313,500	\$156,750	\$47,025	\$62,700	\$579,975
ERR 3-DU	Empire Ranch Road (Sta 145+80 to Sta 156+70)	1,100	LF	\$190	100%	\$209,000	\$104,500	\$31,350	\$41,800	\$386,650
ERR 4-DU	Empire Ranch Road (Sta 156+70 to Sta 165+00)	840	LF	\$190	100%	\$159,600	\$79,800	\$23,940	\$31,920	\$295,260
ERR 5-DU	Empire Ranch Road (Sta 165+00 to Sta 170+60)	560	LF	\$190	100%	\$106,400	\$53,200	\$15,960	\$21,280	\$196,840
Rowberry Drive										
ROW 1-DU	Rowberry Drive (Sta 100+60 to Sta 107+50)	700	LF	\$190	100%	\$133,000	\$66,500	\$19,950	\$26,600	\$246,050
ROW 2-DU	Rowberry Drive (Sta 107+50 to Sta 113+90)	640	LF	\$190	100%	\$121,600	\$60,800	\$18,240	\$24,320	\$224,960
Mangini Parkway										
MP 1-DU	Mangini Parkway (Sta 100+60 to Sta 150+20)	4,970	LF	\$190	100%	\$944,300	\$472,150	\$141,645	\$188,860	\$1,746,955
MP 2-DU	Mangini Parkway (Sta 150+20 to Sta 169+50)	1,930	LF	\$190	100%	\$366,700	\$183,350	\$55,005	\$73,340	\$678,395
MP 3-DU	Mangini Parkway (Sta 169+50 to Sta 191+80)	2,240	LF	\$190	100%	\$425,600	\$212,800	\$63,840	\$85,120	\$787,360
MP 4-DU	Mangini Parkway (Sta 191+80 to Sta 216+10)	2,440	LF	\$190	100%	\$463,600	\$231,800	\$69,540	\$92,720	\$857,660
MP 8-DU	Mangini Parkway (Sta 269+80 to Sta 301+30)	3,150	LF	\$190	0%	\$0	\$0	\$0	\$0	\$0

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

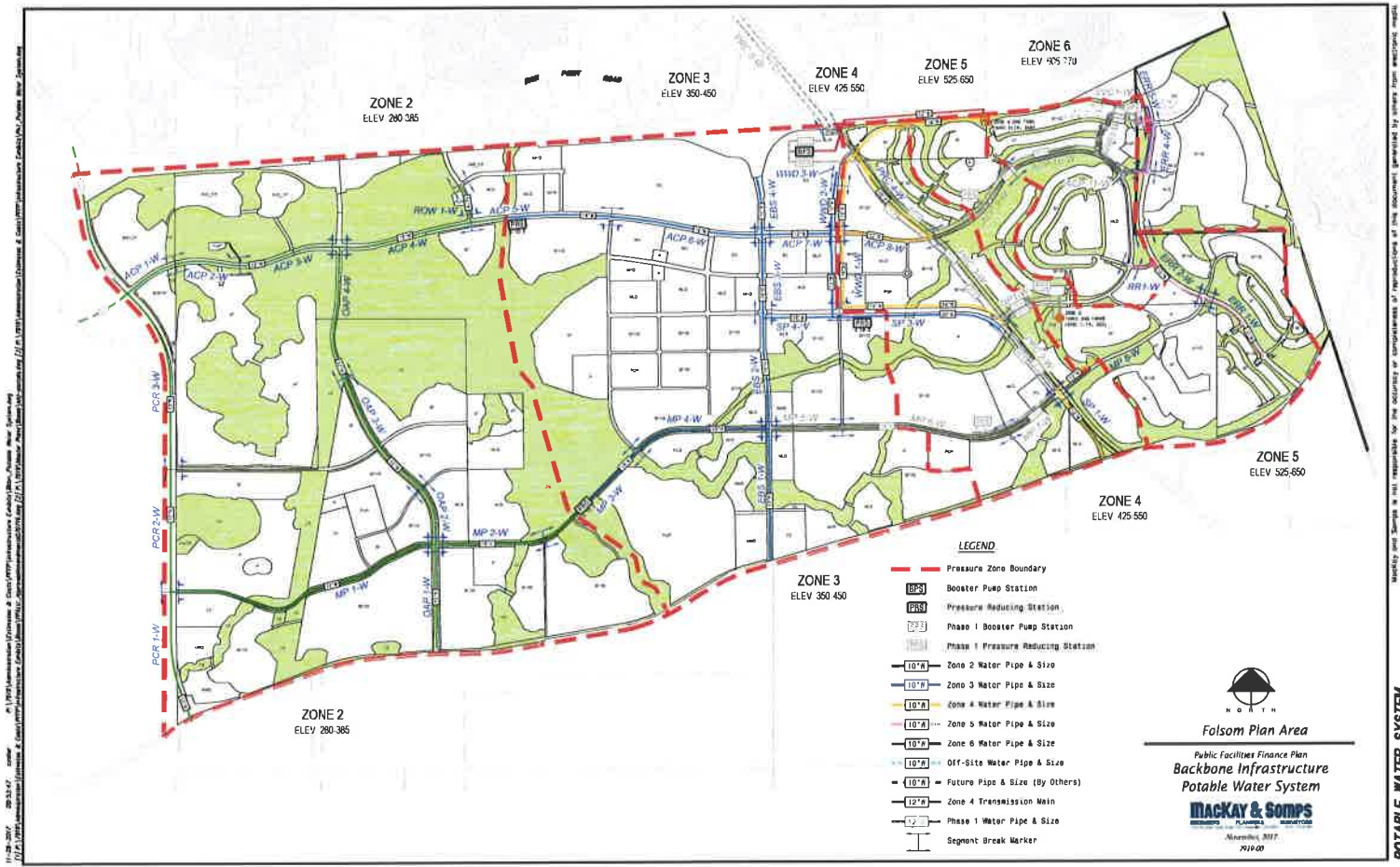
Section	Description	Qty.	Unit	Unit Cost		Const. Cost	SMUD Contract Costs (50%)	Soft Costs (15%)	Contingency (20%)	Total
Backbone Dry Utility System (Natural Gas, Electrical, Telecommunications & Broadband) (Continued)										
Savannah Parkway										
SP 1-DU	Savannah Parkway (Sta 170+20 to Sta 183+90)	1,380	LF	\$190	100%	\$262,200	\$131,100	\$39,330	\$52,440	\$485,070
SP 3-DU	Savannah Parkway (Sta 125+00 to Sta 154+60)	2,960	LF	\$190	100%	\$562,400	\$281,200	\$84,360	\$112,480	\$1,040,440
SP 4-DU	Savannah Parkway (Sta 111+50 to Sta 125+00)	1,350	LF	\$190	100%	\$256,500	\$128,250	\$38,475	\$51,300	\$474,525
Total Dry Utility System										\$22,186,680
Backbone - Electrical Transmission System										
69 kV Pole Relocation										
1	Alder Creek Parkway (Sta 389+00 to Sta 405+00)*	2,200	LF	\$270	100%	\$594,000	\$297,000	\$89,100	\$118,800	\$1,098,900
2	Alder Creek Parkway (Sta 442+00)	2	EA	\$43,000	100%	\$86,000	\$43,000	\$12,900	\$17,200	\$159,100
Total Electrical Transmission System										\$1,258,000

* Actual relocation length exceeds Alder Creek Parkway stationing.

APPENDIX F:
**On-Site Potable Water
Construction Cost Estimates**

Backbone Infrastructure Potable Water System Exhibit..... F-1
Backbone Infrastructure Construction Cost Estimate F-2





11-16-2017 10:53:02 AM C:\Users\jmc\Documents\Projects\2017\2017 Potable Water System Backbone Infrastructure\2017 Potable Water System Backbone Infrastructure.dwg (11/16/2017 10:53:02 AM) 11/16/2017 10:53:02 AM C:\Users\jmc\Documents\Projects\2017\2017 Potable Water System Backbone Infrastructure\2017 Potable Water System Backbone Infrastructure.dwg (11/16/2017 10:53:02 AM) 11/16/2017 10:53:02 AM C:\Users\jmc\Documents\Projects\2017\2017 Potable Water System Backbone Infrastructure\2017 Potable Water System Backbone Infrastructure.dwg (11/16/2017 10:53:02 AM)

Mackay and Sumps is not responsible for the accuracy or completeness of reproductions of this document generated by others from electronic images.

- LEGEND**
- Pressure Zone Boundary
 - Booster Pump Station
 - Pressure Reducing Station
 - Phase 1 Booster Pump Station
 - Phase 1 Pressure Reducing Station
 - Zone 2 Water Pipe & Size
 - Zone 3 Water Pipe & Size
 - Zone 4 Water Pipe & Size
 - Zone 5 Water Pipe & Size
 - Zone 6 Water Pipe & Size
 - Off-Site Water Pipe & Size
 - Future Pipe & Size (By Others)
 - Zone 4 Transmission Main
 - Phase 1 Water Pipe & Size
 - Segment Break Marker


Folsom Plan Area
 Public Facilities Finance Plan
Backbone Infrastructure
Potable Water System

 November, 2017
 210-00

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

Item	Construction Cost	Soft Cost (15%)	Contingency (20%)	Total
Potable Water Pipelines System Summary				
Alder Creek Parkway	\$2,574,800	\$386,220	\$514,960	\$3,475,980
Oak Avenue Parkway	\$920,400	\$138,060	\$184,080	\$1,242,540
East Bidwell Street	\$399,600	\$59,940	\$79,920	\$539,460
Westwood Drive	\$494,500	\$74,175	\$98,900	\$667,575
Empire Ranch Road	\$640,400	\$96,060	\$128,080	\$864,540
Rowberry Drive	\$84,000	\$12,600	\$16,800	\$113,400
Mangini Parkway	\$2,248,900	\$337,335	\$449,780	\$3,036,015
Savannah Parkway	\$1,746,300	\$261,945	\$349,260	\$2,357,505
Rustic Ridge Drive	\$57,600	\$8,640	\$11,520	\$77,760
Prairie City Road	\$925,200	\$138,780	\$185,040	\$1,249,020
Subtotal Potable Water Pipelines System	\$10,091,700	\$1,513,755	\$2,018,340	\$13,623,795
Storage Reservoirs				
Zone 3 Phase 1	\$4,629,372	\$694,406	\$925,874	\$6,249,652
Zone 3 Phase 2	\$3,885,800	\$582,870	\$777,160	\$5,245,830
Zone 4	\$5,954,360	\$893,154	\$1,190,872	\$8,038,386
Subtotal Storage Reservoirs	\$14,469,532	\$2,170,430	\$2,893,906	\$19,533,868
Pressure Reducing Stations				
Zone 3 to Zone 2	\$318,000	\$47,700	\$63,600	\$429,300
Zone 4 to Zone 3	\$212,000	\$31,800	\$42,400	\$286,200
Subtotal Pressure Reducing Stations	\$530,000	\$79,500	\$106,000	\$715,500
Booster Pump Stations				
Zone 3 to Zone 4	\$323,000	\$48,450	\$64,600	\$436,050
Subtotal Booster Pump Stations				\$437,000
TOTAL	\$25,414,232	\$3,812,135	\$5,082,846	\$34,309,213

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Potable Water System - Pipelines											
Alder Creek Parkway											
ACP 1-W	Alder Creek Parkway (Sta 379+00 to Sta 389+00)	12	1,000	LF	2	\$120	100%	\$120,000	\$18,000	\$24,000	\$162,000
ACP 2-W	Alder Creek Parkway (Sta 389+00 to Sta 400+30)	12	1,130	LF	2	\$120	100%	\$135,600	\$20,340	\$27,120	\$183,060
ACP 3-W	Alder Creek Parkway (Sta 400+30 to Sta 418+40)	12	1,810	LF	2	\$120	100%	\$217,200	\$32,580	\$43,440	\$293,220
ACP 4-W	Alder Creek Parkway (Sta 418+40 to Sta 442+00)	18	2,360	LF	2	\$250	100%	\$590,000	\$88,500	\$118,000	\$796,500
ACP 5-W	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	18	630	LF	2	\$250	100%	\$157,500	\$23,625	\$31,500	\$212,625
ACP 5-W	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	18	1,850	LF	3	\$250	100%	\$462,500	\$69,375	\$92,500	\$624,375
ACP 6-W	Alder Creek Parkway (Sta 466+70 to Sta 493+50)	18	3,360	LF	3	\$250	100%	\$840,000	\$126,000	\$168,000	\$1,134,000
ACP 7-W	Alder Creek Parkway (Sta 493+50 to Sta 506+90)	12	1,340	LF	3	\$120	0%	\$0	\$0	\$0	\$0
ACP 8-W	Alder Creek Parkway (Sta 506+90 to Sta 524+10)	12	1,730	LF	4	\$120	0%	\$0	\$0	\$0	\$0
ACP 11-W	Alder Creek Parkway (Sta 563+70 to Sta 568+20)	16	200	LF	5	\$130	100%	\$26,000	\$3,900	\$5,200	\$35,100
ACP 11-W	Alder Creek Parkway (Sta 563+70 to Sta 568+20)	16	200	LF	6	\$130	100%	\$26,000	\$3,900	\$5,200	\$35,100
Oak Avenue Parkway											
OAP 1-W	Oak Avenue Parkway (Sta 100+30 to Sta 119+00)	12	1,880	LF	2	\$120	100%	\$225,600	\$33,840	\$45,120	\$304,560
OAP 2-W	Oak Avenue Parkway (Sta 119+00 to Sta 129+50)	12	1,050	LF	2	\$120	100%	\$126,000	\$18,900	\$25,200	\$170,100
OAP 3-W	Oak Avenue Parkway (Sta 129+50 to Sta 153+50)	12	2,400	LF	2	\$120	100%	\$288,000	\$43,200	\$57,600	\$388,800
OAP 4-W	Oak Avenue Parkway (Sta 153+50 to Sta 176+90)	12	2,340	LF	2	\$120	100%	\$280,800	\$42,120	\$56,160	\$379,080
East Bidwell Street											
EBS 1A-W	East Bidwell Street (Sta 100+60 to Sta 109+50)	12	890	LF	3	\$120	100%	\$106,800	\$16,020	\$21,360	\$144,180
EBS 1B-W	East Bidwell Street (Sta 109+50 to Sta 123+80)	12	1,430	LF	3	\$120	100%	\$171,600	\$25,740	\$34,320	\$231,660
EBS 2A-W	East Bidwell Street (Sta 123+80 to Sta 136+30)	18	1,260	LF	3	\$250	0%	\$0	\$0	\$0	\$0
EBS 2B-W	East Bidwell Street (Sta 136+30 to Sta 144+10)	18	780	LF	3	\$250	0%	\$0	\$0	\$0	\$0
EBS 3-W	East Bidwell Street (Sta 144+10 to Sta 157+90)	18	1,380	LF	3	\$250	0%	\$0	\$0	\$0	\$0
EBS 4-W	East Bidwell Street (Sta 157+90 to Sta 168+00)	12	1,010	LF	3	\$120	100%	\$121,200	\$18,180	\$24,240	\$163,620

Potable Water System - Pipelines (Continued)

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Westwood Drive											
WWD 1-W	Westwood Drive (Sta 100+00 to Sta 113+70)	12	1,380	LF	3	\$120	50%	\$82,800	\$12,420	\$16,560	\$111,780
WWD 1-W	Westwood Drive (Sta 100+00 to Sta 113+70)	16	1,380	LF	4	\$130	50%	\$89,700	\$13,455	\$17,940	\$121,095
WWD 2-W	Westwood Drive (Sta 113+70 to Sta 121+50)	12	780	LF	3	\$120	100%	\$93,600	\$14,040	\$18,720	\$126,360
WWD 2-W	Westwood Drive (Sta 113+70 to Sta 121+50)	16	780	LF	4	\$130	100%	\$101,400	\$15,210	\$20,280	\$136,890
WWD 3-W	Westwood Drive (Sta 121+50 to Sta 128+40)	12	300	LF	3	\$120	100%	\$36,000	\$5,400	\$7,200	\$48,600
WWD 3-W	Westwood Drive (Sta 121+50 to Sta 128+40)	16	700	LF	4	\$130	100%	\$91,000	\$13,650	\$18,200	\$122,850
Empire Ranch Road											
ERR 1-W	Empire Ranch Road (Sta 105+70 to Sta 129+30)	12	1,540	LF	5	\$120	100%	\$184,800	\$27,720	\$36,960	\$249,480
ERR 2-W	Empire Ranch Road (Sta 129+30 to Sta 145+80)	12	1,110	LF	5	\$120	100%	\$133,200	\$19,980	\$26,640	\$179,820
ERR 4-W	Empire Ranch Road (Sta 156+70 to Sta 165+00)	16	840	LF	5	\$130	100%	\$109,200	\$16,380	\$21,840	\$147,420
ERR 4-W	Empire Ranch Road (Sta 156+70 to Sta 165+00)	16	840	LF	6	\$130	100%	\$109,200	\$16,380	\$21,840	\$147,420
ERR 5-W	Empire Ranch Road (Sta 165+00 to Sta 170+60)	16	400	LF	6	\$130	100%	\$52,000	\$7,800	\$10,400	\$70,200
ERR 5-W	Empire Ranch Road (Sta 165+00 to Sta 170+60)	16	400	LF	5	\$130	100%	\$52,000	\$7,800	\$10,400	\$70,200
Rowberry Drive											
ROW 1-W	Rowberry Drive (Sta 100+60 to Sta 107+50)	12	700	LF	2	\$120	100%	\$84,000	\$12,600	\$16,800	\$113,400
Mangini Parkway											
MP 1-W	Mangini Parkway (Sta 100+60 to Sta 150+20)	12	4,970	LF	2	\$120	100%	\$596,400	\$89,460	\$119,280	\$805,140
MP 2-W	Mangini Parkway (Sta 150+20 to Sta 169+50)	18	1,930	LF	2	\$250	100%	\$482,500	\$72,375	\$96,500	\$651,375
MP 3-W	Mangini Parkway (Sta 169+50 to Sta 191+80)	18	800	LF	2	\$250	100%	\$200,000	\$30,000	\$40,000	\$270,000
MP 3-W	Mangini Parkway (Sta 169+50 to Sta 191+80)	18	1,440	LF	3	\$250	100%	\$360,000	\$54,000	\$72,000	\$486,000
MP 4-W	Mangini Parkway (Sta 191+80 to Sta 216+10)	18	2,440	LF	3	\$250	100%	\$610,000	\$91,500	\$122,000	\$823,500
MP 8-W	Mangini Parkway (Sta 269+80 to Sta 301+30)	12	1,370	LF	4	\$120	0%	\$0	\$0	\$0	\$0

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Potable Water System - Pipelines (Continued)											
Savannah Parkway											
SP 1-W	Savannah Parkway (Sta 170+20 to Sta 183+90)	12	1,380	LF	4	\$120	100%	\$165,600	\$24,840	\$33,120	\$223,560
SP 3-W	Savannah Parkway (Sta 125+00 to Sta 154+60)	16	2,960	LF	4	\$130	100%	\$384,800	\$57,720	\$76,960	\$519,480
SP 3-W	Savannah Parkway (Sta 125+00 to Sta 154+60)	24	2,960	LF	3	\$290	100%	\$858,400	\$128,760	\$171,680	\$1,158,840
SP 4-W	Savannah Parkway (Sta 111+50 to Sta 125+00)	18	1,350	LF	3	\$250	100%	\$337,500	\$50,625	\$67,500	\$455,625
Rustic Ridge Drive											
RR 1-W	Rustic Ridge Drive (Sta 10+00 to Sta 14+80)	12	480	LF	5	\$120	100%	\$57,600	\$8,640	\$11,520	\$77,760
Prairie City Road											
PCR 1-W	Prairie City Road (Sta 99+40 to Sta 121+80)	12	2240	LF	2	\$120	100%	\$268,800	\$40,320	\$53,760	\$362,880
PCR 2-W	Prairie City Road (Sta 121+80 to Sta 143+40)	12	2170	LF	2	\$120	100%	\$260,400	\$39,060	\$52,080	\$351,540
PCR 3-W	Prairie City Road (Sta 143+40 to Sta 176+30)	12	3300	LF	2	\$120	100%	\$396,000	\$59,400	\$79,200	\$534,600
Subtotal Potable Water System - Pipelines										\$13,623,795	

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (In.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Potable Water System - Storage Tanks											
Storage Tanks											
Zone 3 Storage Tank - Phase 1											
<u>Tank Site Improvements</u>											
	Site Mobilization/Demobilization		1	LS		\$90,000.00	100%	\$90,000	\$13,500	\$18,000	\$121,500
	Rough Grade Excavation -Stockpile		51,000	CY		\$6.40	100%	\$326,400	\$48,960	\$65,280	\$440,640
	Rock Excavation		2,000	CY		\$11.00	100%	\$22,000	\$3,300	\$4,400	\$29,700
	Structural Backfill (Within 10-ft of Tank)		4,900	CY		\$11.00	100%	\$53,900	\$8,085	\$10,780	\$72,765
	Site Grading (Slope Reconstruction)		42,000	CY		\$4.30	100%	\$180,600	\$27,090	\$36,120	\$243,810
	Concrete Lined V-Ditch		540	LF		\$15	100%	\$8,100	\$1,215	\$1,620	\$10,935
	Type 'F' Field Inlet		1	EA		\$3,800.00	100%	\$3,800	\$570	\$760	\$5,130
	12-inch RCP CL III Drain Pipe		15	LF		\$120.00	100%	\$1,800	\$270	\$360	\$2,430
	24-inch DIP CL 350 Tank Overflow Pipe		240	LF		\$160.00	100%	\$38,400	\$5,760	\$7,680	\$51,840
	Tank Overflow Structure		1	EA		\$50,000	100%	\$50,000	\$7,500	\$10,000	\$67,500
	2-inch Water Service		1	LS		\$10,000	100%	\$10,000	\$1,500	\$2,000	\$13,500
	24-inch DIP CL 350 Transmission Main		500	LF		\$290	100%	\$145,000	\$21,750	\$29,000	\$195,750
	30-inch DIP CL 350 Distribution Main		400	LF		\$500	100%	\$200,000	\$30,000	\$40,000	\$270,000
	25-ft. Wide Double Swing Entrance Gate & Appurtenances		1	EA		\$35,000	100%	\$35,000	\$5,250	\$7,000	\$47,250
	Site Paving (3" AC / 10.5" AB)		13,300	SF		\$4.10	100%	\$54,530	\$8,180	\$10,906	\$73,616
	Site Ground Cover (4-inch Layer Crushed Gravel)		30,000	SF		\$1.30	100%	\$39,000	\$5,850	\$7,800	\$52,650
	Site Landscaping		5,000	SF		\$5.00	100%	\$25,000	\$3,750	\$5,000	\$33,750
	Tube Steel Perimeter Fencing		1,260	LF		\$40.00	100%	\$50,400	\$7,560	\$10,080	\$68,040
	Site Lighting & Security		1	LS		\$60,000	100%	\$60,000	\$9,000	\$12,000	\$81,000
	Dry Utility Service		1	LS		\$15,000.00	100%	\$15,000	\$2,250	\$3,000	\$20,250
	Reseeding (Hydro-Seeding)		170,700	SF		\$0.06	100%	\$10,242	\$1,536	\$2,048	\$13,827
	Erosion Control (Construction SWPPP)		184,000	SF		\$0.30	100%	\$55,200	\$8,280	\$11,040	\$74,520
<u>Tank Improvements</u>											
	3.0 MG Prestressed Concrete Tank		1	LS		\$2,900,000	100%	\$2,900,000	\$435,000	\$580,000	\$3,915,000
	Tank Appurtenances (mixing, sampling, hatches & instrumentation)		1	LS		\$150,000	100%	\$150,000	\$22,500	\$30,000	\$202,500
	30-inch Check Valve (Tank Inlet)		1	LS		\$35,000	100%	\$35,000	\$5,250	\$7,000	\$47,250
	24-inch Flow Meter w/Bypass, Valving and Appurtenances		1	LS		\$70,000	100%	\$70,000	\$10,500	\$14,000	\$94,500
Total Zone 3 Storage Tank - Phase 1											\$6,249,700

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Potable Water System - Storage Tanks (Continued)											
Zone 3 Storage Tank - Phase 2											
<u>Tank Site Improvements</u>											
	Site Mobilization/Demobilization		1	LS		\$80,000.00	100%	\$80,000	\$12,000	\$16,000	\$108,000
	Rough Grade Excavation -Stockpile		30,000	CY		\$6.40	100%	\$192,000	\$28,800	\$38,400	\$259,200
	Rock Excavation		2,000	CY		\$11.00	100%	\$22,000	\$3,300	\$4,400	\$29,700
	Structural Backfill (Within 10-ft of Tank)		4,900	CY		\$11.00	100%	\$53,900	\$8,085	\$10,780	\$72,765
	Site Grading (Slope Reconstruction)		33,000	CY		\$4.30	100%	\$141,900	\$21,285	\$28,380	\$191,565
	Concrete Lined V-Ditch		500	LF		\$15	100%	\$7,500	\$1,125	\$1,500	\$10,125
	Type 'F' Field Inlet		1	EA		\$3,800.00	100%	\$3,800	\$570	\$760	\$5,130
	12-inch RCP CL III Drain Pipe		15	LF		\$120.00	100%	\$1,800	\$270	\$360	\$2,430
	24-inch DIP CL 350 Tank Overflow Pipe		60	LF		\$160.00	100%	\$9,600	\$1,440	\$1,920	\$12,960
	24-inch DIP CL 350 Transmission Main		180	LF		\$290	100%	\$52,200	\$7,830	\$10,440	\$70,470
	30-inch DIP CL 350 Distribution Main		80	LF		\$500	100%	\$40,000	\$6,000	\$8,000	\$54,000
	Site Paving (3" AC / 10.5" AB)		11,000	SF		\$4.10	100%	\$45,100	\$6,765	\$9,020	\$60,885
	Site Ground Cover (4-inch Layer Crushed Gravel)		27,000	SF		\$1.30	100%	\$35,100	\$5,265	\$7,020	\$47,385
	Site Lighting & Security		1	LS		\$50,000	100%	\$50,000	\$7,500	\$10,000	\$67,500
	Tube Steel Perimeter Fencing		620	LF		\$40.00	100%	\$24,800	\$3,720	\$4,960	\$33,480
	Reseeding (Hydro-Seeding)		85,000	SF		\$0.06	100%	\$5,100	\$765	\$1,020	\$6,885
	Erosion Control (Construction SWPPP)		120,000	SF		\$0.30	100%	\$36,000	\$5,400	\$7,200	\$48,600
<u>Tank Improvements</u>											
	3.0 MG Prestressed Concrete Tank		1	LS		\$2,900,000	100%	\$2,900,000	\$435,000	\$580,000	\$3,915,000
	Tank Appurtenances (mixing, sampling, hatches & instrumentation)		1	LS		\$150,000	100%	\$150,000	\$22,500	\$30,000	\$202,500
	30-inch Check Valve (Tank Inlet)		1	LS		\$35,000	100%	\$35,000	\$5,250	\$7,000	\$47,250
Total Zone 3 Storage Tank - Phase 2										\$5,245,900	

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Potable Water System - Storage Tanks (Continued)											
Zone 4 Storage Tank											
<u>Tank Site Access and Utility Extensions</u>											
	Mobilization/Demobilization		1	LS		\$120,000	100%	\$120,000	\$18,000	\$24,000	\$162,000
	Clearing and Grubbing		400,000	SF		\$0.04	100%	\$16,000	\$2,400	\$3,200	\$21,600
	Excavation		27,000	CY		\$7.50	100%	\$202,500	\$30,375	\$40,500	\$273,375
	Subgrade Preparation		46,000	SF		\$0.60	100%	\$27,600	\$4,140	\$5,520	\$37,260
	16-ft Wide Access Road (3"AC/10.5"AB)		46,000	SF		\$4.10	100%	\$188,600	\$28,290	\$37,720	\$254,610
	Remove & Reinstall Railroad Tracks at Water Pipeline Crossing		1	EA		\$5,300.00					\$7,155
	Masonry Retaining Wall		2,000	FSF		\$85	100%	\$170,000	\$25,500	\$34,000	\$229,500
	20-ft Wide Pipe Gate		1	EA		\$7,500	100%	\$7,500	\$1,125	\$1,500	\$10,125
	Rock Lined Drainage Ditch		2,300	LF		\$13.00	100%	\$29,900	\$4,485	\$5,980	\$40,365
	City Fiber Optic Conduit & Pull Boxes		1,100	LF		\$22.00	100%	\$24,200	\$3,630	\$4,840	\$32,670
	Dry Utility Service		1	EA		\$15,000	100%	\$15,000	\$2,250	\$3,000	\$20,250
	15-inch RCP CL III Storm Drain Pipe		440	LF		\$130	100%	\$57,200	\$8,580	\$11,440	\$77,220
	18-inch RCP CL III Storm Drain Pipe		105	LF		\$140	100%	\$14,700	\$2,205	\$2,940	\$19,845
	18-inch Storm Drain Outfall Structure		1	EA		\$4,300	100%	\$4,300	\$645	\$860	\$5,805
	48-inch Storm Drain Manhole		3	EA		\$5,800	100%	\$17,400	\$2,610	\$3,480	\$23,490
	Type 'F' Field Inlet		2	EA		\$3,800	100%	\$7,600	\$1,140	\$1,520	\$10,260
	1-inch Metered Water Service		1	EA		\$2,120	100%	\$2,120	\$318	\$424	\$2,862
	12-inch DIP CL 350 Water Pipeline w/Cathodic Protection		2,710	LF		\$200	100%	\$542,000	\$81,300	\$108,400	\$731,700
	18-inch DIP CL 350 Water Pipeline w/Cathodic Protection		2,500	LF		\$250	100%	\$625,000	\$93,750	\$125,000	\$843,750
	12-inch Gate Valve		3	EA		\$3,400	100%	\$10,200	\$1,530	\$2,040	\$13,770
	18-inch Butterfly Valve		3	EA		\$6,800	100%	\$20,400	\$3,060	\$4,080	\$27,540
	2-inch Combination Air Release/Vacuum Relief Valve		6	EA		\$6,900	100%	\$41,400	\$6,210	\$8,280	\$55,890
	Reseeding (Hydro-Seeding)		340,000	SF		\$0.06	100%	\$20,400	\$3,060	\$4,080	\$27,540
	Erosion Control (Construction SWPPP)		400,000	SF		\$0.30	100%	\$120,000	\$18,000	\$24,000	\$162,000
<u>Tank Site Improvements</u>											
	Subgrade Preparation		14,400	SF		\$0.60	100%	\$8,640	\$1,296	\$1,728	\$11,664
	Site paving (3"AC/10.5"AB)		14,400	SF		\$4.10	100%	\$59,040	\$8,856	\$11,808	\$79,704
	Type 2 Curb & Gutter		560	LF		\$27	100%	\$15,660	\$2,349	\$3,132	\$21,141
	30-Ft Wide Rolling Entrance Gate & Appurtenances		1	EA		\$35,000	100%	\$35,000	\$5,250	\$7,000	\$47,250
	Masonry Retaining Wall		1,980	FSF		\$85	100%	\$168,300	\$25,245	\$33,660	\$227,205

**FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate**

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Potable Water System - Storage Tanks (Continued)										
Zone 4 Storage Tank (Continued)										
<u>Tank Site Improvements (Continued)</u>										
	Masonry Perimeter Wall (8-ft Tall)		600	LF	\$106	100%	\$63,600	\$9,540	\$12,720	\$85,860
	12-inch RCP CL III Storm Drain Pipe		30	LF	\$120	100%	\$3,600	\$540	\$720	\$4,860
	15-inch RCP CL III Storm Drain Pipe		120	LF	\$130	100%	\$15,600	\$2,340	\$3,120	\$21,060
	Type 'B' Drainage Inlet		2	EA	\$4,100	100%	\$8,200	\$1,230	\$1,640	\$11,070
	12-inch DIP CL 350 Water Pipeline w/Cathodic Protection		50	LF	\$200	100%	\$10,000	\$1,500	\$2,000	\$13,500
	18-inch DIP CL 350 Water Pipeline w/Cathodic Protection		100	LF	\$250	100%	\$25,000	\$3,750	\$5,000	\$33,750
	12-inch Gate Valve		1	EA	\$3,400	100%	\$3,400	\$510	\$680	\$4,590
	18-inch Butterfly Valve		1	EA	\$6,800	100%	\$6,800	\$1,020	\$1,360	\$9,180
	2-inch Combination Air Release/Vacuum Relief Valve		2	EA	\$6,900	100%	\$13,800	\$2,070	\$2,760	\$18,630
<u>Tank and Appurtenances</u>										
	2.0 MG Prestressed Concrete Tank (slab on grade with flat roof)		1	LS	\$2,900,000	100%	\$2,900,000	\$435,000	\$580,000	\$3,915,000
	Tank Appurtenances (mixing, sampling, hatches & instrumentation)		1	LS	\$150,000	100%	\$150,000	\$22,500	\$30,000	\$202,500
	12-inch Check Valve (Tank Inlet)		1	EA	\$11,000	100%	\$11,000	\$1,650	\$2,200	\$14,850
	12-inch Flow Meter w/Bypass, Valving and Appurtenances		1	LS	\$60,000	100%	\$60,000	\$9,000	\$12,000	\$81,000
	12-inch Tank Drain Piping DIP CL 350		20	LF	\$200	100%	\$4,000	\$600	\$800	\$5,400
	12-inch Tank Drain Gate Valve		1	EA	\$3,400	100%	\$3,400	\$510	\$680	\$4,590
	Site Electrical - Lighting & Security		1	LS	\$100,000	100%	\$100,000	\$15,000	\$20,000	\$135,000
	Total Zone 4 Storage Tank									\$8,038,400

**FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate**

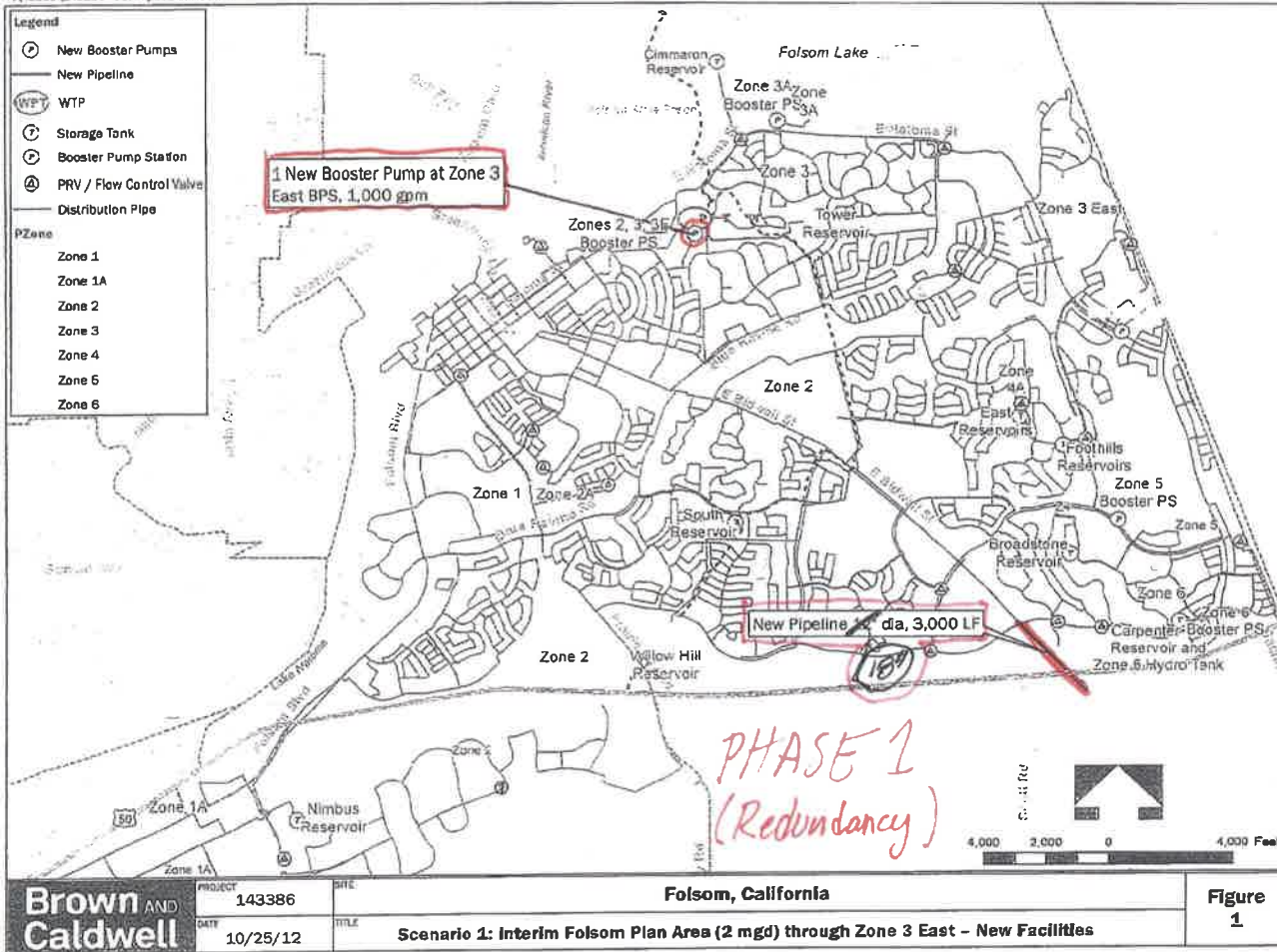
7919.000

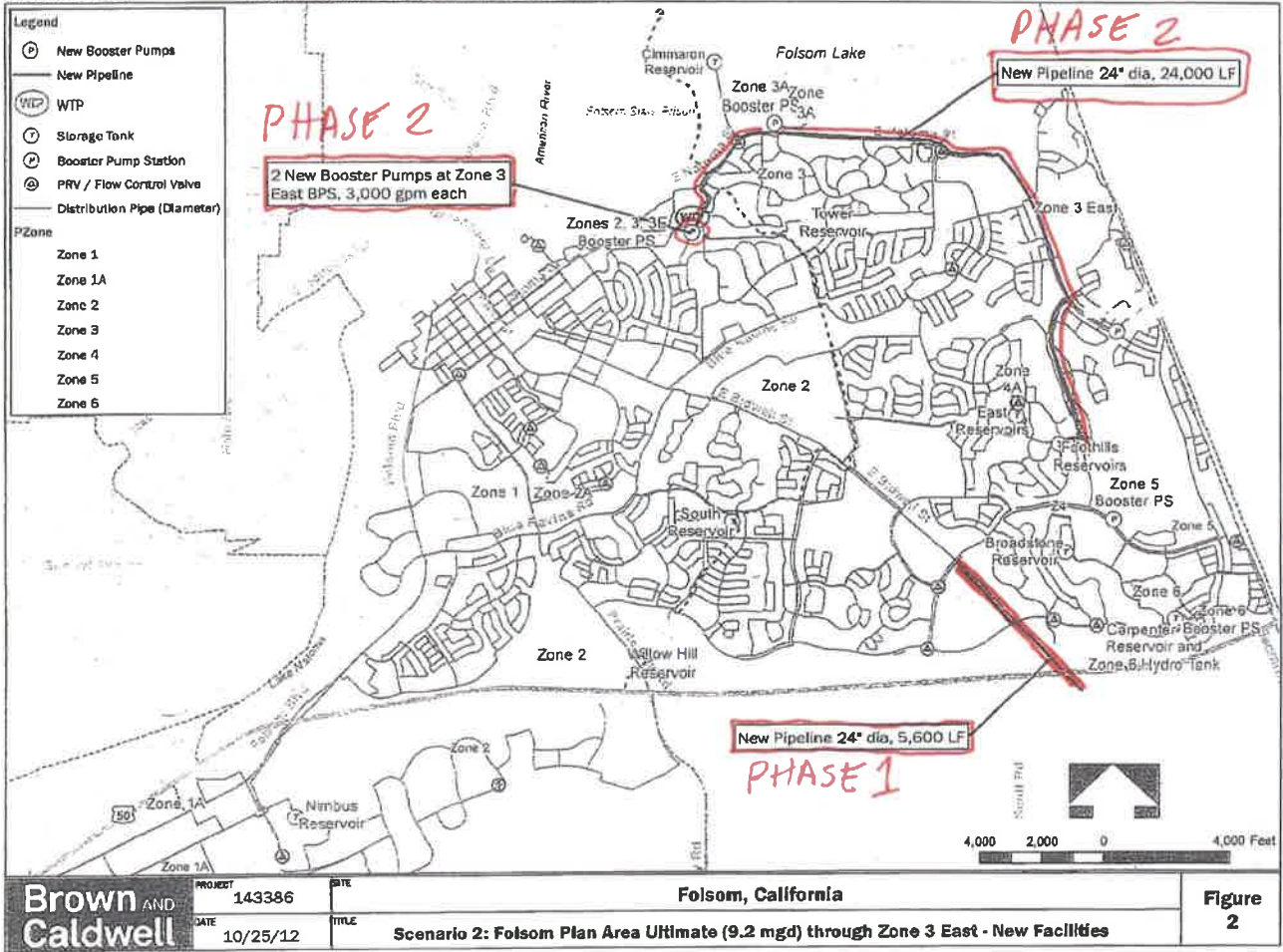
Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Potable Water System - Storage Tanks (Continued)											
Potable Water System - Pressure Reducing Station											
Pressure Reducing Station											
	Zone 3 to Zone 2		3	EA	3	\$106,000	100%	\$318,000	\$47,700	\$63,600	\$429,300
	Zone 4 to Zone 3		2	EA	4	\$106,000	100%	\$212,000	\$31,800	\$42,400	\$286,200
Potable Water System - Booster Pump Stations											
Zone 3 to Zone 4 Booster Pump Station - Phase 2											
	Piping, Valves, Fittings & Appurtenances	-	1	LS		\$53,000	100%	\$53,000	\$7,950	\$10,600	\$71,550
	Major Equipment	-	1	LS		\$160,000	100%	\$160,000	\$24,000	\$32,000	\$216,000
	Major Electrical	-	1	LS		\$110,000	100%	\$110,000	\$16,500	\$22,000	\$148,500
	Subtotal Zone 3 to Zone 4 Booster Pump Station - Phase 2										\$436,100
	Total Potable Water System										\$34,309,395

APPENDIX G:
Off-Site Potable Water
Construction Cost Estimates

Figure 1	Scenario 1: Interim Folsom Plan Area through Zone 3 East—New Facilities	G-1
Figure 2	Scenario 2: Interim Folsom Plan Area Ultimate through Zone 3 East—New Facilities	G-2
Table G-1	Estimated Off-Site Potable Water System Costs.....	G-3
Table G-2	Estimated Off-Site Potable Water and Sewer System Costs and Sources of Funding	G-4
	Backbone Infrastructure Construction Cost Estimate	G-5







Brown AND Caldwell

PROJECT 143386
DATE 10/25/12

SITE Folsom, California
TITLE Scenario 2: Folsom Plan Area Ultimate (9.2 mgd) through Zone 3 East - New Facilities

Figure 2

**Table G-1
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Estimated Off-Site Potable Water System Costs (2020\$)**

Off-Site Potable Water

Item	Percentage	Folsom Plan Area Cost			Total
		Existing [1]	Phase1	Phase 2	
Existing Facilities Shared Capacity					
WTP Phase III		\$2,450,000			\$2,450,000
WTP Phase IVA		\$1,110,000			\$1,110,000
WTP Phase IVB		\$6,887,000			\$6,887,000
Zone 3 East BPS		\$250,000			\$250,000
Natoma Raw Water Pipeline		\$1,543,000			\$1,543,000
Foothills Reservoirs		\$360,000			\$360,000
Zone 3 East Distribution System		\$500,000			\$500,000
Engineering, Admin, Construction Man., and Contingency		\$265,000			\$265,000
Subtotal Existing Facilities		\$13,365,000	\$0	\$0	\$13,365,000
Plus Escalation [2]		\$782,000			\$782,000
Subtotal Escalated Existing Facilities		\$14,147,000	\$0	\$0	\$14,147,000
New Facilities					
Off-Site Water Pipeline Phase 1 (See Subtotal)			-	\$0	\$0
Transmission Pipelines - 24" [2]			-	\$12,883,000	\$12,883,000
Zone 3 East Booster Pump Station (additional capacity)			-	\$6,420,000	\$6,420,000
Subtotal New Construction		\$0	-	\$19,303,000	\$19,303,000
Planning, Design, and Construction Management	15%	\$0	-	\$2,895,450	\$2,895,450
Contingency	20%	\$0	-	\$3,860,600	\$3,860,600
Subtotal New Facilities [3]		\$0	\$1,082,748	\$26,059,050	\$27,141,798
Systems Optimization Review (SOR)					
SOR Incurred		\$2,300,000			\$2,300,000
Willow Hill SOR		\$0	\$5,700,000	\$0	\$5,700,000
Subtotal SOR		\$2,300,000	\$5,700,000	\$0	\$8,000,000
Total		\$16,447,000	\$6,782,748	\$26,059,050	\$49,288,798

off water

Source: Brown & Caldwell; MacKay & Soms.

- [1] Phase 1 off-site water system costs based on actual construction costs for Phase 1 water systems.
- [2] Existing off-site water system facility hard costs based on the costs included in the SPIF Nexus Study FY 2017-2018 Update, adjusted by 2 years of SPIF Infrastructure Fee escalations, equal to 5.85%, rounded to the nearest \$1,000.
- [3] Reflects the Phase 1 SPIF Off-Site Potable Water Facility costs included in a SPIF Fee Reimbursement that have not been converted to SPIF credit. See Table B-11 for details.

DRAFT

**Table G-2
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Estimated Off-Site Potable Water and Sewer System Costs and Sources of Funding (2020\$)**

**Off-Site Potable Water &
Sewer System
Costs and Sources of Funding**

Item	Total Estimated Costs	Funding Sources					CFD 18 Water & Sewer Bond Proceeds & PAYGO [2]	Total
		Remaining SPIF Infrastructure Fee [1]	Water Treatment Plant Set- Aside Fee [1]	CFD 2013-1	CFD 17 Willow Hill	CFD 18		
Off-Site Potable Water Facilities								
Existing Facilities	\$14,147,000	\$1,493,493	\$6,871,374	\$0	\$0	\$5,782,133	\$14,147,000	
Systems Optimization Review (SOR)	\$8,000,000	\$0	\$0	\$2,300,000	\$5,700,000	\$0	\$8,000,000	
Off-Site Water Pipeline - Phase 1 [3]	\$1,082,748	\$1,082,748	\$0	\$0	\$0	\$0	\$1,082,748	
Off-Site Water Pipeline - Phase 2 [4] [5]	\$26,059,050	\$16,759,050	\$0	\$0	\$0	\$9,300,000	\$26,059,050	
Subtotal Off-Site Potable Water Facilities	\$49,288,798	\$19,335,291	\$6,871,374	\$2,300,000	\$5,700,000	\$15,082,133	\$49,288,798	
Sewer Facilities								
Sewer Pipelines [4]	\$10,877,405	\$10,877,405	\$0	\$0	\$0	\$0	\$10,877,405	
Alder Creek Lift Station - Phase 1 [3] [6]	\$5,182,509	\$498,504	\$0	\$0	\$0	\$4,684,005	\$5,182,509	
Alder Creek Lift Station - Phase 2	\$148,500	\$148,500	\$0	\$0	\$0	\$0	\$148,500	
Russell Ranch Lift Station	\$2,065,500	\$2,065,500	\$0	\$0	\$0	\$0	\$2,065,500	
Sewer Odor Control System	\$405,000	\$405,000	\$0	\$0	\$0	\$0	\$405,000	
Subtotal Sewer Facilities	\$18,678,914	\$13,994,909	\$0	\$0	\$0	\$4,684,005	\$18,678,914	
Total	\$67,967,712	\$33,330,200	\$6,871,374	\$2,300,000	\$5,700,000	\$19,766,138	\$67,967,712	

WS SU

Source: MacKay & Somp; CFD No. 2013-1 Hearing Report; CFD No. 17 Hearing Report; CFD No. 18 Hearing Report; EPS.

- [1] Off-Site Potable Water Existing Facilities: The SPIF Fee Program originally included \$7,655,000 of existing water system costs the City invested in recent years. The City requested that the City's past investments in the existing water system be allocated to the remaining FPASP land uses and charged as a Set-Aside Fee so the City can more efficiently recover its past water system investments. The amount shown in the SPIF reflects the proportion of SPIF credits that have been executed through July 15, 2020 through which the City will submit a SPIF Fee Program Reimbursement Agreement to be reimbursed by FPASP developers and builders through the SPIF Fee Program. The amount shown for the Water Treatment Plant Set-Aside Fee reflects the balance owed by the remaining undeveloped FPASP land uses. The amounts shown in these funding sources reflect FY 2020-2021 dollars. See Appendix K for details.
- [2] Funding consists of a combination of bond proceeds and PAYGO during the first 20 years of the CFD.
- [3] The Phase 1 costs shown reflect the Phase 1 SPIF Infrastructure Backbone Facility costs included in SPIF Infrastructure Fee Reimbursements that have not been converted to SPIF credit, plus SPIF True-Up amounts. See Table B-1 through Table B-14 for details.
- [4] Sewer Pipelines: Includes remaining Phase 1 costs and Phase 2 costs. See Table 14 for details.
- [5] The amount shown to be covered by CFD No. 18 is based on a conservative Phase 2 Water Facilities funding approach.
- [6] Alder Creek Lift Station - Phase 1: Total estimated costs includes a portion (\$4,684,005) that has been funded by CFD No. 18. These costs are not reflected in Table 14 or Table B-11 but are included in this table for purposes of showing CFD No. 18 use of funds.

Table G-3
FOLSOM PLAN AREA
SEWER & WATER INFRASTRUCTURE CFD

FPA Ultimate Folsom WTP Supply Scenarios

Improvement	Unit cost (for new facilities)	Units	Phase 1			Phase 2				
			FPA needs in new capacity	Units	Cost	FPA needs from existing capacity	% FPA share of existing capacity	FPA needs in new capacity	Units	Total Cost Share
New Facilities										
Transmission pipelines - 18 in diameter	20	\$/in-dia/LF	3000	LF	\$ 1,080,000					
Transmission pipelines - 24 in diameter	20	\$/in-dia/LF	5600	LF	\$ 2,688,000			24000	LF	\$ 11,520,000
Zone 3 East BPS (additional capacity)	350	\$/gpm	900	gpm	\$ 320,000			5900	gpm	\$ 2,065,000
Total new facilities construction					\$ 4,088,000					\$ 13,585,000
Planning (new Facilities)	6%				\$ 245,280					\$ 815,100
Design (new facilities)	10%				\$ 408,800					\$ 1,358,500
Construction Management (new facilities)	8%				\$ 327,040					\$ 1,086,800
Contingency (new facilities)	30%				\$ 1,226,400					\$ 4,075,500
Subtotal new facilities cost					\$ 2,207,520					\$ 7,335,900
Project total					\$ 6,295,520					\$ 20,920,900

DATE: December 7, 2012

TO: Mayor and City Council Members

FROM: City Manager's Office

SUBJECT: FOLSOM PLAN AREA SPECIFIC PLAN PROJECT – AN ADDENDUM TO THE ENVIRONMENTAL IMPACT REPORT FOR THE FOLSOM PLAN AREA SPECIFIC PLAN PROJECT FOR PURPOSES OF ANALYZING AN ALTERNATIVE WATER SUPPLY FOR THE PROJECT; AN AGREEMENT BETWEEN THE CITY OF FOLSOM AND FOLSOM PLAN AREA LANDOWNERS FOR A WATER SUPPLY AND ITS FINANCING AND AUTHORIZING THE FILING OF AN ACTION TO VALIDATE THE AGREEMENT

- a) Resolution No. 9096 - A Resolution Approving and Certifying an Addendum to the Environmental Impact Report for the Folsom Plan Area Specific Plan Project for Purposes of Analyzing an Alternative Water Supply for the Project; and
- b) Resolution No. 9097 - A Resolution Approving a Water Supply and Facilities Financing Plan and Agreement Between the City of Folsom and Folsom Plan Area Landowners for a Water Supply for the Folsom Plan Area, Authorizing the City Manager to Execute the Agreement, and Authorizing the Filing of an Action to Validate the Agreement.

BACKGROUND / ISSUE

The Water Conservation Act of 2009, or Senate Billx7-7 (SBx7-7, Steinberg), amended the Water Code, under Sections 10608.20 and 10608.24, to require the City to increase water use efficiency, and to identify a method for the State to achieve a 20% statewide reduction in urban per capita water use by December 31, 2020. The local water agencies and agricultural suppliers are required to make incremental progress towards this goal by reducing per capita water use by at least 10% on or before December 31, 2015. A major objective by the State, through SBx7-7, is for local water suppliers to increase water supply reliability and reduce dependence on the Delta. Other provisions of California law impose unfunded mandates that require the City to reduce water usage and undertake various water conservation measures. For example, Water Code Section 526 requires the City to implement metered rates for all retail water deliveries.

PROJECT COSTS - Itemization of Hard and Soft Costs to Implement SOWP

	DESCRIPTION	AMOUNT	Comments
SOR - Incurred	System Optimization Review Program (Incurred for "New Water Supply Development")		
	Engr., Admin., Constr. Mngmnt., etc.**	1,036,582	Consultant and City staff costs to develop new water supply and address federal/state requirements, analysis, etc.
	Leak Repairs	742,926	Includes \$150K for City soft cost (field crews & engineering)
	Water Supply Development *	207,792	Includes the costs for City/EWR Director
	Willow Hill Lining (Soft Costs)	310,825	This includes work by KJ/HS and City to analyze the pipeline.
	Willow Hill Lining (Hard Costs)	-	No improvements conducted to-date. See Below
	\$	2,298,125	
SOR - New	System Optimization Review Program (Future)		
	Engr., Admin., Constr. Mngmnt., etc. & Conting. (New)**	92,092	
	Leak Repairs		
	Water Supply Development *	467,532	Costs for the EWR Director and BKS
	Willow Hill Lining (Soft Costs)	590,000	
	Willow Hill Lining (Hard Costs)	4,550,000	Includes engr. Estimate less Grant (Portion for Willow Hill Pipeline)
		5,699,624	
TOTAL		7,997,748	

** Cost gathered to date - Costs for Director of EWR and BKS need to be added. Therefore, included a 20% markup as a placeholder
 * Costs does not yet include the costs for the EWR Director and BKS.

FPA Ultimate Folsom WTP Supply Scenarios

Improvement	Unit cost (for new facilities)	Units	Existing facility total costs d	Current firm capacity e	2018 existing system capacity needs c	FPA Ultimate (9.2 mgd) through Zone 3 East				
						FPA needs from existing capacity	% FPA share of existing capacity g	FPA needs in new capacity	Units	Total Cost Share
Existing Facilities Shared Capacity										
WTP-Phase III (Improvements to Entire WTP)			\$13,286,280	50	34	9.20	19%		mgd	\$2,460,000
WTP-Phase IV A (Improvements to Entire WTP)			\$6,012,724	50	34	9.20	19%		mgd	\$1,120,000
WTP-Phase IV B (30 mgd (6-train) expansion)			\$20,659,548	6		2.00	33%		trains	\$6,890,000
Zone 3 East BPS			\$3,852,171	8,000	7,500	500	6%		gpm	\$250,000
Natoma raw water pipeline			\$8,386,682	50		9.20	18%		mgd	\$1,548,000
Foothills Reservoirs (existing 5 MG capacity)			\$1,792,120	5	3.9	1.00	20%		MG	\$360,000
Zone 3 East distribution system (24-in dia pipeline from Zone 3 East BPS to Blue Ravine) J			\$2,808,000	12.7	10.7	-	18%		mgd	\$500,000
Subtotal existing facilities share cost										\$13,128,000
Engineering; Admin.; Construction Mngmnt; etc., and Contingency										\$264,993
Project total										\$13,392,993



Technical Memorandum

10540 White Rock Road, Suite 180
Rancho Cordova, CA 95670
Tel: 916-444-0123
Fax: 916-635-8805

Prepared for: Todd Eising
Project Title: FPA Interim Water Supply Planning Level Costs
Project No: 143386

Technical Memorandum [No. 1]

Subject: FPA Interim Water Supply Planning Level Costs
Date: November 2, 2012
To: Todd Eising
From: Melanie Holton



Prepared by: Melanie Holton
Melanie Holton, Project Manager

Reviewed by: Jeff Lawrence
Jeff Lawrence, QA/QC

1. Introduction

This white paper discusses the improvements required within the City of Folsom's (City) existing water system to wheel water through the existing system to the future Folsom Plan Area (FPA). The FPA is bordered by Highway 50 to the north, White Rock Road to the south, Prairie City Road to the west, and the Sacramento and El Dorado County boundary to the east. This white paper presents the planning level cost estimates for the existing system improvements to supply this area with potable water service through the City's existing water system.

The costs estimates in this white paper have been developed based on assumptions for future demands in both the City and FPA. The costs were developed using estimated unit costs for new facilities and estimated costs for construction/upgrades to the City's existing infrastructure. Therefore, these estimates are for planning purposes only and do not contain the level of detail recommended to establish firm agreements or cost share commitments for future water supply.

1.1 Description of Scenarios

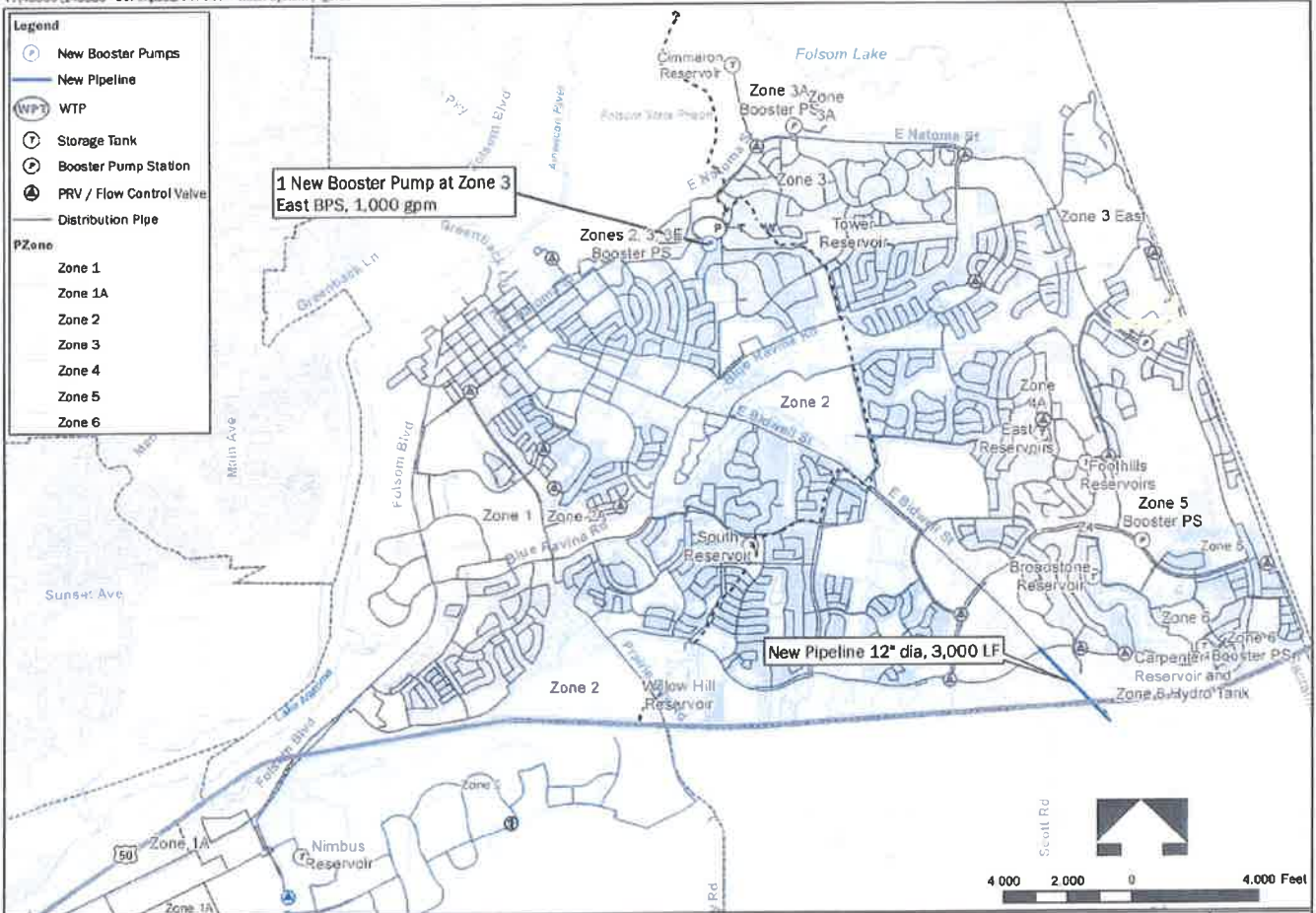
Two FPA supply scenarios were evaluated to determine the improvements and planning levels costs to provide supply to meet interim and ultimate FPA water demands. Each scenario was evaluated independently and no phasing from the interim to ultimate scenarios was considered. Both supply scenarios are based on providing supply from the City's existing water treatment plan (WTP) to the FPA, at a location just south of HWY 50 near Placerville Rd. The water supply in both scenarios is based on wheeling the supply from the City's WTP through the City's existing Zone 3 East system. Table 1 summarizes the demand conditions for each scenario. Zone 3 East 2018 maximum day demand is 5.7 mgd.

Scenario	Existing system demand					FPA demand			Total		
	Average day demand, mgd		Maximum day demand		Peak hour demand, gpm	Maximum day demand		Peak hour demand, gpm	Maximum day demand		Peak hour demand, gpm
	ac-ft/yr	mgd	mgd	gpm		mgd	gpm		mgd	gpm	
1. Interim FPA	20,610	18.1	34.4	23,889	43,334	2	1,389	2,514	36.4	25,278	45,848
2. Ultimate FPA	20,610	18.1	34.4	23,889	43,334	9.2	6,389	— ^a	43.6	30,278	— ^a

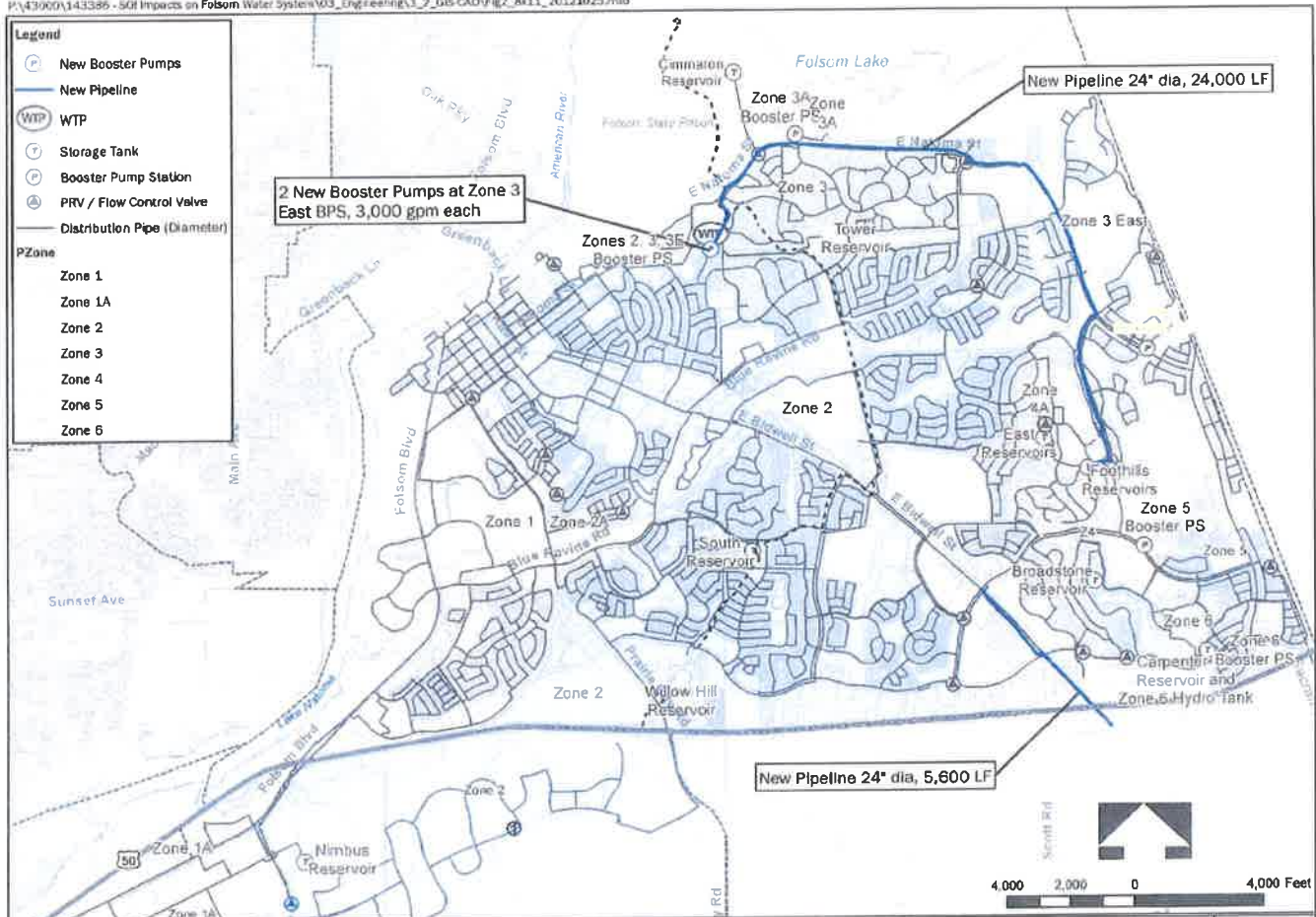
^a Ultimate FPA peak hour demands are not included in this analysis because storage facilities to meet peaking demands are assumed to be located within the FPA.

1.2 Recommended Improvements

The City's Innovize Infowater hydraulic model was used to analyze the improvements necessary to wheel FPA interim and ultimate demands through Zone 3. The recommended improvements for each scenario are summarized below. For each scenario a mix of sharing capacity in existing facilities and constructing new facilities is required. Figures 1 and 2 illustrate the new infrastructure improvements required to meet interim FPA and FPA ultimate water demands, respectively.



Brown AND Caldwell	PROJECT	143386	SITE	Folsom, California		Figure 1
	DATE	10/25/12	TITLE	Scenario 1: Interim Folsom Plan Area (2 mgd) through Zone 3 East - New Facilities		



Brown AND Caldwell	PROJECT	143386	SITE	Folsom, California		Figure 2
	DATE	10/25/12	TITLE	Scenario 2: Folsom Plan Area Ultimate (9.2 mgd) through Zone 3 East - New Facilities		

2. Planning Level Costs

Table 2 provides a summary of the total costs for each scenario. Attachment A provides the City's existing system costs for the existing WTP, Zone 3 East booster pump station, Natoma pipeline, and Foothills Reservoir. These costs are used as the basis for the FPA cost share of the shared capacity project components.

The existing system cost share is based on the actual cost of existing City facilities at the time they were designed and constructed. The existing system cost share costs have not been increased to present worth values. The cost share percentage was calculated based on the percent utilization of each facility as a ratio of the demand for the City and FPA.

The new facility costs are based on planning level unit costs for construction and include line items for planning, design, construction management, and contingency. The new facility costs in this white paper are based on estimated unit costs from similar historical projects.

Table 2. Interim FPA and FPA Ultimate Folsom WTP Supply Scenarios

Improvement	Unit cost (for new facilities)	Units	Existing facility total costs ^d	Current firm capacity ^e	2018 existing system capacity needs ^f	Units	Scenario 1. ^a Interim FPA (2 mgd) through Zone 3 East				Scenario 2. ^b FPA Ultimate (9.2 mgd) through Zone 3 East					
							FPA needs from existing capacity ^g	% FPA share of existing capacity ^h	FPA needs in new capacity ⁱ	Units	Cost	FPA needs from existing capacity ^g	% FPA share of existing capacity ^h	FPA needs in new capacity ⁱ	Units	Total Cost Share
Existing Facilities Shared Capacity																
WTP-Phase III (improvements to entire WTP) ^a			\$13,286,280	50	34 mgd		2.0	4%		mgd	\$ 540,000	9.2	18%		mgd	\$ 2,450,000
WTP-Phase IV A (improvements to entire WTP) ^b			\$ 6,012,724	50	34 mgd		2.0	4%		mgd	\$ 250,000	9.2	18%		mgd	\$ 1,110,000
WTP-Phase IV B (30 mgd (9-train) expansion) ^c			\$ 20,659,548	6	trains		0.4	7%		trains	\$ 1,380,000	2	33%		trains	\$ 6,886,516
Zone 3 East BPS ^f			\$ 3,852,171	8,000	7,500 gpm		500	6%		gpm	\$ 250,000	500	6%		gpm	\$ 250,000
Natomas raw water pipeline			\$ 8,386,682	50	mgd		2.0	4%		mgd	\$ 340,000	9.2	18%		mgd	\$ 1,543,150
Foothills Reservoirs (existing 5 MG capacity)			\$ 1,792,120	5	3.9 MG		1.0	20%		MG	\$ 360,000	1.0	20%		MG	\$ 360,000
Zone 3 East distribution system (24 in dia pipeline from Zone 3 East BPS to Blue Ravine) ^j			\$ 2,808,000	12.7	10.7 mgd		2.0	16%		mgd	\$ 500,000		0%		mgd	\$ -
Subtotal existing facilities share cost											\$ 3,620,000					\$ 12,599,666
New Facilities																
Transmission pipelines - 32-in diameter	20	5/in-dia/LF								3,000 LF	\$ 770,000					
Transmission pipelines - 24-in diameter	20	5/in-dia/LF												29,600 LF		\$ 14,208,000
Zone 3 East BPS (additional capacity)	350	5/gpm								900 gpm	\$ 320,000			5,900 gpm		\$ 2,065,000
Total new facilities construction											\$ 1,040,000					\$ 16,273,000
Planning (new facilities)	6%										\$ 62,400					\$ 980,000
Design (new facilities)	10%										\$ 104,000					\$ 1,630,000
Construction management (new facilities)	8%										\$ 83,200					\$ 1,310,000
Contingency (new facilities)	30%										\$ 390,000					\$ 6,060,000
Subtotal new facilities cost											\$ 1,679,600					\$ 26,760,000
Project total											\$ 5,300,000					\$ 38,900,000

Notes:
^a Interim FPA through Zone 3 is based on serving 2 mgd through Zone 3 East to Interim FPA development near Placerville Rd, south of HWY 50. This scenario is exclusive of Ultimate FPA, and no phasing is included.
^b Ultimate FPA through Zone 3 East is based on serving 9.2 mgd through Zone 3 to the FPA. This scenario is exclusive of Interim FPA, and no phasing is included.
^c All scenarios are based on 80% of the 2018 demand for the existing service area and Ultimate Easton demands.
^d Existing facility total costs are based on historical actual costs, provided in Attachment A.
^e Zone 3 East BPS total capacity is 11,000 gpm. With the largest pump out of service the firm capacity is 8,000 gpm.
^f Total FPA booster pumping needs for Interim FPA is 2 mgd (1,400 gpm) and for FPA Ultimate is 9.2 mgd (6,400 gpm).
^g Percent share calculated assuming FPA will utilize available capacity in the City's system before building new facilities.
^h WTP-Phase IV A includes cost for improvements to the entire WTP, 50 mgd capacity.
ⁱ WTP-Phase IV B includes cost for the expansion improvements for the new and existing WTP from 20 mgd to 50 mgd. These costs are based on the addition of 6 treatment trains, each train is 5 mgd.
^j Zone 3 East BPS and distribution 2018 capacity needs are based on the Zone 3 East 2018 maximum day demand of 5.7 mgd (4,000 gpm) plus maximum day demand for Zones 4, 5, and 6 which are served through Zone 3 East. Zones 4, 5, and 6 2018 maximum day demand is 5 mgd (3,500 gpm).



Technical Memorandum

Attachment A: Existing System Costs

Project	Company	Cost	Supporting Documentation
WTP Phase 3 Expansion			
Design (Original Contract and Amendment No. 1)	CDM (1997)	\$1,531,000.00	Original File: 174-21 96-052 barcode 12822 Box - CCL-133. Amendment No. 1 file 174-21 97-040 barcode 13034 - CCL-137
Design Amendment No. 2	CDM	\$95,000.00	Res. No. 5631
Design Amendment No. 3	CDM	\$126,000.00	Res. No. 5887
Construction Management & Inspection	CDM	\$1,131,780.00	\$920,000 (Original Contract) \$211,780 (Amendment No. 1) Res. No. 5733 (1998) & Res No. 6223 (2000)
Construction (Original Contract)	C.W. Roen	\$10,224,500.00	Res. No. 5752
Construction (Change Order)	C.W. Roen	\$178,000.00	Res. No. 5884
WTP Phase 3 Expansion Total Project Cost		\$13,286,280	

WTP Phase IV A			
Design & Construction Administration (Phase IV A, IV B and 335 day delay) Original Contact, Amendment No. 1 and Amendment No. 2 I split it 50%-50% between IV A and IV B	Malcolm Pirnie	\$1,829,948	(\$1,543,000) Original (\$1,801,896) Amendment No. 1 (\$315,000) Amendment No. 2 Resolution No. 6941 (2002), 7126 (2003) & 7625 (2005)
Construction Management	ECO:LOGIC	\$433,276	Res. No. 7104
Construction	Frontier	\$3,487,000	\$4,437,000 less \$950,000 work removed from Phase 4A and added to Phase 4B Res. No. 7102 (2003) & Res. No. 7817 (2006)
WTP SCADA Improvements Phase IV A split 50% - %50% between IV A and IV B	Tesco	\$262,500	Res No. 7514 (2005)
WTP Phase IV A Total Project Cost		\$6,012,724	

WTP Phase IV B			
Design & Construction Administration = Malcolm Pirnie (Phase IV A, IV B and 335 day delay) Original Contact, Amendment No. 1 and Amendment No. 2. I split it 50%-50% between IV A and IV B	Malcolm Pirnie	\$1,829,948	(\$1,543,000) Original (\$1,801,896) Amendment No. 1 (\$315,000) Amendment No. 2 Resolution No. 6941 (2002), 7126 (2003) & 7625 (2005)
CM (additional 335 days WTP IV A and transfer to phase IV B)	BCB	\$670,000	Res No. 7603 (2005)
Construction Management for Phase IV B	BCB	\$2,200,000	Res No. 7314 (2003)
Construction (Original Amount)	PMC	\$14,747,100	Res No. 7341 (2004)
Construction Additional Work (\$950,000)	PMC	\$950,000	Res No. 7817 (2006)
WTP SCADA Improvements Phase IV A split 50% - %50% between IV A and IV B	Tesco	\$262,500	Res No. 7514 (2005)
WTP Phase IV B Total Project Cost		\$20,659,548	

Zone 3 Foothills Pump Station Improvement Project (Phase I)			
Design/CM/CA (35% Constr)	Psomas	\$525,000	Developer
Construction	?	\$1,500,000	Developer
Zone 3 Foothills Phase 1 Total Project Cost		\$2,025,000	

Zone 3 Foothills P.S. Upgrades - Phase II			
Design (Foothills %=35%)	Carollo Engineers	\$136,500	Res No. 7181
Construction Administration	Carollo Engineers	\$61,250.00	Res No. 7553 (2005)
Construction Management (Original Contract)	BCB	\$169,750.00	Res. No. 7554 (2005)
Construction Management (Amendment No. 1)	BCB	\$129,500	Res. No. 7976 (2007)
Construction (Actual Amount with Additional Work)	PMC	\$1,330,171	(1,298,968 + 31,202 CCO) Resolution No. 7532 (2005) Approve Administratively (< 10%)
Zone 3 Foothills Phase II Total Project Cost		\$1,827,171	

Zone 3 Foothills Tank (1 tank)			
Opinion of Probable Construction Cost	Psomas	\$896,060	Year: 2002
Zone 3 Foothills Tank (1 Tank)		\$896,060	

Natoma Phase A Pipeline			
Design & Construction Administration	Robert W. Miles	\$600,000.00	Res. No. 5084
Construction (Original Amount)	Mountain Cascade	\$4,280,682.00	\$4,280,682 Archives - Natoma Pipeline Phase A - Bid Sheet
Construction (With Change Orders)	Mountain Cascade	\$179,646.37	Archives - Natoma Pipeline Phase A Change Order No. 7
Construction Management (Natoma Pipeline Phase A - including Operational Engineering and Control System Modifications) - Task 2 (Operation Manual, Start-up assistance, SCADA Engineering Services) - includes O &M manuals for Phase A Raw Water pipeline, Phase 3 WTP Expansion project, east Area Pump Stations and East Area Reservoir, also includes start up assistance for Phase A of the Natoma Raw Waterline and SCADA Engineering Services for the Natoma Raw Water Pipeline Improvements	CDM	\$198,270.00	Agreement from Archives file - Natoma Pipeline Phase B - Task No. 2 (1999) or Task 1 of Res. No. 6001

Natoma Phase B Pipeline			
Design	CDM	\$206,705	Resolution No. 6001 (1999) - Task 2, In the Contract it is listed as Task 3
Construction Management & Inspection Services	CDM	\$81,175	Resolution No. 6001 (1999) - Task 3, listed as Task 4 in the Contract
Operations Procedures & Support - CDM - assess Existing Natoma Raw Water Pipeline, Coordinate, repairs, rehabilitation and modifications to the existing Raw Water Systems, Coordination of Raw Water Control System Modification Criteria, and Interim Operations fact Sheets until Phase 3 Water Treatment Plant, Natoma Raw Water pipeline, East Area/Zone 3 Pump Station and East Area Reservoir Projects are complete	CDM	\$91,604	Resolution No. 6001 (1999) - Task 1, listed as Task 1 in the Scope of Work
Construction	Vadnais Construction	\$2,748,600	Resolution No. 6298

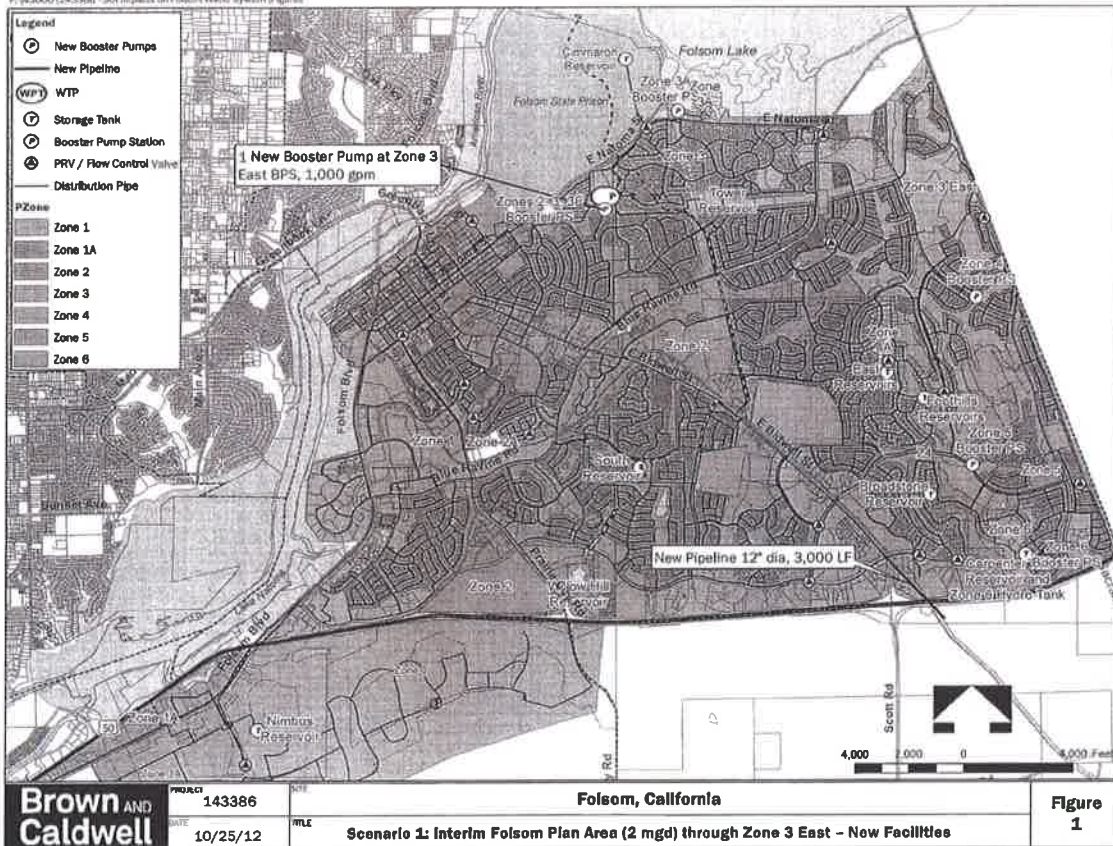
Natoma Raw Water Line Phase A & Phase B

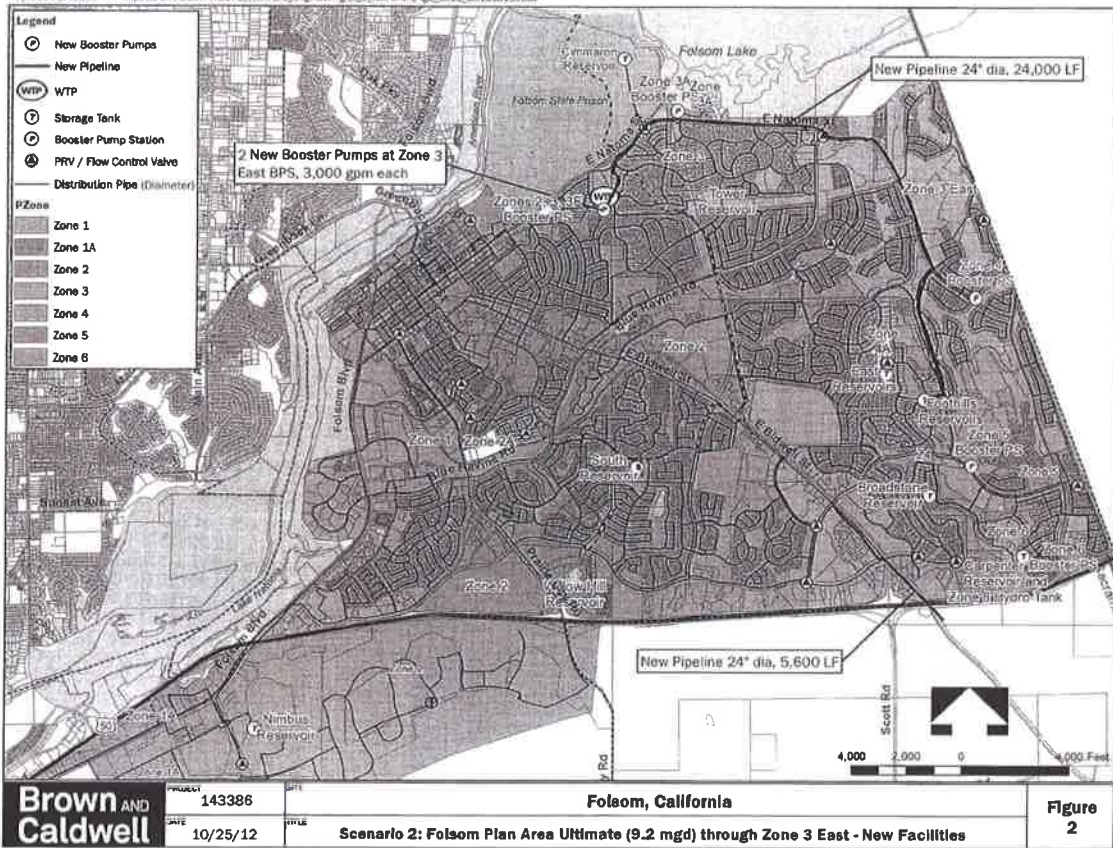
Natoma Raw Water Pipeline Phase A, Phase B	\$8,386,682
---	--------------------

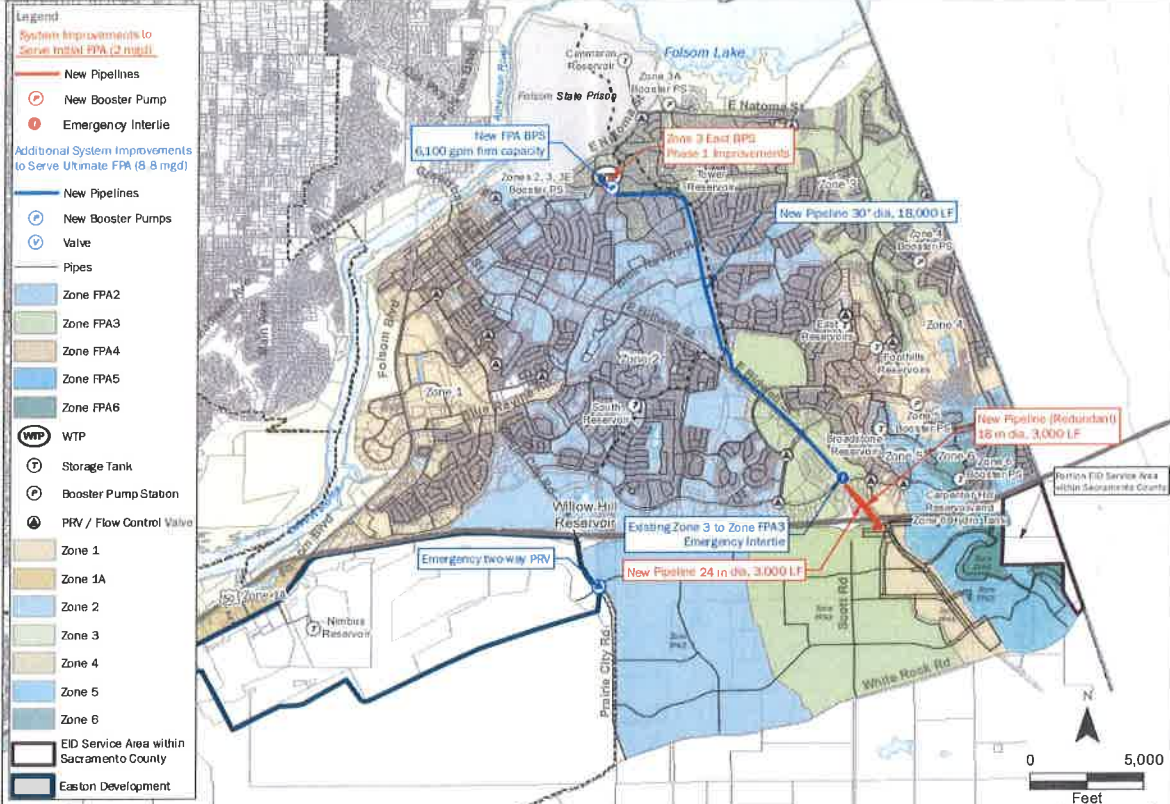
Zone 3,4, and 5 - 24" Pipeline			
Pipeline from WTP Zone 3 BPS to Foothill Res. (23,400 lf)	Discounted New Pipeline Cost @ \$10/in-dia/ft	\$2,808,000	New cost discounted by 50%
Zone 3,4, and 5 - 24" Pipeline		\$2,808,000	

Total All Facilities	\$55,901,465
-----------------------------	---------------------

P:\43000\433386_SCI Impacts on Folsom Water System\Figures







	PROJECT	145958	REV		City of Folsom, California Existing City Improvements to Serve the Folsom Plan	Figure 3-2
	DATE	9/18/14	TITLE			

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

Item	Construction Cost	Soft Cost (15%)	Contingency (20%)	Total
Phase 2 Offsite Potable Water System Summary				
Phase 2 Offsite Potable Water Pipeline	\$12,883,000	\$1,932,450	\$2,576,600	\$17,392,050
Phase 2 Offsite Potable Water Booster Pump Station	\$6,420,000	\$963,000	\$1,284,000	\$8,667,000
TOTAL	\$19,303,000	\$2,895,450	\$3,860,600	\$26,059,050

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Qty.	Unit	Zone	Unit Cost	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Phase 2 Offsite Potable Water System									
Phase 2 Offsite Potable Water Pipeline (City of Folsom Water Treatment Plant to Iron Point Road)									
OFF W2-P	Mobilization/Demobilization	1	LS	3	\$117,000	\$117,000	\$17,550	\$23,400	\$157,950
OFF W2-P	Erosion Control (Construction SWPPP)	1	LS	3	\$150,000	\$150,000	\$22,500	\$30,000	\$202,500
OFF W2-P	Traffic Control	1	LS	3	\$150,000	\$150,000	\$22,500	\$30,000	\$202,500
OFF W2-P	Sheering, Shoring & Bracing	1	LS	3	\$150,000	\$150,000	\$22,500	\$30,000	\$202,500
OFF W2-P	Tree Protection/Tree Removal	1	LS	3	\$100,000	\$100,000	\$15,000	\$20,000	\$135,000
OFF W2-P	Rock Removal	950	CY	3	\$180	\$171,000	\$25,650	\$34,200	\$230,850
OFF W2-P	Signal Detector Loop - Type A	14	EA	3	\$2,000	\$28,000	\$4,200	\$5,600	\$37,800
OFF W2-P	Pavement Striping and Markings	1	LS	3	\$100,000	\$100,000	\$15,000	\$20,000	\$135,000
OFF W2-P	Open Cut Install 24-inch DIP CL 350 - Paved Street (Restrained)	6,970	LF	3	\$600	\$4,182,000	\$627,300	\$836,400	\$5,645,700
OFF W2-P	Open Cut Install 24-inch DIP CL 350 - Unpaved Street (Restrained)	8,220	LF	3	\$500	\$4,110,000	\$616,500	\$822,000	\$5,548,500
OFF W2-P	Open Cut Install 24-inch DIP CL 350 - Paved Trail (Restrained)	3,640	LF	3	\$550	\$2,002,000	\$300,300	\$400,400	\$2,702,700
OFF W2-P	Aerial Pipe Installation at Creek Crossings	2	EA	3	\$200,000	\$400,000	\$60,000	\$80,000.00	\$540,000
OFF W2-P	2-inch Combination Air Release/Vacuum Relief Valve	16	EA	3	\$10,000	\$160,000	\$24,000	\$32,000	\$216,000
OFF W2-P	6-inch Blow-Off Assemblies	15	EA	3	\$10,000	\$150,000	\$22,500	\$30,000.00	\$202,500
OFF W2-P	24-inch Butterfly Valves	29	EA	3	\$22,000	\$638,000	\$95,700	\$127,600	\$861,300
OFF W2-P	Pipeline Connections	3	EA	3	\$25,000	\$75,000	\$11,250	\$15,000	\$101,250
OFF W2-P	Cathodic Protection	1	LS	3	\$200,000	\$200,000	\$30,000	\$40,000	\$270,000
Subtotal Phase 2 Offsite Potable Water Pipeline									\$17,392,050
Phase 2 Offsite Potable Water Booster Pump Station (City of Folsom Water Treatment Plant)									
OFF W2-BPS	Site Work	1	LS	3	\$842,000	\$842,000	\$126,300	\$168,400	\$1,136,700
OFF W2-BPS	Yard Piping & Structures	1	LS	3	\$406,000	\$406,000	\$60,900	\$81,200	\$548,100
OFF W2-BPS	Building Structure	1	LS	3	\$566,000	\$566,000	\$84,900	\$113,200	\$764,100
OFF W2-BPS	Mechanical	1	LS	3	\$1,809,000	\$1,809,000	\$271,350	\$361,800	\$2,442,150
OFF W2-BPS	Electrical	1	LS	3	\$2,797,000	\$2,797,000	\$419,550	\$559,400	\$3,775,950
Subtotal Phase 2 Offsite Potable Water Booster Pump Station									\$8,667,000
Total Phase 2 Offsite Potable Water System									\$26,059,050

APPENDIX H:
Recycled Water
Construction Cost Estimates

Backbone Infrastructure Non-Potable Water System Exhibit.....H-1
Backbone Infrastructure Construction Cost Estimates.....H-2



FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

Item	Construction Cost	Soft Cost (15%)	Contingency (20%)	Total
Non-Potable Water System Summary				
Non-Potable Water Pipelines				
Alder Creek Parkway	\$2,417,000	\$362,550	\$483,400	\$3,262,950
East Bidwell Street	\$0	\$0	\$0	\$0
Westwood Drive	\$127,800	\$19,170	\$25,560	\$172,530
Mangini Parkway	\$1,399,200	\$209,880	\$279,840	\$1,888,920
Empire Ranch Road	\$589,100	\$88,365	\$117,820	\$795,285
Rowberry Drive	\$192,500	\$28,875	\$38,500	\$259,875
Savannah Parkway	\$227,400	\$34,110	\$45,480	\$306,990
Rustic Ridge Drive	\$52,800	\$7,920	\$10,560	\$71,280
Prairie City Road	\$601,700	\$90,255	\$120,340	\$812,295
Placerville Road Utility Corridor	\$215,600	\$32,340	\$43,120	\$291,060
Subtotal Non-Potable Water Pipelines	\$5,823,100	\$873,465	\$1,164,620	\$7,861,185
Non-Potable Water Pressure Reducing Stations				
Pressure Reducing Stations	\$636,000	\$95,400	\$127,200	\$858,600
Non-Potable Water Storage Tank				
Zone 5 Non-Potable Water Storage Tank	\$3,564,600	\$534,690	\$712,920	\$4,812,210
Total Non-Potable Water System	\$10,023,700	\$1,503,555	\$2,004,740	\$13,531,995

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Non-Potable Water System											
Non-Potable Water Pipelines											
Alder Creek Parkway											
ACP 1-NP	Alder Creek Parkway (Sta 379+00 to Sta 389+00)	16	1,000	LF	2	\$130	100%	\$130,000	\$19,500	\$26,000	\$175,500
ACP 2-NP	Alder Creek Parkway (Sta 389+00 to Sta 400+30)	16	1,130	LF	2	\$130	100%	\$146,900	\$22,035	\$29,380	\$198,315
ACP 3-NP	Alder Creek Parkway (Sta 400+30 to Sta 418+40)	16	1,810	LF	2	\$130	100%	\$235,300	\$35,295	\$47,060	\$317,655
ACP 4-NP	Alder Creek Parkway (Sta 418+40 to Sta 442+00)	16	2,360	LF	2	\$130	100%	\$306,800	\$46,020	\$61,360	\$414,180
ACP 5-NP	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	12	2,480	LF	3	\$110	100%	\$272,800	\$40,920	\$54,560	\$368,280
ACP 5-NP	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	16	2,480	LF	5	\$130	100%	\$322,400	\$48,360	\$64,480	\$435,240
ACP 6-NP	Alder Creek Parkway (Sta 466+70 to Sta 493+50)	12	2,690	LF	3	\$110	100%	\$295,900	\$44,385	\$59,180	\$399,465
ACP 6-NP	Alder Creek Parkway (Sta 466+70 to Sta 493+50)	16	2,690	LF	5	\$130	100%	\$349,700	\$52,455	\$69,940	\$472,095
ACP 7-NP	Alder Creek Parkway (Sta 493+50 to Sta 506+90)	8	1,340	LF	4	\$90	100%	\$120,600	\$18,090	\$24,120	\$162,810
ACP 7-NP	Alder Creek Parkway (Sta 493+50 to Sta 506+90)	16	1,340	LF	5	\$130	100%	\$174,200	\$26,130	\$34,840	\$235,170
ACP 8-NP	Alder Creek Parkway (Sta 506+90 to Sta 524+10)	16	1,280	LF	5	\$130	0%	\$0	\$0	\$0	\$0
ACP 11-NP	Alder Creek Parkway (Sta 563+70 to Sta 568+20)	16	260	LF	5	\$130	100%	\$33,800	\$5,070	\$6,760	\$45,630
ACP 11-NP	Alder Creek Parkway (Sta 563+70 to Sta 568+20)	12	260	LF	6	\$110	100%	\$28,600	\$4,290	\$5,720	\$38,610
East Bidwell Street											
EBS 2B-NP	East Bidwell Street (Sta 136+30 to 144+10)	12	780	LF	3	\$110	0%	\$0	\$0	\$0	\$0
EBS 3-NP	East Bidwell Street (Sta 144+10 to 157+90)	12	1,380	LF	3	\$110	0%	\$0	\$0	\$0	\$0
Westwood Drive											
WWD 1-NP	Westwood Drive (Sta 100+00 to Sta 113+70)	8	1,380	LF	4	\$90	0%	\$0	\$0	\$0	\$0
WWD 2-NP	Westwood Drive (Sta 113+70 to Sta 121+50)	8	780	LF	4	\$90	100%	\$70,200	\$10,530	\$14,040	\$94,770
WWD 3-NP	Westwood Drive (Sta 121+50 to Sta 128+40)	8	640	LF	4	\$90	100%	\$57,600	\$8,640	\$11,520	\$77,760

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Non-Potable Water System (Continued)											
Non-Potable Water Pipelines (Continued)											
Mangini Parkway											
MP 1-NP	Mangini Parkway (Sta 100+60 to Sta 150+20)	12	4,970	LF	2	\$110	100%	\$546,700	\$82,005	\$109,340	\$738,045
MP 2-NP	Mangini Parkway (Sta 150+20 to Sta 169+50)	12	1,930	LF	2	\$110	100%	\$212,300	\$31,845	\$42,460	\$286,605
MP 3-NP	Mangini Parkway (Sta 169+50 to Sta 191+80)	12	690	LF	2	\$110	100%	\$75,900	\$11,385	\$15,180	\$102,465
MP 3-NP	Mangini Parkway (Sta 169+50 to Sta 191+80)	12	1,560	LF	3	\$110	100%	\$171,600	\$25,740	\$34,320	\$231,660
MP 4-NP	Mangini Parkway (Sta 191+80 to Sta 216+10)	12	2,440	LF	3	\$110	100%	\$268,400	\$40,260	\$53,680	\$362,340
MP 7-NP	Mangini Parkway (Sta 258+50 to Sta 269+80)	12	1,130	LF	4	\$110	100%	\$124,300	\$18,645	\$24,860	\$167,805
MP 8-NP	Mangini Parkway (Sta 269+80 to Sta 301+30)	12	920	LF	5	\$110	0%	\$0	\$0	\$0	\$0
MP 8-NP	Mangini Parkway (Sta 269+80 to Sta 301+30)	12	1,160	LF	6	\$110	0%	\$0	\$0	\$0	\$0
Empire Ranch Road											
ERR 1-NP	Empire Ranch Road (Sta 105+70 to Sta 129+30)	12	1,540	LF	6	\$110	100%	\$169,400	\$25,410	\$33,880	\$228,690
ERR 2-NP	Empire Ranch Road (Sta 129+30 to Sta 145+80)	12	1,110	LF	6	\$110	100%	\$122,100	\$18,315	\$24,420	\$164,835
ERR 4-NP	Empire Ranch Road (Sta 156+70 to Sta 165+00)	12	840	LF	6	\$110	100%	\$92,400	\$13,860	\$18,480	\$124,740
ERR 4-NP	Empire Ranch Road (Sta 156+70 to Sta 165+00)	16	840	LF	5	\$130	100%	\$109,200	\$16,380	\$21,840	\$147,420
ERR 5-NP	Empire Ranch Road (Sta 165+00 to Sta 170+60)	12	400	LF	6	\$110	100%	\$44,000	\$6,600	\$8,800	\$59,400
ERR 5-NP	Empire Ranch Road (Sta 165+00 to Sta 170+60)	16	400	LF	5	\$130	100%	\$52,000	\$7,800	\$10,400	\$70,200
Rowberry Drive											
ROW 1-NP	Rowberry Drive (Sta 100+00 to Sta 107+50)	16	550	LF	2	\$130	100%	\$71,500	\$10,725	\$14,300	\$96,525
ROW 1-NP	Rowberry Drive (Sta 100+00 to Sta 107+50)	8	550	LF	3	\$90	100%	\$49,500	\$7,425	\$9,900	\$66,825
ROW 1-NP	Rowberry Drive (Sta 100+00 to Sta 107+50)	16	550	LF	3	\$130	100%	\$71,500	\$10,725	\$14,300	\$96,525

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Non-Potable Water System (Continued)											
Non-Potable Water Pipelines (Continued)											
Savannah Parkway											
SP 2-NP	Savannah Parkway (Sta 154+60 to Sta 170+20)	12	1,110	LF	5	\$110	100%	\$122,100	\$18,315	\$24,420	\$164,835
SP 3-NP	Savannah Parkway (Sta 125+00 to Sta 154+60)	8	1,170	LF	4	\$90	100%	\$105,300	\$15,795	\$21,060	\$142,155
Rustic Ridge Drive											
RR 1-NP	Rustic Ridge Drive (Sta 10+00 to Sta 14+75)	12	480	LF	6	\$110	100%	\$52,800	\$7,920	\$10,560	\$71,280
Prairie City Road											
PCR 2-NP	Placerville Road (Sta 97+90 to Sta 113+60)	12	2,170	LF	2	\$110	100%	\$238,700	\$35,805	\$47,740	\$322,245
PCR 3-NP	Placerville Road (Sta 77+90 to Sta 97+90)	12	3,300	LF	2	\$110	100%	\$363,000	\$54,450	\$72,600	\$490,050
Placerville Road Utility Corridor											
PRC 3-NP	Placerville Road (Sta 77+90 to Sta 97+90)	12	1,960	LF	5	\$110	100%	\$215,600	\$32,340	\$43,120	<u>\$291,060</u>
Subtotal Non-Potable Water Pipelines											<u>\$7,861,185</u>
Pressure Reducing Stations											
	Zone 3 to Zone 2	-	2	EA	3	\$106,000	100%	\$212,000	\$31,800	\$42,400	\$286,200
	Zone 5 to Zone 3	-	2	EA	5	\$106,000	100%	\$212,000	\$31,800	\$42,400	\$286,200
	Zone 5 to Zone 4	-	2	EA	5	\$106,000	100%	\$212,000	\$31,800	\$42,400	<u>\$286,200</u>
Subtotal Pressure Reducing Stations											<u>\$858,600</u>

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit Zone	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Non-Potable Water System (Continued)										
Non-Potable Water Storage Tank										
Zone 5 Storage Tank										
<u>Tank Improvements</u>										
	Site Mobilization/Demobilization		1	LS	\$40,000	100%	\$40,000	\$6,000	\$8,000	\$54,000
	Site Paving (3" AC / 10.5" AB)		8,000	SF	\$4.10	100%	\$32,800	\$4,920	\$6,560	\$44,280
	18-inch RCP CL III Tank Overflow Drain Pipe		20	LF	\$140	100%	\$2,800	\$420	\$560	\$3,780
	48-inch Strom Dain Manhole		1	EA	\$5,800	100%	\$5,800	\$870	\$1,160	\$7,830
	12-inch PVC C-900 PR 200 Water Pipe		100	LF	\$120	100%	\$12,000	\$1,800	\$2,400	\$16,200
	16-inch PVC C-905 PR 200 Water Pipe		240	LF	\$130	100%	\$31,200	\$4,680	\$6,240	\$42,120
	16-inch Check Valve		1	EA	\$20,000	100%	\$20,000	\$3,000	\$4,000	\$27,000
	12-inch Meter w/Bypass, Valving and Appurtenances		1	LS	\$60,000	100%	\$60,000	\$9,000	\$12,000	\$81,000
	4.0 MG Prestressed Concrete Tank		1	LS	\$3,200,000	100%	\$3,200,000	\$480,000	\$640,000	\$4,320,000
	Tank Appurtenances (mixing, sampling, hatches & instrumentation)		1	LS	\$150,000			\$22,500	\$30,000	\$202,500
	Erosion Control (Construction SWPPP)		1	LS	\$10,000.00	100%	\$150,000	\$1,500	\$2,000	\$13,500
	Subtotal Zone 5 Non-Potable Water Storage Tank									\$4,812,210
	Total Non-Potable Water System									\$22,238,280

APPENDIX I:
Sanitary Sewer
Construction Cost Estimates

Backbone Infrastructure Sanitary Sewer Exhibit I-1
Backbone Infrastructure Construction Cost Estimates..... I-2



FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

Item	Construction Cost	Soft Cost (15%)	Contingency (20%)	Total
Sanitary Sewer Pipelines Summary				
Alder Creek Parkway	\$1,673,650	\$251,048	\$334,730	\$2,259,428
Oak Avenue Parkway	\$142,400	\$21,360	\$28,480	\$192,240
Westwood Drive	\$251,600	\$37,740	\$50,320	\$339,660
Empire Ranch Road	\$947,600	\$142,140	\$189,520	\$1,279,260
Rowberry Drive	\$115,500	\$17,325	\$23,100	\$155,925
Mangini Parkway	\$589,700	\$88,455	\$117,940	\$796,095
Savannah parkway	\$531,200	\$79,680	\$106,240	\$717,120
Prairie City Road	\$1,263,400	\$189,510	\$252,680	\$1,705,590
Subtotal Sanitary Sewer Pipelines	\$5,515,050	\$827,258	\$1,103,010	\$7,445,318
Sanitary Sewer Pump Stations & Force Mains				
Alder Creek Sewer Lift Station - Phase 2	\$110,000	\$16,500	\$22,000	\$148,500
Russell Ranch Sewer Lift Station	\$1,530,000	\$229,500	\$306,000	\$2,065,500
Sewer Odor Control System	\$300,000	\$45,000	\$60,000	\$405,000
Subtotal Pump Stations & Force Mains	\$1,940,000	\$291,000	\$388,000	\$2,619,000
Total Sanitary Sewer System	\$7,455,050	\$1,118,258	\$1,491,010	\$10,064,318

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Sanitary Sewer System										
Alder Creek Parkway										
ACP 1-SS	Alder Creek Parkway (Sta 379+00 to Sta 389+00)	15	1,000	LF	\$180	100%	\$180,000	\$27,000	\$36,000	\$243,000
ACP 2-SS	Alder Creek Parkway (Sta 389+00 to Sta 400+30)	15	1,130	LF	\$180	100%	\$203,400	\$30,510	\$40,680	\$274,590
ACP 4-SS	Alder Creek Parkway (Sta 418+40 to Sta 442+00)	15	2,360	LF	\$180	100%	\$424,800	\$63,720	\$84,960	\$573,480
ACP 5-SS	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	12	2,480	LF	\$170	100%	\$421,600	\$63,240	\$84,320	\$569,160
ACP 6-SS	Alder Creek Parkway (Sta 466+70 to Sta 493+50)	10	2,690	LF	\$165	100%	\$443,850	\$66,578	\$88,770	\$599,198
Oak Avenue Parkway										
OAP 1-SS	Oak Avenue Parkway (Sta 100+30 to Sta 119+00)	8	890	LF	\$160	100%	\$142,400	\$21,360	\$28,480	\$192,240
Westwood Drive										
WWD 2-SS	Westwood Drive (Sta 113+70 to Sta 121+50)	12	780	LF	\$170	100%	\$132,600	\$19,890	\$26,520	\$179,010
WWD 3-SS	Westwood Drive (Sta 121+50 to Sta 128+40)	12	700	LF	\$170	100%	\$119,000	\$17,850	\$23,800	\$160,650
Empire Ranch Road										
ERR 1-SS	Empire Ranch Road (Sta 105+70 to Sta 129+30)	6	2,370	LF	\$150	100%	\$355,500	\$53,325	\$71,100	\$479,925
ERR 1-SS	Empire Ranch Road (Sta 105+70 to Sta 129+30)	8	1,550	LF	\$160	100%	\$248,000	\$37,200	\$49,600	\$334,800
ERR 2-SS	Empire Ranch Road (Sta 129+30 to Sta 145+80)	6	1,110	LF	\$150	100%	\$166,500	\$24,975	\$33,300	\$224,775
ERR 2-SS	Empire Ranch Road (Sta 129+30 to Sta 145+80)	8	1,110	LF	\$160	100%	\$177,600	\$26,640	\$35,520	\$239,760
Rowberry Drive										
ROW 1-SS	Rowberry Drive (Sta 100+60 to Sta 107+50)	10	700	LF	\$165	100%	\$115,500	\$17,325	\$23,100	\$155,925

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Sanitary Sewer System (Continued)										
Mangini Parkway										
MP 1-SS	Mangini Parkway (Sta 100+60 to Sta 150+20)	8	1,010	LF	\$160	100%	\$161,600	\$24,240	\$32,320	\$218,160
MP 3-SS	Mangini Parkway (Sta 169+50 to Sta 191+80)	10	500	LF	\$165	100%	\$82,500	\$12,375	\$16,500	\$111,375
MP 4-SS	Mangini Parkway (Sta 191+80 to Sta 216+10)	8	2,160	LF	\$160	100%	\$345,600	\$51,840	\$69,120	\$466,560
MP' 8-SS	Mangini Parkway (Sta 269+80 to Sta 301+30)	8	920	LF	\$160	0%	\$0	\$0	\$0	\$0
Savannah Parkway										
SP 3-SS	Savannah Parkway (Sta 125+00 to Sta 154+60)	8	1,970	LF	\$160	100%	\$315,200	\$47,280	\$63,040	\$425,520
SP 4-SS	Savannah Parkway (Sta 111+50 to Sta 125+00)	8	1,350	LF	\$160	100%	\$216,000	\$32,400	\$43,200	\$291,600
Prairie City Road										
PCR 1-SS	Prairie City Road (Sta 99+40 to Sta 121+80)	12	1640	LF	\$170	100%	\$278,800	\$41,820	\$55,760	\$376,380
PCR 2-SS	Prairie City Road (Sta 121+80 to Sta 143+40)	15	2170	LF	\$180	100%	\$390,600	\$58,590	\$78,120	\$527,310
PCR 3-SS	Prairie City Road (Sta 143+40 to Sta 176+30)	15	3300	LF	\$180	100%	\$594,000	\$89,100	\$118,800	\$801,900
Total Sanitary Sewer Pipelines										\$7,445,318

**FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate**

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Sanitary Sewer System (Continued)										
Alder Creek Sanitary Sewer Lift Station - Phase 2										
	Piping Valves, Fittings & Appurtenances	-	1	LS	\$10,000	100%	\$10,000	\$1,500	\$2,000	\$13,500
	Major Equipment	-	1	LS	\$85,000	100%	\$85,000	\$12,750	\$17,000	\$114,750
	Major Electrical	-	1	LS	\$15,000	100%	\$15,000	\$2,250	\$3,000	\$20,250
Total Alder Creek Sanitary Sewer Lift Station - Phase 2										\$148,500
Russell Ranch Sewer Lift Station										
ERR 1	Lift Station (0.3 MGD)	-	1	EA	\$1,200,000	100%	\$1,200,000	\$180,000	\$240,000	\$1,620,000
	Force Main	8	3,300	LF	\$100	100%	\$330,000	\$49,500	\$66,000	\$445,500
Total Russell - Promontory Sanitary Sewer Lift Station										\$2,065,500
Sewer Odor Control System										
MP 2	Deep Sewer Odor Control System	-	1	EA	\$300,000	100%	\$300,000	\$45,000	\$60,000	\$405,000
Total Mangini Ranch Sewer Lift Station										\$405,000
Total Sanitary Sewer System										\$10,064,318

APPENDIX J:
Storm Drainage
Construction Cost Estimates

Backbone Infrastructure Storm Drainage System Exhibit J-1
Backbone Infrastructure Construction Cost Estimates..... J-2
Storm Drainage Master Plan Exhibits.....J-10



FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

Item	Construction Cost	Soft Cost (15%)	Contingency (20%)	Total
Storm Drain Pipeline Summary				
Alder Creek Parkway	\$6,060,000	\$909,000	\$1,212,000	\$8,181,000
Oak Avenue Parkway	\$2,826,600	\$423,990	\$565,320	\$3,815,910
East Bidwell Street	\$461,900	\$69,285	\$92,380	\$623,565
Westwood Drive	\$774,900	\$116,235	\$154,980	\$1,046,115
Empire Ranch Road	\$2,202,200	\$330,330	\$440,440	\$2,972,970
Rowberry Drive	\$245,000	\$36,750	\$49,000	\$330,750
Mangini Parkway	\$2,953,700	\$443,055	\$590,740	\$3,987,495
Savannah Parkway	\$2,119,500	\$317,925	\$423,900	\$2,861,325
Prairie City Road	\$2,831,400	\$424,710	\$566,280	\$3,822,390
Subtotal Storm Drain Pipelines	\$20,475,200	\$3,071,280	\$4,095,040	\$27,641,520

Detention Basins Summary

Combo #1	\$606,040	\$90,906	\$121,208	\$818,154
Combo #2	\$1,410,920	\$211,638	\$282,184	\$1,904,742
Combo #3	\$930,778	\$139,617	\$186,156	\$1,256,550
Combo #4	\$431,090	\$64,664	\$86,218	\$581,972
Combo #5	\$949,684	\$142,453	\$189,937	\$1,282,073
DB #1	\$498,100	\$74,715	\$99,620	\$672,435
DB #2	\$576,380	\$86,457	\$115,276	\$778,113
DB #3	\$532,180	\$79,827	\$106,436	\$718,443
DB #4 (Basin Eliminated. Shed Area is being served in HMB No.15)				
DB #5	\$1,014,500	\$152,175	\$202,900	\$1,369,575
DB #8	\$0	\$0	\$0	\$0
DB #11	\$1,346,660	\$201,999	\$269,332	\$1,817,991
HMB #1	\$494,410	\$74,162	\$98,882	\$667,454
HMB #2	\$481,630	\$72,245	\$96,326	\$650,201
HMB #3	\$622,960	\$93,444	\$124,592	\$840,996
HMB #4	\$462,730	\$69,410	\$92,546	\$624,686
HMB #5	\$465,090	\$69,764	\$93,018	\$627,872
HMB #6	\$916,320	\$137,448	\$183,264	\$1,237,032
HMB #7 (Basin Eliminated. Shed Area is being served in HMB No. 6)				
HMB #8	\$1,839,300	\$275,895	\$367,860	\$2,483,055
HMB #9	\$482,040	\$72,306	\$96,408	\$650,754
HMB #10	\$683,670	\$102,551	\$136,734	\$922,955
HMB #11	\$500,490	\$75,074	\$100,098	\$675,662

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

Detention Basins Summary (Continued)

HMB #12	\$709,080	\$106,362	\$141,816	\$957,258
HMB #13	\$712,410	\$106,862	\$142,482	\$961,754
HMB #14	\$668,050	\$100,208	\$133,610	\$901,868
HMB #15	\$1,162,310	\$174,347	\$232,462	\$1,569,119
HMB #16	\$1,104,130	\$165,620	\$220,826	\$1,490,576
HMB #17 (Basin Eliminated. Shed Area is being served in HMB No. 18)				
HMB #18	\$1,190,712	\$178,607	\$238,142	\$1,607,461
HMB #19	\$0	\$0	\$0	\$0
HMB #21	\$388,680	\$58,302	\$77,736	\$524,718
HMB #22	\$0	\$0	\$0	\$0
HMB #23	\$698,420	\$104,763	\$139,684	\$942,867
HMB #24	\$0	\$0	\$0	\$0
HMB #27	\$962,610	\$144,392	\$192,522	\$1,299,524
Subtotal Detention Basins	\$22,841,374	\$3,426,206	\$4,568,275	\$30,835,855
Total Storm Drain System	\$43,316,574	\$6,497,486	\$8,663,315	\$58,477,375

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Storm Drain Pipelines										
Alder Creek Parkway										
ACP 1-SD	Alder Creek Parkway (Sta 379+00 to Sta 389+00)	15	540	LF	\$210	100%	\$113,400	\$17,010	\$22,680	\$153,090
ACP 2-SD	Alder Creek Parkway (Sta 389+00 to Sta 400+30)	36	830	LF	\$320	100%	\$265,600	\$39,840	\$53,120	\$358,560
ACP 2-SD	48" Storm Drain Outfall Structure to HMB #3	48	1	EA	\$27,000	100%	\$27,000	\$4,050	\$5,400	\$36,450
ACP 2-SD	48" Storm Drain Pipe Extended to HMB #3	48	390	LF	\$340	100%	\$132,600	\$19,890	\$26,520	\$179,010
ACP 3-SD	Alder Creek Parkway (Sta 400+30 to Sta 418+40)	24	1,480	LF	\$250	100%	\$370,000	\$55,500	\$74,000	\$499,500
ACP 4-SD	Alder Creek Parkway (Sta 418+40 to Sta 442+00)	15	390	LF	\$210	100%	\$81,900	\$12,285	\$16,380	\$110,565
ACP 4-SD	Alder Creek Parkway (Sta 418+40 to Sta 442+00)	18	400	LF	\$230	100%	\$92,000	\$13,800	\$18,400	\$124,200
ACP 4-SD	Alder Creek Parkway (Sta 418+40 to Sta 442+00)	60	1,290	LF	\$450	100%	\$580,500	\$87,075	\$116,100	\$783,675
ACP 4-SD	66" Storm Drain Outfall Structure to HMB #6	66	1	EA	\$41,000	100%	\$41,000	\$6,150	\$8,200	\$55,350
ACP 4-SD	66" Storm Drain Pipe Extended to HMB #6	66	210	LF	\$490	100%	\$102,900	\$15,435	\$20,580	\$138,915
ACP 5-SD	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	36	510	LF	\$320	100%	\$163,200	\$24,480	\$32,640	\$220,320
ACP 5-SD	Alder Creek Parkway (Sta 442+00 to Sta 466+70)	48	1,600	LF	\$340	100%	\$544,000	\$81,600	\$108,800	\$734,400
ACP 6-SD	72" Storm Drain Outfall Structure to HMB #8	-	2	EA	\$43,000	100%	\$86,000	\$12,900	\$17,200	\$116,100
ACP 6-SD	72" Storm Drain Pipe Extending to HMB #8 ¹	2-72	2,640	LF	\$570	100%	\$1,504,800	\$225,720	\$300,960	\$2,031,480
ACP 6-SD	Alder Creek Parkway (Sta 466+70 to Sta 493+50)	66	1,710	LF	\$490	100%	\$837,900	\$125,685	\$167,580	\$1,131,165
ACP 6-SD	Alder Creek Parkway (Sta 466+70 to Sta 493+50) ¹	2-72	1,960	LF	\$570	100%	\$1,117,200	\$167,580	\$223,440	\$1,508,220
ACP 7-SD	Alder Creek Parkway (Sta 493+50 to Sta 506+90)	60	640	LF	\$450	0%	\$0	\$0	\$0	\$0
ACP 7-SD	Alder Creek Parkway (Sta 493+50 to Sta 506+90)	66	700	LF	\$490	0%	\$0	\$0	\$0	\$0
ACP 8-SD	Alder Creek Parkway (Sta 506+90 to Sta 524+10)	18	1,320	LF	\$230	0%	\$0	\$0	\$0	\$0

(1.) Pipe lengths doubled to account for twin 72" storm drain pipe.

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Storm Drain Pipelines (Continued)										
Oak Avenue Parkway										
OAP 1-SD	Oak Avenue Parkway (Sta 100+30 to Sta 119+00)	48	1,450	LF	\$340	100%	\$493,000	\$73,950	\$98,600	\$665,550
OAP 1-SD	48" Storm Drain Outfall Structure to COMBO #5	48	1	EA	\$27,000	100%	\$27,000	\$4,050	\$5,400	\$36,450
OAP 1-SD	48" Storm Drain Pipe Extended to COMBO #5	48	950	LF	\$340	100%	\$323,000	\$48,450	\$64,600	\$436,050
OAP 2-SD	Oak Avenue Parkway (Sta 119+00 to Sta 129+50)	36	740	LF	\$320	100%	\$236,800	\$35,520	\$47,360	\$319,680
OAP 3-SD	Oak Avenue Parkway (Sta 129+50 to Sta 153+50)	48	1,060	LF	\$340	100%	\$360,400	\$54,060	\$72,080	\$486,540
OAP 3-SD	Oak Avenue Parkway (Sta 129+50 to Sta 153+50)	60	1,350	LF	\$450	100%	\$607,500	\$91,125	\$121,500	\$820,125
OAP 4-SD	Oak Avenue Parkway (Sta 153+50 to Sta 176+90)	24	1,860	LF	\$250	100%	\$465,000	\$69,750	\$93,000	\$627,750
OAP 4-SD	60" Storm Drain Outfall Structure to HMB #12	60	1	EA	\$32,000	100%	\$32,000	\$4,800	\$6,400	\$43,200
OAP 4-SD	60" Storm Drain Pipe Extended to HMB #12	60	150	LF	\$450	100%	\$67,500	\$10,125	\$13,500	\$91,125
OAP 5-SD	Oak Avenue Parkway (Sta 176+90 to Sta 186+20)	36	410	LF	\$320	100%	\$131,200	\$19,680	\$26,240	\$177,120
OAP 5-SD	36" Storm Drain Outfall Structure to HMB #5	36	1	EA	\$16,000	100%	\$16,000	\$2,400	\$3,200	\$21,600
OAP 5-SD	36" Storm Drain Pipe Extended to HMB #5	36	210	LF	\$320	100%	\$67,200	\$10,080	\$13,440	\$90,720
East Bidwell Street										
EBS 1A-SD	East Bidwell Street (Sta 100+60 to Sta 109+50)	48	660	LF	\$340	100%	\$224,400	\$33,660	\$44,880	\$302,940
EBS 2-SD	East Bidwell Street (Sta 123+80 to Sta 144+10)	72	890	LF	\$570	0%	\$0	\$0	\$0	\$0
EBS 2-SD	72" Storm Drain Outfall Structure to HMB #19	-	1	EA	\$43,000	0%	\$0	\$0	\$0	\$0
EBS 3-SD	East Bidwell Street (Sta 144+10 to Sta 157+90)	36	740	LF	\$320	0%	\$0	\$0	\$0	\$0
EBS 4-SD	East Bidwell Street (Sta 157+90 to Sta 168+00)	24	950	LF	\$250	100%	\$237,500	\$35,625	\$47,500	\$320,625

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Storm Drain Pipelines (Continued)										
Westwood Drive										
WWD 1-SD	Westwood Drive (Sta 100+00 to Sta 113+70)	42	660	LF	\$330	50%	\$108,900	\$16,335	\$21,780	\$147,015
WWD 2-SD	Westwood Drive (Sta 113+70 to Sta 121+50)	60	780	LF	\$450	100%	\$351,000	\$52,650	\$70,200	\$473,850
WWD 3-SD	Westwood Drive (Sta 121+50 to Sta 128+40)	60	700	LF	\$450	100%	\$315,000	\$47,250	\$63,000	\$425,250
Empire Ranch Road										
ERR 1-SD	Empire Ranch Road (Sta 105+70 to Sta 129+30)	48	2,330	LF	\$340	100%	\$792,200	\$118,830	\$158,440	\$1,069,470
ERR 1-SD	72" Storm Drain Outfall Structure to HMB #24	72	1	EA	\$43,000	100%	\$43,000	\$6,450	\$8,600	\$58,050
ERR 1-SD	72" Storm Drain Pipe Extended to HMB #24	72	620	LF	\$570	100%	\$353,400	\$53,010	\$70,680	\$477,090
ERR 2-SD	Empire Ranch Road (Sta 129+30 to Sta 145+80)	36	1,650	LF	\$320	100%	\$528,000	\$79,200	\$105,600	\$712,800
ERR 3-SD	Empire Ranch Road (Sta 145+80 to Sta 156+70)	36	260	LF	\$320	100%	\$83,200	\$12,480	\$16,640	\$112,320
ERR 3-SD	Empire Ranch Road (Sta 145+80 to Sta 156+70)	24	840	LF	\$250	100%	\$210,000	\$31,500	\$42,000	\$283,500
ERR 4-SD	Empire Ranch Road (Sta 156+70 to Sta 165+00)	15	840	LF	\$210	100%	\$176,400	\$26,460	\$35,280	\$238,140
ERR 5-SD	Empire Ranch Road (Sta 165+00 to Sta 170+60)	12	80	LF	\$200	100%	\$16,000	\$2,400	\$3,200	\$21,600
Rowberry Drive										
ROW 1-SD	Rowberry Drive (Sta 100+60 to Sta 107+50)	24	700	LF	\$250	100%	\$175,000	\$26,250	\$35,000	\$236,250
ROW 2-SD	Rowberry Drive (Sta 107+50 to Sta 113+90)	12	350	LF	\$200	100%	\$70,000	\$10,500	\$14,000	\$94,500

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Storm Drain Pipelines (Continued)										
Mangini Parkway										
MP 1-SD	Mangini parkway (Sta 100+60 to Sta 150+20)	42	1,010	LF	\$330	100%	\$333,300	\$49,995	\$66,660	\$449,955
MP 1-SD	Mangini Parkway (Sta 100+60 to Sta 150+20)	15	660	LF	\$210	100%	\$138,600	\$20,790	\$27,720	\$187,110
MP 1-SD	Mangini Parkway (Sta 100+60 to Sta 150+20)	48	820	LF	\$340	100%	\$278,800	\$41,820	\$55,760	\$376,380
MP 1-SD	Mangini Parkway (Sta 100+60 to Sta 150+20)	36	1,010	LF	\$320	100%	\$323,200	\$48,480	\$64,640	\$436,320
MP 2-SD	Mangini Parkway (Sta 150+20 to Sta 169+50)	18	1,050	LF	\$230	100%	\$241,500	\$36,225	\$48,300	\$326,025
MP 2-SD	Mangini Parkway (Sta 150+20 to Sta 169+50)	48	640	LF	\$340	100%	\$217,600	\$32,640	\$43,520	\$293,760
MP 3-SD	Mangini Parkway (Sta 169+50 to Sta 191+80)	60	730	LF	\$450	100%	\$328,500	\$49,275	\$65,700	\$443,475
MP 3-SD	Mangini Parkway (Sta 169+50 to Sta 191+80)	18	290	LF	\$230	100%	\$66,700	\$10,005	\$13,340	\$90,045
MP 3-SD	Mangini Parkway (Sta 169+50 to Sta 191+80)	48	40	LF	\$340	100%	\$13,600	\$2,040	\$2,720	\$18,360
MP 3-SD	60" Storm Drain Outfall Structure to HMB #16	60	1	EA	\$32,000	100%	\$32,000	\$4,800	\$6,400	\$43,200
MP 3-SD	60" Storm Drain Pipe Extended to HMB #16	60	140	LF	\$450	100%	\$63,000	\$9,450	\$12,600	\$85,050
MP 3-SD	60" Storm Drain Outfall Structure to HMB #17	60	1	EA	\$32,000	100%	\$32,000	\$4,800	\$6,400	\$43,200
MP 3-SD	60" Storm Drain Pipe Extended to HMB #17	60	130	LF	\$450	100%	\$58,500	\$8,775	\$11,700	\$78,975
MP 3-SD	60" Storm Drain Outfall Structure to HMB #18	60	1	EA	\$32,000	100%	\$32,000	\$4,800	\$6,400	\$43,200
MP 3-SD	60" Storm Drain Pipe Extended to HMB #18	60	460	LF	\$450	100%	\$207,000	\$31,050	\$41,400	\$279,450
MP 4-SD	Mangini Parkway (Sta 191+80 to Sta 216+10)	48	1,410	LF	\$340	100%	\$479,400	\$71,910	\$95,880	\$647,190
MP 4-SD	Mangini Parkway (Sta 191+80 to Sta 216+10)	30	400	LF	\$270	100%	\$108,000	\$16,200	\$21,600	\$145,800
MP 8-SD	Mangini Parkway (Sta 269+80 to Sta 301+30)	60	300	LF	\$450	0%	\$0	\$0	\$0	\$0
MP 8-SD	Mangini Parkway (Sta 269+80 to Sta 301+30)	48	620	LF	\$340	0%	\$0	\$0	\$0	\$0
MP 8-SD	Mangini Parkway (Sta 269+80 to Sta 301+30)	24	1,250	LF	\$250	0%	\$0	\$0	\$0	\$0
MP 8-SD	Mangini Parkway (Sta 269+80 to Sta 301+30)	15	240	LF	\$210	0%	\$0	\$0	\$0	\$0
MP 8-SD	Mangini Parkway (Sta 269+80 to Sta 301+30)	12	180	LF	\$200	0%	\$0	\$0	\$0	\$0

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

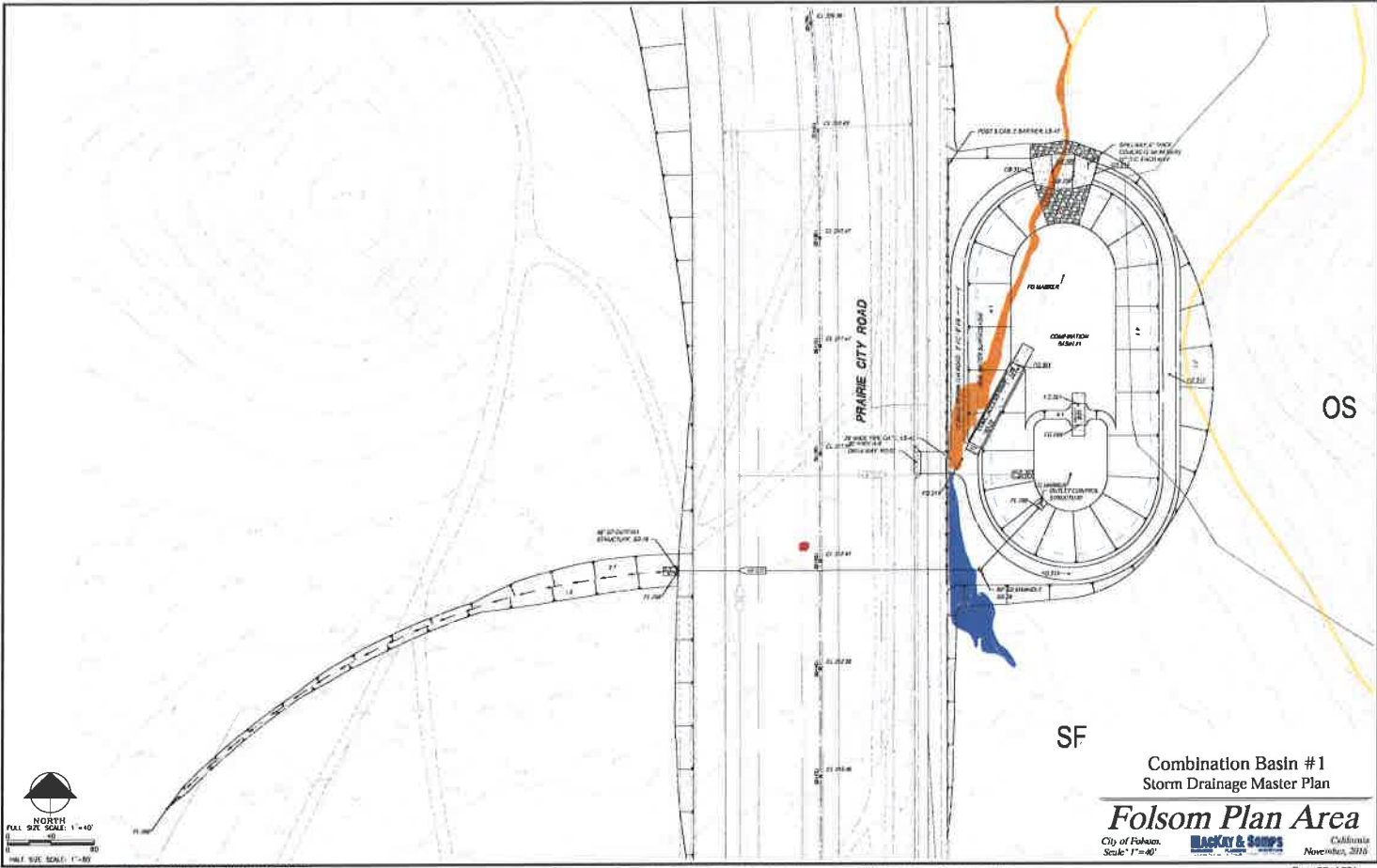
7919,000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Storm Drain Pipelines (Continued)										
Savannah Parkway										
SP 1-SD	Savannah Parkway (Sta 170+20 to Sta 183+90)	60	1,330	LF	\$450	71%	\$423,000	\$63,450	\$84,600	\$571,050
SP 1-SD	60" Storm Drain Outfall Structure to HMB #24	60	1	EA	\$32,000	0%	\$0	\$0	\$0	\$0
SP 1-SD	60" Storm Drain Pipe Extended to HMB #24	60	1,370	LF	\$450	0%	\$0	\$0	\$0	\$0
SP 2-SD	Savannah Parkway (Sta 154+60 to Sta 170+20)	15	900	LF	\$210	100%	\$189,000	\$28,350	\$37,800	\$255,150
SP 2-SD	Savannah Parkway (Sta 154+60 to Sta 170+20)	24	80	LF	\$250	100%	\$20,000	\$3,000	\$4,000	\$27,000
SP 3-SD	Savannah Parkway (Sta 125+00 to Sta 154+60)	24	1,560	LF	\$250	100%	\$390,000	\$58,500	\$78,000	\$526,500
SP 3-SD	Savannah Parkway (Sta 125+00 to Sta 154+60)	36	290	LF	\$320	100%	\$92,800	\$13,920	\$18,560	\$125,280
SP 3-SD	48" Storm Drain Outfall Structure to HMB #23	42	1	EA	\$27,000	100%	\$27,000	\$4,050	\$5,400	\$36,450
SP 3-SD	48" Storm Drain Pipe Extended to HMB #23	48	390	LF	\$340	100%	\$132,600	\$19,890	\$26,520	\$179,010
SP 3-SD	Savannah Parkway (Sta 125+00 to Sta 154+60)	42	720	LF	\$330	100%	\$237,600	\$35,640	\$47,520	\$320,760
SP 4-SD	Savannah Parkway (Sta 111+50 to Sta 125+00)	60	1,350	LF	\$450	100%	\$607,500	\$91,125	\$121,500	\$820,125

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

Section	Description	Pipe Size (in.)	Qty.	Unit	Unit Cost	Pct. Remaining	Const. Costs	Soft Costs (15%)	Contingency (20%)	Total
Storm Drain Pipelines (Continued)										
Prairie City Road										
PCR 1-SD	Prairie City Road (Sta 113+60 to Sta 121+80)	42	770	LF	\$330	100%	\$254,100	\$38,115	\$50,820	\$343,035
PCR 1-SD	Prairie City Road (Sta 113+60 to Sta 121+80)	48	1,220	LF	\$340	100%	\$414,800	\$62,220	\$82,960	\$559,980
PCR 1-SD	72" Storm Drain Outfall Structure to Combo #2	72	1	EA	\$43,000	100%	\$43,000	\$6,450	\$8,600	\$58,050
PCR 1-SD	72" Storm Drain Pipe Extended to Combo #2	72	230	LF	\$570	100%	\$131,100	\$19,665	\$26,220	\$176,985
PCR 2-SD	Prairie City Road (Sta 121+80 to Sta 143+40)	36	610	LF	\$320	100%	\$195,200	\$29,280	\$39,040	\$263,520
PCR 2-SD	Prairie City Road (Sta 121+80 to Sta 143+40)	48	1,290	LF	\$340	100%	\$438,600	\$65,790	\$87,720	\$592,110
PCR 3-SD	Prairie City Road (Sta 143+40 to Sta 176+30)	30	1,810	LF	\$270	100%	\$488,700	\$73,305	\$97,740	\$659,745
PCR 3-SD	Prairie City Road (Sta 143+40 to Sta 176+30)	18	520	LF	\$230	100%	\$119,600	\$17,940	\$23,920	\$161,460
PCR 3-SD	48" Storm Drain Outfall Structure to Combo #1	48	1	EA	\$27,000	100%	\$27,000	\$4,050	\$5,400	\$36,450
PCR 3-SD	48" Storm Drain Pipe Extended to Combo #1	48	260	LF	\$340	100%	\$88,400	\$13,260	\$17,680	\$119,340
PCR 4-SD	Prairie City Road (Sta 143+40 to Sta 176+30)	48	1,510	LF	\$340	100%	\$513,400	\$77,010	\$102,680	\$693,090
PCR 4-SD	60" Storm Drain Outfall Structure to HMB #1	60	1	EA	\$32,000	100%	\$32,000	\$4,800	\$6,400	\$43,200
PCR 4-SD	60" Storm Drain Pipe Extended to HMB #1	60	190	LF	\$450	100%	\$85,500	\$12,825	\$17,100	\$115,425
Total Storm Drain Pipelines									\$27,641,520	



Combination Basin #1
Storm Drainage Master Plan

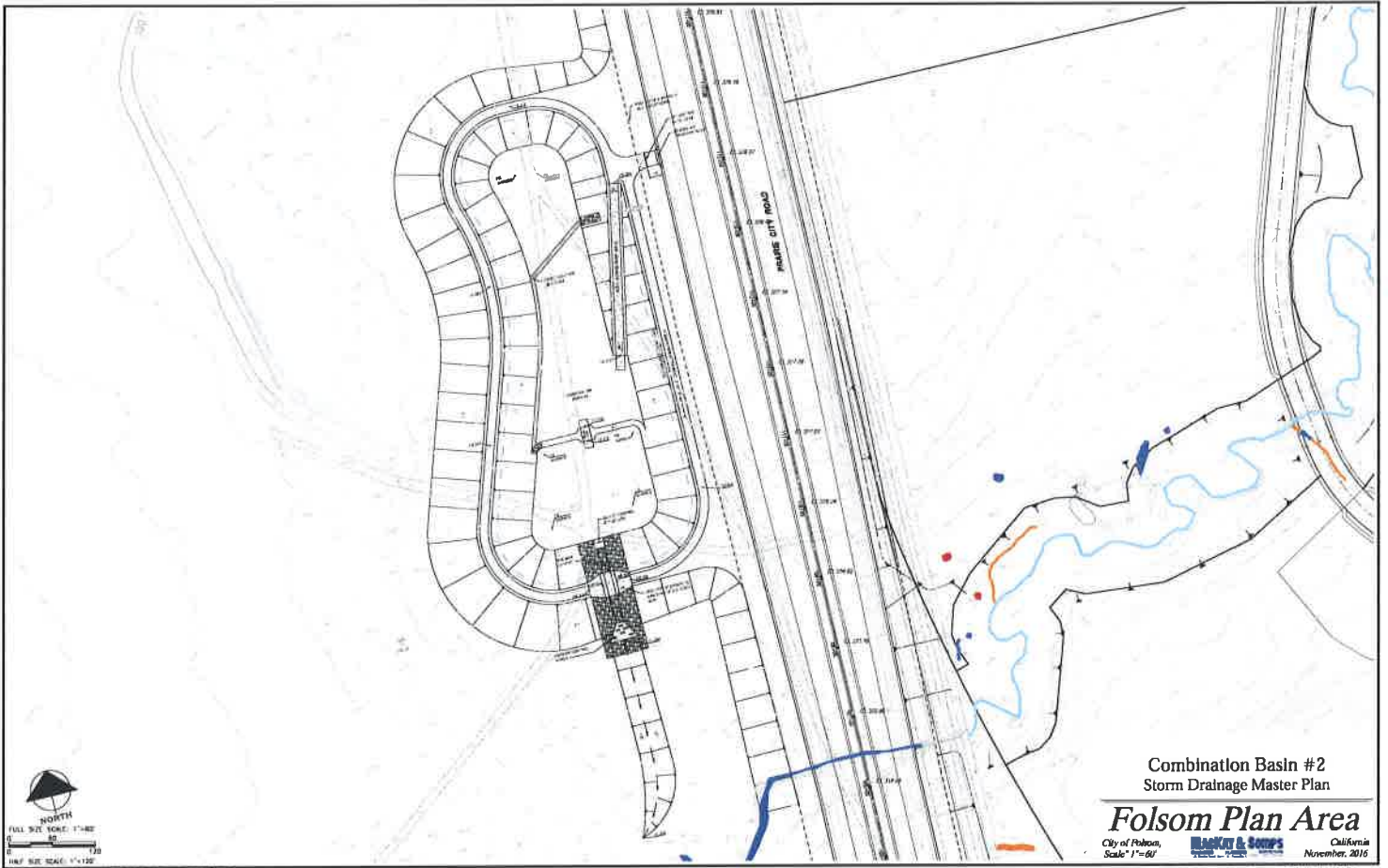
Folsom Plan Area

City of Folsom, California
Scale: 1"=40'
Mackay & Samps
November, 2016

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Combination Basin No. 1					
Earthwork & Site Preparation					
1	Clearing and Grubbing	101,000	SF	\$0.04	\$4,040
2	Import	5,000	CY	\$4.30	\$21,500
3	Basin Finish Grading	101,000	SF	\$0.60	\$60,600
Drainage Improvements					
4	48-inch RCP CL-IV Storm Drainage Pipeline	360	LF	\$260.00	\$93,600
5	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
6	60-inch Storm Drain Manhole, Std. Dwg. SD-28	1	EA	\$6,900.00	\$6,900
7	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
8	Rock Rip Rap	100	CY	\$60.00	\$6,000
Detention Basin Improvements					
9	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,700	SF	\$11.00	\$18,700
10	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,800	SF	\$11.00	\$19,800
11	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
12	Post & Cable Barrier, Std. Dwg. LS-47	100	LF	\$20.00	\$2,000
13	20-ft. Wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
14	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	11,400	SF	\$4.30	\$49,020
Landscape Improvements					
15	Detention Basin Planting (Hydro-Seeding)	55,000	SF	\$0.06	\$3,300
16	Construction Area Seeding (Hydro-Seeding)	33,000	SF	\$0.06	\$1,980
17	Erosion Control (Construction SWPPP)	101,000	SF	\$0.30	\$30,300
Subtotal Construction Cost					\$606,040
Percentage Remaining					100%
Total Construction Cost					\$606,040



Combination Basin #2
Storm Drainage Master Plan

Folsom Plan Area

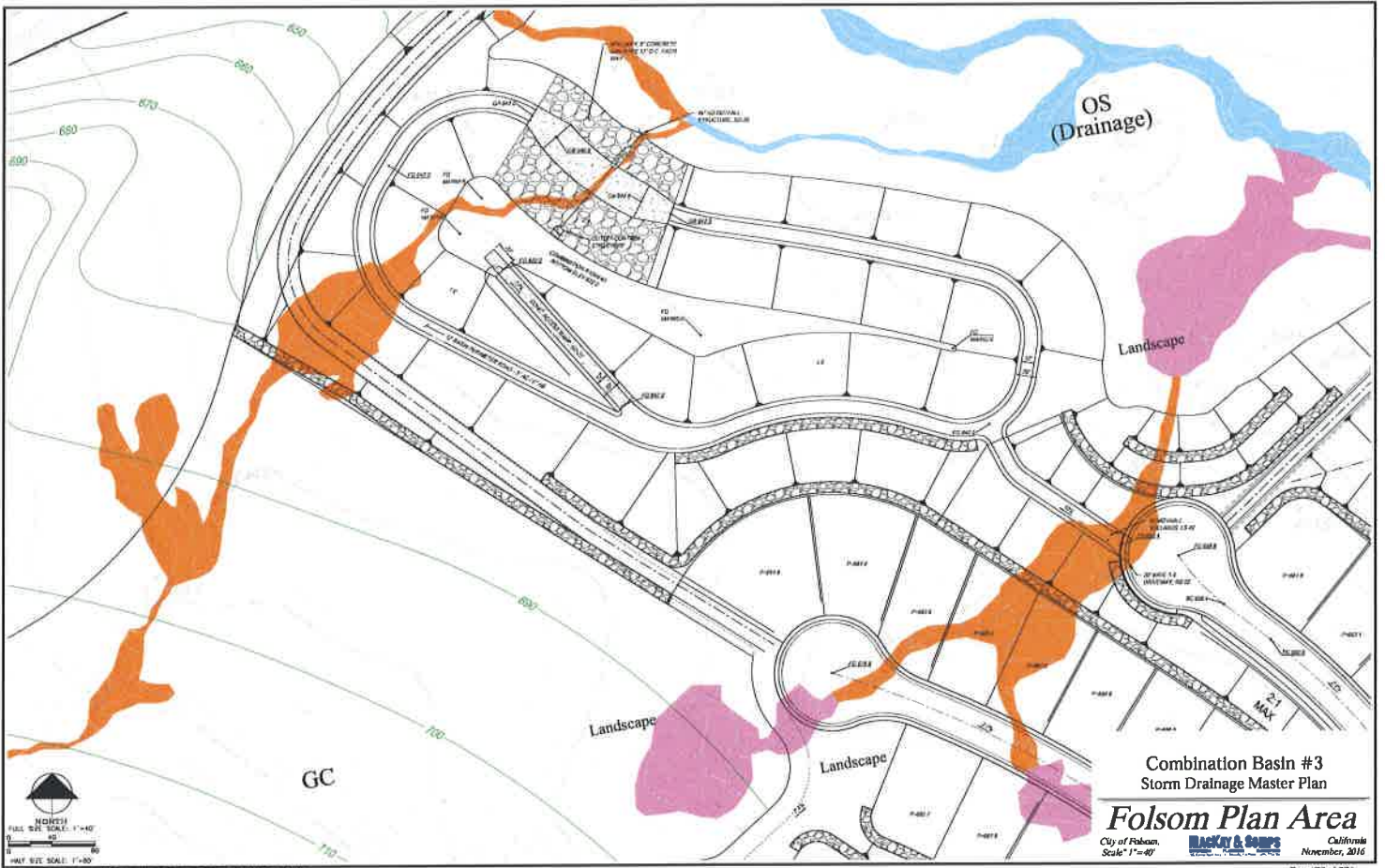
City of Folsom, California
Scale: 1"=50'
Blaney & Seay
November, 2016



Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Combination Basin No. 2					
Earthwork & Site Preparation					
1	Clearing and Grubbing	356,000	SF	\$0.04	\$14,240
2	Import	45,000	CY	\$4.30	\$193,500
3	Basin Finish Grading	356,000	SF	\$0.60	\$213,600
Drainage Improvements					
4	48-inch RCP CL IV Storm Drain Pipe	265	LF	\$260.00	\$68,900
5	48-inch Storm Drain Erosion Control Outlet Structure	1	EA	\$25,500.00	\$25,500
6	7-ft x7-ft Concrete Junction Box	1	EA	\$43,400.00	\$43,400
7	Detention Basin Outlet Control Structure - Large	1	EA	\$475,000.00	\$475,000
8	Rock Rip Rap	300	CY	\$60.00	\$18,000
Detention Basin Improvements					
9	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	7,200	SF	\$11.00	\$79,200
10	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,800	SF	\$11.00	\$19,800
11	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	3	EA	\$6,400.00	\$19,200
12	20-ft. Wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	3	EA	\$6,400.00	\$19,200
13	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	22,000	SF	\$4.30	\$94,600
Landscape Improvements					
14	Detention Basin Planting (Hydro-Seeding)	151,000	SF	\$0.06	\$9,060
15	Construction Area Seeding (Hydro-Seeding)	182,000	SF	\$0.06	\$10,920
16	Erosion Control (Construction SWPPP)	356,000	SF	\$0.30	\$106,800
Subtotal Construction Cost					\$1,410,920
Percentage Remaining					100%
Total Construction Cost					\$1,410,920

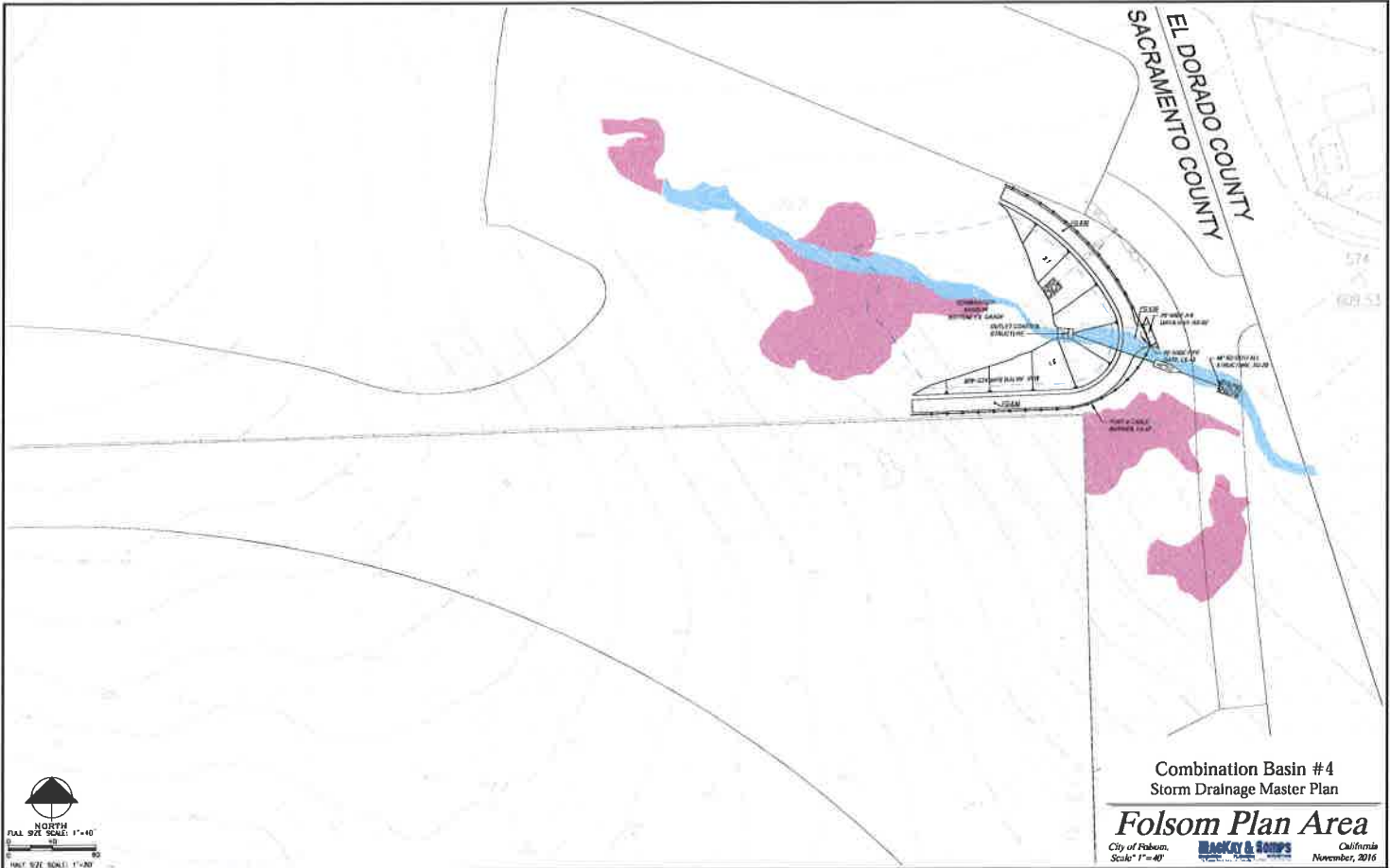


Combination Basin #3
 Storm Drainage Master Plan
Folsom Plan Area
 City of Folsom, California
 Scale: 1"=40'
 Mackay & Coopers
 November, 2016

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Combination Basin No. 3					
Earthwork & Site Preparation					
1	Clearing and Grubbing	160,000	SF	\$0.04	\$6,400
2	Excavation	15,000	CY	\$7.50	\$112,500
3	Basin Finish Grading	160,000	SF	\$0.60	\$96,000
Drainage Improvements					
4	60-inch RCP CL-IV Storm Drainage Pipeline	120	LF	\$320.00	\$38,400
5	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$27,600.00	\$27,600
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	2,300	SF	\$11.00	\$25,300
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	5,000	SF	\$11.00	\$55,000
9	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
10	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
11	Rock Rip Rap	670	CY	\$60.00	\$40,200
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	19,260	SF	\$4.30	\$82,818
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	94,000	SF	\$0.06	\$5,640
14	Construction Area Seeding (Hydro-Seeding)	42,000	SF	\$0.06	\$2,520
15	Erosion Control (Construction SWPPP)	160,000	SF	\$0.30	\$48,000
Subtotal Construction Cost					\$930,778
Percentage Remaining					100%
Total Construction Cost					\$930,778



SACRAMENTO COUNTY
EL DORADO COUNTY

Combination Basin #4
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom,
Scale: 1"=40'

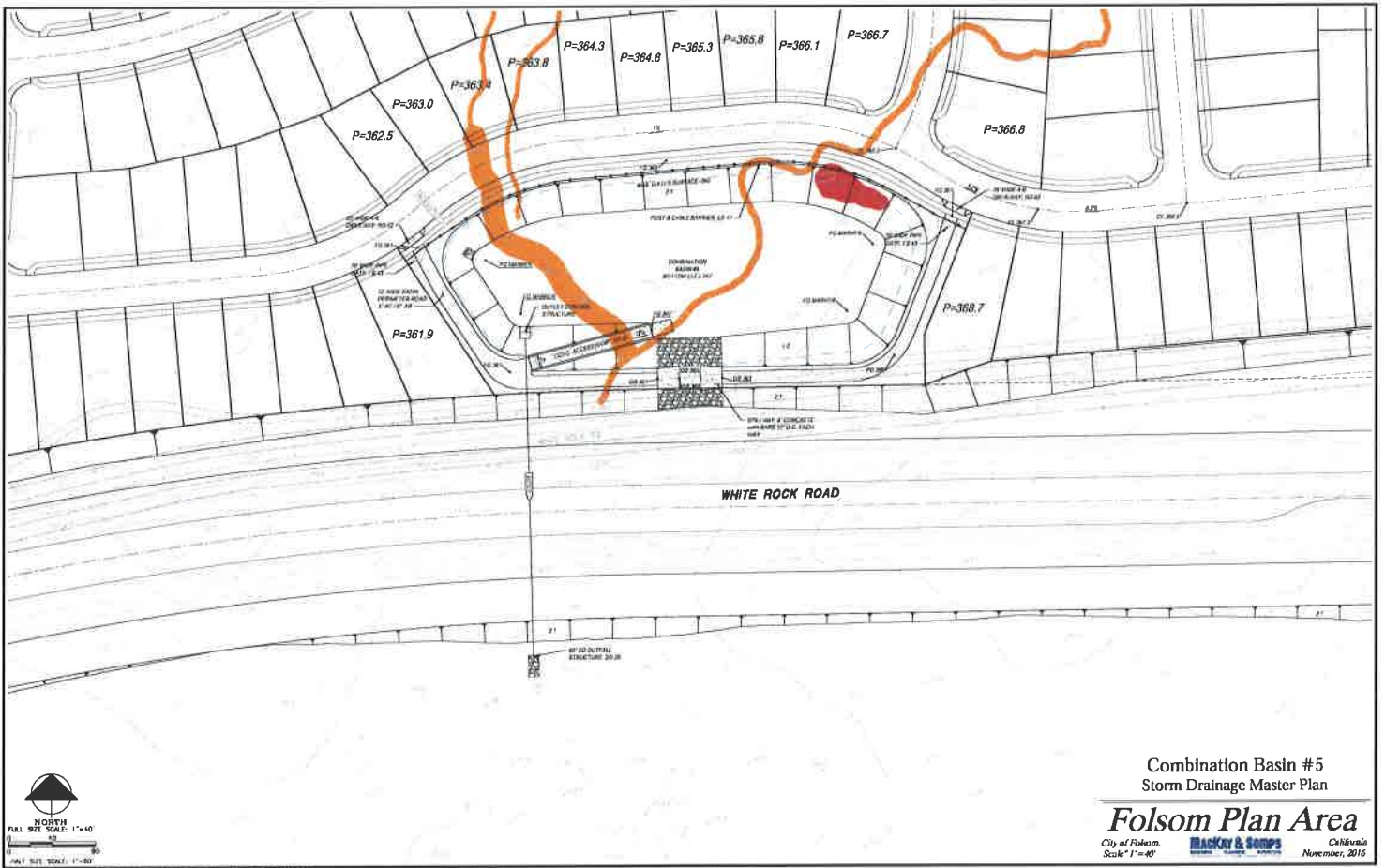
HASKY & COOPS

California
November, 2016

Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Combination Basin No. 4					
Earthwork & Site Preparation					
1	Clearing and Grubbing	50,000	SF	\$0.04	\$2,000
2	Import	5,000	CY	\$4.30	\$21,500
3	Basin Finish Grading	50,000	SF	\$0.60	\$30,000
Drainage Improvements					
4	48-inch RCP CL-IV Storm Drainage Pipeline	150	LF	\$260.00	\$39,000
5	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
6	Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
Detention Basin Improvements					
7	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
8	Post & Cable Barrier, Std. Dwg. LS-47	430	EA	\$20.00	\$8,600
9	20-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	LF	\$6,400.00	\$6,400
10	Rock Rip Rap	20	CY	\$60.00	\$1,200
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	5,300	SF	\$4.30	\$22,790
Landscape Improvements					
12	Detention Basin Planting (Hydro-Seeding)	33,000	SF	\$0.06	\$1,980
13	Construction Area Seeding (Hydro-Seeding)	12,000	SF	\$0.06	\$720
14	Erosion Control (Construction SWPPP)	50,000	SF	\$0.30	\$15,000
Subtotal Construction Cost					\$431,090
Percentage Remaining					100%
Total Construction Cost					\$431,090



Combination Basin #5
Storm Drainage Master Plan

Folsom Plan Area
City of Folsom
Scale 1" = 40'

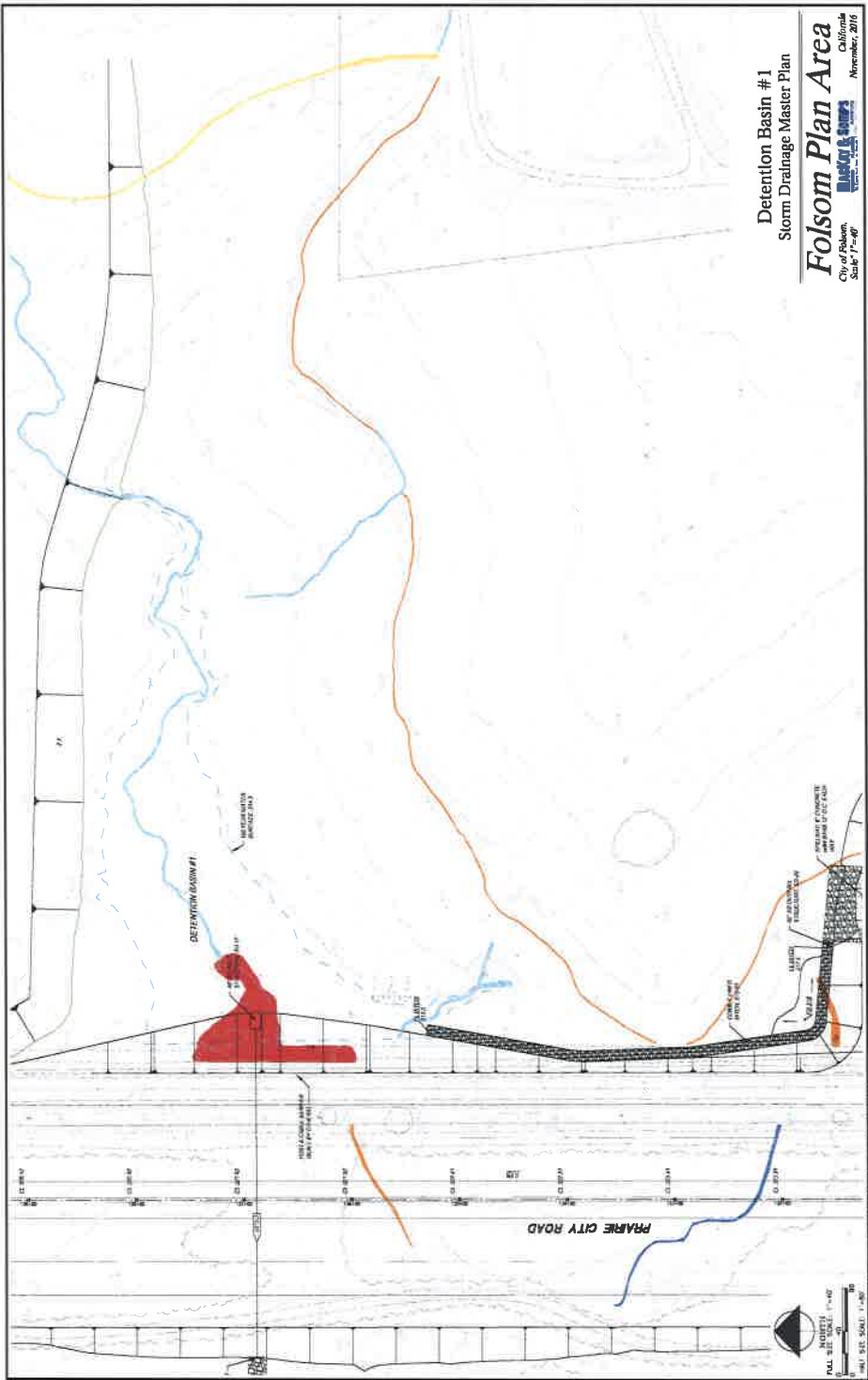


California
November, 2016

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Combination Basin No. 5					
Earthwork & Site Preparation					
1	Clearing and Grubbing	249,600	SF	\$0.04	\$9,984
2	Import	11,000	CY	\$4.30	\$47,300
3	Basin Finish Grading	249,600	SF	\$0.60	\$149,760
Drainage Improvements					
4	48-inch RCP CL-IV Storm Drainage Pipeline	188	LF	\$260.00	\$48,880
5	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
7	Rock Rip Rap	100	CY	\$60.00	\$6,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	2,040	SF	\$11.00	\$22,440
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,400	SF	\$11.00	\$15,400
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	2	EA	\$6,400.00	\$12,800
11	Post & Cable Barrier, Std. Dwg. LS-47	520	LF	\$20.00	\$10,400
12	20-ft. Wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	2	EA	\$6,400.00	\$12,800
13	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	28,000	SF	\$4.30	\$120,400
Landscape Improvements					
14	Detention Basin Planting (Hydro-Seeding)	188,000	SF	\$0.06	\$11,280
15	Construction Area Seeding (Hydro-Seeding)	31,000	SF	\$0.06	\$1,860
16	Erosion Control (Construction SWPPP)	249,600	SF	\$0.30	\$74,880
Subtotal Construction Cost					\$949,684
Percentage Remaining					100%
Total Construction Cost					\$949,684



Detention Basin #1
Storm Drainage Master Plan

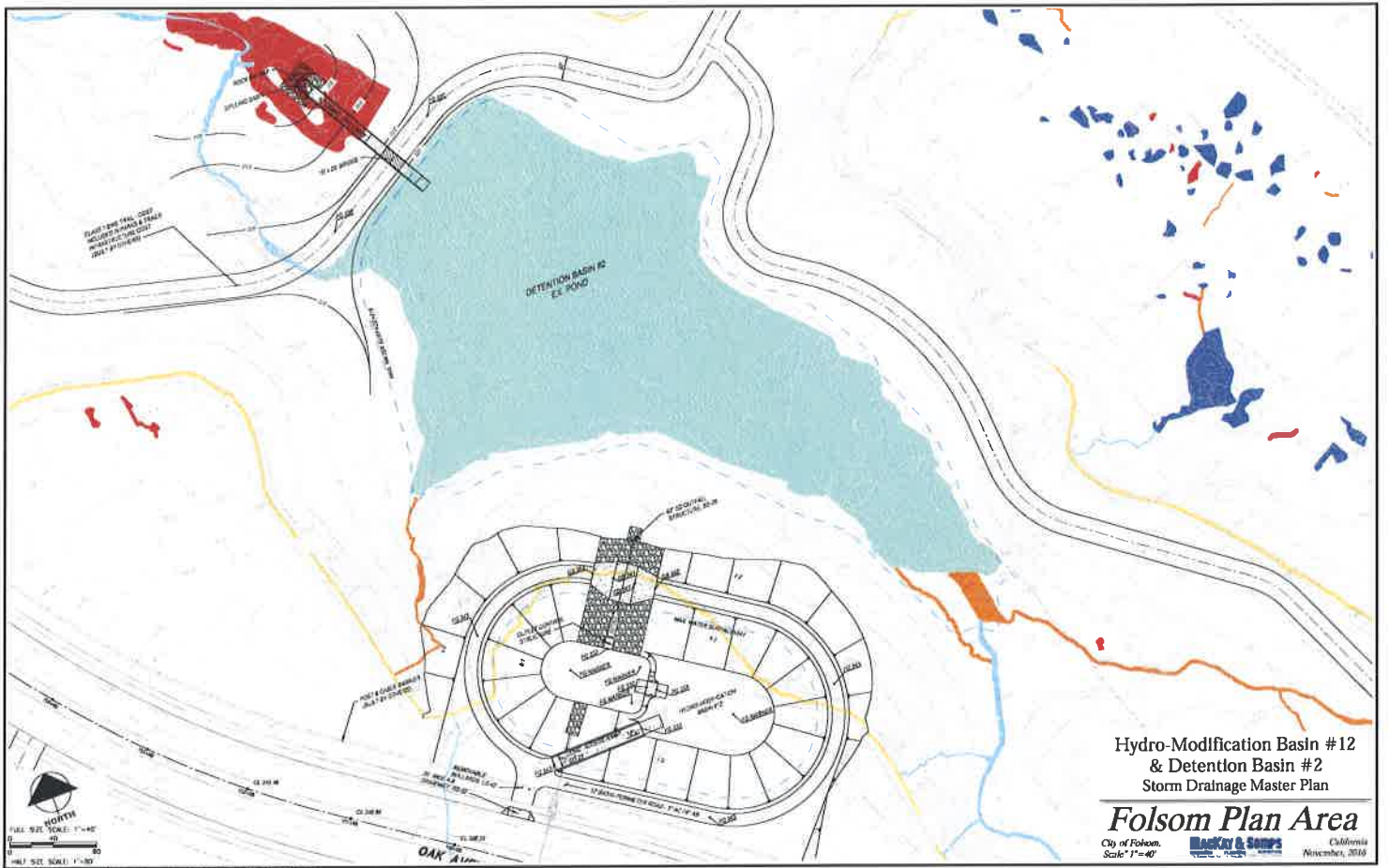
Folsom Plan Area
City of Folsom
Scale: 1"=40'

Black & Veatch
California
November, 2016

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Detention Basin No. 1					
Drainage Improvements					
1	48-inch RCP CL-IV Storm Drainage Pipeline	310	LF	\$260.00	\$80,600
2	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
3	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
4	Rock Rip Rap	200	CY	\$60.00	\$12,000
Subtotal Construction Cost					\$498,100
Percentage Remaining					100%
Total Construction Cost					\$498,100



Hydro-Modification Basin #12
 & Detention Basin #2
 Storm Drainage Master Plan

Folsom Plan Area

City of Folsom, California
 Scale: 1" = 40'
 Mackay & Samps
 November, 2016

Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

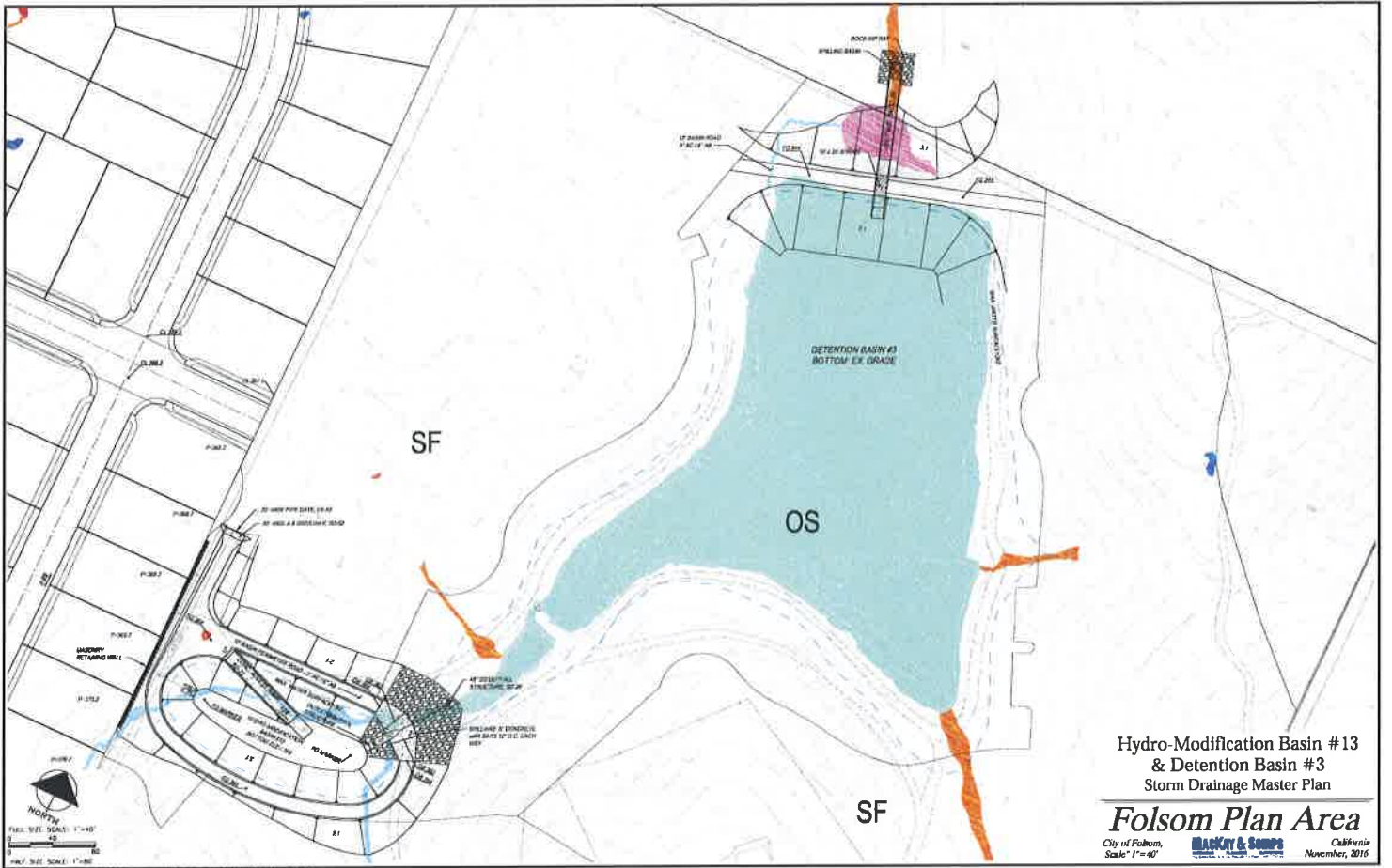
7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Detention Basin No. 2					
Earthwork & Site Preparation					
1	Clearing and Grubbing	90,000	SF	\$0.04	\$3,600
2	Import	10,000	CY	\$4.30	\$43,000
3	Basin Finish Grading	90,000	SF	\$0.60	\$54,000
4	Dewater Existing Pond	1	LS	\$5,300.00	\$5,300
Drainage Improvements					
4	Concrete Spillway & Energy Dissipater	1	LS	\$106,000.00	\$106,000
5	Rock Rip Rap	50	CY	\$60.00	\$3,000
Detention Basin Improvements					
6	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	5,000	SF	\$4.30	\$21,500
7	12' Wide x 15' Long Spillway Bridge	1	LS	\$58,000.00	\$58,000
8	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
Landscape Improvements					
9	Detention Basin Planting (Hydro-Seeding)	23,000	SF	\$0.06	\$1,380
10	Construction Area Seeding (Hydro-Seeding)	60,000	SF	\$0.06	\$3,600
11	Erosion Control (Construction SWPPP)	90,000	SF	\$0.30	\$27,000
Subtotal Construction Cost					\$576,380
Percentage Remaining					100%
Total Construction Cost					\$576,380

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 12					
Earthwork & Site Preparation					
1	Clearing and Grubbing	110,000	SF	\$0.04	\$4,400
2	Excavation	8,000	CY	\$6.40	\$51,200
3	Basin Finish Grading	110,000	SF	\$0.60	\$66,000
Drainage Improvements					
4	60-inch RCP CL-IV Storm Drainage Pipeline	100	LF	\$320.00	\$32,000
5	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$27,600.00	\$27,600
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,650	SF	\$11.00	\$18,150
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,850	SF	\$11.00	\$20,350
9	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
10	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
11	Rock Rip Rap	200	CY	\$60.00	\$12,000
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	11,200	SF	\$4.30	\$48,160
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	50,000	SF	\$0.06	\$3,000
14	Construction Area Seeding (Hydro-Seeding)	47,000	SF	\$0.06	\$2,820
15	Erosion Control (Construction SWPPP)	110,000	SF	\$0.30	\$33,000
Subtotal Construction Cost					\$709,080
Percentage Remaining					100%
Total Construction Cost					\$709,080



Hydro-Modification Basin #13
 & Detention Basin #3
 Storm Drainage Master Plan

Folsom Plan Area
 City of Folsom, California
 Scale 1" = 40'
 MACKAY & COMPANY
 November, 2016

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

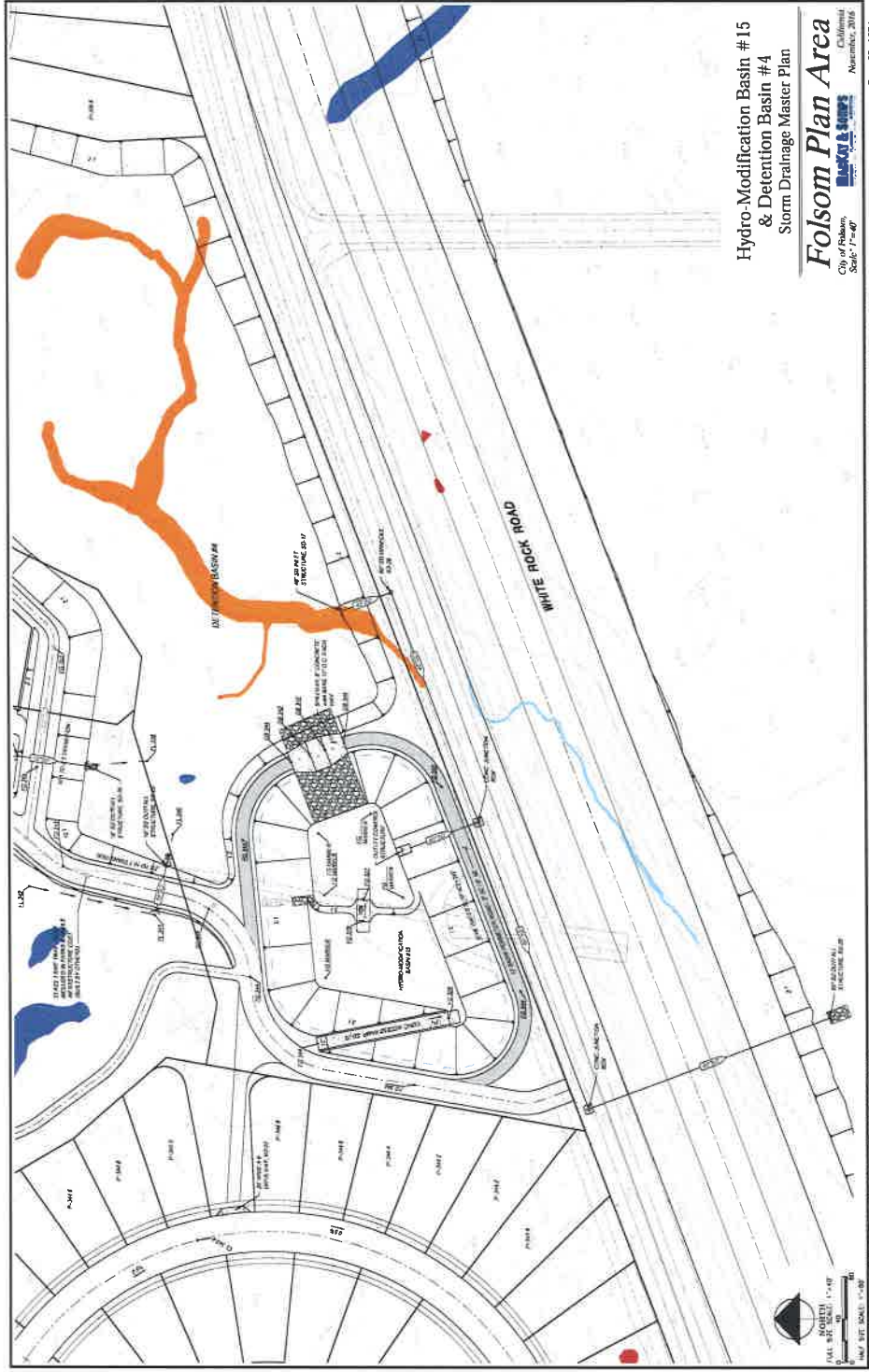
7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Detention Basin No. 3					
Earthwork & Site Preparation					
1	Clearing and Grubbing	60,000	SF	\$0.04	\$2,400
2	Import	10,000	CY	\$4.30	\$43,000
3	Basin Finish Grading	60,000	SF	\$0.60	\$36,000
4	Dewater Existing Pond	1	LS	\$5,300.00	\$5,300
Drainage Improvements					
5	Concrete Spillway & Energy Dissipater	1	LS	\$106,000.00	\$106,000
6	Rock Rip Rap	50	CY	\$60.00	\$3,000
Detention Basin Improvements					
7	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	1,600	SF	\$4.30	\$6,880
8	12' Wide x 15' Long Spillway Bridge	1	LS	\$58,000.00	\$58,000
9	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
Landscape Improvements					
10	Detention Basin Planting (Hydro-Seeding)	25,000	SF	\$0.06	\$1,500
11	Construction Area Seeding (Hydro-Seeding)	35,000	SF	\$0.06	\$2,100
12	Erosion Control (Construction SWPPP)	60,000	SF	\$0.30	\$18,000
	Subtotal Construction Cost				\$532,180
	Percentage Remaining				100%
	Total Construction Cost				\$532,180

Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 13					
Earthwork & Site Preparation					
1	Clearing and Grubbing	60,000	SF	\$0.04	\$2,400
2	Excavation	9,000	CY	\$6.40	\$57,600
3	Basin Finish Grading	60,000	SF	\$0.60	\$36,000
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	80	LF	\$210.00	\$16,800
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
7	Rock Rip Rap	200	CY	\$60.00	\$12,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,250	SF	\$11.00	\$13,750
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,300	SF	\$11.00	\$14,300
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	20-ft. Wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	9,200	SF	\$4.30	\$39,560
13	Masonry Retaining Wall	1,000	SF	\$85.00	\$85,000
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	20,000	SF	\$0.06	\$1,200
14	Construction Area Seeding (Hydro-Seeding)	30,000	SF	\$0.06	\$1,800
15	Erosion Control (Construction SWPPP)	60,000	SF	\$0.30	\$18,000
Subtotal Construction Cost					\$712,410
Percentage Remaining					100%
Total Construction Cost					\$712,410



Hydro-Modification Basin #15
 & Detention Basin #4
 Storm Drainage Master Plan

Folsom Plan Area
 City of Folsom
 Scale: 1" = 40'

California
 November, 2016

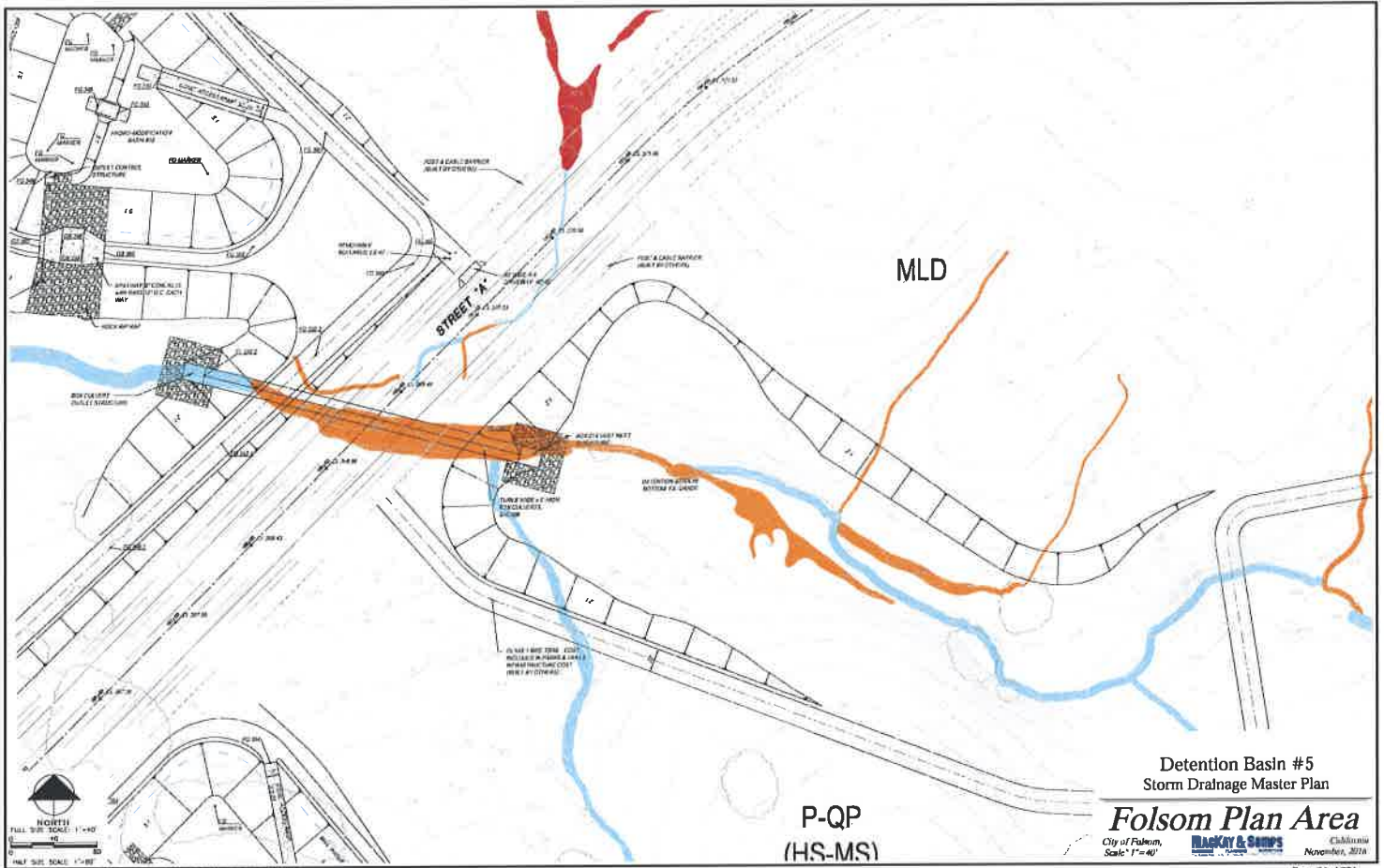


1. The information shown on this drawing was prepared by the engineer named above and is based on the information furnished to him by the client. It is the responsibility of the client to see that the information is correct and complete. The engineer assumes no responsibility for the accuracy or completeness of the information furnished to him by the client. The engineer's responsibility is limited to the design and construction of the project shown on this drawing. The engineer does not warrant the accuracy or completeness of the information furnished to him by the client. The engineer's responsibility is limited to the design and construction of the project shown on this drawing. The engineer does not warrant the accuracy or completeness of the information furnished to him by the client.

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 15					
Earthwork & Site Preparation					
1	Clearing and Grubbing	350,000	SF	\$0.04	\$14,000
2	Excavation	20,000	CY	\$6.40	\$128,000
3	Basin Finish Grading	304,000	SF	\$0.60	\$182,400
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	211	LF	\$210.00	\$44,310
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Large	1	EA	\$475,000.00	\$475,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	2,100	SF	\$11.00	\$23,100
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,400	SF	\$11.00	\$15,400
9	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
10	Rock Rip Rap	150	CY	\$60.00	\$9,000
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	28,400	SF	\$4.30	\$122,120
Landscape Improvements					
12	Detention Basin Planting (Hydro-Seeding)	80,000	SF	\$0.06	\$4,800
13	Construction Area Seeding (Hydro-Seeding)	193,000	SF	\$0.06	\$11,580
14	Erosion Control (Construction SWPPP)	350,000	SF	\$0.30	\$105,000
Subtotal Construction Cost					\$1,162,310
Percentage Remaining					100%
Total Construction Cost					\$1,162,310



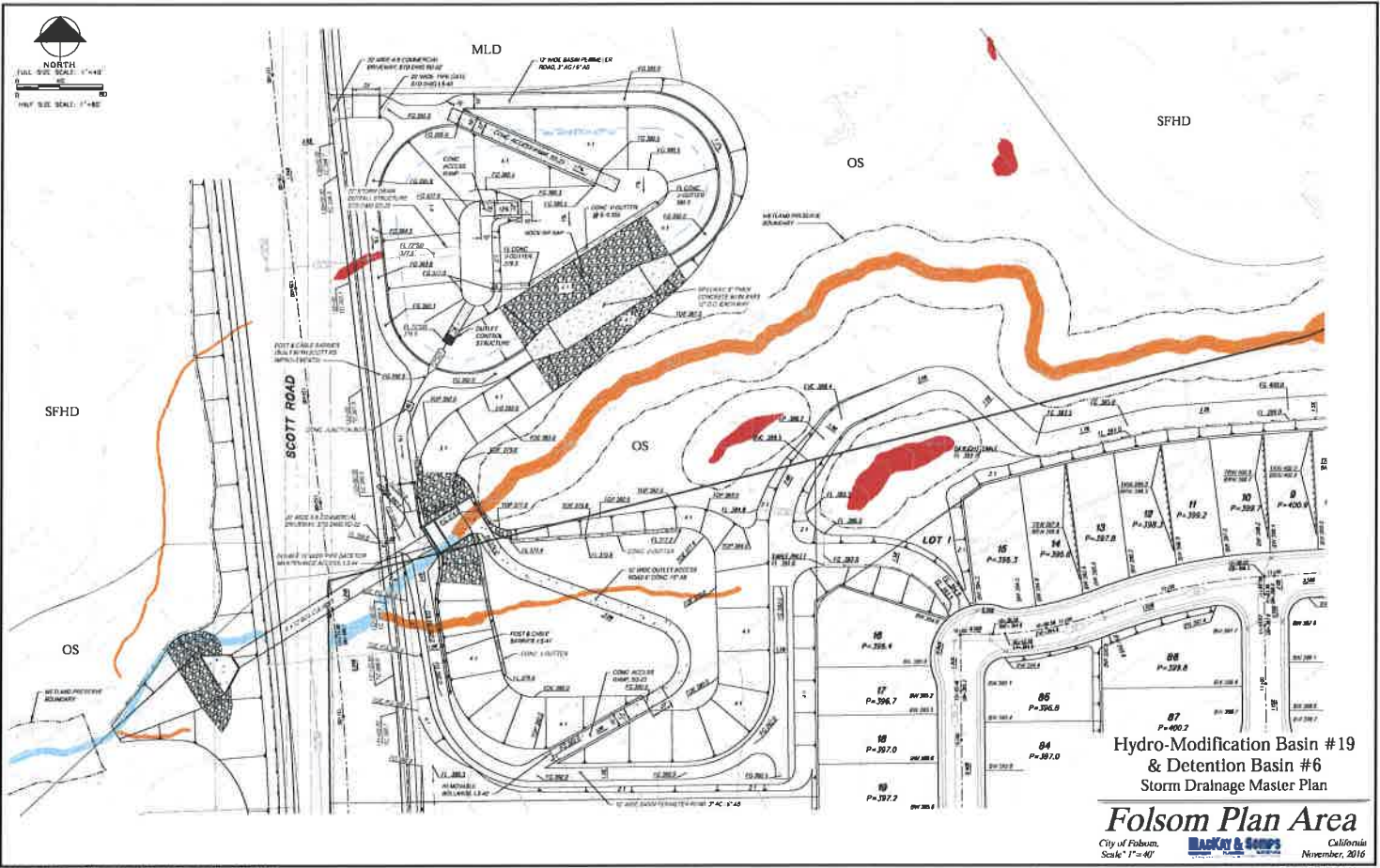
Detention Basin #5
Storm Drainage Master Plan

Folsom Plan Area
City of Folsom, California
Scale: 1" = 40'
November, 2016

**Folsom Plan Area
 Backbone Infrastructure
 Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Detention Basin No. 5					
Drainage Improvements					
1	Twin 6' High x 10' Wide Concrete Box Culverts	650	LF	\$350.00	\$227,500
2	Detention Basin Outlet Structure - Large	1	EA	\$475,000.00	\$475,000
3	Twin 6' High x 10' Wide Box Culvert Inlet and Outlet	2	EA	\$138,000.00	\$276,000
4	Rock Rip Rap	600	CY	\$60.00	\$36,000
Subtotal Construction Cost					\$1,014,500
Percentage Remaining					100%
Total Construction Cost					\$1,014,500



Hydro-Modification Basin #19
& Detention Basin #6
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom, California
Scale: 1" = 40'
Mackay & Coombs
November, 2016

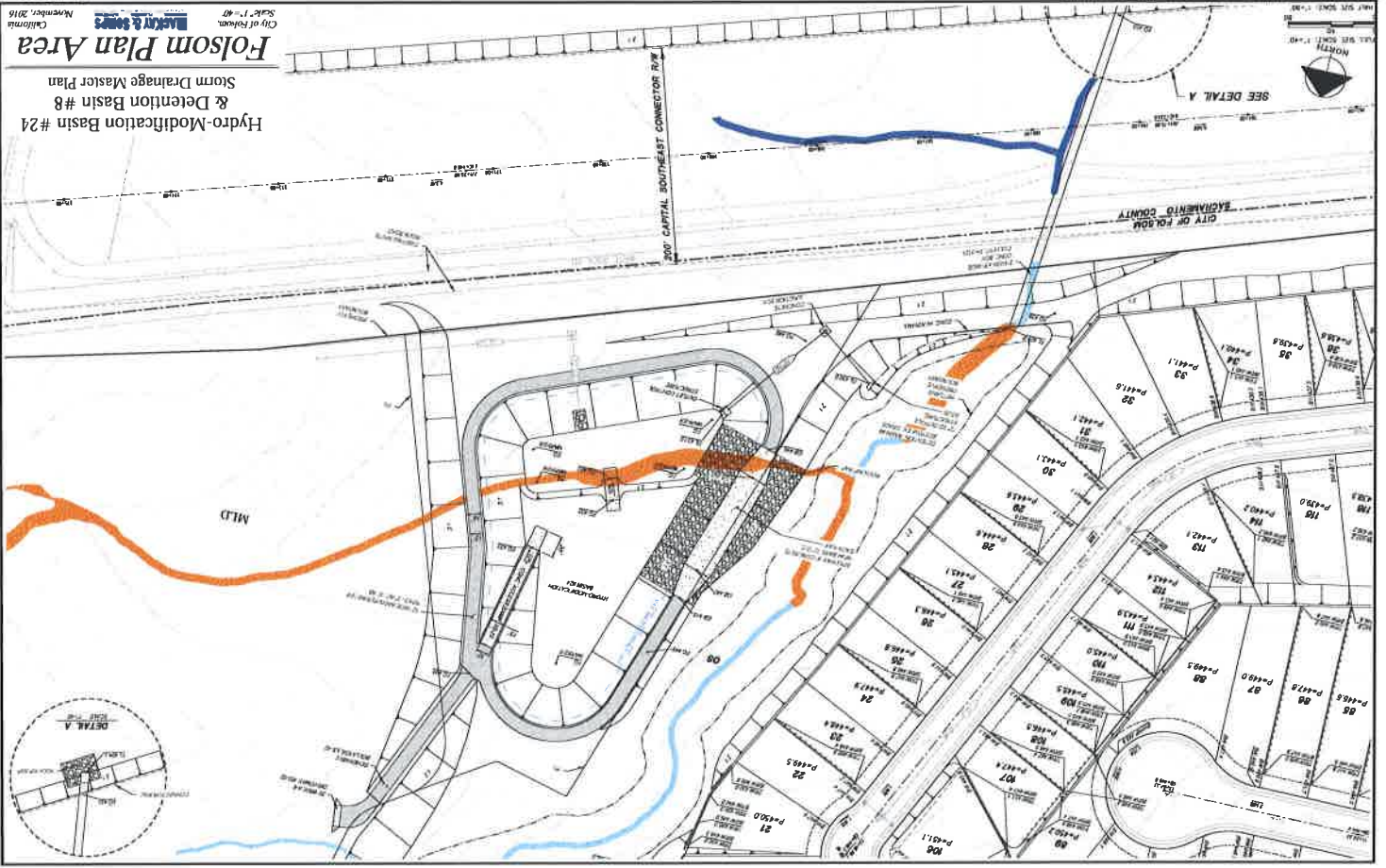
**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 19					
Earthwork & Site Preparation					
1	Clearing and Grubbing	100,000	SF	\$0.04	\$4,000
2	Excavation	6,000	CY	\$6.40	\$38,400
3	Basin Finish Grading	100,000	SF	\$0.60	\$60,000
Drainage Improvements					
4	72-inch RCP CL-IV Storm Drainage Pipeline	170	LF	\$350.00	\$59,500
5	8' x 8' Storm Drain Junction Box	1	EA	\$44,500.00	\$44,500
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	2,600	SF	\$11.00	\$28,600
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	4,400	SF	\$11.00	\$48,400
9	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
10	12-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$4,800.00	\$4,800
11	20-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
12	Rock Rip Rap	350	CY	\$60.00	\$21,000
13	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	15,000	SF	\$4.30	\$64,500
14	5-ft. Wide Concrete V-Gutter	170	LF	\$39.00	\$6,630
Landscape Improvements					
15	Detention Basin Planting (Hydro-Seeding)	57,000	SF	\$0.06	\$3,420
16	Construction Area Seeding (Hydro-Seeding)	24,000	SF	\$0.06	\$1,440
17	Erosion Control (Construction SWPPP)	100,000	SF	\$0.30	\$30,000
Subtotal Construction Cost					\$807,990
Percentage Remaining					0%
Total Construction Cost					\$0

Folsom Plan Area
Hydro-Modification Basin #24
& Detention Basin #8
Storm Drainage Master Plan

City of Folsom
November, 2016
Scale: 1" = 40'



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

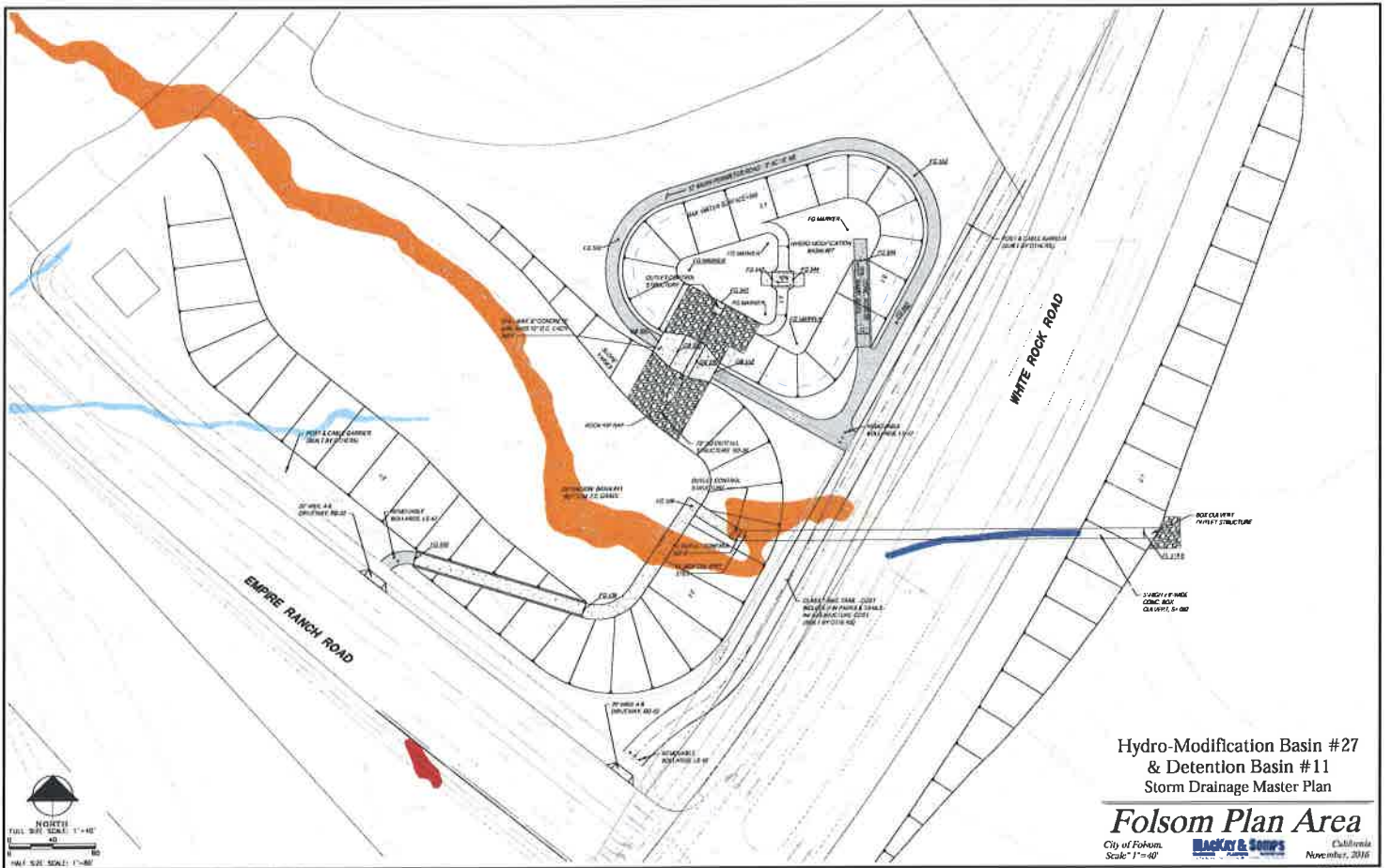
7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Detention Basin No. 8					
Drainage Improvements					
1	72-inch RCP CL IV Storm Drain Pipeline	320	LF	\$350.00	\$112,000
2	Detention Basin Outlet Structure- Medium	1	EA	\$380,000	\$380,000
3	72-inch Storm Drain Outfall Structure	1	EA	\$37,100	\$37,100
4	Rock Rip Rap	100	CY	\$60.00	\$6,000
Subtotal Construction Cost					\$535,100
Percentage Remaining					0%
Total Construction Cost					\$0

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 24					
Earthwork & Site Preparation					
1	Clearing and Grubbing	110,000	SF	\$0.04	\$4,400
2	Excavation	20,000	CY	\$6.40	\$128,000
3	Basin Finish Grading	110,000	SF	\$0.60	\$66,000
Drainage Improvements					
4	72-inch RCP CL-IV Storm Drainage Pipeline	180	LF	\$350.00	\$63,000
5	72-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$37,100.00	\$37,100
6	8' x 8' Storm Drain Junction Box	1	EA	\$44,500.00	\$44,500
7	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,920	SF	\$11.00	\$21,120
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	3,970	SF	\$11.00	\$43,670
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
12	Rock Rip Rap	310	CY	\$60.00	\$18,600
13	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	13,210	SF	\$4.30	\$56,803
Landscape Improvements					
14	Detention Basin Planting (Hydro-Seeding)	61,000	SF	\$0.06	\$3,660
15	Construction Area Seeding (Hydro-Seeding)	32,000	SF	\$0.06	\$1,920
16	Erosion Control (Construction SWPPP)	110,000	SF	\$0.30	\$33,000
Subtotal Construction Cost					\$912,173
Percentage Remaining					0%
Total Construction Cost					\$0



Hydro-Modification Basin #27
& Detention Basin #11
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom
Scale: 1"=40'
Black & Veatch
November, 2016



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

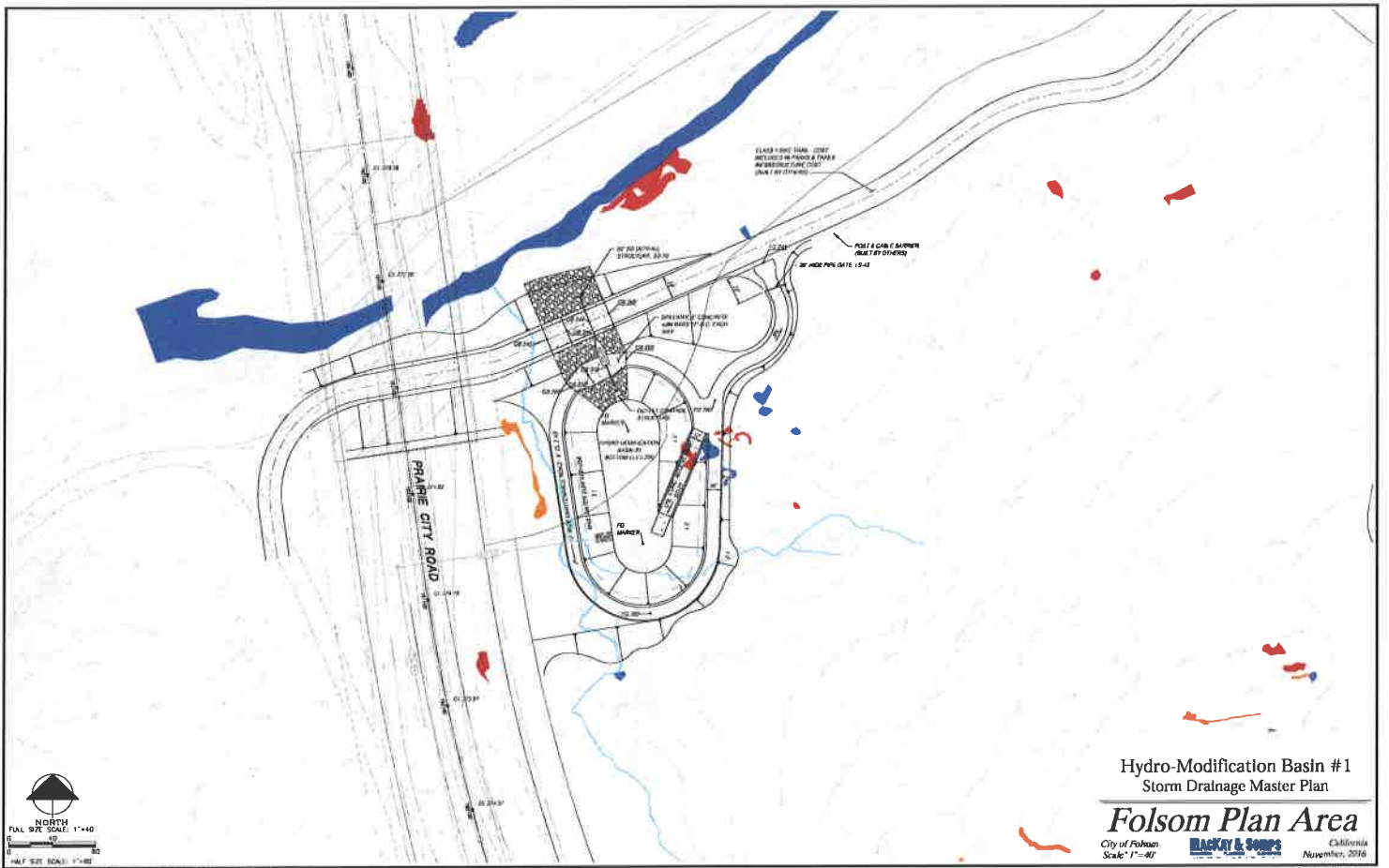
7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Detention Basin No. 11					
Earthwork					
1	Clearing and Grubbing	75,000	SF	\$0.04	\$3,000
2	Import	40,000	CY	\$4.30	\$172,000
3	Basin Finish Grading	75,000	SF	\$0.60	\$45,000
Drainage Improvements					
4	12-inch RCP C III Storm Drain Pipeline	50	LF	\$120.00	\$6,000
5	48-inch RCP CL V Storm Drain Pipeline	260	LF	\$260.00	\$67,600
6	54-inch RCP CL III Storm Drain Pipeline	710	LF	\$290.00	\$205,900
7	Type 'A' Drop Inlet	1	EA	\$5,000.00	\$5,000
8	96-inch Storm Drain Manhole	1	EA	\$19,600.00	\$19,600
9	Twin 48-inch Storm Drain Outfall Structure	1	EA	\$36,000.00	\$36,000
10	54-inch Storm Drain Outfall Structure	1	EA	\$26,500.00	\$26,500
11	8'x8' Storm Drain Junction Box	2	EA	\$44,500.00	\$89,000
12	9'x9' Storm Drain Junction Box	1	EA	\$46,600.00	\$46,600
13	Detention Basin Outlet Control Structure - Large	1	EA	\$475,000.00	\$475,000
14	Rock Rip Rap	150	CY	\$60.00	\$9,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	3,700	SF	\$11.00	\$40,700
9	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
10	30-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$8,500.00	\$8,500
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	14,000	SF	\$4.30	\$60,200
Landscape Improvements					
12	Detention Basin Planting (Hydro-Seeding)	51,000	SF	\$0.06	\$3,060
13	Construction Area Seeding (Hydro-Seeding)	25,000	SF	\$0.06	\$1,500
14	Erosion Control (Construction SWPPP)	75,000	SF	\$0.30	\$22,500
Subtotal Construction Cost					\$1,346,660
Percentage Remaining					100%
Total Construction Cost					\$1,346,660

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 27					
Earthwork & Site Preparation					
1	Clearing and Grubbing	70,000	SF	\$0.04	\$2,800
2	Excavation	7,000	CY	\$7.50	\$52,500
3	Import	16,000	CY	\$4.30	\$68,800
4	Basin Finish Grading	70,000	SF	\$0.60	\$42,000
Drainage Improvements					
5	42-inch RCP CL-IV Storm Drainage Pipeline	277	LF	\$250.00	\$69,250
6	48-inch RCP CL-IV Storm Drainage Pipeline	93	LF	\$260.00	\$24,180
7	72-inch Storm Dain Manhole, Std Dwg SD-28	1	EA	\$9,600.00	\$9,600
8	42-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$23,300.00	\$23,300
9	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
10	Detention Basin Outlet Control Structure - Large	1	EA	\$475,000.00	\$475,000
Detention Basin Improvements					
11	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	2,000	SF	\$11.00	\$22,000
12	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	2,760	SF	\$11.00	\$30,360
13	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
14	Removable Bollards, Std. Dwg. LS-42	3	EA	\$2,000.00	\$6,000
15	Rock Rip Rap	200	CY	\$60.00	\$12,000
16	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	16,000	SF	\$4.30	\$68,800
Landscape Improvements					
17	Detention Basin Planting (Hydro-Seeding)	47,000	SF	\$0.06	\$2,820
18	Construction Area Seeding (Hydro-Seeding)	5,000	SF	\$0.06	\$300
19	Erosion Control (Construction SWPPP)	70,000	SF	\$0.30	\$21,000
Subtotal Construction Cost					\$962,610
Percentage Remaining					100%
Total Construction Cost					\$962,610



Hydro-Modification Basin #1
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom
Scale: 1"=40'

Mackay & Samps

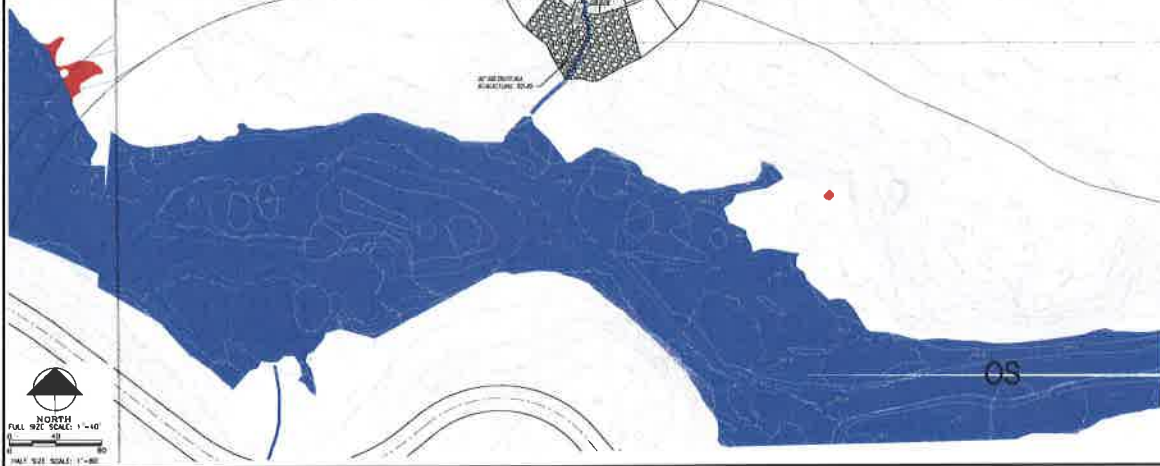
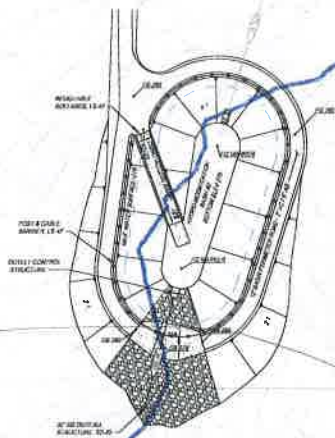
California
November, 2018

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 1					
Earthwork & Site Preparation					
1	Clearing and Grubbing	64,000	SF	\$0.04	\$2,560
2	Import	3,000	CY	\$4.30	\$12,900
3	Basin Finish Grading	64,000	SF	\$0.60	\$38,400
Drainage Improvements					
4	48-inch RCP CL-IV Storm Drainage Pipeline	150	LF	\$260.00	\$39,000
5	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
7	Rock Rip Rap	200	CY	\$60.00	\$12,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,300	SF	\$11.00	\$14,300
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	2,900	SF	\$11.00	\$31,900
10	20-ft. Wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	9,100	SF	\$4.30	\$39,130
Landscape Improvements					
12	Detention Basin Planting (Hydro-Seeding)	25,000	SF	\$0.06	\$1,500
13	Construction Area Seeding (Hydro-Seeding)	27,000	SF	\$0.06	\$1,620
14	Erosion Control (Construction SWPPP)	64,000	SF	\$0.30	\$19,200
Subtotal Construction Cost					\$494,410
Percentage Remaining					100%
Total Construction Cost					\$494,410

IND/OP



Hydro-Modification Basin #2
Storm Drainage Master Plan

Folsom Plan Area

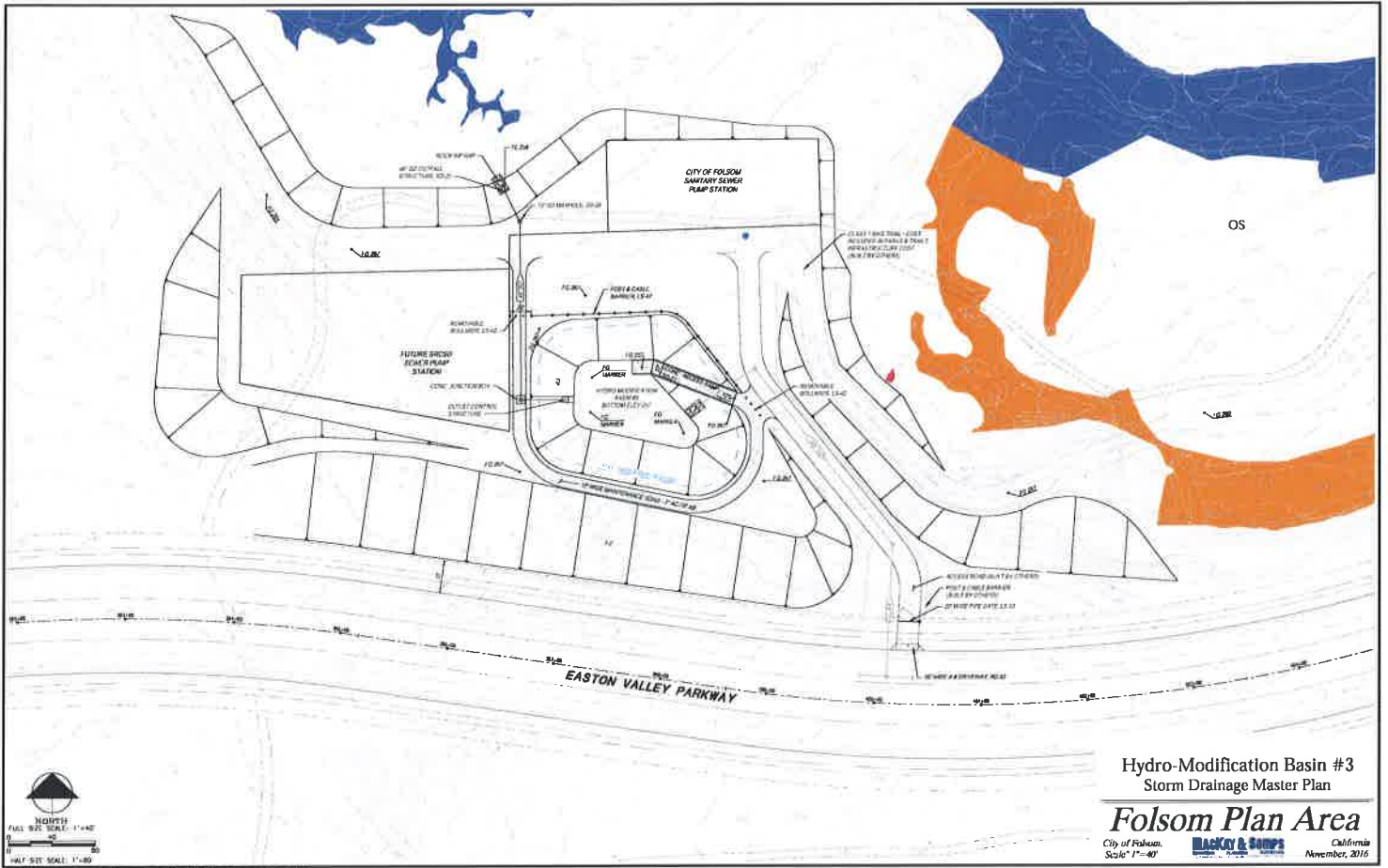
City of Folsom
Scale: 1"=40'
Mackay & Sons
California
November, 2016

11/16/2016 10:58:11 AM C:\Users\jgarcia\Documents\Projects\2016\2016_Storm_Drainage_Master_Plan\2016_Storm_Drainage_Master_Plan.dwg (PLOT) 11/16/2016 10:58:11 AM

Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 2					
Earthwork & Site Preparation					
1	Clearing and Grubbing	48,000	SF	\$0.04	\$1,920
2	Import	10,000	CY	\$4.30	\$43,000
3	Basin Finish Grading	48,000	SF	\$0.60	\$28,800
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	100	LF	\$210.00	\$21,000
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
7	Rock Rip Rap	200	CY	\$60.00	\$12,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,300	SF	\$11.00	\$14,300
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,600	SF	\$11.00	\$17,600
10	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
11	Post & Cable Barrier, Std. Dwg. LS-47	600	LF	\$20.00	\$12,000
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	9,100	SF	\$4.30	\$39,130
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	24,000	SF	\$0.06	\$1,440
14	Construction Area Seeding (Hydro-Seeding)	14,000	SF	\$0.06	\$840
15	Erosion Control (Construction SWPPP)	48,000	SF	\$0.30	\$14,400
Subtotal Construction Cost					\$481,630
Percentage Remaining					100%
Total Construction Cost					\$481,630



Hydro-Modification Basin #3
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom
Scale 1"=40'



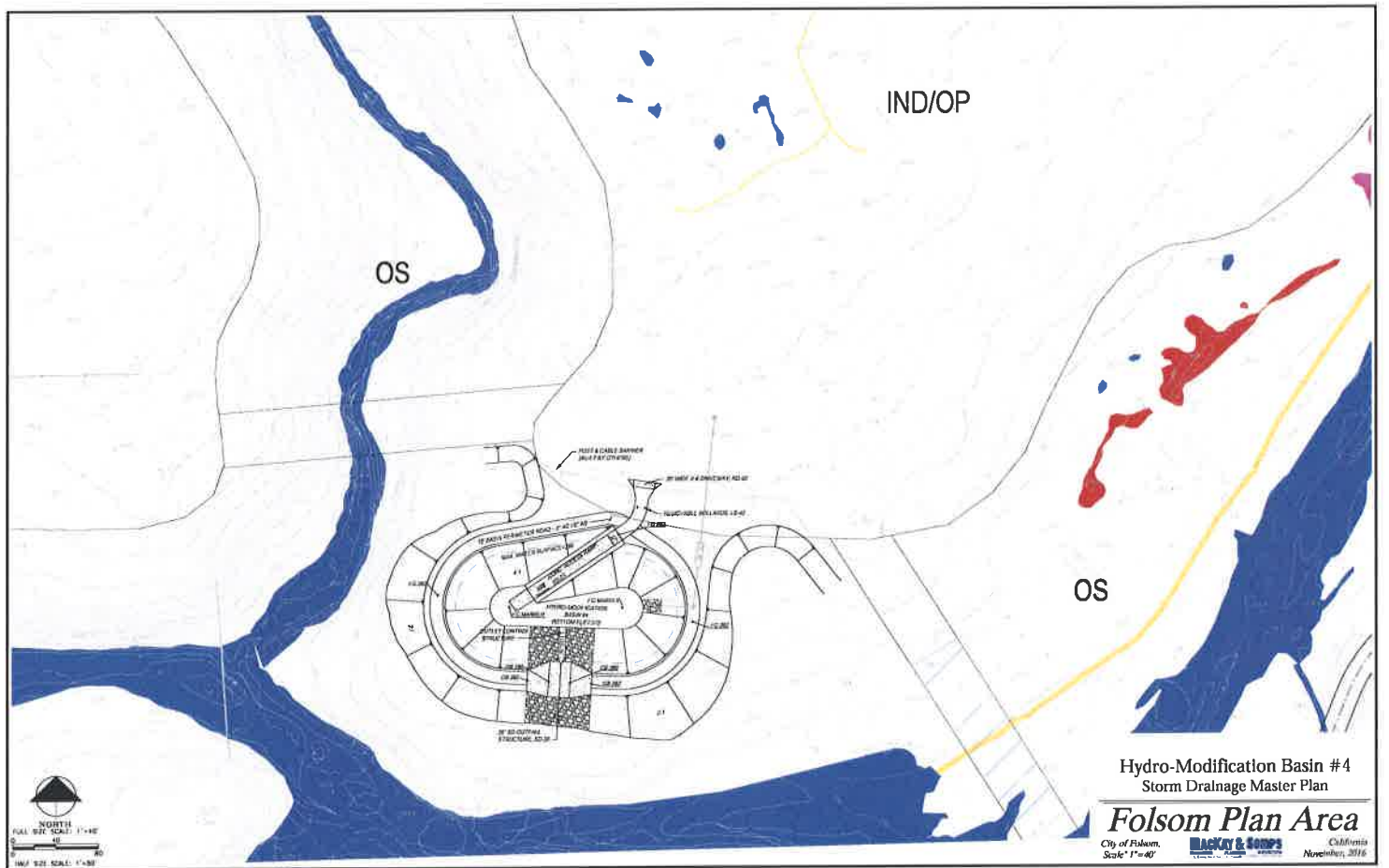
California
November, 2016



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 3					
Earthwork & Site Preparation					
1	Clearing and Grubbing	46,000	SF	\$0.04	\$1,840
2	Excavation	16,000	CY	\$6.40	\$102,400
3	Basin Finish Grading	31,000	SF	\$0.60	\$18,600
Drainage Improvements					
4	48-inch RCP CL-IV Storm Drainage Pipeline	240	LF	\$260.00	\$62,400
5	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
6	6' x 6' Storm Drain Junction Box	2	EA	\$37,100.00	\$74,200
7	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
8	Rock Rip Rap	10	CY	\$60.00	\$600
Detention Basin Improvements					
9	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,300	SF	\$11.00	\$14,300
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	Removable Bollards, Std. Dwg. LS-42	6	EA	\$2,000.00	\$12,000
12	Post & Cable Barrier, Std. Dwg. LS-47	230	LF	\$20.00	\$4,600
13	20-ft. Wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
14	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	6,400	SF	\$4.30	\$27,520
Landscape Improvements					
15	Detention Basin Planting (Hydro-Seeding)	27,000	SF	\$0.06	\$1,620
16	Construction Area Seeding (Hydro-Seeding)	13,000	SF	\$0.06	\$780
17	Erosion Control (Construction SWPPP)	46,000	SF	\$0.30	\$13,800
Subtotal Construction Cost					\$622,960
Percentage Remaining					100%
Total Construction Cost					\$622,960



Hydro-Modification Basin #4
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom,
Scale: 1"=40'



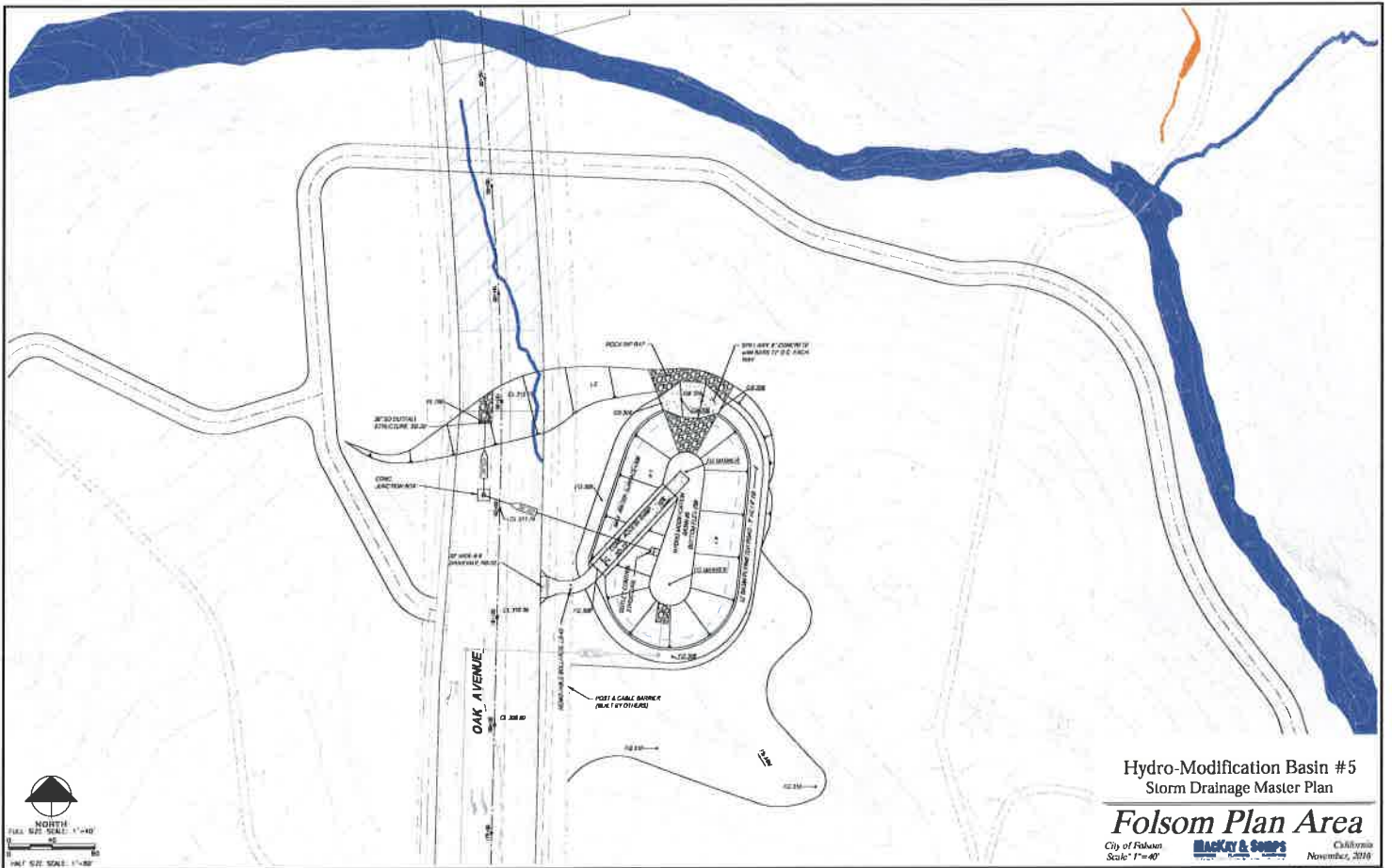
California
November, 2016



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 4					
Earthwork & Site Preparation					
1	Clearing and Grubbing	70,000	SF	\$0.04	\$2,800
2	Import	4,000	CY	\$4.30	\$17,200
3	Basin Finish Grading	70,000	SF	\$0.60	\$42,000
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	80	LF	\$210.00	\$16,800
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
7	Rock Rip Rap	150	CY	\$60.00	\$9,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,500	SF	\$11.00	\$16,500
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,800	SF	\$11.00	\$19,800
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	7,500	SF	\$4.30	\$32,250
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	28,000	SF	\$0.06	\$1,680
14	Construction Area Seeding (Hydro-Seeding)	35,000	SF	\$0.06	\$2,100
15	Erosion Control (Construction SWPPP)	70,000	SF	\$0.30	\$21,000
Subtotal Construction Cost					\$462,730
Percentage Remaining					100%
Total Construction Cost					\$462,730



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

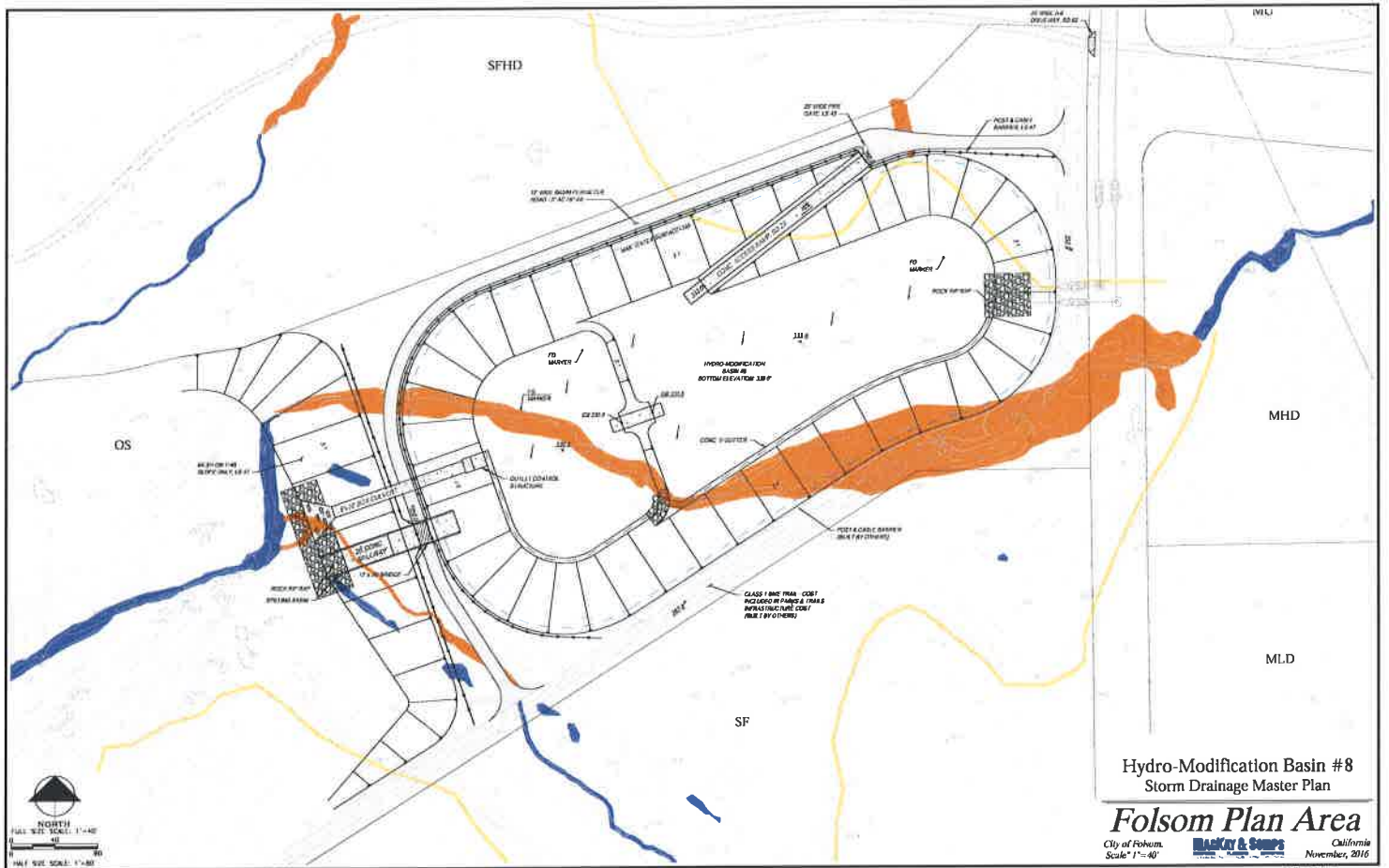
7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 5					
Earthwork & Site Preparation					
1	Clearing and Grubbing	57,000	SF	\$0.04	\$2,280
2	Import	6,000	CY	\$4.30	\$25,800
3	Basin Finish Grading	23,000	SF	\$0.60	\$13,800
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	230	LF	\$210.00	\$48,300
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
7	Rock Rip Rap	100	CY	\$60.00	\$6,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,500	SF	\$11.00	\$16,500
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,600	SF	\$11.00	\$17,600
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	7,700	SF	\$4.30	\$33,110
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	24,000	SF	\$0.06	\$1,440
14	Construction Area Seeding (Hydro-Seeding)	26,000	SF	\$0.06	\$1,560
15	Erosion Control (Construction SWPPP)	57,000	SF	\$0.30	\$17,100
Subtotal Construction Cost					\$465,090
Percentage Remaining					100%
Total Construction Cost					\$465,090

Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

7919,000

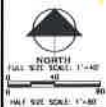
	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 6					
Earthwork & Site Preparation					
1	Clearing and Grubbing	174,000	SF	\$0.04	\$6,960.00
2	Excavation	46,000	CY	\$6.40	\$294,400.00
3	Basin Finish Grading	174,000	SF	\$0.60	\$104,400.00
Drainage Improvements					
4	60-inch RCP CL-IV Storm Drainage Pipeline	100	LF	\$320.00	\$32,000.00
5	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$27,600.00	\$27,600.00
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000.00
7	Rock Rip Rap	200	CY	\$60.00	\$12,000.00
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,800	SF	\$11.00	\$19,800.00
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,800	SF	\$11.00	\$19,800.00
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400.00
11	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000.00
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	18,000	SF	\$4.30	\$77,400.00
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	60,000	SF	\$0.06	\$3,600.00
14	Construction Area Seeding (Hydro-Seeding)	96,000	SF	\$0.06	\$5,760.00
15	Erosion Control (Construction SWPPP)	174,000	SF	\$0.30	\$52,200.00
Subtotal Construction Cost					\$916,320
Percentage Remaining					100%
Total Construction Cost					\$916,320



Hydro-Modification Basin #8
Storm Drainage Master Plan

Folsom Plan Area

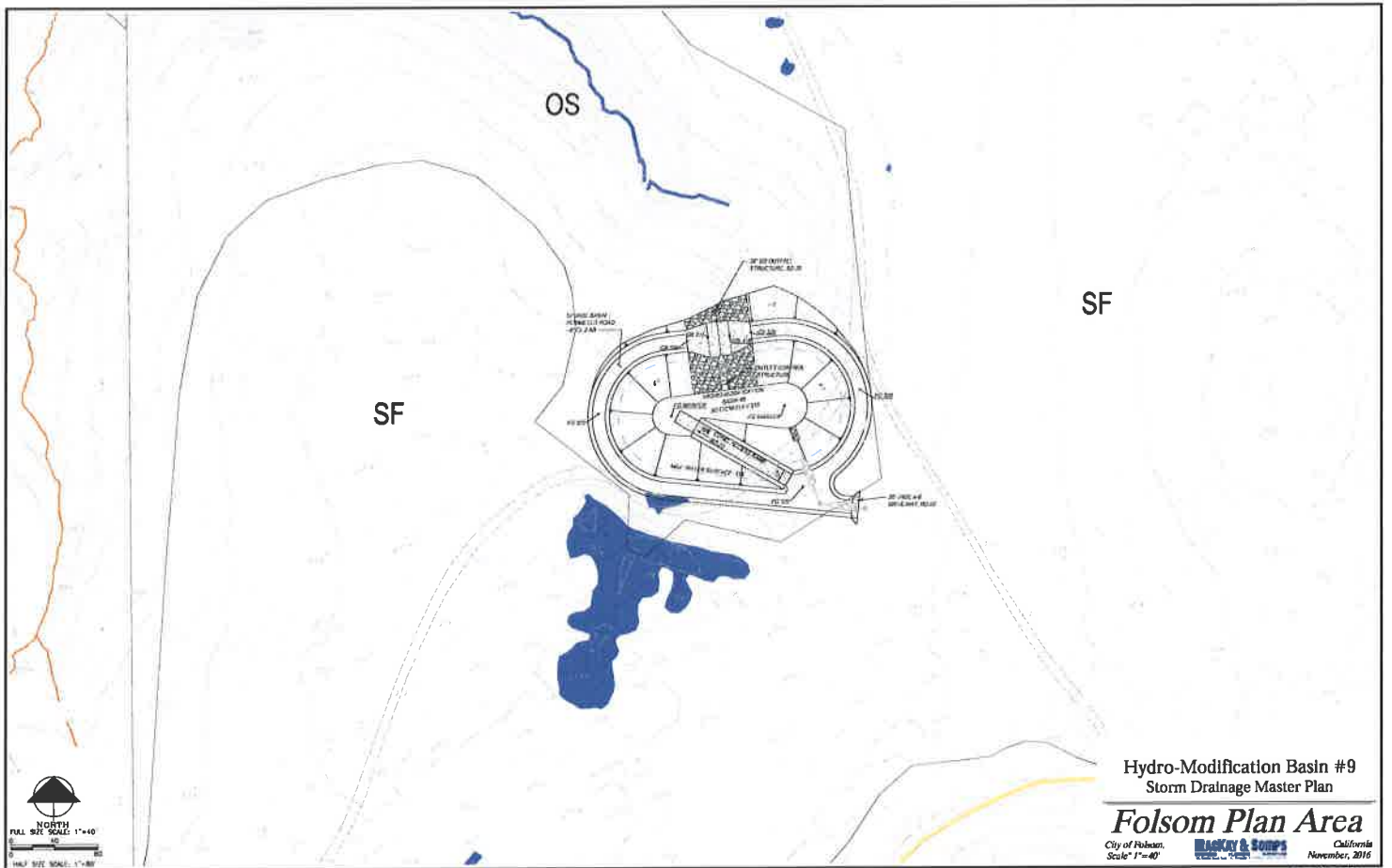
City of Folsom, California
Scale: 1" = 40'
November, 2016



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 8					
Earthwork & Site Preparation					
1	Clearing and Grubbing	400,000	SF	\$0.04	\$16,000.00
2	Import	48,000	CY	\$4.30	\$206,400.00
3	Basin Finish Grading	400,000	SF	\$0.60	\$240,000.00
Drainage Improvements					
4	6-ft. High x 10-ft. Wide Concrete Box Culvert	145	LF	\$350.00	\$50,750
5	Detention Basin Outlet Control Structure - Extra Extra Large	1	EA	\$750,000.00	\$750,000
6	Box Culvert Outfall Structure	1	EA	\$96,000.00	\$96,000
7	Concrete Spillway Spilling Basin	1	LS	\$106,000.00	\$106,000
8	Rock Rip Rap	200	CY	\$60.00	\$12,000
Detention Basin Improvements					
9	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	3,120	SF	\$11.00	\$34,320
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	Post & Cable Barrier, Std. Dwg. LS-47	1,400	LF	\$20.00	\$28,000
12	20-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
13	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	13,300	SF	\$4.30	\$57,190
14	5-ft. Wide Concrete V-Gutter	580	LF	\$39.00	\$22,620
15	12' Wide x 15' Long Spillway Bridge	1	LS	\$58,000.00	\$58,000
Landscape Improvements					
16	Detention Basin Planting (Hydro-Seeding)	212,000	SF	\$0.06	\$12,720
17	Side Slope Jute Mesh, Std. Dwg. LS-57	20,000	SF	\$0.30	\$6,000
18	Construction Area Seeding (Hydro-Seeding)	175,000	SF	\$0.06	\$10,500
19	Erosion Control (Construction SWPPP)	400,000	SF	\$0.30	\$120,000
Subtotal Construction Cost					\$1,839,300
Percentage Remaining					100%
Total Construction Cost					\$1,839,300



Hydro-Modification Basin #9
Storm Drainage Master Plan

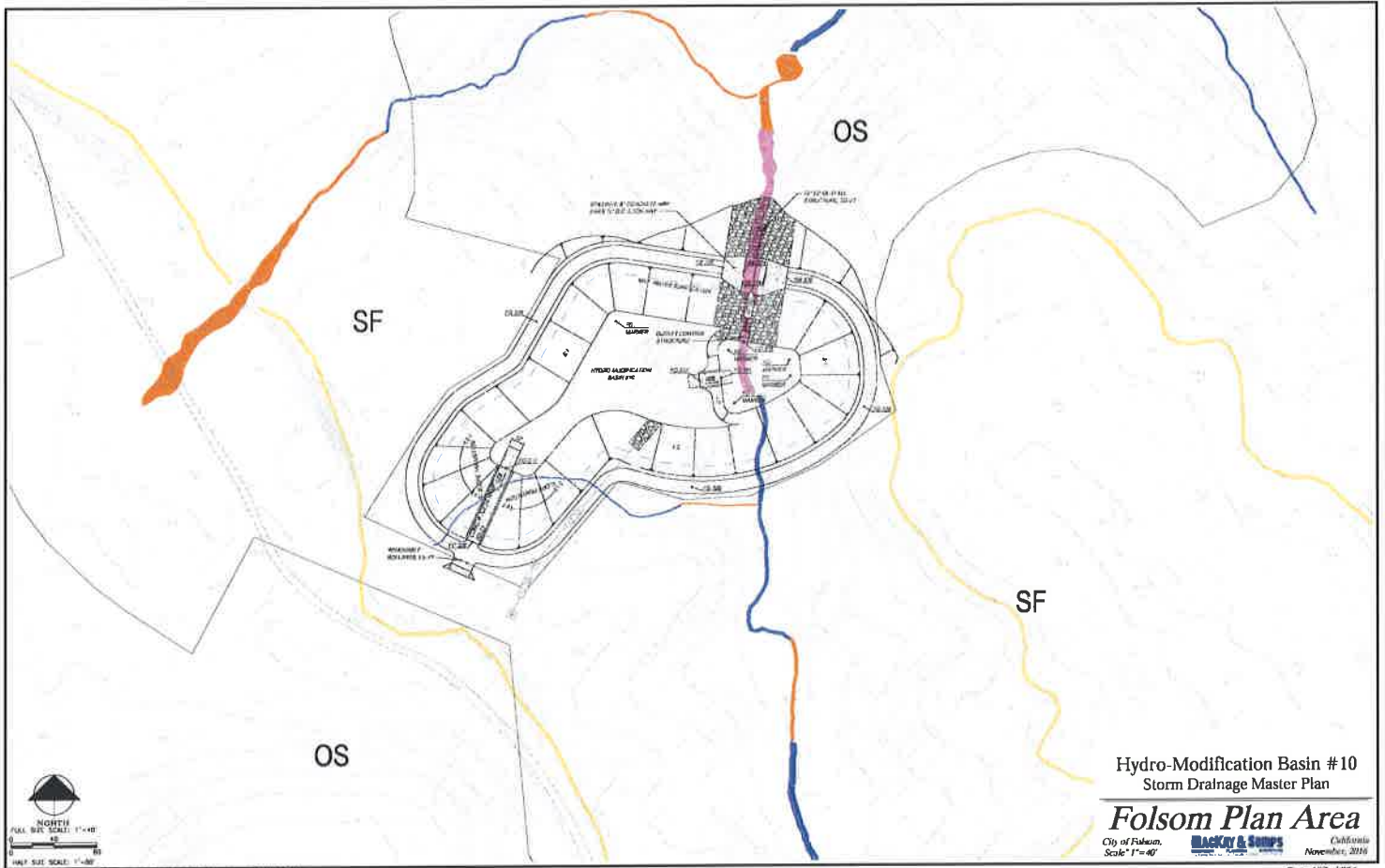
Folsom Plan Area

City of Folsom, California
Scale: 1"=40'
Blakely & Soups
November, 2016

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

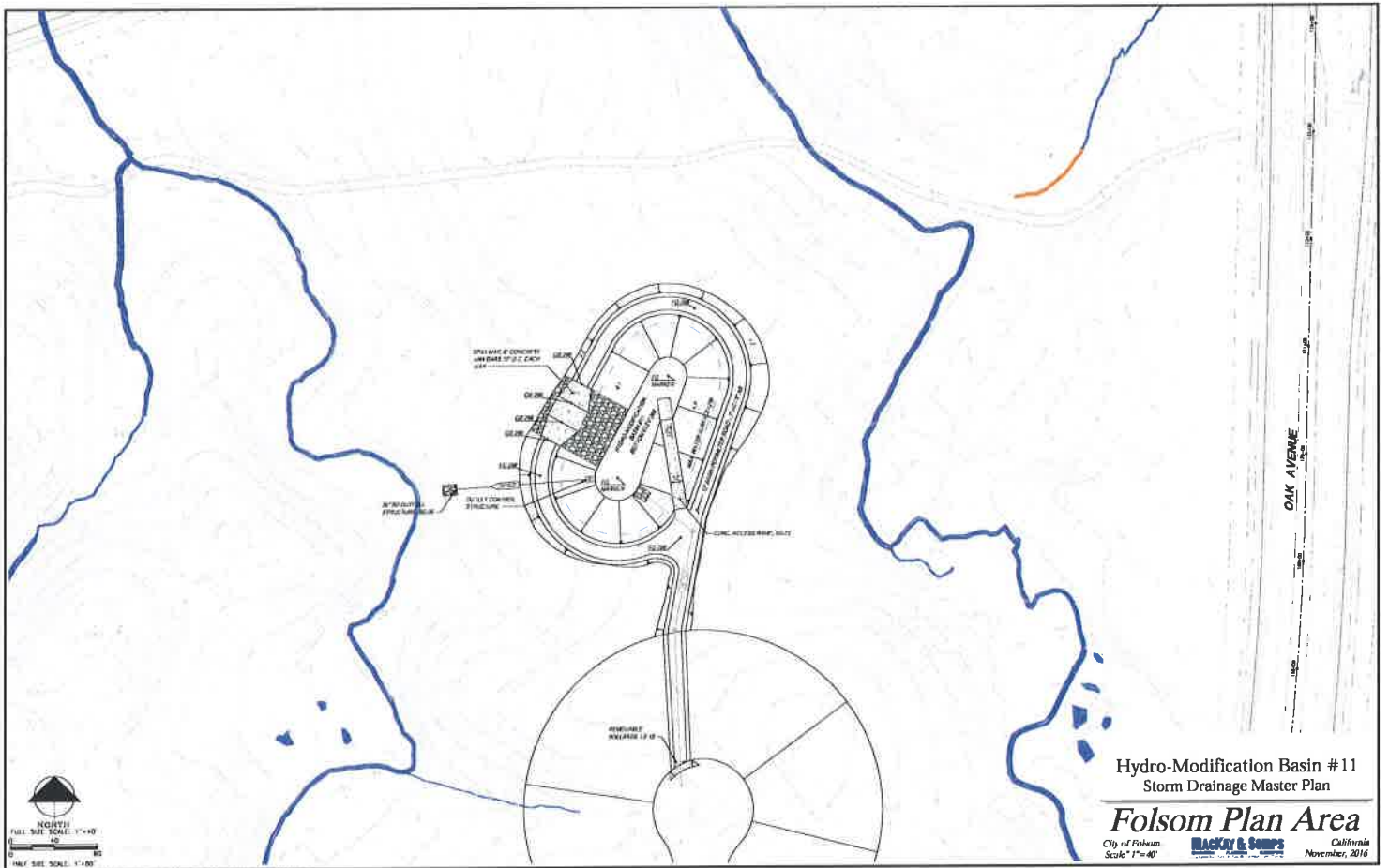
	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 9					
Earthwork & Site Preparation					
1	Clearing and Grubbing	50,000	SF	\$0.04	\$2,000
2	Import	10,000	CY	\$6.40	\$64,000
3	Basin Finish Grading	50,000	SF	\$0.60	\$30,000
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	70	LF	\$210.00	\$14,700
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
7	Rock Rip Rap	100	CY	\$60.00	\$6,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,450	SF	\$11.00	\$15,950
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,700	SF	\$11.00	\$18,700
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	8,300	SF	\$4.30	\$35,690
Landscape Improvements					
12	Detention Basin Planting (Hydro-Seeding)	24,000	SF	\$0.06	\$1,440
13	Construction Area Seeding (Hydro-Seeding)	16,000	SF	\$0.06	\$960
14	Erosion Control (Construction SWPPP)	50,000	SF	\$0.30	\$15,000
Subtotal Construction Cost					\$482,040
Percentage Remaining					100%
Total Construction Cost					\$482,040



Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 10					
Earthwork & Site Preparation					
1	Clearing and Grubbing	100,000	SF	\$0.04	\$4,000
2	Import	10,000	CY	\$4.30	\$43,000
3	Basin Finish Grading	100,000	SF	\$0.60	\$60,000
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	100	LF	\$210.00	\$21,000
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
7	Rock Rip Rap	250	CY	\$60.00	\$15,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,650	SF	\$11.00	\$18,150
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,800	SF	\$11.00	\$19,800
9	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
10	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	13,000	SF	\$4.30	\$55,900
Landscape Improvements					
12	Detention Basin Planting (Hydro-Seeding)	64,000	SF	\$0.06	\$3,840
13	Construction Area Seeding (Hydro-Seeding)	23,000	SF	\$0.06	\$1,380
14	Erosion Control (Construction SWPPP)	100,000	SF	\$0.30	\$30,000
Subtotal Construction Cost					\$683,670
Percentage Remaining					100%
Total Construction Cost					\$683,670



Hydro-Modification Basin #11
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom
Scale: 1"=40'

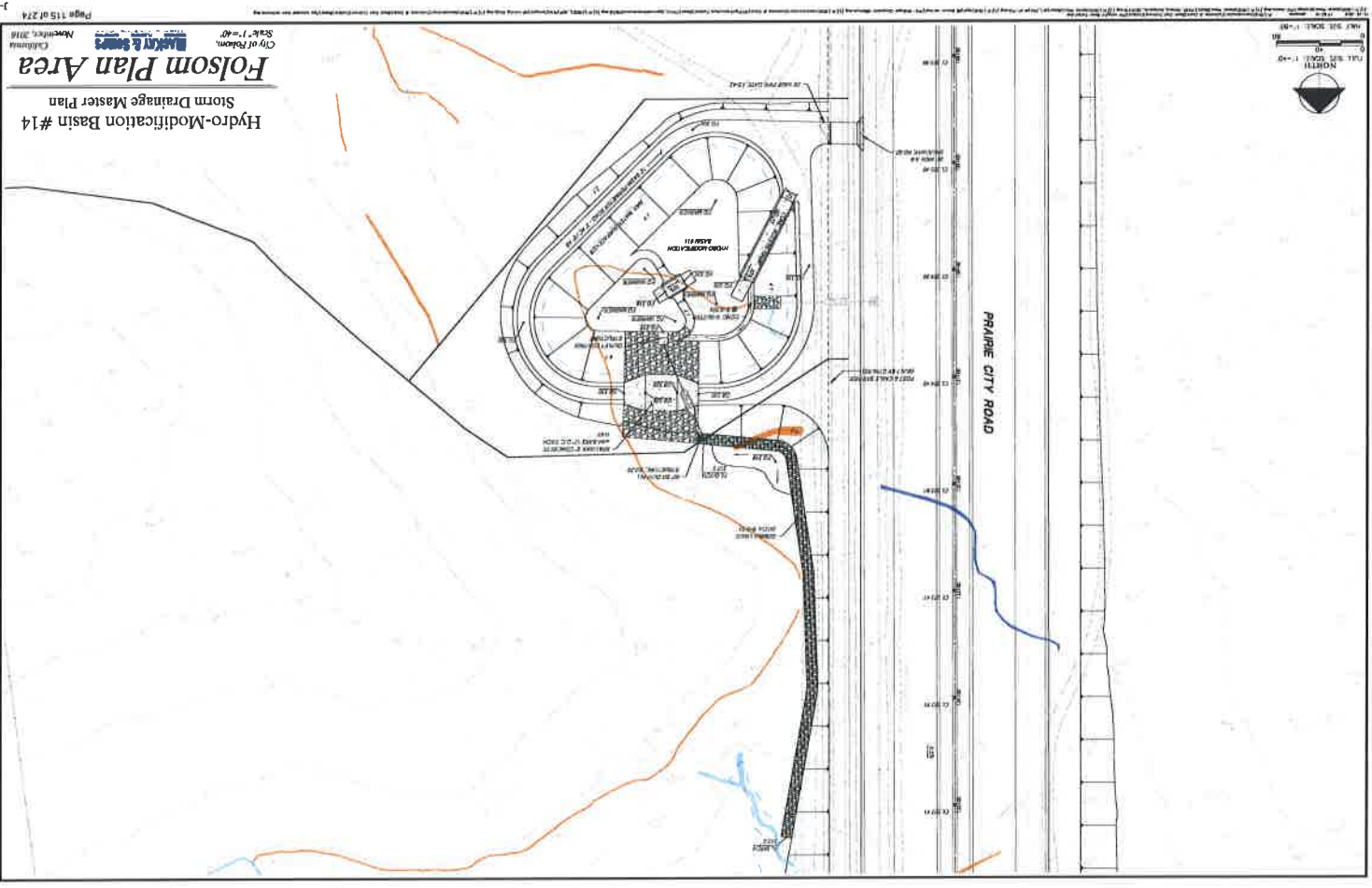
BLACK & VEATCH

California
November, 2016

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 11					
Earthwork & Site Preparation					
1	Clearing and Grubbing	54,000	SF	\$0.04	\$2,160
2	Excavation	9,000	CY	\$6.40	\$57,600
3	Basin Finish Grading	54,000	SF	\$0.60	\$32,400
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	120	LF	\$210.00	\$25,200
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
7	Rock Rip Rap	50	CY	\$60.00	\$3,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,250	SF	\$11.00	\$13,750
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,700	SF	\$11.00	\$18,700
10	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
11	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	11,000	SF	\$4.30	\$47,300
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	23,000	SF	\$0.06	\$1,380
14	Construction Area Seeding (Hydro-Seeding)	20,000	SF	\$0.06	\$1,200
15	Erosion Control (Construction SWPPP)	54,000	SF	\$0.30	\$16,200
Subtotal Construction Cost					\$500,490
Percentage Remaining					100%
Total Construction Cost					\$500,490



Hydro-Modification Basin #14
Storm Drainage Master Plan
Folsom Plan Area

City of Folsom
 Mackay & Sowers
 November, 2016
 Scale: 1"=40'

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

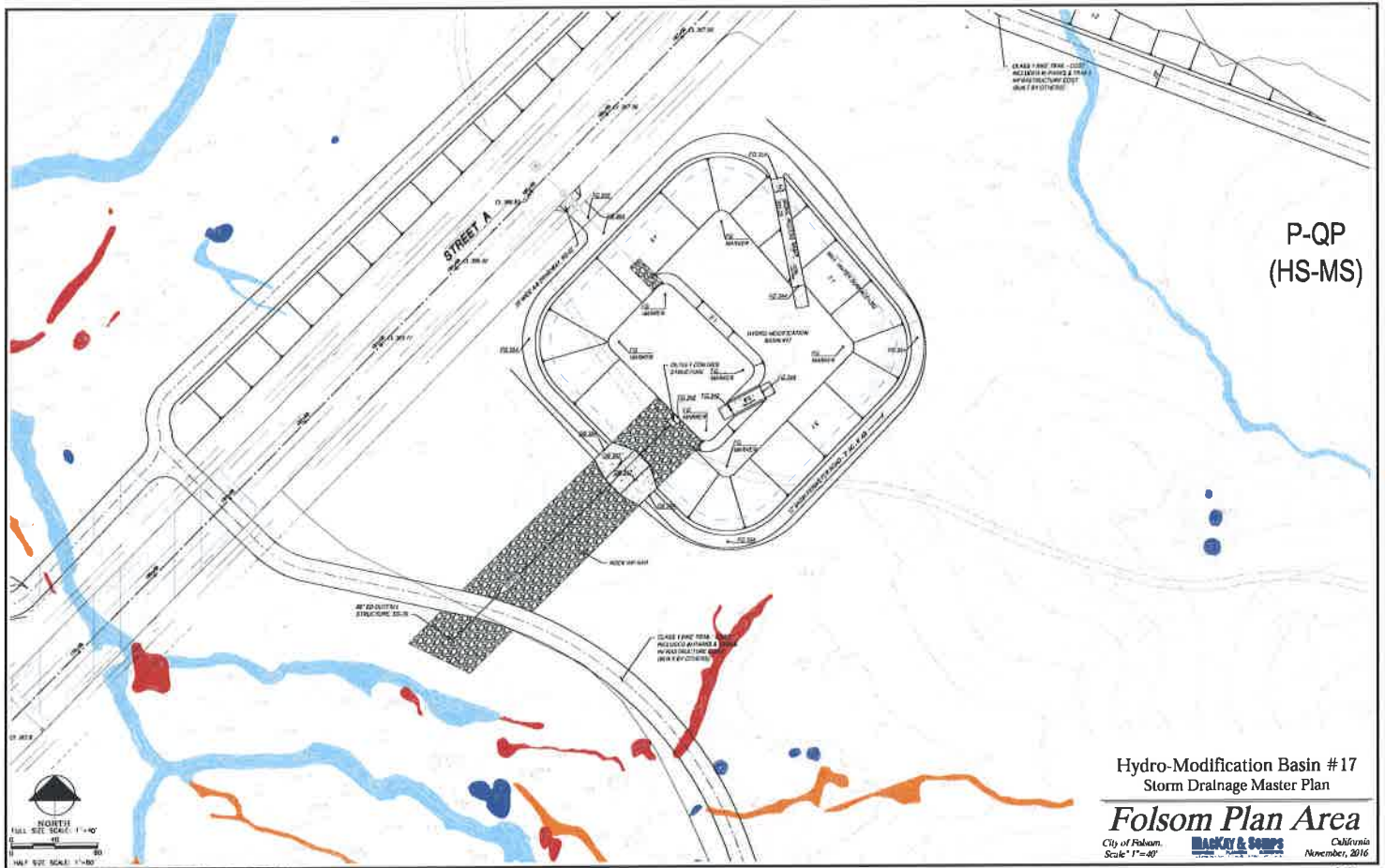
7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 14					
Earthwork & Site Preparation					
1	Clearing and Grubbing	90,000	SF	\$0.04	\$3,600
2	Import	5,000	CY	\$4.30	\$21,500
3	Basin Finish Grading	90,000	SF	\$0.60	\$54,000
Drainage Improvements					
4	60-inch RCP CL-IV Storm Drainage Pipeline	90	LF	\$320.00	\$28,800
5	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$27,600.00	\$27,600
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,750	SF	\$11.00	\$19,250
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	2,100	SF	\$11.00	\$23,100
9	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
10	20-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
11	Rock Rip Rap	200	CY	\$60.00	\$12,000
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	11,600	SF	\$4.30	\$49,880
13	5-ft. Wide Concrete V-Gutter	100	LF	\$39.00	\$3,900
Landscape Improvements					
14	Detention Basin Planting (Hydro-Seeding)	42,000	SF	\$0.06	\$2,520
15	Construction Area Seeding (Hydro-Seeding)	35,000	SF	\$0.06	\$2,100
16	Erosion Control (Construction SWPPP)	90,000	SF	\$0.30	\$27,000
	Subtotal Construction Cost				\$668,050
	Percentage Remaining				100%
	Total Construction Cost				\$668,050

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 16					
Earthwork & Site Preparation					
1	Clearing and Grubbing	210,000	SF	\$0.04	\$8,400
2	Excavation	27,000	CY	\$6.40	\$172,800
3	Basin Finish Grading	210,000	SF	\$0.60	\$126,000
Drainage Improvements					
4	60-inch RCP CL-IV Storm Drainage Pipeline	140	LF	\$320.00	\$44,800
5	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$27,600.00	\$27,600
6	Detention Basin Outlet Control Structure - Large	1	EA	\$475,000.00	\$475,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	2,100	SF	\$11.00	\$23,100
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	6,620	SF	\$11.00	\$72,820
9	Removable Bollards, Std. Dwg. LS-42	2	EA	\$2,000.00	\$4,000
10	Rock Rip Rap	430	CY	\$60.00	\$25,800
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	8,700	SF	\$4.30	\$37,410
12	5-ft. Wide Concrete V-Gutter	300	LF	\$39.00	\$11,700
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	131,000	SF	\$0.06	\$7,860
14	Construction Area Seeding (Hydro-Seeding)	64,000	SF	\$0.06	\$3,840
15	Erosion Control (Construction SWPPP)	210,000	SF	\$0.30	\$63,000
Subtotal Construction Cost					\$1,104,130
Percentage Remaining					100%
Total Construction Cost					\$1,104,130



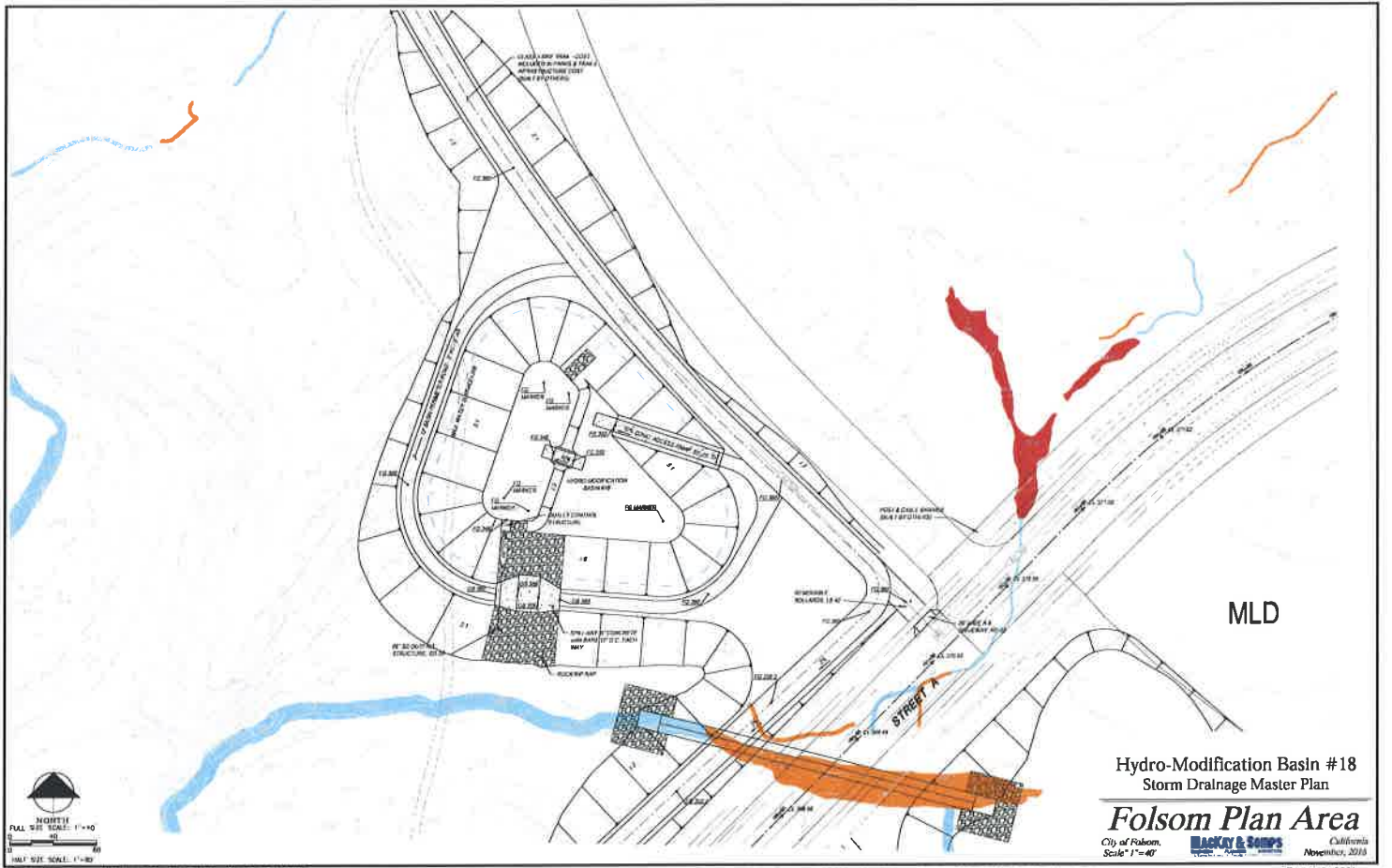
P-QP
(HS-MS)

Hydro-Modification Basin #17
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom, California
Scale: 1" = 40'
November, 2016





Hydro-Modification Basin #18
Storm Drainage Master Plan

Folsom Plan Area

City of Folsom,
Scale: 1" = 40'

HACKAY & SCHEPERS
ENGINEERS, ARCHITECTS & PLANNERS

California
November, 2018



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

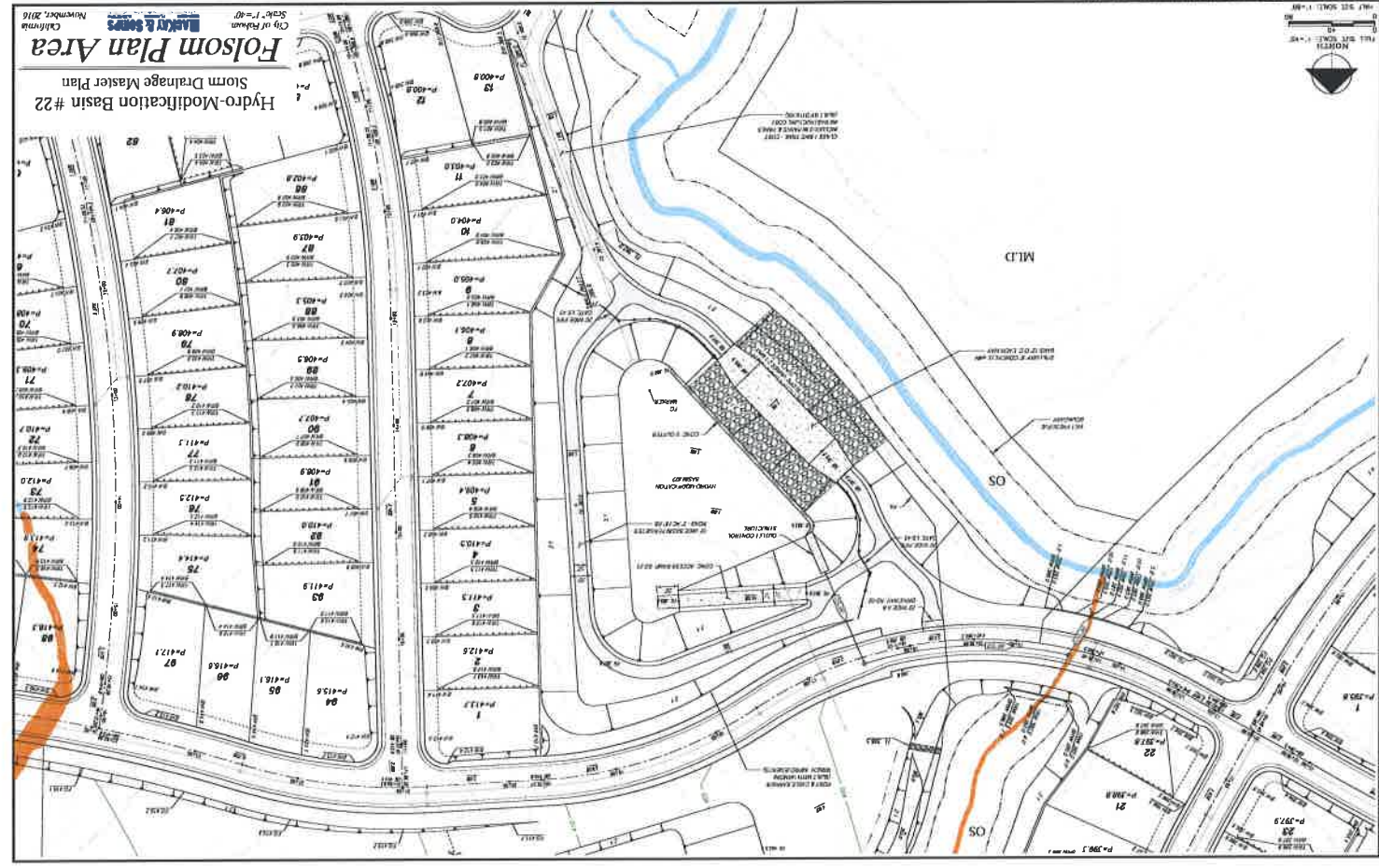
7919,000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 18					
Earthwork & Site Preparation					
1	Clearing and Grubbing	205,000	SF	\$0.04	\$8,200
2	Excavation	20,700	CY	\$6.40	\$132,480
3	Import	51,200	CY	\$4.30	\$220,160
4	Basin Finish Grading	205,000	SF	\$0.60	\$123,000
Drainage Improvements					
5	60-inch RCP CL-IV Storm Drainage Pipeline	30	LF	\$320.00	\$9,600
6	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$27,600.00	\$27,600
7	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,220	SF	\$11.00	\$13,420
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,440	SF	\$11.00	\$15,840
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	Removable Bollards, Std. Dwg. LS-42	3	EA	\$2,000.00	\$6,000
12	Rock Rip Rap	1,500	CY	\$60.00	\$90,000
13	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	19,880	SF	\$4.30	\$85,484
Landscape Improvements					
14	Detention Basin Planting (Hydro-Seeding)	32,800	SF	\$0.06	\$1,968
15	Construction Area Seeding (Hydro-Seeding)	151,000	SF	\$0.06	\$9,060
16	Erosion Control (Construction SWPPP)	205,000	SF	\$0.30	\$61,500
Subtotal Construction Cost					\$1,190,712
Percentage Remaining					100%
Total Construction Cost					\$1,190,712

Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 21					
Earthwork & Site Preparation					
1	Clearing and Grubbing	30,000	SF	\$0.04	\$1,200
2	Import	1,000	CY	\$4.30	\$4,300
3	Basin Finish Grading	30,000	SF	\$0.60	\$18,000
Drainage Improvements					
4	36-inch RCP CL-IV Storm Drainage Pipeline	60	LF	\$210.00	\$12,600
5	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$21,200.00	\$21,200
6	Detention Basin Outlet Control Structure - Small	1	EA	\$250,000.00	\$250,000
7	Rock Rip Rap	100	CY	\$60.00	\$6,000
Detention Basin Improvements					
8	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,000	SF	\$11.00	\$11,000
9	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,400	SF	\$11.00	\$15,400
10	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	1	EA	\$6,400.00	\$6,400
11	20-ft. Wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
12	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	6,000	SF	\$4.30	\$25,800
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	12,000	SF	\$0.06	\$720
14	Construction Area Seeding (Hydro-Seeding)	11,000	SF	\$0.06	\$660
15	Erosion Control (Construction SWPPP)	30,000	SF	\$0.30	\$9,000
Subtotal Construction Cost					\$388,680
Percentage Remaining					100%
Total Construction Cost					\$388,680



**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 22					
Earthwork & Site Preparation					
1	Clearing and Grubbing	150,000	SF	\$0.04	\$6,000
2	Import	10,000	CY	\$4.30	\$43,000
3	Basin Finish Grading	150,000	SF	\$0.60	\$90,000
Drainage Improvements					
4	60-inch RCP CL-IV Storm Drainage Pipeline	340	LF	\$320.00	\$108,800
5	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$27,600.00	\$27,600
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	1,680	SF	\$11.00	\$18,480
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	5,080	SF	\$11.00	\$55,880
9	20-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	2	EA	\$6,400.00	\$12,800
10	Rock Rip Rap	460	CY	\$60.00	\$27,600
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	11,840	SF	\$4.30	\$50,912
12	5-ft. Wide Concrete V-Gutter	210	LF	\$39.00	\$8,190
Landscape Improvements					
13	Detention Basin Planting (Hydro-Seeding)	83,000	SF	\$0.06	\$4,980
14	Construction Area Seeding (Hydro-Seeding)	56,000	SF	\$0.06	\$3,360
15	Erosion Control (Construction SWPPP)	150,000	SF	\$0.30	\$45,000
Subtotal Construction Cost					\$882,602
Percentage Remaining					0%
Total Construction Cost					\$0



Hydro-Modification Basin #23
Storm Drainage Master Plan

Folsom Plan Area
 City of Folsom
 Scale: 1"=40'
 BENTLEY & BENTLEY
 CONSULTING ENGINEERS
 November, 2016
 California

**Folsom Plan Area
Backbone Infrastructure
Construction Cost Estimate**

7919.000

	Description	Quantity	Unit	Unit Price	Total Cost
Hydro-Modification Basin No. 23					
Earthwork & Site Preparation					
1	Clearing and Grubbing	100,000	SF	\$0.04	\$4,000
2	Excavation	8,000	CY	\$6.40	\$51,200
3	Basin Finish Grading	100,000	SF	\$0.60	\$60,000
Drainage Improvements					
4	48-inch RCP CL-IV Storm Drainage Pipeline	100	LF	\$260.00	\$26,000
5	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	1	EA	\$25,500.00	\$25,500
6	Detention Basin Outlet Control Structure - Medium	1	EA	\$380,000.00	\$380,000
Detention Basin Improvements					
7	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	3,000	SF	\$11.00	\$33,000
8	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	1,500	SF	\$11.00	\$16,500
9	20-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	1	EA	\$6,400.00	\$6,400
10	Rock Rip Rap	150	CY	\$60.00	\$9,000
11	12-ft. Wide Basin Perimeter Road - 3" AC /7.5" AB	12,000	SF	\$4.30	\$51,600
Landscape Improvements					
12	Detention Basin Planting (Hydro-Seeding)	48,000	SF	\$0.06	\$2,880
13	Construction Area Seeding (Hydro-Seeding)	39,000	SF	\$0.06	\$2,340
14	Erosion Control (Construction SWPPP)	100,000	SF	\$0.30	\$30,000
Subtotal Construction Cost					\$698,420
Percentage Remaining					100%
Total Construction Cost					\$698,420

APPENDIX K:
SPIF Water Treatment Plant
Set-Aside Fee Analysis

Table K-1 Summary of WTP AnalysisK-1

Table K-2 Estimated Off-Site Potable Water System Costs.....K-2

Table K-3 Estimated Off-Site Potable Water System Costs and Sources of FundingK-3

Table K-4 Proposed Water Treatment Plant Set-Aside FeeK-4

Table K-5 Infrastructure Cost Allocation: FPASP Portion of City Water Treatment Plan Expansion.....K-5

Table K-6 Final Map Approvals by Fiscal Year.....K-6

Table K-7 Estimated Credits Against the Water Treatment ExpansionK-7

Table K-8 Remaining Costs Allocated to Non-Mapped ProjectsK-8

Table K-9 Summary of SPIF Annual IncreasesK-9

Table K-10 Infrastructure Cost Allocation: FPASP Portion of City Water Treatment Plan Expansion—Remaining K-10

Table K-11 Escalation of SPIF Infrastructure Fee Reimbursements K-11



**Table K-1
City of Folsom
SPIF Implementation
Summary of WTP Analysis**

Item	Amount
City Water Treatment Plant Reimbursement	\$1,493,493
Water Treatment Plant Set-Aside Fee Allocated Costs	\$6,871,374
	<i>summ</i>

**Table K-2
City of Folsom
SPIF Implementation
Estimated Off-Site Potable Water System Costs (2017\$)**

Off-Site Potable Water

Item	Percentage	Folsom Plan Area Cost			Total
		Existing	Phase1	Phase 2	
Existing Facilities Shared Capacity					
WTP Phase III		\$2,450,000			\$2,450,000
WTP Phase IVA		\$1,110,000			\$1,110,000
WTP Phase IVB		\$6,887,000			\$6,887,000
Zone 3 East BPS		\$250,000			\$250,000
Natoma Raw Water Pipeline		\$1,543,000			\$1,543,000
Foothills Reservoirs		\$360,000			\$360,000
Zone 3 East Distribution System		\$500,000			\$500,000
Engineering, Admin, Construction Man., and Contingency		\$265,000			\$265,000
Subtotal Existing Facilities		\$13,365,000	\$0	\$0	\$13,365,000
New Facilities					
Off-Site Water Pipeline Phase 1 [1]			\$2,673,224	\$0	\$2,673,224
Transmission Pipelines - 30"			\$0	\$10,800,000	\$10,800,000
Zone 3 East BPS (additional capacity)			\$0	\$2,135,000	\$2,135,000
Subtotal New Construction		\$0	\$2,673,224	\$12,935,000	\$15,608,224
Planning, Design, and Construction Management	20%	\$0	\$534,645	\$2,587,000	\$3,121,645
Contingency	10%	\$0	\$267,322	\$1,293,500	\$1,560,822
Subtotal New Facilities		\$0	\$3,475,191	\$16,815,500	\$20,290,691
Systems Optimization Review (SOR)					
SOR Incurred		\$2,300,000			\$2,300,000
Willow Hill SOR		\$0	\$5,700,000	\$0	\$5,700,000
Subtotal SOR		\$2,300,000	\$5,700,000	\$0	\$8,000,000
Total		\$15,665,000	\$9,175,191	\$16,815,500	\$41,655,691

off water

Source: Brown & Caldwell; MacKay & Somps.

[1] Phase 1 off-site water system costs based on actual construction costs for Phase 1 water systems.

DRAFT

**Table K-3
City of Folsom
SPIF Implementation
Estimated Off-Site Potable Water System Costs and Sources of Funding (2017\$)**

Off-Site Potable Water

Item	Folsom Plan Area Cost	Funding Sources					Total
		SPIF	CFD No. 2013-1 Water Supply	CFD No. 17 Willow Hill [1]	CFD No. 18 Water & Sewer [2]	CFD No. 18 PAYGO Revenue	
Off-Site Water							
Existing Facilities	\$13,365,000	\$7,665,000	\$0	\$0	\$0	\$5,700,000	\$13,365,000
Off-Site Water Pipeline - Phase 1	\$3,475,191	\$3,475,191	\$0	\$0	\$0	\$0	\$3,475,191
Off-Site Water Pipeline - Phase 2	\$16,815,500	\$10,442,505	\$0	\$0	\$6,372,995	\$0	\$16,815,500
Systems Optimization Review (SOR)	\$8,000,000	\$0	\$2,300,000	\$5,700,000	\$0	\$0	\$8,000,000
Total Off-Site Potable Water System	\$41,655,691	\$21,582,696	\$2,300,000	\$5,700,000	\$6,372,995	\$5,700,000	\$41,655,691

ow su

Source: Brown & Caldwell; MacKay & Somp; EPS.

[1] CFD No. 17 was replaced and encompassed by CFD No. 18, and is now a component of CFD No. 18.

[2] Funding consists of a combination of bond proceeds and PAYGO during the first 20 years of the CFD.

Table K-4
City of Folsom
SPIF Implementation
Proposed Water Treatment Plant Set-Aside Fee (2020\$)

Land Use	Fee Per Unit/ Bldg. Sq. Ft.
Residential	<i>per unit</i>
Single-Family (SF)	\$1,306
Single-Family High Density (SFHD)	\$819
Multifamily Low Density (MLD)	\$509
Multifamily Medium Density (MMD)	\$421
Multifamily High Density (MHD)	\$399
Mixed Use (MU) - Residential	\$354
Nonresidential	<i>per bldg. sq. ft.</i>
Mixed Use (MU) - Commercial	\$0.41
Office Park (OP)	\$0.33
General Commercial (GC)	\$0.31
Community Commercial (CC)	\$0.36
Regional Commercial (RC)	\$0.27

wtp fee

DRAFT

**Table K-5
City of Folsom
SPIF Implementation
Infrastructure Cost Allocation: FPASP Portion of City Water Treatment Plant Expansion (2017\$)**

**FPASP Portion of
City Water Treatment
Plant Expansion
Base Land Uses**

Land Use	Land Uses Excluding Folsom Heights		Cost Allocation Basis			Water Cost Allocation		
	Dev. Acres	Units/ Sq. Ft.	Water Demand [1]	Total Demand	Distribution of Demand	Assigned Cost [2]	per Acre	per Unit/ Sq. Ft.
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D=C*A or B</i>	<i>E=D/Total Demand</i>	<i>F=Total Cost*E</i>	<i>G=F/A</i>	<i>H=F/B</i>
Residential		<i>units</i>	<i>per unit</i>					<i>per unit</i>
Single-Family (SF)	425.2	1,401	0.59	827	21.6%	\$1,657,466	\$3,898	\$1,183
Single-Family High Density (SFHD)	766.9	4,180	0.37	1,547	40.5%	\$3,101,219	\$4,044	\$742
Multifamily Low Density (MLD)	264.0	2,386	0.23	549	14.4%	\$1,100,405	\$4,168	\$461
Multifamily Medium Density (MMD)	47.8	896	0.19	170	4.5%	\$341,363	\$7,141	\$381
Multifamily High Density (MHD)	64.3	1,601	0.18	288	7.5%	\$577,854	\$8,987	\$361
Mixed Use (MU) - Residential	17.1	343	0.16	55	1.4%	\$110,045	\$6,435	\$321
Subtotal	1,585.3	10,807		3,435	89.9%	\$6,888,351		
Nonresidential		<i>sq. ft.</i>	<i>per acre</i>					<i>per sq. ft.</i>
Mixed Use (MU) - Commercial	11.4	100,362	1.64	19	0.5%	\$37,489	\$3,289	\$0.37
Office Park (OP)	103.4	1,353,845	1.97	204	5.3%	\$408,492	\$3,950	\$0.30
General Commercial (GC)	42.5	461,297	1.54	65	1.7%	\$131,177	\$3,088	\$0.28
Community Commercial (CC)	24.5	235,224	1.54	38	1.0%	\$75,656	\$3,088	\$0.32
Regional Commercial (RC)	42.3	512,443	1.46	62	1.6%	\$123,836	\$2,928	\$0.24
Subtotal	224.1	2,663,171		387	10.1%	\$776,649		
Total Project	1,809.4			3,823	100.0%	\$7,665,000		

alloc w/tp 17

Source: Folsom Specific Plan Area Water Supply Assessment (June 2010), MacKay & Soms, EPS

[1] Residential: acre feet/dwelling unit/year; nonresidential: acre feet/acre/year

DRAFT

**Table K-6
City of Folsom
SPIF Implementation
Final Map Approvals by Fiscal Year [1]**

Item	2018				2019				2020			Total
	Q1 Jan-Mar	Q2 Apr-Jun	Q3 Jul-Sep	Q4 Oct-Dec	Q1 Jan-Mar	Q2 Apr-Jun	Q3 Jul-Sep	Q4 Oct-Dec	Q1 Jan-Mar	Q2 Apr-Jun	Q3 Jul-Sep	
Fiscal Year	FY 2017-2018			FY 2018-2019			FY 2019-2020			FY 20-21		
Mangini Ranch Ph. 1A (Villages 1, 2, 5, 6, 7, 8, 9)												
SFHD	0	416	0	0	0	0	0	299	0	0	0	715
Russell Ranch Phase 1 [2]												
SF	0	0	0	0	131	0	0	0	0	0	0	131
SFHD	0	0	0	0	151	0	0	0	0	0	0	151
MLD	0	0	0	0	114	0	0	0	0	0	0	114
Subtotal Russell Ranch Ph. 1	0	0	0	0	396	0	0	0	0	0	0	396
White Rock Springs Ranch/Carr Trust												
SF	0	0	0	0	0	0	0	136	0	0	0	136
SFHD	0	0	0	0	0	0	121	166	0	0	0	287
Subtotal WRSR/Carr Trust	0	0	0	0	0	0	121	302	0	0	0	423
Mangini Ranch Phase 2 (Villages 7, 4, 8)												
SFHD	0	0	0	0	0	0	0	0	0	0	59	59
MLD	0	0	0	0	0	0	0	78	0	0	36	114
Subtotal Mangini Ranch Ph. 2	0	0	0	0	0	0	0	78	0	0	95	173
Enclave												
MLD	0	0	0	0	0	0	0	0	0	123	0	123
Total	0	416	0	0	396	0	121	679	0	123	95	1,830
Total Final Mapped Projects												
SF	0	0	0	0	131	0	0	136	0	0	0	267
SFHD	0	416	0	0	151	0	121	465	0	0	59	1,212
MLD	0	0	0	0	114	0	0	78	0	123	36	351
Total	0	416	0	0	396	0	121	679	0	123	95	1,830
Total By Fiscal Year	FY 2017-2018			FY 2018-2019			FY 2019-2020			FY 20-21		
SF	0			131			136			0		267
SFHD	416			151			586			59		1,212
MLD	0			114			201			36		351
Total	416			396			923			95		1,830

final map

Source: City of Folsom.

[1] The number of units shown reflect the land uses allocated to the FPASP Parcels as of June 30, 2016.

[2] Includes 2 SF Shortfall Units.

DRAFT

Table K-7
City of Folsom
SPIF Implementation
Estimated Credits Against the Water Treatment Expansion

Item	FY 2017-2018			FY 2018-2019			FY 2019-2020			FY 2020-2021			Total	
	No. of Units [1]	Allocated Cost Per Unit [2]	Total Costs	No. of Units [1]	Allocated Cost Per Unit [2]	Total Costs	No. of Units [1]	Allocated Cost Per Unit [2]	Total Costs	No. of Units [1]	Allocated Cost Per Unit [2]	Total Costs	No. of Units	Total Costs
Cumulative Escalation Factor [3]		0.00%			3.27%			5.85%			8.23%			
Residential Land Use														
SF	0	\$1,183	\$0	131	\$1,222	\$180,082	136	\$1,252	\$170,272	0	\$1,280	\$0	267	\$330,354
SFHD	416	\$742	\$308,672	151	\$766	\$115,666	586	\$785	\$460,010	59	\$803	\$47,377	1,153	\$931,725
MLD	0	\$461	\$0	114	\$476	\$54,264	201	\$488	\$98,088	36	\$499	\$17,964	315	\$170,316
MMD	0	\$381	\$0	0	\$393	\$0	0	\$403	\$0	0	\$412	\$0	0	\$0
MHD	0	\$361	\$0	0	\$373	\$0	0	\$382	\$0	0	\$391	\$0	0	\$0
MU-R	0	\$321	\$0	0	\$331	\$0	0	\$340	\$0	0	\$347	\$0	0	\$0
Total	416		\$308,672	396		\$330,012	923		\$728,370	95		\$65,341	1,735	\$1,432,395

est credits

Source: SPIF Nexus Study FY 2017-2018 Update; City of Folsom; EPS

[1] See Table K-6.

[2] See Table K-5 for Base Year FY 2017-2018 allocated cost per unit.

[3] Reflects the cumulative cost escalation factor from Base FY 2017-2018. See Table K-9 for details.

DRAFT

**Table K-8
City of Folsom
SPIF Implementation
Remaining Costs to Allocated to Non-Mapped Projects**

Item	FY 17-18	FY 18-19	FY 19-20	FY 20-21
Beginning Cost	\$7,665,000	\$7,356,328	\$7,266,868	\$6,720,170
Escalation Factor [1]	0.00%	3.27%	2.50%	2.25%
Adjusted Cost	\$7,665,000	\$7,596,880	\$7,448,540	\$6,871,374
Less Credited Projects [2]	(\$308,672)	(\$330,012)	(\$728,370)	\$0
Remaining Costs	\$7,356,328	\$7,266,868	\$6,720,170	\$6,871,374

remain cost

Source: SPIF Nexus Study FY 2017-2018 Update; City of Folsom; EPS.

[1] Reflects the annual automatic SPIF Fee adjustment factor. See Table K-9 for details.

[2] See Table K-7.

DRAFT

Table K-9
City of Folsom
SPIF Implementation
Summary of SPIF Annual Increases [1]

Item	20-City	San Francisco	Average
July 1, 2020 Increase			
2019 Average Annual CCI	11,281.40	12,354.10	11,817.75
2018 Average Annual CCI	11,061.91	12,054.21	11,558.06
Percent Change			2.25%
July 1, 2019 Increase [1]			
2018 Average Annual CCI	11,061.91	12,054.21	11,558.06
2017 Average Annual CCI	10,736.70	11,815.18	11,275.94
Percent Change			2.50%
July 1, 2018 Increase [1]			
2017 Average Annual CCI	10,736.70	11,815.18	11,275.94
2016 Average Annual CCI	10,338.79	11,499.77	10,919.28
Percent Change			3.27%
2017 to 2019 Increase			
2018 Average Annual CCI	11,061.91	12,054.21	11,558.06
2016 Average Annual CCI	10,338.79	11,499.77	10,919.28
Percent Change			5.85%
2017 to 2020 Increase			
2019 Average Annual CCI	11,281.40	12,354.10	11,817.75
2016 Average Annual CCI	10,338.79	11,499.77	10,919.28
Percent Change			8.23%

cci increase

Source: Engineering-News Record.

[1] Per Folsom Municipal Code 3.130.030, the SPIF Infrastructure Fee shall include annual percentage changes based upon averaging the Construction Cost Index (CCI) for 20-Cities and for San Francisco, as published in the Engineering-News Record for the preceding twelve months ending in December of the prior calendar year.

DRAFT

Table K-10
City of Folsom
SPIF Implementation
Infrastructure Cost Allocation: FPASP Portion of City Water Treatment Plant Expansion - Remaining (2020\$)

FPASP Portion of
City Water Treatment
Plant Expansion
Remaining Land Uses

Land Use	Land Uses Excluding Folsom Heights		Cost Allocation Basis			Water Cost Allocation		
	Dev. Acres [1]	Units/ Sq. Ft.	Water Demand [2]	Total Demand	Distribution of Demand	Assigned Cost [3]	per Acre	per Unit/ Sq. Ft.
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D=C*A or B</i>	<i>E=D/Total Demand</i>	<i>F=Total Cost*E</i>	<i>G=F/A</i>	<i>H=F/B</i>
Residential		<i>units</i>	<i>per unit</i>					<i>per unit</i>
Single-Family (SF)	344.7	1,134	0.59	669	21.6%	\$1,481,252	\$4,297	\$1,306
Single-Family High Density (SFHD)	522.4	2,881	0.37	1,066	34.3%	\$2,359,982	\$4,518	\$819
Multifamily Low Density (MLD)	225.5	2,035	0.23	468	15.1%	\$1,036,230	\$4,596	\$509
Multifamily Medium Density (MMD)	47.8	896	0.19	170	5.5%	\$376,899	\$7,885	\$421
Multifamily High Density (MHD)	64.3	1,601	0.18	288	9.3%	\$638,010	\$9,922	\$399
Mixed Use (MU) - Residential	17.1	343	0.16	55	1.8%	\$121,500	\$7,105	\$354
Subtotal	1,221.8	8,890		2,716	87.5%	\$6,013,874		
Nonresidential		<i>sq. ft.</i>	<i>per acre</i>					<i>per sq. ft.</i>
Mixed Use (MU) - Commercial	11.4	100,362	1.64	19	0.6%	\$41,392	\$3,631	\$0.41
Office Park (OP)	103.4	1,353,845	1.97	204	6.6%	\$451,017	\$4,361	\$0.33
General Commercial (GC)	42.5	461,297	1.54	65	2.1%	\$144,833	\$3,409	\$0.31
Community Commercial (CC)	24.5	235,224	1.54	38	1.2%	\$83,532	\$3,409	\$0.36
Regional Commercial (RC)	42.3	512,443	1.46	62	2.0%	\$136,728	\$3,232	\$0.27
Subtotal	224.1	2,663,171		387	12.5%	\$867,500		
Total Project	1,445.9			3,104	100.0%	\$6,871,374		

w/tp remaining alloc

Source: Folsom Specific Plan Area Water Supply Assessment (June 2010), MacKay & Soms, EPS

[1] Residential acreage in this table does not reflect the reduction of the estimated acreage of residential subdivisions which have processed final maps.

[2] Residential: acre feet/dwelling unit/year; nonresidential: acre feet/acre/year

[3] See Table K-8.

DRAFT

**Table K-11
City of Folsom
SPIF Implementation
Escalation of SPIF Infrastructure Fee Reimbursements**

Item	FY 17-18	FY 18-19	FY 19-20	FY 20-21	Total
Escalation Factor [1]	8.23%	5.85%	2.25%	0.00%	-
Reimbursement Amount [2]	\$308,672	\$330,012	\$728,370	\$65,341	-
Escalated Reimbursement Amount	\$334,076	\$349,318	\$744,758	\$65,341	\$1,493,493

reimb esc

Source: SPIF Nexus Study FY 2017-2018 Update; City of Folsom; Engineering News Record; EPS.

[1] See Table K-9.

[2] See Table K-7.

APPENDIX L:
Habitat Mitigation

Estimated Mitigation for Phase 1 Backbone L-1
Estimated Mitigation for Future Backbone L-2
Cultural Mitigation L-3



Estimates Reflect 2018 Nexus Study Update

Wetlands/Waters	Mitigation Ratio by HUC & Watershed		Backbone Infrastructure					
	Upper	Lower	Impact			Mitigation		
	Cosumnes	American	IN	OUT	TOTAL	IN	OUT	TOTAL
Vernal Pool	1	1	0.000	0.162	0.162	0.000	0.162	0.162
Seasonal Wetland	1	1.3	0.000	0.151	0.151	0.000	0.196	0.196
Seasonal Wetland Swale	1	1.3	0.086	1.169	1.255	0.086	1.520	1.606
Seep	3	4	0.000	0.262	0.262	0.000	1.048	1.048
Marsh	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Creek/Channel	1	2	0.000	0.329	0.329	0.000	0.658	0.658
Intermittent Drainage	1	2	0.000	0.724	0.724	0.000	1.448	1.448
Ditch	1	1	0.000	0.040	0.040	0.000	0.040	0.040
Pond	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Willow Scrub	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Total			0.086	2.837	2.923	0.086	5.072	5.158
Isolated/ Non-jurisdictional								
Isolated Vernal Pool	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Isolated Seasonal Wetland	1	1	0.000	0.001	0.001	0.000	0.001	0.001
Ditch/Canal (NJ)	1	1	0.000	0.057	0.051	0.000	0.051	0.051
Pond (NJ)	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Total			0.000	0.058	0.052	0.000	0.052	0.052
Grand Total			0.086	2.895	2.975	0.086	5.124	5.210

Mitigation	Cost/ac	Impacts	Needs (ac)	Credits Purchased	Purchase Cost
Toad Hill VP	\$250,000	0.162	0.162	0.162	\$40,500.00
CRB Floodplain Mosaic	\$130,000	1.760	2.942	2.942	\$382,498.35
CRB Riparian	\$85,000	1.053	2.106	2.106	\$179,010.00
Fairy Shrimp Preservation (BO requirement)	\$325,000				
Total for Wetlands/Waters					\$602,008.35

Swainson Hawk					
Impact Acreage			227.081		
0.50:1 Mitigation @ Bank	\$ 6,636			113.57	\$ 753,650.52
			*Includes SPRR (5.3); Scott Rd. (1.5), Placerville Rd.(1.5)		

Oak Woodland					
Impact Acreage			47.4		
Mitigation	\$ 5,063			47.4	\$ 240,000.00
			*Offsite oak woodland preservation purchased by Westland.		

Valley Elderberry Longhorn Beetle					
Impacts(number of shrubs)			1		
Mitigation Credits	\$ 3,500			11	\$ 38,500
Transplant cost	\$ 5,000			0	\$ -
Total for VELB					\$ 38,500

Purple Needlegrass					
Impact Acreage			0.192		
Transplant cost				0.192	\$ 9,865

NOTES/ASSUMPTIONS:	SUBTOTAL	\$ 1,644,024
• Acreages are based on Folsom Plan Area Specific Plan - Wetland/Waters Avoidance and Impacts (ECORP, 11/7/2017). Backbone alignment as currently permitted.	Contingency (10%)	\$ 164,402.38
• Assumes fairy shrimp mitigation per BO.	Soft Cost (5%)	\$ 82,201.19
• Assumes all mitigation is accomplished at mitigation banks and bank credits are available at credit costs as shown above.	GRAND TOTAL	\$ 1,890,627

- Assumes hawk mitigation ratio is 0.5:1 and final impacts are consistent with proposed impacts (ie City concurs with open space areas considered unimpacted)
- Assumes Swainsons hawk mitigation credits for foraging habitat is available at a bank at \$6,636/ac.
- Assumes VELB credit cost of \$3,500 at bank and transplant cost of \$5000/shrub. Number of shrubs based on available survey data; future surveys will be conducted to confirm number of shrubs.
- Oak mitigation assumes preservation credits purchased offsite.
- Does not include any endowment costs for onsite open space
- Does not include potential riparian mitigation that may be required per CDFW 1602 Sub-notification process.
- VELB costs and Oak costs are based on a per acre cost (no economy of scale) as predicting phases and extent of impacts and mitigation not possible.

Estimates Reflect 2018 Nexus Study Update

Wetlands/Waters	Mitigation Ratio by HUC & Watershed		Backbone Infrastructure					
	Upper	Lower	Impact			Mitigation		
	Cosumnes	American	IN	OUT	TOTAL	IN	OUT	TOTAL
Vernal Pool	1	1	0.180	0.554	0.734	0.180	0.554	0.734
Seasonal Wetland	1	1.3	0.036	1.116	1.152	0.036	1.451	1.487
Seasonal Wetland Swale	1	1.3	0.481	3.257	3.738	0.481	4.234	4.715
Seep	3	4	0.036	0.323	0.359	0.108	1.292	1.400
Marsh	1	1	0.000	1.459	1.459	0.000	1.459	1.459
Creek/Channel	1	2	0.039	1.262	1.301	0.039	2.524	2.563
Intermittent Drainage	1	2	0.133	0.627	0.760	0.133	1.254	1.387
Ditch	1	1	0.000	0.332	0.332	0.000	0.332	0.332
Pond	1	1	0.000	0.852	0.852	0.000	0.852	0.852
Willow Scrub	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Total			0.905	9.782	10.687	0.977	13.952	14.929
Isolated/ Non-jurisdictional								
Isolated Vernal Pool	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Isolated Seasonal Wetland	1	1	0.000	0.001	0.001	0.000	0.001	0.001
Ditch/Canal (NI)	1	1	0.000	0.029	0.029	0.000	0.051	0.051
Pond (NI)	1	1	0.000	0.000	0.000	0.000	0.000	0.000
Total			0.000	0.030	0.030	0.000	0.052	0.052
Grand Total			0.905	9.812	10.717	0.977	14.004	14.981

Mitigation	Assumed Cost	Impacts	Needs (ac.)	
Toad Hill VP	\$250,000	0.734	0.734	\$183,500.00
CRB Floodplain Mosaic	\$130,000	7.922	10.297	\$1,338,635.35
CRB Riparian	\$85,000	2.061	3.950	\$335,750.00
Fairy Shrimp Preservation (BO requirement)	\$325,000	0.295	0.590	\$191,750.00
Total for Wetlands/Waters				\$2,049,635.35

Swainson Hawk			
Impact Acreage		418.484	
0.50:1 Mitigation @ Bank	\$ 6,636		209.242 \$ 1,388,529.91

*Includes SPRR (5.3); Scott Rd. (1.5), Placerville Rd.(1.5)

Oak Woodland			
Impact Acreage		72.6	
Mitigation	\$ 5,647		72.6 \$ 410,000.00

Valley Elderberry Longhorn Beetle			
Impacts(number of shrubs)		5	
Mitigation Credits	\$ 3,500		0 \$ =
Transplant cost	\$ 5,000		5 \$ 25,000
Total for VELB			\$ 25,000

Purple Needlegrass			
Impact Acreage		0.567	
Transplant cost/ac			0.567 \$ 29,132.46

*Transplant cost will vary widely, depending on location of harvest site and transplant site, and number of transplant locations. This estimate is based on the price per acre for Phase 1 transplanting.

NOTES/ASSUMPTIONS:

• Acreages are based on Folsom Plan Area Specific Plan - Wetland/Waters Avoidance and Impacts (ECORP, 11/7/2017). Backbone alignment as currently permitted.

• Assumes fairy shrimp mitigation per BO.

• Assumes all mitigation is accomplished at mitigation banks and bank credits are available at credit costs as shown above.

• Assumes hawk mitigation ratio is 0.5:1 and final impacts are consistent with proposed impacts (ie City concurs with open space areas considered unimpacted)

• Assumes Swainsons hawk mitigation credits for foraging habitat is available at a bank at \$6,636/ac.

• Assumes VELB credit cost of \$3,500 at bank and transplant cost of \$5000/shrub. Number of shrubs based on available survey data; future surveys will be conducted to confirm number of shrubs.

• Oak mitigation assumes preservation credits purchased offsite.

• Does not include any endowment costs for onsite open space

• Does not include potential riparian mitigation that may be required per CDFW 1602 Sub-notification process

• VELB costs and Oak costs are based on a per acre cost (no economy of scale) as predicting phases and extent of impacts and mitigation not possible.

SUBTOTAL	\$ 3,902,298
Contingency (10%)	\$ 390,229.77
Soft Cost (5%)	\$ 195,114.89
GRAND TOTAL	\$ 4,487,642

Estimates Reflect 2018 Nexus Study Update

26-Jan-15

Cultural Mitigation (Backbone HPTP ONLY)

<u>Task</u>	<u>Description</u>	<u>Estimate</u>
1	HAER Rhoades' Branch Ditch	\$40,560
2	HAER Keefe McDerby Ditch	\$36,147
3	Data Recovery: EC-12-029	\$51,048
4	Data Recovery: P-34-1746	\$28,833
5	Data Recovery: P-34-1788	\$28,243
6	Data Recovery: P-34-1910	\$51,318
7	Data Recovery: P-34-1911	\$28,833
8	Data Recovery: EC-12-076	\$33,123
9	Data Recovery: P-34-2166	\$40,798
10	White Rock Road	\$9,914
11	LIDAR/Landscape Mapping estimate only	\$20,000
12	Update HPMP Context	\$9,340
13	4 Interpretive Panels	\$46,850
14	54 Contributing Elements	\$55,740
15	14 days of Geoarch Monitoring	\$23,520
16	Digital Data Storage	\$5,600
17	Contractor Awareness Training	<u>\$2,144</u>
	SUBTOTAL	\$512,011
	CONTINGENCY	<u>\$88,000</u>
	TOTAL COST	\$600,011

APPENDIX M:

FPASP Parkland Requirements Parkland Obligation and Dedication

Park Dedication Obligation by Land Owner Summary (2 pages).....	M-1
Table M-1 Summary by Owner Subarea	M-3
Table M-2 Summary	M-4
Table M-3 Aerojet Rocketdyne	M-5
Table M-4 Arcadian Heights	M-6
Table M-5 Carpenter East	M-7
Table M-6 Eagle	M-8
Table M-7 Easton Valley Holdings	M-9
Table M-8 Elliott Homes	M-10
Table M-9 Folsom Heights	M-11
Table M-10 Folsom Real Estate South	M-12
Table M-11 Gragg Ranch.....	M-13
Table M-12 North Hillsborough.....	M-14
Table M-13 J&Z.....	M-15
Table M-14 Mangini Ranch.....	M-16
Table M-15 Oak Avenue Holding	M-17
Table M-16 Prairie City Commercial	M-18
Table M-17 Russell Ranch.....	M-19
Table M-18 West Hillsborough.....	M-20
Table M-19 West Prairie Estates	M-21
Table M-20 West Scott Road.....	M-22
Table M-21 Unallocated Units	M-23



Folsom Plan Area Specific Plan
Park Dedication Obligation by Land Owner Summary

Land Use Area Summary	Land Use															MU			Total Population	Quimby Park: Acreages		Difference Acres			
	SF			SFHD			MLD			MMD			MHD			Residential	Population	Acres		Units					
Owner / APN	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Park Acres	Park Oblig Acres		
Aerojet Rocketdyne	21.74	79	211	7.03	40	117							8.37	235	456						803.38	50.81	4.02	46.61	
072-0065-090	21.74	79		7.03	40																132.23	50.81	0.63	0.63	
Arcadian Heights, LLC									7.37	63	122														
072-0700-035									7.37	63															
Carpenter East, LLC				47.61	263	768	27.28	247	479				5.83	145	281							1528.44	5.73	7.84	1.91
072-3190-039				47.61	263		27.28	247					5.83	145									5.73		
City of Folsom																						0.00			
072-3190-038																									
072-3190-004																									
072-3310-003																									
072-3310-006																									
Eagle Commercial Partners, LLC							34.12	309	599	15.86	320	631	15.86	377	731							1951.64	8.80	9.76	0.96
072-3190-030							17.22	156		10.33	208		10.33	246											
072-3190-036							16.90	153		5.53	112		5.53	131											
Eagle Office Properties, LLC																						0.00			
072-3190-035																									
072-3190-032																									
Easton Valley Holdings, LLC	28.22	72	210	35.41	194	566	47.86	490	834				23.52	590	1,145	14.08	282	547			3302.60	3.22	16.51	13.29	
072-3190-031							17.56	157					12.00	300											
072-3190-033	12.79	38		35.41	194																				
072-3190-034	10.47	34					30.30	273					11.57	290		14.08	282					236.52	3.22		1.18
072-3190-034																									
Elliot Homes Inc.	25.66	81	227																						
072-3310-013	25.66	81																				236.52			1.18
Folsom Heights, LLC	42.40	154	391	55.08	278	797	14.82	123	239													1427.06		7.14	7.14
072-0070-001	26.91	86		17.35	185		9.77	81																	
072-0070-023	0.19	1																							
072-3310-004	15.30	47		17.71	88		5.15	42																	
Folsom Real Estate South LLC	22.46	68	257	205.39	1,146	3,346	73.21	650	1,281	14.74	312	605	9.26	243	471	3.01	61	118			8059.32	36.72	30.30	6.42	
072-0060-076							24.65	224																	
072-0060-077	27.46	88		52.20	290																				
072-0060-079				75.63	451					16.74	312														
072-0060-080				44.78	249																				
072-3370-006							17.04	156																	
072-3370-007																3.01	61								
072-3370-020																									
072-3370-029				28.05	156		8.66	78																	
072-3380-004																									
072-3380-005													9.26	243											
072-3380-006																									
072-3380-010																									
072-3380-024				0.03																					
072-3380-025																									
072-3380-026																									
072-3380-027							9.46	71																	
072-3390-003							7.83	71																	
072-3390-004																									
072-3390-006																									
072-3390-007																									
072-3390-013																									
072-3390-014							5.57	50																	
Gragg Ranch Recovery Acquisition, LLC	43.80	136	397	62.22	287	838																1255.16	5.46	6.18	0.71
072-0070-025																									
072-0070-037	43.80	136		56.55	250																				
072-0070-038				5.07	28																				
Hillbrow High Ranch, LLC	35.61	128	368	37.12	214	625	10.22	92	178													1171.24	2.26	5.86	3.59
072-0060-091	35.01	126		37.12	214		10.22	92																	
J & Z Property, LLC	9.27	28	82				13.03	119	231																
072-0060-007	9.27	28					13.03	119																	

Folsom Plan Area Specific Plan
Park Dedication Obligation by Land Owner Summary

Land Use Area Summary	Land Use															Quincy Park Acreages			Difference Acres							
	SF			SFHD			MLD			MMD			MHD			MU Residential				Total Population	Park Acres	Park Acres	Oblig Acres			
Owner / APN	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres	Units	Population	Acres					Units	Population	
Mangini Improvement Company Inc.				155.61	684	2,581	7.79	86	167	5.16	109	211										2,959.58	11.88	14.80	(2.91)	
072-3370-001				18.00	102																					
072-3370-002				17.81	101																					
072-3370-003				14.49	82																					
072-3370-008																										
072-3370-010																										11.88
072-3370-011																										
072-3370-012				19.23	109																					
072-3370-013							7.79	86																		
072-3370-014										5.16	109															
072-3370-016																										
072-3370-017																										
072-3370-018																										
072-3370-019																										
072-3370-026																										
072-3370-027																										
072-3370-028				20.16	114																					
072-3370-031				16.02	91																					
072-3370-032				13.89	79																					
072-3380-021				17.14	97																					
072-3380-022																										
072-3380-023																										
072-3390-012				19.08	109																					
Oak Avenue Holding, LLC	38.24	101	295	83.27	478	1,896	6.02	55	107													1,797.38	10.29	8.99	1.30	
072-0060-092	28.24	101		34.72	199																					0.29
072-0060-094				48.45	279		6.02	55																		10.00
Prairie City Commercial Properties, LLC	0.50	1	3																				2.92		0.01	(0.01)
072-0111-140	0.30	1																								
Public - Mangini Phase 1				0.38						0.00													0.00			
(blank)				0.38						0.00																
Public - Old Placerville Road				0.00																			0.00			
(blank)				0.00																						
Public - Scott Road				0.47			1.60			1.47						0.10							0.00			
(blank)				0.47			1.60			1.47						0.10							0.00			
Sacto Municipal Utility District																										
072-3190-040																										
072-3370-030																										
TNHC Russell Ranch, LLC	103.28	316	923	96.83	473	1,881	12.48	114	339													2,636.76	5.25	13.18	(7.93)	
072-3310-002				0.01																						5.25
072-3310-012	103.28	316		96.82	473		12.48	114																		
West Hillsborough Investors, LLC				17.58	101	295				8.56	155	301	0.43	11	21								618.96		3.08	(3.08)
072-0060-091				17.58	101					8.56	155		0.43	11												4.93
West Prairie Estates, LLC	106.96	338	967																				986.96		4.93	(4.93)
072-3190-037	106.96	338																								
West Scott Road, LLC				18.10	100	292	23.07	221	428														720.74		8.60	(8.60)
072-0060-028				18.10	100		23.07	221																		
Grand Total - Acres	467.56			821.96			278.85			47.79			64.38		17.09											
Grand Total - Units		3,500			4,453			2,500			896			1,001				341								
Grand Total - Population			4,380			13,003				4,979			1,738		3,102			665				27,871.54				
Grand Total - Park Acreages																							140.25	139.36	0.89	

Notes:

- The CC & RC Parcels in Eagle Commercial Partners, LLC 072-3190-030 (102.96 ac. RC, 11.74 ac. GC) & 072-3190-036 (61.28 ac. GC) breakdown into 24% RC, 24% GC, 14% IN/OP, 15% MLD, 9% MMD, 9% MHD, and 5% Park.
- Total Unit Allocation shown does not include 35 SF dwelling units that are not allocated to any specific parcel.
- Population calculated at Units * 2.92 (for SF and SFHD), Units * 1.94 (for MLD, MMD, MHD, and MU); only exception is TNHC Russell Ranch, LLC's MLD units were calculated at 2.92.

**Table M-1
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
SPIF Parkland Obligation and Dedication Summary by Owner Subarea**

Item	Acres		Surplus/ Deficit
	Parkland Required	Actual Parkland Proposed (Zoned Park)	
Property Owner Requirements			
Aeroproject Rocketdyne	4.03	50.62	46.60
Arcadian Heights	0.61	0.00	(0.61)
Carpenter East	7.66	5.73	(1.93)
Eagle Commercial & Office	9.78	8.80	(0.98)
Easton Valley Holdings	16.56	3.22	(13.34)
Elliott Homes	1.19	0.00	(1.19)
Folsom Heights	7.15	0.00	(7.15)
Folsom Real Estate South	30.38	36.72	6.34
Gragg Ranch	6.19	5.46	(0.73)
Hillsborough North	5.87	2.26	(3.61)
J&Z	1.57	0.00	(1.57)
Mangini Ranch	14.84	11.88	(2.96)
Oak Avenue Holding	9.01	10.29	1.27
Prairie City Commercial	0.01	0.00	(0.01)
Russell Ranch [1]	13.22	5.25	(7.97)
West Hillsborough	3.09	0.00	(3.09)
West Prairie Estates	4.95	0.00	(4.95)
West Scott Road	3.61	0.00	(3.61)
Subtotal Property Owner Requirements	139.74	140.25	0.51
Unallocated SF Dwelling Units [2]	0.51	0.00	(0.51)
Total	140.25	140.25	(0.00)

park dedication

Source: MacKay & Somp; EPS.

[1] 114 MLD units in Russell Ranch are treated as single-family residential, per City of Folsom.

[2] SF dwelling units by property owner totals 1,500 units. There are SF 35 dwelling units that are not allocated to any specific parcel, which equals to approximately 0.5 acres of parkland required for the SPIF Parkland Equalization Fee.

DRAFT

**Table M-2
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication Summary**

Summary

Item	Development Dwelling Units	Total Required Acres	Proposed Parkland (Total Only)	Difference (Total Only)
<i>Formula</i>	<i>A</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential				
Single-Family (SFLD)	1,535	22.47	-	-
Single-Family High Density (SFHD)	4,453	65.19	-	-
Multifamily Low Density (MLD)	2,509	24.96	-	-
Multifamily Medium Density (MMD)	896	8.71	-	-
Multifamily High Density (MHD)	1,601	15.57	-	-
Mixed Use (MU) - Residential	343	3.34	-	-
Total	11,337	140.25	140.25	(0.00)

summ park

Source: MacKay & Soms; EPS.

DRAFT

**Table M-3
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Aerojet Rocketdyne**

Aerojet Rocketdyne

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	79	0.0146	1.16	-	-
Single-Family High Density (SFHD)	40	0.0146	0.59	-	-
Multifamily Low Density (MLD)	-	0.0097	-	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	235	0.0097	2.29	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	354		4.03	50.62	46.60

ar park

Source: MacKay & Somp; EPS.

DRAFT

**Table M-4
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Arcadian Heights**

Arcadian Heights

Item	Development	Required Dedication		Proposed	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres	Parkland (Total Only)	
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	-	0.0146	-	-	-
Single-Family High Density (SFHD)	-	0.0146	-	-	-
Multifamily Low Density (MLD)	63	0.0097	0.61	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	63		0.61	-	(0.61)

ah park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-5
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Carpenter East**

Carpenter East

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	-	0.0146	-	-	-
Single-Family High Density (SFHD)	263	0.0146	3.85	-	-
Multifamily Low Density (MLD)	247	0.0097	2.40	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	145	0.0097	1.41	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	655		7.66	5.73	(1.93)

cc park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-6
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Eagle**

Eagle

Item	Development	Required Dedication		Proposed	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres	Parkland (Total Only)	
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	-	0.0146	-	-	-
Single-Family High Density (SFHD)	-	0.0146	-	-	-
Multifamily Low Density (MLD)	309	0.0097	3.01	-	-
Multifamily Medium Density (MMD)	320	0.0097	3.11	-	-
Multifamily High Density (MHD)	377	0.0097	3.67	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	1,006		9.78	8.80	(0.98)

eagle park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-7
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Easton Valley Holdings**

Easton Valley Holdings

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	72	0.0146	1.05	-	-
Single-Family High Density (SFHD)	194	0.0146	2.84	-	-
Multifamily Low Density (MLD)	430	0.0097	4.18	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	590	0.0097	5.74	-	-
Mixed Use (MU) - Residential	282	0.0097	2.74	-	-
Total	1,568		16.56	3.22	(13.34)

ev park

Source: MacKay & Somp; EPS.

DRAFT

**Table M-8
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Elliott Homes**

Elliott Homes

Item	Development	Required Dedication		Proposed	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres	Parkland (Total Only)	
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	81	0.0146	1.19	-	-
Single-Family High Density (SFHD)	-	0.0146	-	-	-
Multifamily Low Density (MLD)	-	0.0097	-	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	81		1.19	-	(1.19)

elliott park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-9
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Folsom Heights**

Folsom Heights

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	134	0.0146	1.96	-	-
Single-Family High Density (SFHD)	273	0.0146	4.00	-	-
Multifamily Low Density (MLD)	123	0.0097	1.20	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	530		7.15	-	(7.15)

fn park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-10
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Folsom Real Estate South**

Folsom Real Estate South

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	88	0.0146	1.29	-	-
Single-Family High Density (SFHD)	1,146	0.0146	16.78	-	-
Multifamily Low Density (MLD)	650	0.0097	6.32	-	-
Multifamily Medium Density (MMD)	312	0.0097	3.03	-	-
Multifamily High Density (MHD)	243	0.0097	2.36	-	-
Mixed Use (MU) - Residential	61	0.0097	0.59	-	-
Total	2,500		30.38	36.72	6.34

fres park

Source: MacKay & Somps; EPS.

DRAFT

Table M-11
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Gragg Ranch

Gragg Ranch

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	136	0.0146	1.99	-	-
Single-Family High Density (SFHD)	287	0.0146	4.20	-	-
Multifamily Low Density (MLD)	-	0.0097	-	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	423		6.19	5.46	(0.73)

gr park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-12
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: North Hillsborough**

North Hillsborough

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	126	0.0146	1.84	-	-
Single-Family High Density (SFHD)	214	0.0146	3.13	-	-
Multifamily Low Density (MLD)	92	0.0097	0.89	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	432		5.87	2.26	(3.61)

nh park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-13
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: J&Z**

J&Z

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	28	0.0146	0.41	-	-
Single-Family High Density (SFHD)	-	0.0146	-	-	-
Multifamily Low Density (MLD)	119	0.0097	1.16	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	147		1.57	-	(1.57)

jz park

Source: MacKay & Somp; EPS.

DRAFT

Table M-14
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Mangini Ranch

Mangini Ranch

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	-	0.0146	-	-	-
Single-Family High Density (SFHD)	884	0.0146	12.94	-	-
Multifamily Low Density (MLD)	86	0.0097	0.84	-	-
Multifamily Medium Density (MMD)	109	0.0097	1.06	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	1,079		14.84	11.88	(2.96)

mr park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-15
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Oak Avenue Holding**

Oak Avenue Holding

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	101	0.0146	1.48	-	-
Single-Family High Density (SFHD)	478	0.0146	7.00	-	-
Multifamily Low Density (MLD)	55	0.0097	0.53	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	634		9.01	10.29	1.27

oah park

Source: MacKay & Somp; EPS.

DRAFT

**Table M-16
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Prairie City Commercial**

Prairie City Commercial

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	1	0.0146	0.01	-	-
Single-Family High Density (SFHD)	-	0.0146	-	-	-
Multifamily Low Density (MLD)	-	0.0097	-	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	1		0.01	-	(0.01)

pcc park

Source: MacKay & Somp; EPS.

DRAFT

Table M-17
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Russell Ranch

Russell Ranch

Item	Development	Required Dedication		Proposed	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres	Parkland (Total Only)	
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	316	0.0146	4.63	-	-
Single-Family High Density (SFHD)	473	0.0146	6.92	-	-
Multifamily Low Density (MLD) [1]	114	0.0146	1.67	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	903		13.22	5.25	(7.97)

rr park

Source: MacKay & Somp; EPS.

[1] MLD product within Russell Ranch is required to provide parkland based upon a 2.92 persons per household.

DRAFT

**Table M-18
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: West Hillsborough**

West Hillsborough

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	-	0.0146	-	-	-
Single-Family High Density (SFHD)	101	0.0146	1.48	-	-
Multifamily Low Density (MLD)	-	0.0097	-	-	-
Multifamily Medium Density (MMD)	155	0.0097	1.51	-	-
Multifamily High Density (MHD)	11	0.0097	0.11	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	267		3.09	-	(3.09)

wh park

Source: MacKay & Somps; EPS.

DRAFT

**Table M-19
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: West Prairie Estates**

West Prairie Estates

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	338	0.0146	4.95	-	-
Single-Family High Density (SFHD)	-	0.0146	-	-	-
Multifamily Low Density (MLD)	-	0.0097	-	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	338		4.95	-	(4.95)

wpe park

Source: MacKay & Somp; EPS.

DRAFT

Table M-20
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: West Scott Road

West Scott Road

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	-	0.0146	-	-	-
Single-Family High Density (SFHD)	100	0.0146	1.46	-	-
Multifamily Low Density (MLD)	221	0.0097	2.15	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	321		3.61	-	(3.61)

wsr park

Source: MacKay & Somps; EPS.

DRAFT

Table M-21
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Parkland Obligation and Dedication: Unallocated Units [1]

Unallocated Land Uses

Item	Development	Required Dedication		Proposed Parkland (Total Only)	Difference (Total Only)
	Dwelling Units	Parkland Multiplier	Number of Acres		
<i>Formula</i>	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential					
Single-Family (SFLD)	35	0.0146	0.51	-	-
Single-Family High Density (SFHD)	-	0.0146	-	-	-
Multifamily Low Density (MLD)	-	0.0097	-	-	-
Multifamily Medium Density (MMD)	-	0.0097	-	-	-
Multifamily High Density (MHD)	-	0.0097	-	-	-
Mixed Use (MU) - Residential	-	0.0097	-	-	-
Total	35		0.51	-	(0.51)

unalloc park

Source: MacKay & Somp; EPS.

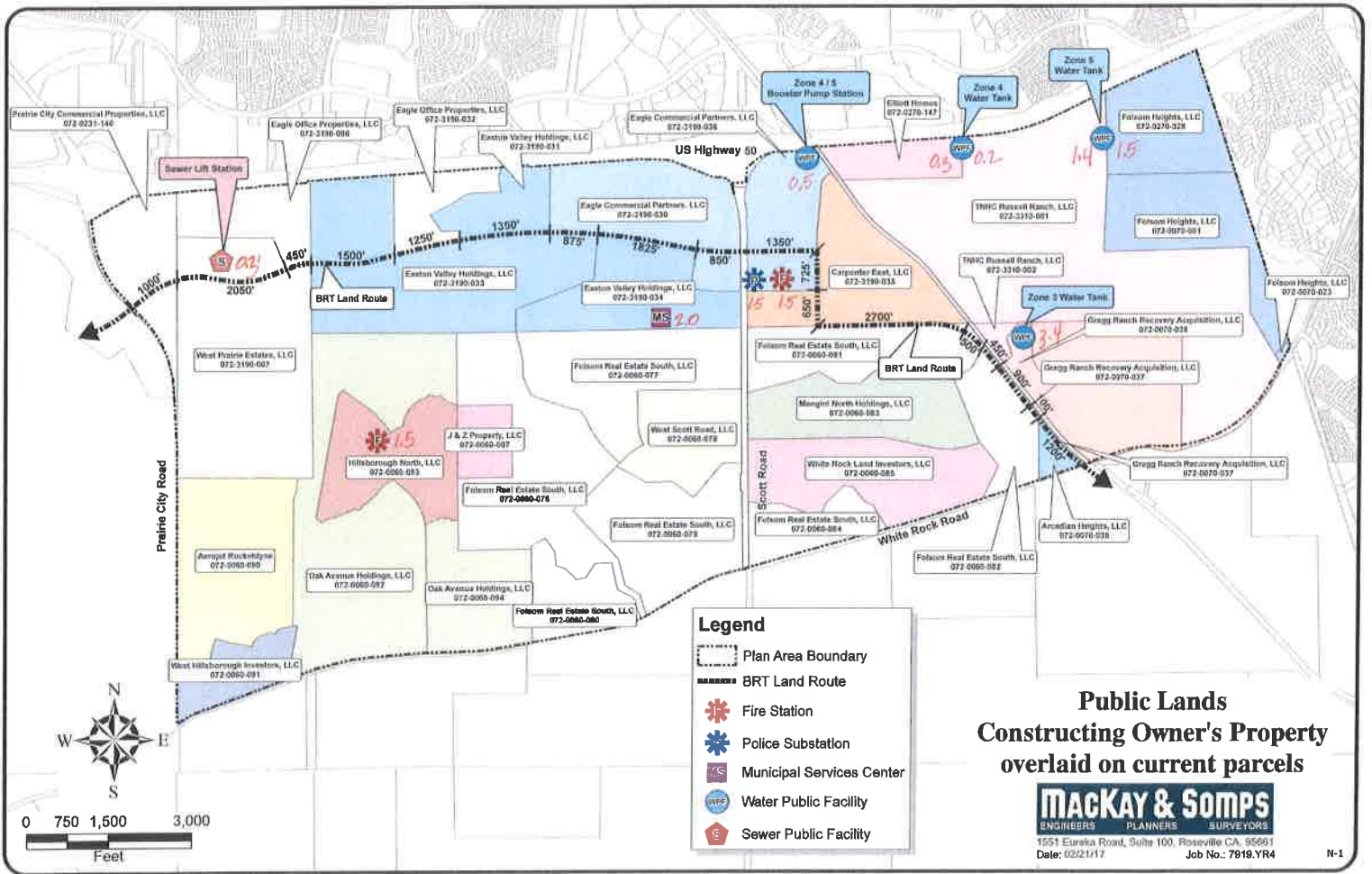
[1] Reflects 35 SFLD dwelling units that are not allocated to any specific parcel.

APPENDIX N:

FPASP Public Facility Land Requirements Public Facilities Land Obligation and Dedication

	Public Lands Constructing Owner's Property Overlaid on Current Parcels.....	N-1
Table N-1	Public Facility Land Required Acres	N-2
Table N-2	Summary by Owner Subarea	N-3
Table N-3	Summary	N-4
Table N-4	Aerojet Rocketdyne	N-5
Table N-5	Arcadian Heights	N-6
Table N-6	Carpenter East	N-7
Table N-7	Eagle Commercial.....	N-8
Table N-8	Eagle Office	N-9
Table N-9	Easton Valley Holdings	N-10
Table N-10	Elliott Homes	N-11
Table N-11	Folsom Heights	N-12
Table N-12	Folsom Real Estate South	N-13
Table N-13	Gragg Ranch.....	N-14
Table N-14	Hillsborough North.....	N-15
Table N-15	J&Z.....	N-16
Table N-16	Mangini Ranch.....	N-17
Table N-17	Oak Avenue Holdings	N-18
Table N-18	Prairie City Commercial	N-19
Table N-19	Russell Ranch.....	N-20
Table N-20	West Hillsborough.....	N-21
Table N-21	West Prairie Estates	N-22
Table N-22	West Scott Road.....	N-23
Table N-23	Unallocated Land Uses	N-24





**Table N-1
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facility Land Required Acres**

Item	Number of Acres
Facilities	
Dedications Required by All Except Folsom Heights	
Potable and Recycled Water	7.3
Sewer	0.2
Subtotal Dedication Req. All Except Folsom Heights	7.5
Dedications Required by All Property Owners	
Transit	10.0
Library & Municipal Services	2.0
Police	1.5
Fire	3.0
Subtotal Dedication Req. All Property Owners	16.5
Total	24.0

pub land req

Source: MacKay & Somps.

**Table N-2
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication Summary by Owner Subarea**

Item	Required Dedication	Proposed Public Facility Land Acres	Difference
Property Owner Group			
Aerojet Rocketdyne	0.76	0.00	0.76
Arcadian Heights	0.10	0.60	(0.50)
Carpenter East	1.26	4.20	(2.94)
Eagle Commercial	2.80	2.50	0.30
Eagle Office	0.66	0.40	0.26
Easton Valley Holdings	2.81	4.40	(1.59)
Elliott Homes	0.20	0.30	(0.10)
Folsom Heights	0.82	1.50	(0.68)
Folsom Real Estate South	5.10	1.70	3.40
Gragg Ranch	1.02	3.40	(2.38)
Hillsborough North	0.97	1.50	(0.53)
J&Z	0.26	0.00	0.26
Mangini Ranch	2.44	0.00	2.44
Oak Avenue Holding	1.48	0.00	1.48
Prairie City Commercial	0.76	0.50	0.26
Russell Ranch	2.08	1.60	0.48
West Hillsborough	0.51	0.00	0.51
West Prairie Estates	0.81	1.40	(0.59)
West Scott Road	0.59	0.00	0.59
Subtotal Property Owner Requirements	25.42	24.00	1.42
Unallocated SF Dwelling Units [1]	0.08	0.00	0.08
Total	25.50	24.00	1.50

owners public

Source: MacKay & Somp; EPS.

[1] SF dwelling units by property owner totals 1,500 units. There are 35 SF dwelling units that are not allocated to any specific parcel. This amount reflects the Public Facilities Land dedication required for those 35 SF units.

DRAFT

**Table N-3
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Summary**

Summary

Item	Development		Total Required Acres	Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres [1]	Dwelling Units			
Residential					
Single-Family (SF)	467.6	1,535	3.58	-	-
Single-Family High Density (SFHD)	822.0	4,453	10.48	-	-
Multifamily Low Density (MLD)	278.9	2,509	3.94	-	-
Multifamily Medium Density (MMD)	47.8	896	1.43	-	-
Multifamily High Density (MHD)	64.4	1,601	2.56	-	-
Mixed Use (MU) - Residential	17.1	343	0.55	-	-
Subtotal Residential	1,697.7	11,337	22.54	-	(22.54)
Nonresidential					
Mixed Use (MU) - Commercial	11.4	-	0.10	-	-
Industrial/Office Park (IND/OP)	103.4	-	1.86	-	-
General Commercial (GC)	53.8	-	0.49	-	-
Community Commercial (CC)	24.5	-	0.18	-	-
Regional Commercial (RC)	42.3	-	0.32	-	-
Subtotal Nonresidential	235.4	-	2.96	-	(2.96)
Total	1,933.1	11,337	25.50	24.00	(1.50)

summ pub

Source: MacKay & Soms; EPS.

[1] Amount shown may not equal acres provided in Table 3 due to rounding.

DRAFT

**Table N-4
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Aerojet Rocketdyne**

Aerojet Rocketdyne

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	21.74	79	0.0024	0.19	-	-
Single-Family High Density (SFHD)	7.03	40	0.0024	0.10	-	-
Multifamily Low Density (MLD)	-	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	9.37	235	0.0016	0.38	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	38.14	354		0.66	-	(0.66)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	13.12	-	0.0072	0.09	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	13.12	-		0.09	-	(0.09)
Total	51.26	354		0.76	-	(0.76)

ar pub

Source: MacKay & Somps; EPS.

DRAFT

**Table N-5
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Arcadian Heights**

Arcadian Heights

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	-	-	0.0024	-	-	-
Single-Family High Density (SFHD)	-	-	0.0024	-	-	-
Multifamily Low Density (MLD)	7.27	63	0.0016	0.10	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	7.27	63		0.10	-	(0.10)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	7.27	63		0.10	0.60	0.50

ah pub

Source: MacKay & Soms; EPS.

DRAFT

**Table N-6
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Carpenter East**

Carpenter East

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	-	-	0.0024	-	-	-
Single-Family High Density (SFHD)	47.61	263	0.0024	0.63	-	-
Multifamily Low Density (MLD)	27.26	247	0.0016	0.40	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	5.83	145	0.0016	0.23	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	80.70	655		1.26	-	(1.26)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	80.70	655		1.26	4.20	2.94

ce pub

Source: MacKay & Somps; EPS.

DRAFT

**Table N-7
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Eagle Commercial**

Eagle Commercial

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	-	-	0.0024	-	-	-
Single-Family High Density (SFHD)	-	-	0.0024	-	-	-
Multifamily Low Density (MLD)	34.12	309	0.0016	0.49	-	-
Multifamily Medium Density (MMD)	15.86	320	0.0016	0.51	-	-
Multifamily High Density (MHD)	15.86	377	0.0016	0.60	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	65.84	1,006		1.61	-	(1.61)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	24.67	-	0.0180	0.44	-	-
General Commercial (GC)	42.29	-	0.0100	0.42	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	42.29	-	0.0077	0.32	-	-
Subtotal Nonresidential	109.25	-		1.19	-	(1.19)
Total	175.09	1,006		2.80	2.50	(0.30)

ec pub

Source: MacKay & Somps; EPS.

DRAFT

**Table N-8
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Eagle Office**

Eagle Office

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>		<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential			<i>per unit</i>			
Single-Family (SF)	-	-	0.0024	-	-	-
Single-Family High Density (SFHD)	-	-	0.0024	-	-	-
Multifamily Low Density (MLD)	-	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	-	-	-	-	-	-
<i>Formula</i>	<i>A</i>		<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	36.82	-	0.0180	0.66	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	36.82	-	-	0.66	-	(0.66)
Total	36.82	-	-	0.66	0.40	(0.26)

eo pub

Source: MacKay & Somps; EPS.

DRAFT

**Table N-9
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Easton Valley Holdings**

Easton Valley Holdings

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	23.27	72	0.0024	0.17	-	-
Single-Family High Density (SFHD)	35.41	194	0.0024	0.47	-	-
Multifamily Low Density (MLD)	47.86	430	0.0016	0.69	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	23.52	590	0.0016	0.94	-	-
Mixed Use (MU) - Residential	14.08	282	0.0016	0.45	-	-
Subtotal Residential	144.14	1,568		2.72	-	(2.72)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	9.39	-	0.0091	0.09	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	9.39	-		0.09	-	(0.09)
Total	153.53	1,568		2.81	4.40	1.59

evh pub

Source: MacKay & Somps; EPS.

DRAFT

Table N-10
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Elliott Homes

Elliott Homes

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>		A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	25.66	81	0.0024	0.20	-	-
Single-Family High Density (SFHD)	-	-	0.0024	-	-	-
Multifamily Low Density (MLD)	-	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	25.66	81		0.20	-	(0.20)
<i>Formula</i>	A		B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	25.66	81		0.20	0.30	0.10

elliott pub

Source: MacKay & Soms; EPS.

DRAFT

Table N-11
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Folsom Heights

Folsom Heights

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	42.40	134	0.0015	0.20	-	-
Single-Family High Density (SFHD)	55.06	273	0.0015	0.42	-	-
Multifamily Low Density (MLD)	14.92	123	0.0010	0.12	-	-
Multifamily Medium Density (MMD)	-	-	0.0010	-	-	-
Multifamily High Density (MHD)	-	-	0.0010	-	-	-
Mixed Use (MU) - Residential	-	-	0.0010	-	-	-
Subtotal Residential	112.38	530		0.75	-	(0.75)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0058	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0114	-	-	-
General Commercial (GC)	11.54	-	0.0063	0.07	-	-
Community Commercial (CC)	-	-	0.0046	-	-	-
Regional Commercial (RC)	-	-	0.0049	-	-	-
Subtotal Nonresidential	11.54	-		0.07	-	(0.07)
Total	123.92	530		0.82	1.50	0.68

fh pub

Source: MacKay & Somp; EPS.

DRAFT

Folsom Real Estate South

**Table N-12
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Folsom Real Estate South**

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	27.46	88	0.0024	0.21	-	-
Single-Family High Density (SFHD)	205.19	1,146	0.0024	2.76	-	-
Multifamily Low Density (MLD)	73.21	650	0.0016	1.04	-	-
Multifamily Medium Density (MMD)	16.74	312	0.0016	0.50	-	-
Multifamily High Density (MHD)	9.26	243	0.0016	0.39	-	-
Mixed Use (MU) - Residential	3.01	61	0.0016	0.10	-	-
Subtotal Residential	334.87	2,500		5.00	-	(5.00)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	2.01	-	0.0091	0.02	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	11.35	-	0.0072	0.08	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	13.36	-		0.10	-	(0.10)
Total	348.23	2,500		5.10	1.70	(3.40)

fres pub

Source: MacKay & Soms; EPS.

DRAFT

Table N-13
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Gragg Ranch

Gragg Ranch

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	43.80	136	0.0024	0.33	-	-
Single-Family High Density (SFHD)	62.22	287	0.0024	0.69	-	-
Multifamily Low Density (MLD)	-	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	106.02	423		1.02		(1.02)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential						
Total	106.02	423		1.02	3.40	2.38

gr pub

Source: MacKay & Somps; EPS.

DRAFT

**Table N-16
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Mangini Ranch**

Mangini Ranch

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	-	-	0.0024	-	-	-
Single-Family High Density (SFHD)	155.81	884	0.0024	2.13	-	-
Multifamily Low Density (MLD)	7.79	86	0.0016	0.14	-	-
Multifamily Medium Density (MMD)	5.16	109	0.0016	0.17	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	168.76	1,079		2.44	-	(2.44)
<i>Formula</i>	A	B	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	168.76	1,079		2.44	-	(2.44)

mr pub

Source: MacKay & Soms; EPS.

DRAFT

Table N-17
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Oak Avenue Holdings

Oak Avenue Holdings

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	28.24	101	0.0024	0.24	-	-
Single-Family High Density (SFHD)	83.17	478	0.0024	1.15	-	-
Multifamily Low Density (MLD)	6.02	55	0.0016	0.09	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	117.43	634		1.48	-	(1.48)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	117.43	634		1.48	-	(1.48)

oah pub

Source: MacKay & Soms; EPS.

DRAFT

Table N-18
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Prairie City Commercial

Prairie City Commercial

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential						
			<i>per unit</i>			
Single-Family (SF)	0.50	1	0.0024	0.00	-	-
Single-Family High Density (SFHD)	-	-	0.0024	-	-	-
Multifamily Low Density (MLD)	-	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	0.50	1		0.00	-	(0.00)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential						
			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	41.90	-	0.0180	0.75	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	41.90	-		0.75	-	(0.75)
Total	42.40	1		0.76	0.50	(0.26)

pcc pub

Source: MacKay & Somps; EPS.

DRAFT

**Table N-19
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Russell Ranch**

Russell Ranch

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	103.28	316	0.0024	0.76	-	-
Single-Family High Density (SFHD)	96.83	473	0.0024	1.14	-	-
Multifamily Low Density (MLD)	12.48	114	0.0016	0.18	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	212.59	903		2.08	-	(2.08)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	212.59	903		2.08	1.60	(0.48)

rr pub

Source: MacKay & Somp; EPS.

DRAFT

**Table N-20
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: West Hillsborough**

West Hillsborough

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	-	-	0.0024	-	-	-
Single-Family High Density (SFHD)	17.58	101	0.0024	0.24	-	-
Multifamily Low Density (MLD)	-	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	8.56	155	0.0016	0.25	-	-
Multifamily High Density (MHD)	0.43	11	0.0016	0.02	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	26.57	267		0.51	-	(0.51)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	26.57	267		0.51	-	(0.51)

wh pub

Source: MacKay & Somps; EPS.

DRAFT

Table N-21
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: West Prairie Estates

West Prairie Estates

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	106.96	338	0.0024	0.81	-	-
Single-Family High Density (SFHD)	-	-	0.0024	-	-	-
Multifamily Low Density (MLD)	-	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	106.96	338		0.81	-	(0.81)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	106.96	338		0.81	1.40	0.59

wpe pub

Source: MacKay & Somp; EPS.

DRAFT

Table N-22
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: West Scott Road

West Scott Road

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	A	B	C = A*B	D	D-C
Residential			<i>per unit</i>			
Single-Family (SF)	-	-	0.0024	-	-	-
Single-Family High Density (SFHD)	18.10	100	0.0024	0.24	-	-
Multifamily Low Density (MLD)	23.07	221	0.0016	0.35	-	-
Multifamily Medium Density (MMD)	-	-	0.0016	-	-	-
Multifamily High Density (MHD)	-	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	41.17	321		0.59	-	(0.59)
<i>Formula</i>	A	-	B	C = A*B	D	D-C
Nonresidential			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	41.17	321		0.59	-	(0.59)

wsr pub

Source: MacKay & Somp; EPS.

DRAFT

Unallocated Land Uses

Table N-23
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Public Facilities Land Obligation and Dedication: Unallocated Land Uses [1]

Item	Development		Required Dedication		Proposed Facilities Land (Total Only)	Difference (Total Only)
	Acres	Dwelling Units	Per Unit/ Nonres. Acre	Total		
<i>Formula</i>	-	<i>A</i>	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Residential						
			<i>per unit</i>			
Single-Family (SF)	-	35	0.0024	0.08	-	-
Single-Family High Density (SFHD)	0.85	-	0.0024	-	-	-
Multifamily Low Density (MLD)	1.60	-	0.0016	-	-	-
Multifamily Medium Density (MMD)	1.47	-	0.0016	-	-	-
Multifamily High Density (MHD)	0.10	-	0.0016	-	-	-
Mixed Use (MU) - Residential	-	-	0.0016	-	-	-
Subtotal Residential	4.02	35		0.08	-	(0.08)
<i>Formula</i>	<i>A</i>	-	<i>B</i>	<i>C = A*B</i>	<i>D</i>	<i>D-C</i>
Nonresidential						
			<i>per acre</i>			
Mixed Use (MU) - Commercial	-	-	0.0091	-	-	-
Industrial/Office Park (IND/OP)	-	-	0.0180	-	-	-
General Commercial (GC)	-	-	0.0100	-	-	-
Community Commercial (CC)	-	-	0.0072	-	-	-
Regional Commercial (RC)	-	-	0.0077	-	-	-
Subtotal Nonresidential	-	-		-	-	-
Total	4.02	35		0.08	-	(0.08)

unalloc pub

Source: MacKay & Soms; EPS.

[1] Reflects units or acreage that has not been allocated to a specific parcel, or is allocated to public roads that will be conferred to adjacent property owners

APPENDIX O:
Construction Cost Index
Annual Escalation Factor

Table O-1	ENR CCI Escalation	O-1
Table O-2	Annual Average CCI.....	O-2
	Backbone Infrastructure Construction Cost Estimates.....	O-3



Table O-1
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
ENR CCI Escalation [1]

Item	2018	2019	Percentage Change
20-City Average CCI [2]	11,061.91	11,281.40	1.98%
San Francisco CCI [2]	12,054.21	12,354.10	2.49%
Average	11,558.06	11,817.75	2.25%

enr

Source: Engineering News-Record.

[1] Per Chapter 3.130.030 of the Folsom Municipal Code, the City's Finance Director's determination of general changes in annual construction costs may be based upon averaging the Construction Cost Index (CCI) for twenty cities and for San Francisco, as published in the Engineering News-Record publication for the preceding 12 months ending in December of the prior calendar year.

[2] See Table O-2 for average annual CCI backup data.

DRAFT

Table O-2
Folsom Plan Area Specific Plan
Specific Plan Infrastructure Fee (SPIF) 2020 Update
Annual Average CCI

Item	January	February	March	April	May	June	July	August	September	October	November	December	Annual Average
20-City Average Index													
2018	10,878.01	10,889.17	10,958.79	10,971.87	11,012.77	11,068.57	11,116.42	11,124.49	11,170.28	11,183.28	11,183.78	11,185.51	11,061.91
2019	11,205.74	11,213.07	11,227.88	11,228.07	11,230.01	11,268.48	11,292.80	11,311.06	11,311.24	11,326.10	11,380.88	11,381.48	11,281.40
San Francisco Index													
2018	12,014.72	12,014.72	12,014.72	12,014.72	12,014.72	12,014.72	12,050.97	12,074.72	12,103.88	12,107.38	12,109.87	12,115.37	12,054.21
2019	12,114.87	12,131.37	12,048.19	12,322.23	12,333.48	12,354.46	12,354.46	12,368.21	12,368.21	12,365.71	12,723.43	12,764.52	12,354.10

cci avg

Source: Engineering News-Record.

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

No.	Item Description Note: (Average Pipeline Diameter Component Cost for Storm Drainage, Sanitary Sewer, Potable Water & Non-Potable Water Pipeline Segments)	Unit	2017 Unit Cost	2020 Unit Cost	Cell 'E' Desig.
Roadway Items					
1	Clearing & Grubbing	SF	\$0.03	\$0.04	3
2	Sawcut Asphalt Concrete	LF	\$1.50	\$1.60	4
3	Demo Existing Roadway	SF	\$1.00	\$1.10	5
4	Demo Existing Concrete	SF	\$2.00	\$2.20	6
5	Subgrade Preparation	SF	\$0.50	\$0.60	7
6	Rough Grade Excavation (West of Placerville Rd)	CY	\$6.00	\$6.40	8
7	Rough Grade Excavation (East of Placerville Rd)	CY	\$7.00	\$7.50	9
8	Rock Excavation	CY	\$10.00	\$11.00	10
9	Roadway Excavation	CY	\$10.00	\$11.00	11
10	Import	CY	\$4.00	\$4.30	12
11	6" Aggregate Base	SF	\$1.80	\$2.00	13
12	13" Aggregate Base	SF	\$3.40	\$3.60	14
13	1.5" Asphalt Concrete Paving Overlay	SF	\$1.40	\$1.50	15
14	2" Asphalt Concrete Paving Overlay	SF	\$1.50	\$1.60	16
15	3" Asphalt Concrete Paving Overlay	SF	\$2.20	\$2.40	17
16	2" Asphalt Concrete over 6" Aggregate Base	SF	\$3.20	\$3.40	18
17	2" Asphalt Concrete over 8" Aggregate Base	SF	\$3.50	\$3.80	19
18	3" Asphalt Concrete over 7.5" Aggregate Base (TI=6)	SF	\$3.60	\$3.90	20
19	3" Asphalt Concrete over 8" Aggregate Base	SF	\$3.70	\$4.00	21
19	3.5" Asphalt Concrete over 6.5" Aggregate Base (TI=6)	SF	\$4.00	\$4.30	22
20	3" Asphalt Concrete over 10.5" Aggregate Base (TI=7)(RR)	SF	\$3.80	\$4.10	23
21	4" Asphalt Concrete over 8.5" Aggregate Base (TI=7)	SF	\$4.40	\$4.70	24
22	2.5" Asphalt Concrete over 10" Aggregate Base (TI=8)(First Lift)	SF	\$3.60	\$3.90	25
23	4.5" Asphalt Concrete over 10" Aggregate Base (TI=8)	SF	\$4.90	\$5.20	26
24	3.5" Asphalt Concrete over 11" Aggregate Base (TI=9)(First Lift)	SF	\$4.70	\$5.00	27
25	4" Asphalt Concrete over 12" Aggregate Base (TI=7)(RR)	SF	\$5.20	\$5.60	28
26	5.5" Asphalt Concrete over 11" Aggregate Base (TI=9)	SF	\$5.30	\$5.70	29
27	3" Asphalt Concrete over 13" Aggregate Base(TI=10)(First Lift)	SF	\$5.50	\$5.90	30
28	4" Asphalt Concrete over 13" Aggregate Base (TI=10)(First Lift)	SF	\$5.70	\$6.10	31
29	6" Asphalt Concrete over 13" Aggregate Base (TI=10)	SF	\$7.00	\$7.50	32
30	Special Asphalt Concrete Crosswalk Paving	SF	\$5.00	\$5.30	33
31	Asphalt Concrete	TON	\$82.50	\$87.40	34
32	Aggregate Base	TON	\$24.50	\$26.00	35
33	Curb & Gutter, Type 2 (Vertical Curb)	LF	\$25.00	\$27.00	36
34	Median Curb, Type 4 (Barrier Curb)	LF	\$13.00	\$14.00	37
35	Median Curb, Type 5 (Barrier Curb)	LF	\$18.00	\$20.00	38
36	Median Landscaping & Irrigation (California Native Landscp. & Street Trees)	SF	\$6.00	\$7.00	39
37	Median Landscaping - Future travel lanes (Drought Tolerant Ground Cover)	SF	\$4.00	\$5.00	40
38	PCC Sidewalk w/6" AB	SF	\$7.00	\$7.50	41
39	Pavement Marking	SF	\$10.00	\$10.60	42
40	Signing & Striping (\$ per lane)	LF	\$1.50	\$1.60	43

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

No.	Item Description <small>Note: (Average Pipeline Diameter Component Cost for Storm Drainage, Sanitary Sewer, Potable Water & Non-Potable Water Pipeline Segments)</small>	Unit	2017 Unit Cost	2020 Unit Cost	Cell 'E' Desig.
41	Erosion Control	SF	\$0.15	\$0.20	44
42	Roadside Ditch (No Rock)	LF	\$5.00	\$5.30	45
43	Street Lights (Type A, 220' spacing, both sides)	LF	\$50.00	\$53.00	46
Storm Drainage System Items					
44	12" Storm Drain	LF	\$180.00	\$200.00	48
45	15" Storm Drain	LF	\$195.00	\$210.00	49
46	18" Storm Drain	LF	\$215.00	\$230.00	50
47	21" Storm Drain	LF	\$225.00	\$240.00	51
48	24" Storm Drain	LF	\$230.00	\$250.00	52
49	30" Storm Drain	LF	\$250.00	\$270.00	53
50	36" Storm Drain	LF	\$300.00	\$320.00	54
51	42" Storm Drain	LF	\$310.00	\$330.00	55
52	48" Storm Drain	LF	\$320.00	\$340.00	56
53	60" Storm Drain	LF	\$420.00	\$450.00	57
54	66" Storm Drain	LF	\$460.00	\$490.00	58
55	72" Storm Drain	LF	\$530.00	\$570.00	59
56	24" Storm Drain CSLM Backfill	LF	\$110.00	\$120.00	60
57	30" Storm Drain CSLM Backfill	LF	\$150.00	\$160.00	61
58	36" Storm Drain CSLM Backfill	LF	\$180.00	\$200.00	62
59	42" Storm Drain CSLM Backfill	LF	\$180.00	\$200.00	63
60	48" Storm Drain CSLM Backfill	LF	\$190.00	\$210.00	64
61	60" Storm Drain CSLM Backfill	LF	\$210.00	\$230.00	65
62	66" Storm Drain CSLM Backfill	LF	\$240.00	\$260.00	66
63	72" Storm Drain CSLM Backfill	LF	\$300.00	\$320.00	67
64	36" Drainage Culvert Inlet Structure	EA	\$15,000.00	\$15,900.00	68
65	36" Drainage Culvert Outlet Structure	EA	\$15,000.00	\$15,900.00	69
66	42" Drainage Culvert Inlet Structure	EA	\$20,000.00	\$21,200.00	70
67	42" Drainage Culvert Outlet Structure	EA	\$20,000.00	\$21,200.00	71
68	Dual 42" Drainage Culvert Inlet Structure	EA	\$20,000.00	\$21,200.00	72
69	Dual 42" Drainage Culvert Outlet Structure	EA	\$20,000.00	\$21,200.00	73
70	48" Drainage Culvert Inlet Structure	EA	\$25,000.00	\$26,500.00	74
71	48" Drainage Culvert Outlet Structure	EA	\$25,000.00	\$26,500.00	75
72	Dual 48" Drainage Culvert Inlet Structure	EA	\$30,000.00	\$31,800.00	76
73	Dual 48" Drainage Culvert Outlet Structure	EA	\$30,000.00	\$31,800.00	77
74	60" Drainage Culvert Inlet Structure	EA	\$30,000.00	\$31,800.00	78
75	60" Drainage Culvert Outlet Structure	EA	\$30,000.00	\$31,800.00	79
76	Dual 60" Drainage Culvert Inlet Structure	EA	\$35,000.00	\$37,100.00	80
77	Dual 60" Drainage Culvert Outlet Structure	EA	\$35,000.00	\$37,100.00	81
78	6' High x 10' Wide Box Culvert	LF	\$330.00	\$350.00	82
79	6' High x 12' Wide Box Culvert	LF	\$460.00	\$490.00	83
80	6' High x 10' Wide Box Culvert Inlet & Outlet Headwalls	EA	\$115,000.00	\$122,000.00	84
81	6' High x 12' Wide Box Culvert Inlet & Outlet Headwalls	EA	\$128,000.00	\$136,000.00	85

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

No.	Item Description <small>Note: (Average Pipeline Diameter Component Cost for Storm Drainage, Sanitary Sewer, Potable Water & Non-Potable Water Pipeline Segments)</small>	Unit	2017 Unit Cost	2020 Unit Cost	Cell 'E' Desig.
82	30" Storm Drain Pipe Inlet/Outlet Structure	EA	\$15,000.00	\$16,000.00	86
83	36" Storm Drain Pipe Inlet/Outlet Structure	EA	\$15,000.00	\$16,000.00	87
84	48" Storm Drain Pipe Inlet/Outlet Structure	EA	\$25,000.00	\$27,000.00	88
85	60" Storm Drain Pipe Inlet/Outlet Structure	EA	\$30,000.00	\$32,000.00	89
86	66" Storm Drain Pipe Inlet/Outlet Structure	EA	\$38,000.00	\$41,000.00	90
87	72" Storm Drain Pipe Inlet/Outlet Structure	EA	\$40,000.00	\$43,000.00	91
Storm Drainage System Items (Continued)					
88	12" Erosion Control Outfall Structure	EA	\$3,000.00	\$3,200.00	93
89	15" Erosion Control Outfall Structure	EA	\$3,500.00	\$3,800.00	94
90	18" Erosion Control Outfall Structure	EA	\$4,000.00	\$4,300.00	95
91	Grouted Cobble Erosion Control Ditch Discharge	EA	\$2,000.00	\$2,200.00	96
92	Basin Flow Metering Outlet Control Structure	EA	\$200,000.00	\$212,000.00	97
93	Water Quality Basin Planting (Hydro-Seed)	SF	\$0.08	\$0.10	98
94	Hydro-modification Basin Planting (Hydro-Seed)	SF	\$0.08	\$0.10	99
95	Existing Lake/Pond Dewatering	JOB	\$5,000.00	\$5,300.00	100
96	Drain Inlet - Type 'F'	EA	\$3,800.00	\$4,100.00	101
Sanitary Sewer System Components					
97	6" Sanitary Sewer	LF	\$140.00	\$150.00	103
98	8" Sanitary Sewer	LF	\$150.00	\$160.00	104
99	10" Sanitary Sewer	LF	\$155.00	\$165.00	105
100	12" Sanitary Sewer	LF	\$160.00	\$170.00	106
101	15" Sanitary Sewer	LF	\$170.00	\$180.00	107
102	18" Sanitary Sewer	LF	\$175.00	\$190.00	108
103	21" Sanitary Sewer	LF	\$180.00	\$200.00	109
104	24" Sanitary Sewer	LF	\$190.00	\$210.00	110
105	30" Sanitary Sewer	LF	\$270.00	\$290.00	111
106	4" Sanitary Sewer Force main	LF	\$100.00	\$110.00	112
107	6" Sanitary Sewer Force main	LF	\$110.00	\$120.00	113
108	Sanitary Sewer Pump Station (0.59 mgd and below)	MGD	\$800,000.00	\$847,000.00	114
109	Sanitary Sewer Pump Station (0.6 mgd and above)	MGD	\$500,000.00	\$530,000.00	115
110	48" Sanitary Sewer Manhole	EA	\$7,100.00	\$7,600.00	116
111	60" Sanitary Sewer Manhole	EA	\$10,600.00	\$11,300.00	117
112	48" Sanitary Sewer Manhole w/Epoxy Lined	EA	\$11,200.00	\$11,900.00	118
113	60" Sanitary Sewer Manhole w/Epoxy Lined	EA	\$13,200.00	\$14,000.00	119
Potable Water System Items					
114	6" Water Pipe	LF	\$80.00	\$90.00	121
115	8" Water Pipe	LF	\$90.00	\$100.00	122
116	12" Water Pipe	LF	\$110.00	\$120.00	123
117	16" Water Pipe	LF	\$120.00	\$130.00	124
118	18" Water Pipe w/Cathodic Protection	LF	\$230.00	\$250.00	125
119	20" Water Pipe w/Cathodic Protection	LF	\$240.00	\$260.00	126
120	24" Water Pipe w/Cathodic Protection	LF	\$270.00	\$290.00	127

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

No.	Item Description Note: (Average Pipeline Diameter Component Cost for Storm Drainage, Sanitary Sewer, Potable Water & Non-Potable Water Pipeline Segments)	Unit	2017 Unit Cost	2020 Unit Cost	Cell 'E' Desig.
121	30" Water Pipe w/Cathodic Protection (Within Plan Area)	LF	\$470.00	\$500.00	128
122	30" Water Pipe w/Cathodic Protection (Offsite Phase 2)	LF	\$600.00	\$636.00	129
123	Booster Pump Station (Within Plan area)	GPM	\$1,300.00	\$1,400.00	130
124	Booster Pump Station (Offsite Phase 2)	GPM	\$350.00	\$400.00	131
125	12" Potable/Non-Potable Water Interconnect	EA	\$25,000.00	\$26,500.00	132

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

No.	Item Description <small>Note: (Average Pipeline Diameter Component Cost for Storm Drainage, Sanitary Sewer, Potable Water & Non-Potable Water Pipeline Segments)</small>	Unit	2017 Unit Cost	2020 Unit Cost	Cell 'E' Desig.
Non-Potable Water System Items					
126	Pressure Reducing Station (Zone 5 to Zone 4)	EA	\$100,000.00	\$106,000.00	134
127	Pressure Reducing Station (Zone 4 to Zone 3)	EA	\$100,000.00	\$106,000.00	135
128	Pressure Reducing Station (Zone 3 to Zone 2)	EA	\$100,000.00	\$106,000.00	136
129	Storage Reservoir (Above 2.5 MG Steel Tank)	MG	\$1,500,000.00	\$1,600,000.00	137
130	Storage Reservoir (Below 2.5 MG Steel Tank)	MG	\$850,000.00	\$900,000.00	138
131	Storage Reservoir (3 MG Concrete Tank)	MG	\$1,200,000.00	\$1,300,000.00	139
131	6" Water Pipe	LF	\$70.00	\$80.00	140
132	8" Water Pipe	LF	\$80.00	\$90.00	141
133	12" Water Pipe	LF	\$100.00	\$110.00	142
134	16" Water Pipe	LF	\$120.00	\$130.00	143
Miscellaneous Items					
135	Bore & Jack 30-in Steel Casing	LF	\$1,100.00	\$1,200.00	145
136	Bore & Jack 36-in Steel Casing	LF	\$1,100.00	\$1,200.00	146
137	Bore & Jack, Receiving Pit	EA	\$20,000.00	\$21,200.00	147
138	Bore & Jack, Jacking Pit	EA	\$50,000.00	\$53,000.00	148
139	10' Wide x 6' High Box Culvert	LF	\$550.00	\$590.00	149
140	12' Wide x 6' High Box Culvert	LF	\$600.00	\$640.00	150
141	Box Culvert Headwalls	LF	\$300.00	\$320.00	151
142	Alder Creek Sewer Pipeline Bridge	LS	\$861,000.00	\$911,400.00	152
143	Box Girder Bridge	DSF	\$300.00	\$320.00	153
144	Sewer Force main Maint. Road Bridge (ACP SSFM)	LS	\$940,000.00	\$995,000.00	154
145	Traffic Signal and Appurtenances (3-Way)	EA	\$250,000.00	\$265,000.00	155
146	Traffic Signal and Appurtenances (4-Way)	EA	\$300,000.00	\$320,000.00	156
147	At-Grade Railroad Crossing (Concrete Track Panels & Fully Operational Crossing Arms & Signals)	EA	\$600,000.00	\$640,000.00	157
148	At-Grade Railroad Crossing (Fully Operational Crossing Arms & Signals)	EA	\$450,000.00	\$480,000.00	158
149	At-Grade Railroad Crossing (Concrete Track Panels)	EA	\$150,000.00	\$160,000.00	159
150	Traffic Signal Control/City Fiber Optic System - Ph. 1 (Conduit & Pullboxes Only)	LF	\$20.00	\$22.00	160
151	Traffic Signal Control/City Fiber Optic System- Ph. 1 (Fiber Optic Cable Only)	LF	\$35.00	\$38.00	161
151	Traffic Signal Control/City Fiber Optic System	LF	\$55.00	\$60.00	162
152	Dry Utility System - Scenic Vista Court	LF	\$180.00	\$190.00	163
153	Dry Utility System - Russell Ranch Road	LF	\$180.00	\$190.00	164
154	Dry Utility System - Alder Creek Parkway	LF	\$180.00	\$190.00	165
155	Dry Utility System - Prairie City Road	LF	\$180.00	\$190.00	166
156	Dry Utility System - Oak Avenue Parkway	LF	\$180.00	\$190.00	167
157	Dry Utility System - East Bidwell Street	LF	\$180.00	\$190.00	168
158	Dry Utility System - Empire Ranch Road	LF	\$180.00	\$190.00	169
159	Dry Utility System - Westwood Drive	LF	\$180.00	\$190.00	170
160	Dry Utility System - Rowberry Drive	LF	\$180.00	\$190.00	171
161	Dry Utility System - Mangini Parkway	LF	\$180.00	\$190.00	172
162	Dry Utility System - Savannah Parkway (Segment 1)	LF	\$180.00	\$190.00	173

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

No.	Item Description <small>Note: (Average Pipeline Diameter Component Cost for Storm Drainage, Sanitary Sewer, Potable Water & Non-Potable Water Pipeline Segments)</small>	Unit	2017 Unit Cost	2020 Unit Cost	Cell 'E' Desig.
Miscellaneous Items (Continued)					
163	Dry Utility System - Savannah Parkway (Segment 3 & 4)	LF	\$180.00	\$190.00	175
163	Dry Utility System - Placerville Road Corridor (Segment 1)	LF	\$180.00	\$190.00	176
164	Dry Utility System - Placerville Road Corridor (Segment 2)	LF	\$180.00	\$190.00	177
165	Dry Utility System - Placerville Road Corridor (Segment 3)	LF	\$215.00	\$230.00	178
166	Dry Utility System - Placerville Road Corridor (Segment 4)	LF	\$215.00	\$230.00	179
167	Dry Utility System - Placerville Road Corridor (Segment 5)	LF	\$265.00	\$280.00	180
168	69Kv Pole Relocation (EVP Sta 389+00 to 405+00)	LF	\$250.00	\$270.00	181
169	69Kv Pole Relocation	EA	\$40,000.00	\$43,000.00	182
170	Cell Tower Sites Elect. & Comm. Service	LS	\$110,000.00	\$116,500.00	183
171	Concrete Access Ramp (6" Conc. w/#4 bars at 12"o.c. ea. Way)	SF	\$10.00	\$11.00	184
172	20-ft wide Type A Driveway	EA	\$4,000.00	\$4,300.00	185
173	Removable Pipe Bollard	EA	\$300.00	\$320.00	186
174	Side Slope Jute Mesh	SF	\$0.25	\$0.30	187
175	Construction Area Reseeding (Hydro-Seed)	SF	\$0.10	\$0.20	188
176	Landscape Corridor/Construction Area Finish Grading	SF	\$0.50	\$0.60	189
177	Embankment Excavation and Stock Piling	CY	\$5.00	\$5.30	190
178	Embankment Construction	CY	\$4.00	\$4.30	191
179	Structural Concrete	CY	\$500.00	\$530.00	192
180	Basin Finish Grading	SF	\$0.50	\$0.60	193
181	Embankment Import Material	CY	\$8.00	\$8.50	194
182	Rock Rip-Rap	CY	\$30.00	\$32.00	195
183	Spillway Bridge	SF	\$50.00	\$53.00	196
184	Open Space Fencing (Post & Cable Barrier)	LF	\$18.00	\$20.00	197
185	Structural Backfill	CY	\$10.00	\$11.00	198
186	Construction Fencing	LF	\$3.50	\$3.80	199
187	Type BW Fencing	LF	\$20.00	\$22.00	200
188	Rock Lined Drainage Swale	LF	\$12.00	\$13.00	201
189	20-ft. Wide Pipe Gate	EA	\$7,000.00	\$7,500.00	202
190	Timber Barricade	LF	\$50.00	\$53.00	203
191	Remove & Re-install Railroad Tracks at Utility Crossing	LS	\$5,000.00	\$5,300.00	204
192	Landscape Planting & Irrigation	SF	\$4.00	\$5.00	205
193	8-Ft. Masonry Wall	SF	\$100.00	\$106.00	206
194	Remove Gallery Drop Inlet	LS	\$500.00	\$530.00	207
195	Place Gallery Drop Inlet & Reconnect to Drainage System	LS	\$3,000.00	\$3,176.00	208
196	Relocate Fire Hydrant	LS	\$1,000.00	\$1,059.00	209
197	Masonry Retaining Wall (Face Square Footage)	FSF	\$80.00	\$85.00	210
198	Rock Retaining Wall (Face Square Footage)	FSF	\$60.00	\$64.00	211
199	Reconstruct Entry Monument	EA	\$20,000.00	\$21,170.00	212
200	Relocate Street Light	EA	\$3,000.00	\$3,176.00	213
201	Traffic Signal Modification (Reset 1 Signal)	LS	\$50,000.00	\$52,925.00	214
202	Traffic Signal Modification (Reset 2 Signals)	LS	\$100,000.00	\$105,850.00	215

FOLSOM PLAN AREA
Backbone Infrastructure
Construction Cost Estimate

7919.000

No.	Item Description Note: (Average Pipeline Diameter Component Cost for Storm Drainage, Sanitary Sewer, Potable Water & Non-Potable Water Pipeline Segments)	Unit	2017 Unit Cost	2020 Unit Cost	Cell 'E' Desig.
203	Traffic Signal Modification (Reset Signal Phasing)	LS	\$5,000.00	\$5,293.00	216
204	Grouted Cobble Median	SF	\$6.00	\$7.00	217
205	Replace Traffic Signal Signage	EA	\$500.00	\$530.00	218
Booster Pump Station					
195	Piping, Valves, Fillings & Appurtenances	LS	\$50,000.00	\$53,000.00	220
196	Major Equipment	LS	\$150,000.00	\$160,000.00	221
197	Major Electrical	LS	\$100,000.00	\$110,000.00	222

	Description	Unit	2017 Unit Price	2020 Unit Price	Cell 'E' Desig.
	Earthwork & Site Preparation				
1	Clearing and Grubbing	SF	\$0.03	\$0.04	4
2	Excavation (West of Placerville Rd)	CY	\$6.00	\$6.40	5
2	Excavation (East of Placerville Rd)	CY	\$7.00	\$7.50	6
2	Import	CY	\$4.00	\$4.30	7
2	Embankment Construction	CY	\$3.00	\$3.20	8
3	Basin Finish Grading	SF	\$0.50	\$0.60	9
4	Dewater Existing Pond	LS	\$5,000.00	\$5,300.00	10
	Drainage Improvements				
5	12-inch RCP CL-III Storm Drainage Pipeline	LF	\$110.00	\$120.00	13
6	15-inch RCP CL-III Storm Drainage Pipeline	LF	\$120.00	\$130.00	14
7	18-inch RCP CL-III Storm Drainage Pipeline	LF	\$130.00	\$140.00	15
8	24-inch RCP CL-III Storm Drainage Pipeline	LF	\$150.00	\$160.00	16
9	30-inch RCP CL-III Storm Drainage Pipeline	LF	\$160.00	\$170.00	17
10	36-inch RCP CL-III Storm Drainage Pipeline	LF	\$190.00	\$210.00	18
11	42-inch RCP CL-III Storm Drainage Pipeline	LF	\$230.00	\$250.00	19
12	48-inch RCP CL-III Storm Drainage Pipeline	LF	\$240.00	\$260.00	20
13	54-inch RCP CL-III Storm Drainage Pipeline	LF	\$270.00	\$290.00	21
14	60-inch RCP CL-III Storm Drainage Pipeline	LF	\$300.00	\$320.00	22
15	66-inch RCP CL-III Storm Drainage Pipeline	LF	\$310.00	\$330.00	23
16	72-inch RCP CL-III Storm Drainage Pipeline	LF	\$330.00	\$350.00	24
17	48-inch Storm Drain Manhole, Std. Dwg. SD-28	EA	\$5,400.00	\$5,800.00	25
18	60-inch Storm Drain Manhole, Std. Dwg. SD-28	EA	\$6,500.00	\$6,900.00	26
19	72-inch Storm Drain Manhole, Std. Dwg. SD-28	EA	\$9,000.00	\$9,600.00	27
20	84-inch Storm Drain Manhole, Std. Dwg.	EA	\$15,200.00	\$16,100.00	28
21	96-inch Storm Drain Manhole, Std. Dwg.	EA	\$18,500.00	\$19,600.00	29
22	108-inch Storm Drain Manhole, Std. Dwg.	EA	\$30,300.00	\$32,100.00	30
23	120-inch Storm Drain Manhole, Jenson or equal	EA	\$33,000.00	\$35,000.00	31
24	48-inch Saddle Manhole, Std. Dwg. SD-29	EA	\$6,400.00	\$6,800.00	32
25	36-inch Storm Drain Junction Box	EA	\$4,200.00	\$4,500.00	33
26	48-inch Storm Drain Junction Box	EA	\$10,000.00	\$10,600.00	34
27	6' x 6' Storm Drain Junction Box	EA	\$35,000.00	\$37,100.00	35
28	7' x 7' Storm Drain Junction Box	EA	\$41,000.00	\$43,400.00	36
29	8' x 8' Storm Drain Junction Box	EA	\$42,000.00	\$44,500.00	37
30	9' x 9' Storm Drain Junction Box	EA	\$44,000.00	\$46,600.00	38
31	6' x 9' Storm Drain Junction Box	EA	\$42,000.00	\$44,500.00	39
32	9' x 12' Storm Drain Junction Box	EA	\$45,000.00	\$47,700.00	40
33	7' x 16' Storm Drain Junction Box	EA	\$55,800.00	\$59,100.00	41
34	12-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$8,000.00	\$8,500.00	42

	Description	Unit	2017 Unit Price	2020 Unit Price	Cell 'E' Desig.
35	18-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$10,000.00	\$10,600.00	43
36	24-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$16,000.00	\$17,000.00	44
	Drainage Improvements (Continued)				
37	30-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$18,000.00	\$19,100.00	46
38	36-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$20,000.00	\$21,200.00	47
39	42-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$22,000.00	\$23,300.00	48
40	48-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$24,000.00	\$25,500.00	49
41	54-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$25,000.00	\$26,500.00	50
42	60-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$26,000.00	\$27,600.00	51
43	66-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$31,100.00	\$33,000.00	52
44	72-inch Storm Drain Outfall Structure, Std. Dwg. SD-20	EA	\$35,000.00	\$37,100.00	53
45	Twin 48-inch Storm Drain Outfall Structure	EA	\$34,000.00	\$36,000.00	54
46	Twin 60-inch Storm Drain Outfall Structure	EA	\$35,000.00	\$37,100.00	55
47	18-inch Storm Drain Inlet Structure, Std. Dwg. SD-16	EA	\$8,000.00	\$8,500.00	56
48	30-inch Storm Drain Inlet Structure, Std. Dwg. SD-17	EA	\$15,000.00	\$15,900.00	57
49	36-inch Storm Drain Inlet Structure, Std. Dwg. SD-17	EA	\$15,000.00	\$15,900.00	58
50	48-inch Storm Drain Inlet Structure, Std. Dwg. SD-17	EA	\$25,000.00	\$26,500.00	59
51	72-inch Storm Drain Inlet Structure, Std. Dwg. SD-17	EA	\$40,000.00	\$42,400.00	60
52	5' High x 8' Wide Concrete Box Culvert	LF	\$300.00	\$320.00	61
53	6' High x 8' Wide Concrete Box Culvert	LF	\$310.00	\$330.00	62
54	6' High x 10' Wide Concrete Box Culvert	LF	\$330.00	\$350.00	63
55	6' High x 12' Wide Concrete Box Culvert	LF	\$460.00	\$490.00	64
56	Rock Rip Rap	CY	\$50.00	\$60.00	65
57	Concrete Spillway & Energy Dissipater	LS	\$100,000.00	\$106,000.00	66
58	Detention Basin Outlet Control Structure (Downstream	LS	\$100,000.00	\$106,000.00	67
59	Detention Basin Outlet Control Structure - Small	LS	\$200,000.00	\$250,000.00	68
60	Detention Basin Outlet Control Structure - Medium	LS	NVA	\$380,000.00	69
61	Detention Basin Outlet Control Structure - Large	LS	NVA	\$475,000.00	70
62	Detention Basin Outlet Control Structure - Extra Large	LS	NVA	\$525,000.00	71
63	Detention Basin Outlet Control Structure - Extra Extra Large	LS	NVA	\$750,000.00	72
64	Detention Basin No. 6 Outlet Control Structure	LS	\$200,000.00	\$525,000.00	73
65	Detention Basin No. 7 Outlet Control Structure	LS	\$200,000.00	\$525,000.00	74
66	Detention Basin No. 8 Outlet Control Structure	LS	\$200,000.00	\$380,000.00	75
67	Detention Basin No. 9 Outlet Control Structure	LS	\$200,000.00	\$342,500.00	76
68	Detention Basin No. 10 Outlet Control Structure	LS	\$200,000.00	\$200,000.00	77
69	Hydro-Modifcation Basin No. 19 Outlet Control Structure	LS	\$200,000.00	\$394,400.00	78
70	Hydro-Modifcation Basin No. 20 Outlet Control Structure	LS	\$200,000.00	\$200,000.00	79
71	Hydro-Modifcation Basin No. 24 Outlet Control Structure	LS	\$200,000.00	\$323,000.00	80
72	Hydro-Modifcation Basin No. 25 Outlet Control Structure	LS	\$200,000.00	\$262,600.00	81
73	Hydro-Modifcation Basin No. 26 Outlet Control Structure	LS	\$200,000.00	\$227,400.00	82

	Description	Unit	2017 Unit Price	2020 Unit Price	Cell 'E' Desig.
74	Type 'F' Drainage Inlet, Std. Dwg. SD-12	EA	\$3,400.00	\$3,600.00	83
75	5' High x 8' Wide Box Culvert Inlet /Outlet Structure	EA	\$90,000.00	\$96,000.00	84
76	6' High x 8' Wide Box Culvert Inlet /Outlet Structure	EA	\$100,000.00	\$106,000.00	85
77	6' High x 10' Wide Box Culvert Inlet /Outlet Structure	EA	\$115,000.00	\$122,000.00	86
78	6' High x 12' Wide Box Culvert Inlet /Outlet Structure	EA	\$128,000.00	\$136,000.00	87
79	Twin 6' High x 10' Wide Box Culvert Inlet /Outlet Structure	EA	\$130,000.00	\$138,000.00	88

	Description	Unit	2017 Unit Price	2020 Unit Price	Cell 'E' Desig.
	Detention Basin Improvements				
80	12-ft. Wide Concrete Access Ramp, Std. Dwg. SD-23	SF	\$10.00	\$11.00	90
81	Spillway, 6" Concrete w/#4 Bars 12" O.C. Each Way	SF	\$10.00	\$11.00	91
82	Overland Release Channel Crossing, 6" Conc. / 6" AB	SF	\$10.00	\$11.00	92
83	3-inch AC/ 7.5-inch AB Pavement	SF	\$4.00	\$4.30	93
84	12-ft. Wide Basin Perimeter Road - 2" AC / 8" AB	SF	\$3.60	\$3.90	94
85	3-ft. Wide Rock Lined Drainage Swale, Std. Dwg. SD-14	LF	\$10.00	\$11.00	95
86	5-ft. Wide Concrete V-Gutter	LF	\$36.00	\$39.00	96
87	20-ft. Wide A-6 Driveway, Std. Dwg. RD-02	EA	\$6,000.00	\$6,400.00	97
88	30-ft. Wide A-6 Driveway, Std. Dwg. RD-02	EA	\$8,000.00	\$8,500.00	98
89	Removable Bollards, Std. Dwg. LS-42	EA	\$1,800.00	\$2,000.00	99
90	Post & Cable Barrier, Std. Dwg. LS-47	LF	\$18.00	\$20.00	100
91	12-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	EA	\$4,500.00	\$4,800.00	101
92	20-ft. wide Pipe Gate Std. Dwg. LS-43 (Single Gate)	EA	\$6,000.00	\$6,400.00	102
93	30-ft. wide Pipe Gate Std. Dwg. LS-44 (Double Gate)	EA	\$8,000.00	\$8,500.00	103
94	Masonry Retaining Wall	SF	\$80.00	\$85.00	104
95	12' Wide x 15' Long Spillway Bridge	LS	\$54,000.00	\$58,000.00	105
96	Type 'A' Drop Inlet	EA	\$3,800.00	\$5,000.00	106
	Landscape Improvements				
97	Detention Basin Planting (Hydro-Seeding)	SF	\$0.05	\$0.06	109
98	Side Slope Jute Mesh	SF	\$0.25	\$0.30	110
99	Constructiton Area Seeding (Hydro-Seeding)	SF	\$0.05	\$0.06	111
##	Erosion Control (Construction SWPPP)	SF	\$0.20	\$0.30	112

ATTACHMENT 4

DRAFT

Table 27
City of Folsom
SPIF Implementation
Infrastructure Cost Allocation: FPASP Portion of City Water Treatment Plant Expansion - Remaining (2020\$)

**FPASP Portion of
 City Water Treatment
 Plant Expansion
 Remaining Land Uses**

Land Use	Land Uses Excluding Folsom Heights		Cost Allocation Basis			Water Cost Allocation		
	Dev. Acres [1]	Units/ Sq. Ft.	Water Demand [2]	Total Demand	Distribution of Demand	Assigned Cost [3]	per Acre	per Unit/ Sq. Ft.
	A	B	C	D=C*A or B	E=D/Total Demand	F=Total Cost*E	G=F/A	H=F/B
Residential		<i>units</i>	<i>per unit</i>					<i>per unit</i>
Single-Family (SF)	344.7	1,134	0.59	669	21.6%	\$1,481,252	\$4,297	\$1,306
Single-Family High Density (SFHD)	522.4	2,881	0.37	1,068	34.3%	\$2,359,982	\$4,518	\$819
Multifamily Low Density (MLD)	225.5	2,035	0.23	468	15.1%	\$1,036,230	\$4,596	\$509
Multifamily Medium Density (MMD)	47.8	896	0.19	170	5.5%	\$376,899	\$7,865	\$421
Multifamily High Density (MHD)	64.3	1,601	0.18	288	9.3%	\$838,010	\$8,922	\$399
Mixed Use (MU) - Residential	17.1	343	0.16	55	1.8%	\$121,500	\$7,105	\$354
Subtotal	1,221.8	8,890		2,716	87.5%	\$8,013,874		
Nonresidential		<i>sq. ft.</i>	<i>per acre</i>					<i>per sq. ft.</i>
Mixed Use (MU) - Commercial	11.4	100,362	1.64	19	0.6%	\$41,392	\$3,631	\$0.41
Office Park (OP)	103.4	1,353,845	1.97	204	6.6%	\$451,017	\$4,361	\$0.33
General Commercial (GC)	42.5	481,297	1.54	65	2.1%	\$144,833	\$3,409	\$0.31
Community Commercial (CC)	24.5	235,224	1.54	38	1.2%	\$83,532	\$3,409	\$0.36
Regional Commercial (RC)	42.3	512,443	1.46	62	2.0%	\$136,728	\$3,232	\$0.27
Subtotal	224.1	2,663,171		387	12.5%	\$857,500		
Total Project	1,445.9			3,104	100.0%	\$8,871,374		

wtp remaining alloc

Source: Folsom Specific Plan Area Water Supply Assessment (June 2010), MacKay & Bomps, EPS

[1] Residential acreage in this table does not reflect the reduction of the estimated acreage of residential subdivisions which have processed final maps.

[2] Residential: acre feet/dwelling unit/year; nonresidential: acre feet/acre/year

[3] See Table K-7.

POWERPOINT PRESENTATION

This page is intentionally left blank.