

Folsom City Council Staff Report



MEETING DATE:	1/25/2022
AGENDA SECTION:	Public Hearing
SUBJECT:	<p>Russell Ranch Phase 2 Lots 24-32 – East of Empire Ranch Road and North of White Rock Road, in the Folsom Plan Area (PN 21-118)</p> <p>i. Resolution No. 10791 - A Resolution to Approve an Amendment to the Large Lot Vesting Subdivision Map, Small-Lot Vesting Tentative Subdivision Map for 208-Residential Lots, Russell Ranch Design Guideline Amendment to Eliminate Reference to Active Adult Uses, Design Review and Approval of Street Names for the Russell Ranch Phase 2 Lots 24-32 Project</p> <p>ii. Ordinance No. 1323 - An Uncodified Ordinance of the City of Folsom Approving Amendment No. 3 to the Amended and Restated Tier 1 Development Agreement Between the City of Folsom and Lennar Homes of California, LLC Relative to the Russell Ranch Phase 2 Lots 24-32 Project (Introduction and First Reading)</p>
FROM:	Community Development Department

RECOMMENDATION / CITY COUNCIL ACTION

Move to Approve the CEQA Addendum documenting that the Project including a Large Lot Tentative Subdivision Map amendment, Small Lot Vesting Tentative Subdivision Map amendment, Design Review, Development Agreement Amendment and Street Name amendment to convert 208 age restricted units to conventional units does not result in any new impacts not already identified in the Environmental Impact Report/Environmental Impact Statement for the Folsom South of U.S. Highway 50 Specific Plan Project (FPASP EIR/EIS) (State Clearinghouse No. 2008092051) and the

Russell Ranch Project Environmental Impact Report (Russell Ranch EIR) (State Clearinghouse No. 2014062018).

- i. Adopt Resolution No. 10791 - A Resolution to Approve an Amendment to the Large Lot Vesting Subdivision Map, Small-Lot Vesting Tentative Subdivision Map for 208-Residential Lots, Russell Ranch Design Guideline Amendment to Eliminate Reference to Active Adult Uses, Design Review and Approval of Street Names for the Russell Ranch Phase 2 Lots 24-32 Project
- ii. Introduce and conduct first reading of Ordinance No. 1323 - An Uncodified Ordinance of the City of Folsom Approving Amendment No. 3 to the Amended and Restated Tier 1 Development Agreement Between the City of Folsom and Lennar Homes of California, LLC Relative to the Russell Ranch Phase 2 Lots 24-32 Project

A. Background

On June 28, 2016, the City Council approved an Amended Large-Lot Vesting Tentative Subdivision Map and an Amended Small-Lot Vesting Tentative Subdivision Map for development of an 852-unit single-family residential subdivision (Russell Ranch Subdivision).

In 2018, a Small-Lot Vesting Tentative Subdivision Map for the prior Phase 4 and an amendment of a portion of the approved Small-Lot Vesting Tentative Subdivision Map for the prior Phase 3, collectively known as Phase 2 - Lots 24 through 32 was approved.

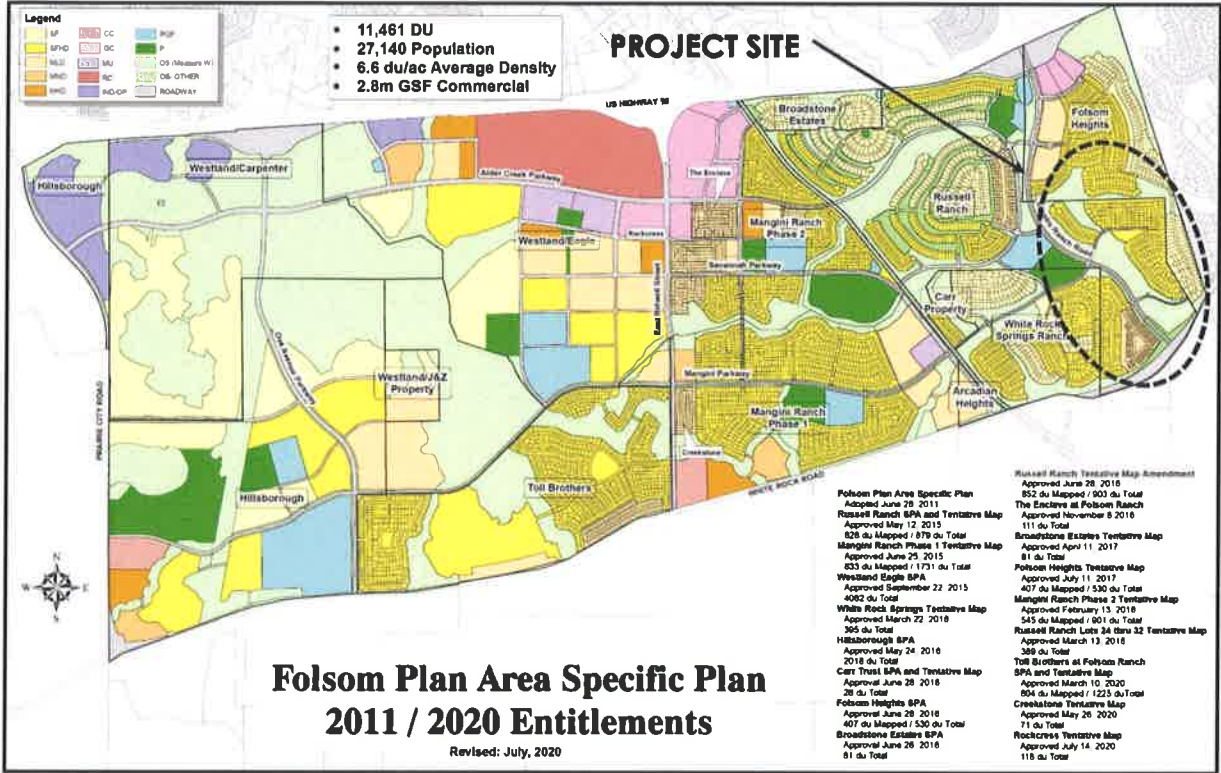
On March 27, 2018, the City Council approved a General Plan Amendment, Specific Plan Amendment, Design Guidelines Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Development Agreement Amendment for the development of a 389-unit residential subdivision (Russell Ranch Lots 24-32 Subdivision). This approval included 208 active adult units. The Design Guidelines Amendment provided additional direction in terms of the architecture and design of the proposed active-adult community and associated community center, and the townhome portions of the Russell Ranch Subdivision.

On November 7, 2018, the Planning Commission approved a Design Review Application for 95 traditional single-family residential units located within Phase 1, Villages 6 and 8 of the previously approved Russell Ranch Subdivision project.

On February 20, 2019, the Planning Commission approved a Design Review Application for 77 traditional single-family residential units located within Phase 1, Villages 1 and 2 of the previously approved Russell Ranch Subdivision project.

In April 2021 a Minor Administrative Modification was approved that refined the boundaries of a neighborhood on the east side to maximize development efficiencies. At that time staff also determined that the revised Small Lot Tentative Subdivision maps were in substantial compliance and did not require additional approval.

FIGURE 1: FPASP LAND USE PLAN



B. Physical Setting

The 134.6-acre Project site is located east of Empire Ranch Road, north of White Rock Road in the FPASP. The site features hilly terrain with native grasses and trees. The aerial below shows the Russell Ranch boundary shown in red and the Project boundary shown in red cross hatch.

FIGURE 2: AERIAL PHOTOGRAPH



APPLICANT'S PROPOSAL

The Project site is 134.6 acres located in the Russell Ranch area on the east side of the FPASP. The Applicant's proposal is a request to remove 208 active adult designated lots that were previously approved with the maps and convert the units to conventional (non-age restricted) lots. The Russell Ranch Lots 24 through 32 entitlements, approved in 2018, designated active adult units in response to a lack of this housing product type

in the FPASP at the time. However, the Toll Brothers at Folsom Ranch Phase 1 Small Lot Tentative Subdivision map has since been approved and includes 590 active-adult homesites. In addition, the proposed Toll Brothers at Folsom Ranch Phase 2 tentative subdivision proposes another 329 active-adult homesites for a total of 919 active-adult units. The Toll Brothers gated community, private recreation amenities, and dog parks, presents market challenges for the Russell Ranch active-adult development that the Applicant feels, result in an over-saturated active-adult housing market. Therefore, the Project proposes to remove the active-adult restrictions and amend the entitlements to provide for traditional lots.

This proposal covers Villages 1, 2 and 4, of the previously approved Phase 2 Russell Ranch subdivision and includes 208 units out of the 389 units located within the subdivision. The entire land use summary for this phase is shown in Table 1 below (Villages 3 and 5 are shaded below and are not proposed for any changes).

TABLE 1: LAND USE SUMMARY

Village	Zoning/ Land Use	Gross Acres	Net Acres	Units	Density
1	SFHD Single-Family High Density	6.8	6.5	33	5.1
2	SFHD	17.3	17.1	79	4.6
3	SFHD	15.8	11.8	63	5.3
4	SFHD	17.1	14.6	96	6.6
5	MLD Multi-Family Low Density	12.4	11.4	118	9.5
A	SFHD Private Recreation	2.1	1.9		
B	Public/Quasi Public	.1	.1		
C	Open Space (Measure W)	12.9	11.7		
D	Open Space (Measure W)	14.8	13.6		
E	Open Space (Measure W)	9.1	8.4		
F	Open Space (Measure W)	1.3	0.9		
G	Open Space (Measure W)	3.2	3.0		

H	Open Space	2.0	1.7		
I	Open Space	1.9	1.4		
Private Park (Lot 5a)	MLD	0.0	1.0		
Landscape	Varies	0.0	11.7		
Right of Way	Roads	17.8	17.8		
Total		134.6	134.6	389	

Active adult uses typically generate fewer persons per household as shown in Table 2.

TABLE 2: COMPARISON OF POPULATION

Land Use	Zoning	Population per Household	Units	Population
Single Family High Density Age Restricted	SP-SFHD 4-7 du/ac	2.00	208	416
Single Family High Density No Age Restriction	SP-SFHD 4-7 du/ac	2.92	208	607
Population Increase				+191

While there would be no change in proposed residential units or density, the anticipated population would increase by 191 persons.

A. Large Lot Vesting Tentative Subdivision Map Amendment

An amendment to the approved Large Lot Tentative Subdivision Map is requested to remove “active adult” from the map. The use would allow conventional residential (non-age restricted). A copy of the Large Lot Vesting Tentative Map can be found as Attachment 4.

B. Small Lot Vesting Tentative Subdivision Map

An amendment to the approved Small Lot Tentative Subdivision Map is requested to remove “active adult” from the map. The proposed use would allow conventional residential (non-age restricted) and would not change the overall unit count. A copy of the Small Lot Tentative Subdivision Map can be found as Attachment 5.

C. Russell Ranch Design Guideline Amendment

As shown in Attachment 6, the Applicant is proposing changes to the Design Guidelines to make it consistent with the elimination of active adult uses by eliminating reference to active adult uses. The proposed changes are shown in red-line, strike-out.

Originally Russell Ranch included two community centers; one for the entire community and one to serve the active adult portion. The active adult proposal included a gated community with a two-acre parcel with a proposed community center/recreation center. However, now that the active adult uses are no longer proposed, the neighborhood would be conventional (no gates, no private community center and streets would be publicly maintained).

According to the Applicant, the location where the Active Adult community center would have been located (Lot A) will include passive recreation amenities open to the entire (Russell Ranch) community. A description of this is included as Attachment 11. The proposal includes covered shade picnic structure(s), bench seating, large open turf area for passive play like kite flying, picnics, and small group field games. It would also include tables and barbecue for dining, a drinking fountain, and possible game tables.

D. Design Review

The Project includes the construction of 208 single family homes. Village 1 and 2 would have average lot sizes of 50' x 105' and Village 4 would have average lots sizes of 55' x 90'. The Project features nine floor plans, ranging from 1,991 to 3,312 square feet in size with a mix of two types of single-story homes and seven two-story homes as shown in Attachment 7.

The Applicant's submittal proposes six architectural styles which are described as follows:

- *Spanish Eclectic* roof elements are primarily hip with some gable elements – primary wall materials are stucco with board and batten and brick veneer accents. Windows are primarily rectangular with some shutter accents and some arch accent windows. Additional detail may include tubular steel pot shelves.
- *California Prairie* roof forms are all hip. Primary wall materials are stucco, horizontal siding and stone veneer accents. Windows may be grouped or individual and occasionally placed asymmetrically or at corners. –
- *California Cottage* – Roof forms are primarily steeper gable with some hip roof elements. Primary wall materials are stucco with board and batten and brick veneer accents. Front gables may include detail at the top of the gable. Windows are primarily rectangular with some shutter accents. Roofs are a lower hip on hip design with flat concrete roof tiles.

- *Spanish Colonia Revival* roof forms are primarily gable with some hip roof elements and S-tile roofs. Primary wall material stucco. Front gables may include accents such as scallop details. Exposed rafter tails occur along front elevations. Windows are primarily rectangular with shutter accents and some signature primary windows. Additional details may include gable ends and tubular steel pot shelves.
- *California Wine* roof forms are primarily gable. Primary wall materials are stucco with shingle siding and stone veneer accents. Windows are primarily rectangular individual or in groups. Additional detail may include standing seam metal roof at porch.
- *Transitional Bungalow* roof forms are primarily gable. Primary wall materials are stucco with shingle siding and stone veneer accents. Windows are primarily rectangular individual or in groups. Additional details include tapered columns at porch, board and batten in gable and braced shed roof elements.

Example illustrations of the architectural styles and floor plans are shown in Figures 4-21 below. The first set of elevations are for the Village 4 Lots 34-149 referred to by the Applicant as the Silver Knoll neighborhood which, based on the small lot size includes all two-story homes. The second set of elevations include both one and two-story homes in Villages 1 and 2 and include Lots 1-33 and 133-208 in an area the Applicant is referring to as the Sterling Hills neighborhood.

All floor plans include a bedroom on the first floor.



PLAN 1 | SPANISH ECLECTIC
PLAN 5 | CALIFORNIA PRAIRIE

PLAN 3 | CALIFORNIA PRAIRIE

PLAN 4 | CALIFORNIA COTTAGE

PLAN 2 | SPANISH ECLECTIC

FIGURE 3: SILVER KNOLL PLAN 1 ELEVATIONS



"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

PLAN 1 (2307)
FRONT ELEVATIONS



FIGURE 4: SILVER KNOLL PLAN 1 FLOOR PLANS

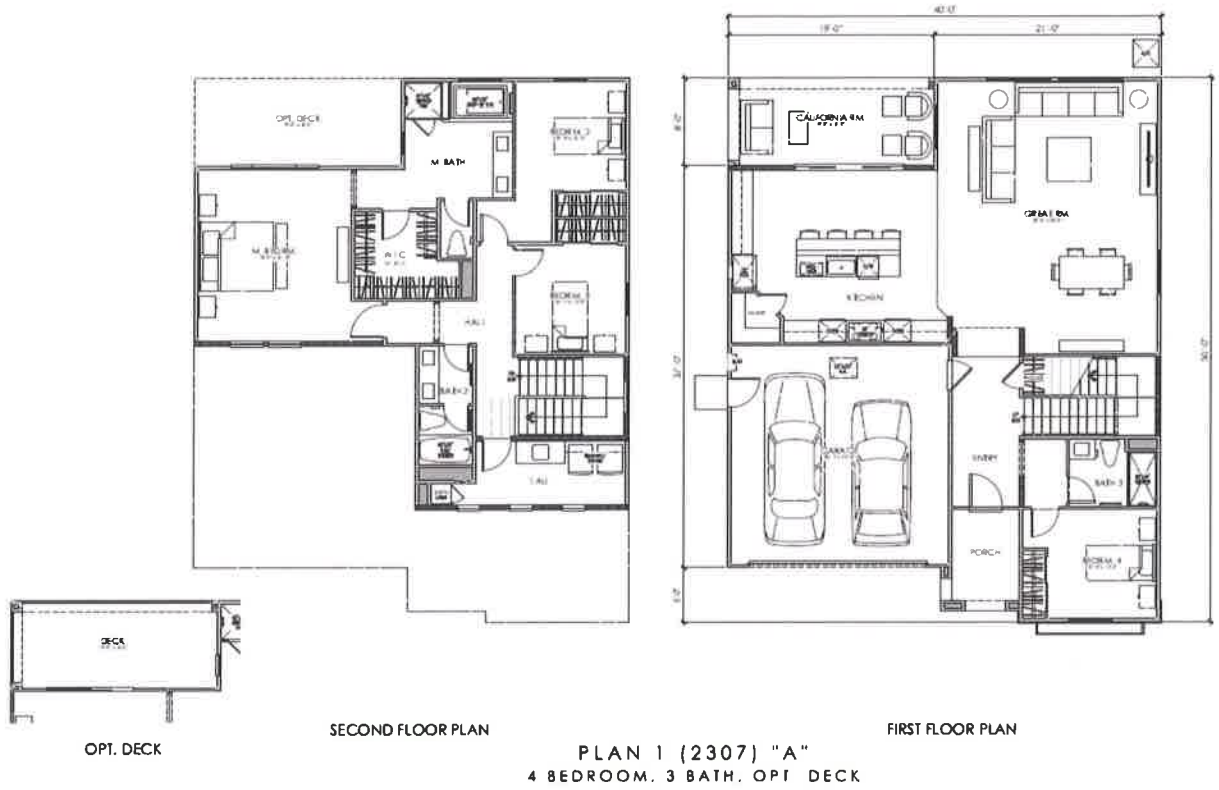


FIGURE 5: SILVER KNOLL PLAN 2 ELEVATIONS



A SPANISH ECLECTIC

EXTERIOR LIGHTS



A SPANISH ECLECTIC



B CALIFORNIA PRAIRIE



C CALIFORNIA COTTAGE



B CALIFORNIA PRAIRIE

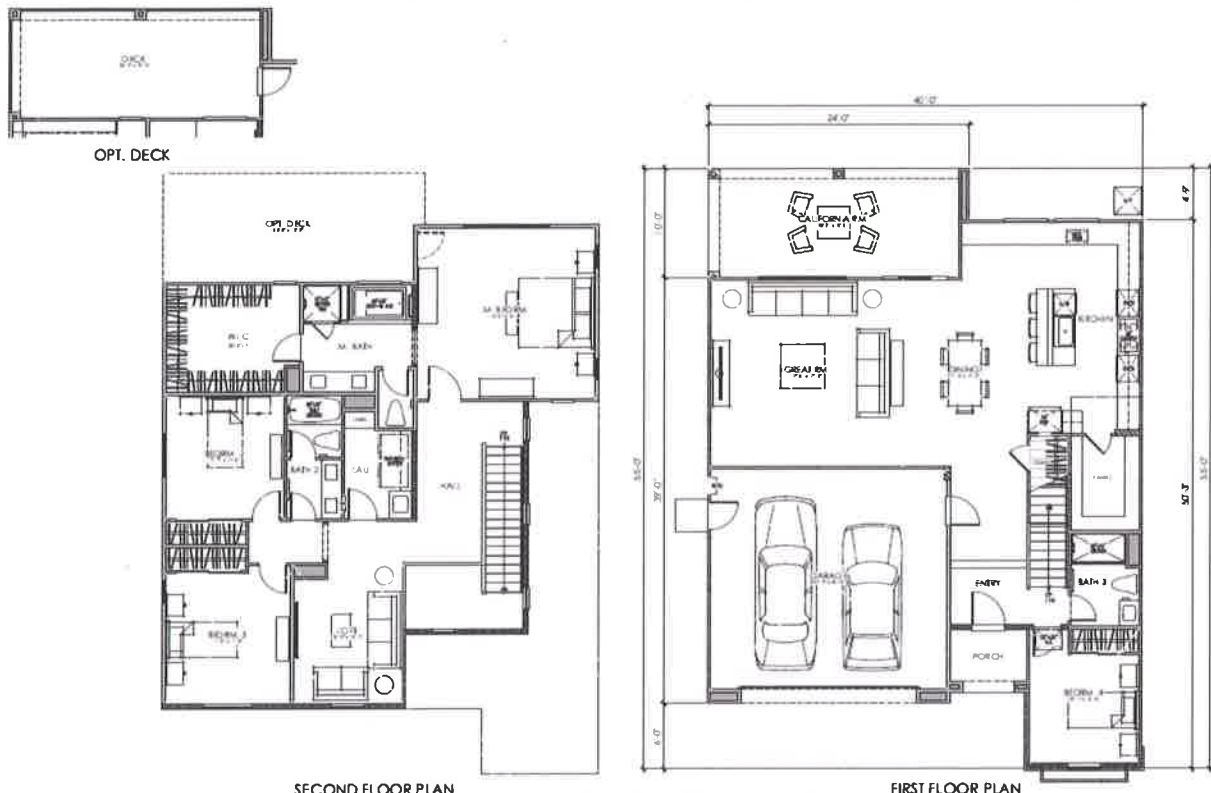


C CALIFORNIA COTTAGE

PLAN 2 (2469)
FRONT ELEVATIONS



FIGURE 6: SILVER KNOLL PLAN 2 FLOOR PLANS



SECOND FLOOR PLAN

PLAN 2 (2469) "A"
4 BEDROOM, 3 5 BATH, LOFT, OPT. DECK

FIRST FLOOR PLAN

FIGURE 7: SILVER KNOLL PLAN 3 ELEVATIONS



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Refer to landscape drawings for wall, tree, and shrub locations.

"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



©2021 Levitt, Cross, Architects, Inc.

Refer to landscape drawings for wall, tree, and shrub locations.

"B" CALIFORNIA PRAIRIE



©2021 Levitt, Cross, Architects, Inc.

Refer to landscape drawings for wall, tree, and shrub locations.

"C" CALIFORNIA COTTAGE

PLAN 3 (2704) FRONT ELEVATIONS



FIGURE 8: SILVER KNOLL PLAN 3 FLOOR PLAN

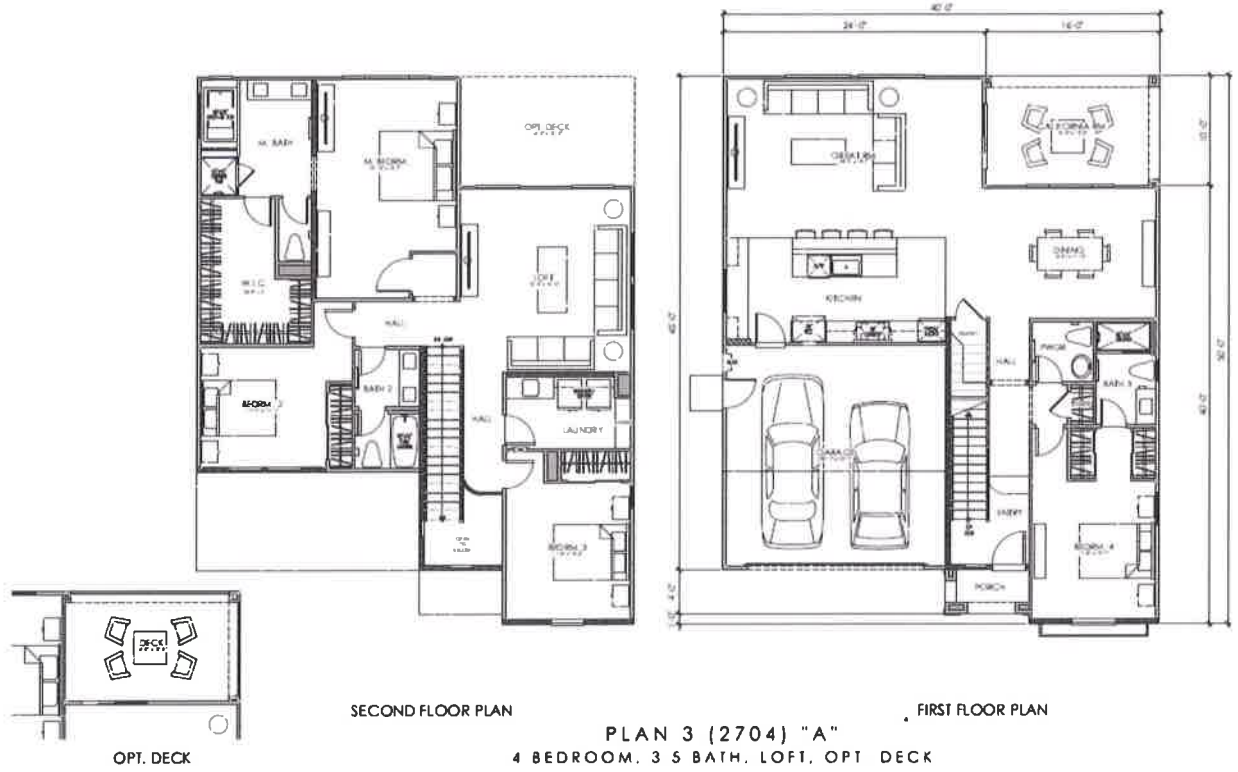


FIGURE 9: PLAN 4 SILVER KNOLL PLAN 4 ELEVATIONS



© 2021 Keadler - Clark Architects, Inc. Refer to construction drawings for wall, roof, and finish selections.

"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



© 2021 Keadler - Clark Architects, Inc. Refer to construction drawings for wall, roof, and finish selections.

"B" CALIFORNIA PRAIRIE



© 2021 Keadler - Clark Architects, Inc. Refer to construction drawings for wall, roof, and finish selections.

"C" CALIFORNIA COTTAGE

**PLAN 4 (2804)
FRONT ELEVATIONS**



FIGURE 10: SILVER KNOLL PLAN 4 FLOOR PLAN

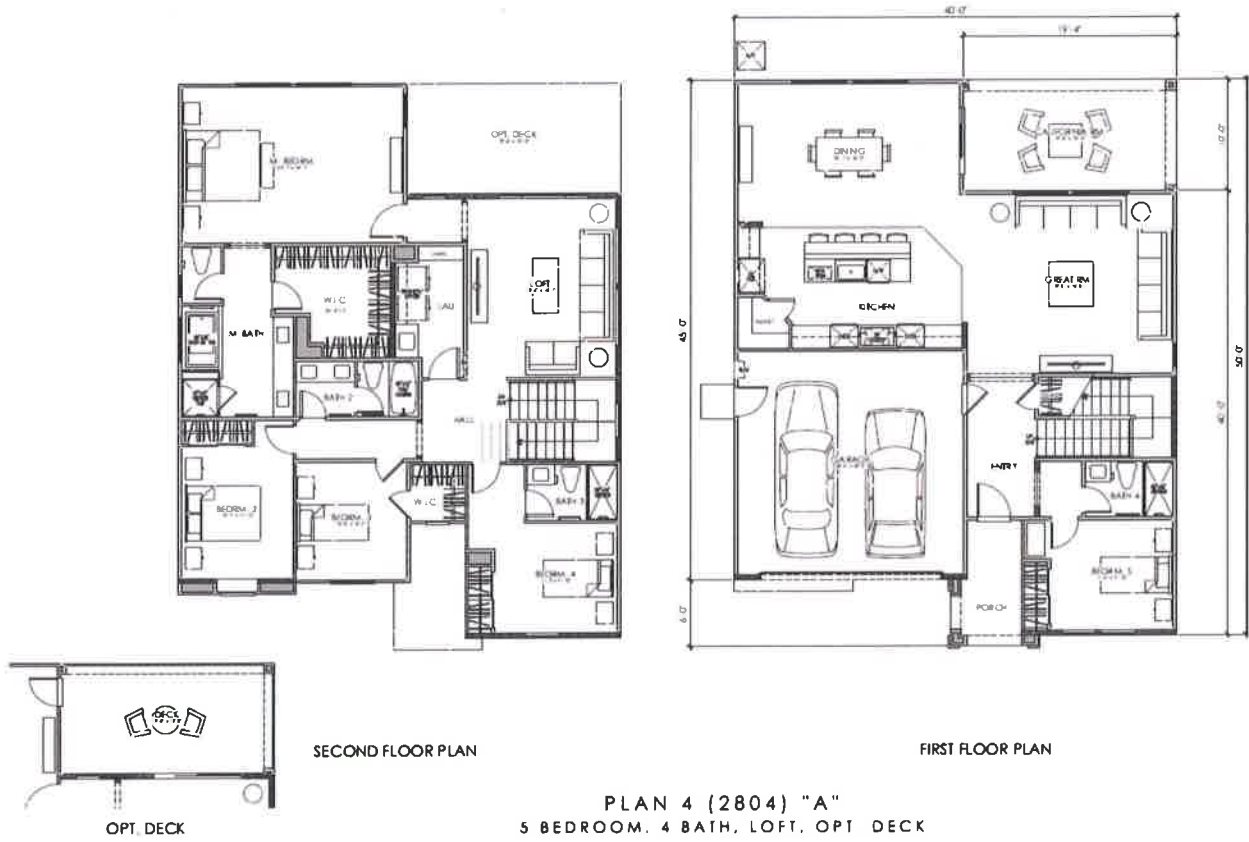


FIGURE 11: PLAN 5 SILVER KNOLL ELEVATIONS



© 2017 Kishner - Clark Architects, Inc. Refer to specifications drawings for wall, trim, and finish materials.

"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



© 2017 Kishner - Clark Architects, Inc. Refer to specifications drawings for wall, trim, and finish materials.

"B" CALIFORNIA PRAIRIE



© 2017 Kishner - Clark Architects, Inc. Refer to specifications drawings for wall, trim, and finish materials.

"C" CALIFORNIA COTTAGE

**PLAN 5 (2968)
FRONT ELEVATIONS**



FIGURE 12: SILVER KNOLL PLAN 5 FLOOR PLAN

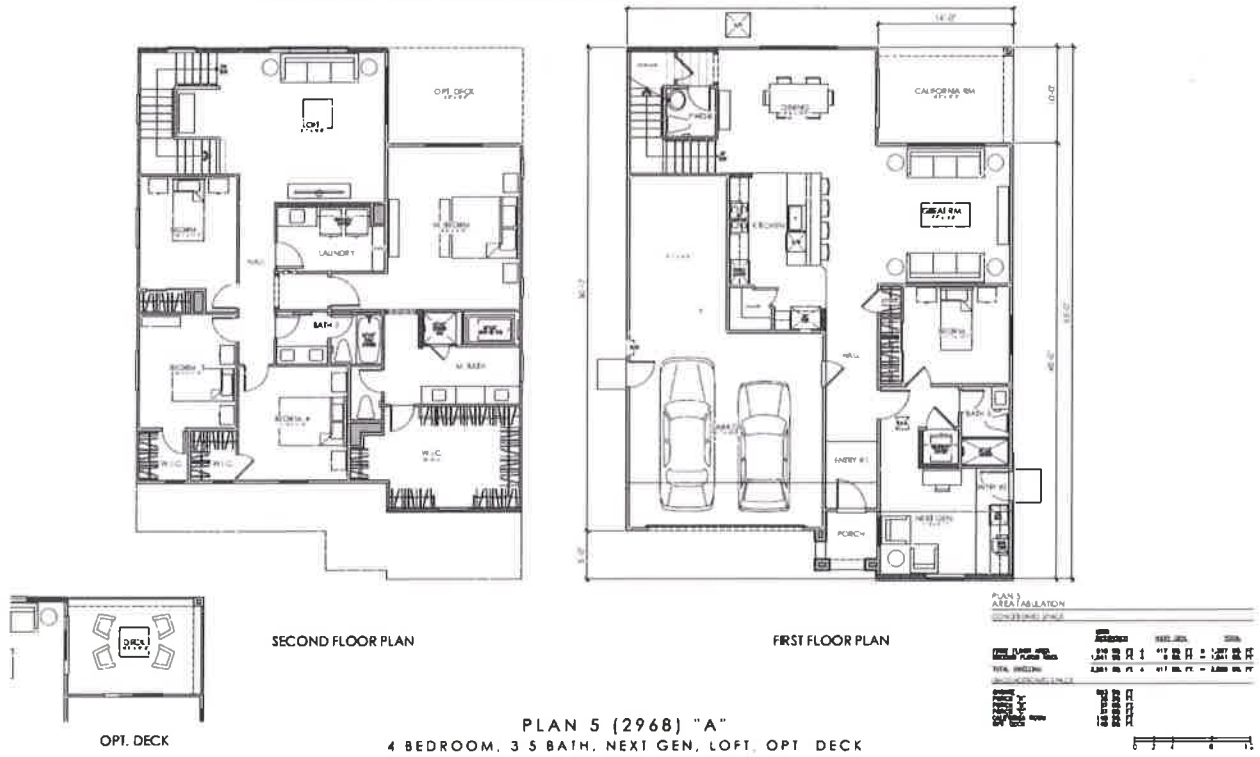


FIGURE 13: STIRLING HILLS CONCEPTUAL STREET SCENE

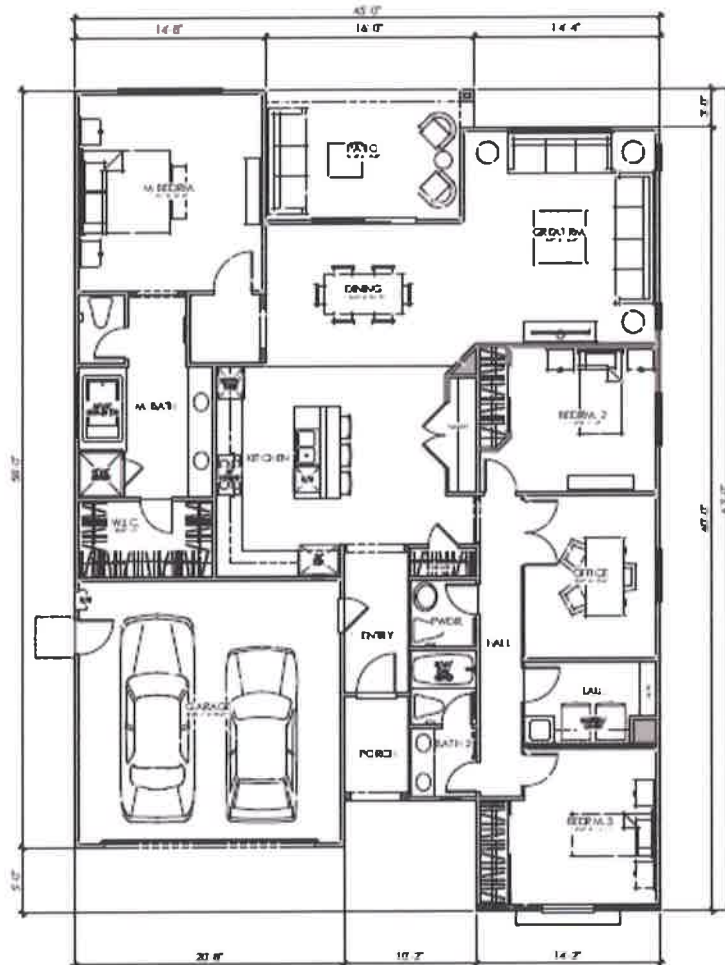


FIGURE 14 STIRLING HILLS PLAN 1



PLAN 1 (1.991)

FIGURE 15 STIRLING HILLS FLOOR PLAN 1



FLOOR PLAN
PLAN 1 (1991 "A")
3 BEDROOM, 2.5 BATH, OFFICE

FIGURE 16 STIRLING HILLS PLAN 2



"A" SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS

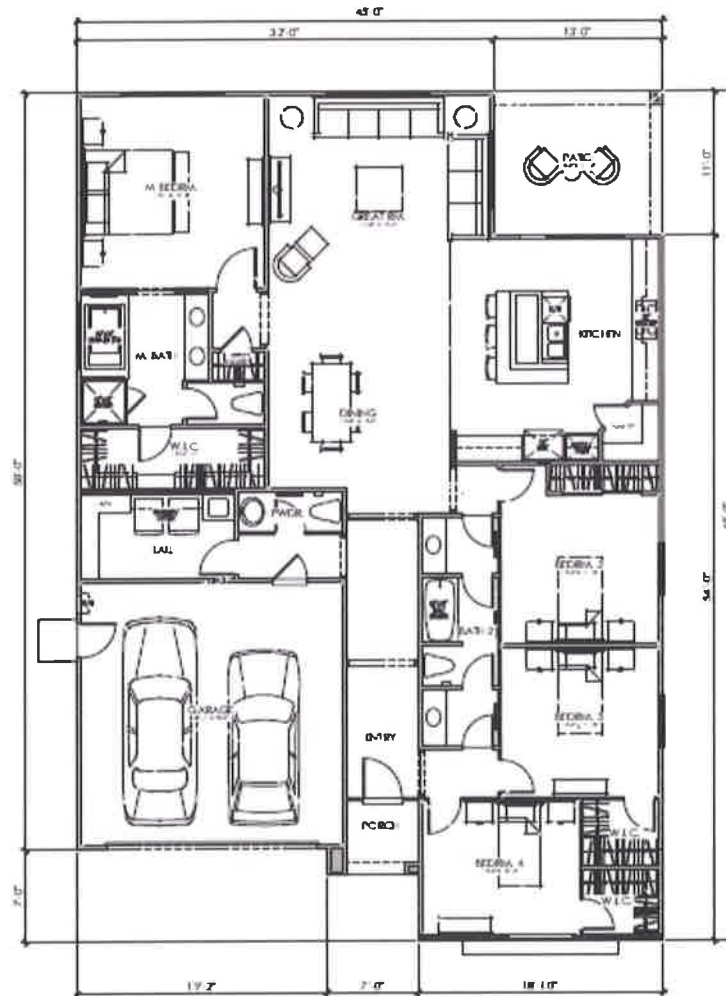


"B" CALIFORNIA WINE



"C" TRANSITIONAL BUNGALOW

FIGURE 17 STIRLING HILLS FLOOR PLAN 2



FLOOR PLAN
PLAN 2 (2162 "A")
4 BEDROOM, 2.5 BATH

FIGURE 18 STIRLING HILLS PLAN 3



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'A' SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS



'A' SPANISH COLONIAL REVIVAL



'B' CALIFORNIA WINE



'C' TRADITIONAL BUNGALOW



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'B' CALIFORNIA WINE



©2017 Clark Construction, Inc. All rights reserved. This is a conceptual rendering only. The actual appearance may vary.

'C' TRADITIONAL BUNGALOW

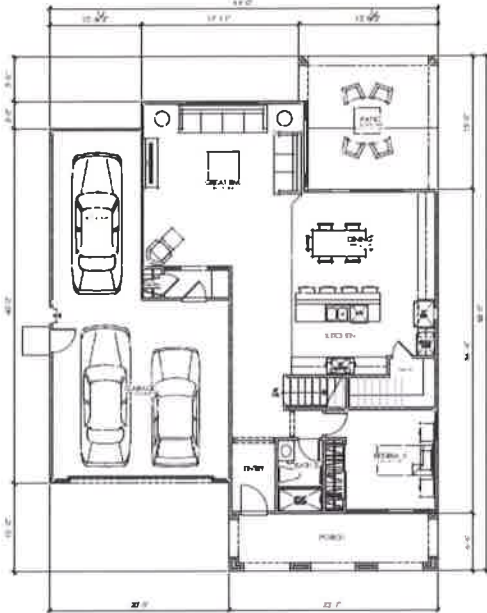
FIGURE 19 STIRLING HILLS FLOOR PLAN 3



OPT. DECK



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 3 (3028 "A")
 5 BEDROOM, 3 BATH, LOFT, OPT. DECK

FIGURE 20 STIRLING HILLS PLAN 4



"A" SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS



"A" SPANISH COLONIAL REVIVAL



"B" CALIFORNIA WINE



"C" TRADITIONAL BUNGALOW



"B" CALIFORNIA WINE



"C" TRANSITIONAL BUNGALOW

PLAN 4 (3312) FRONT ELEVATIONS



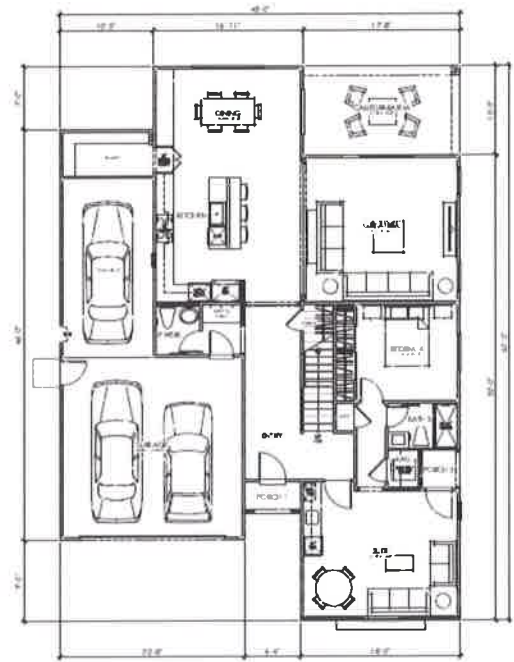
FIGURE 21 STIRLING HILLS FLOOR PLAN 4



OPT. DECK



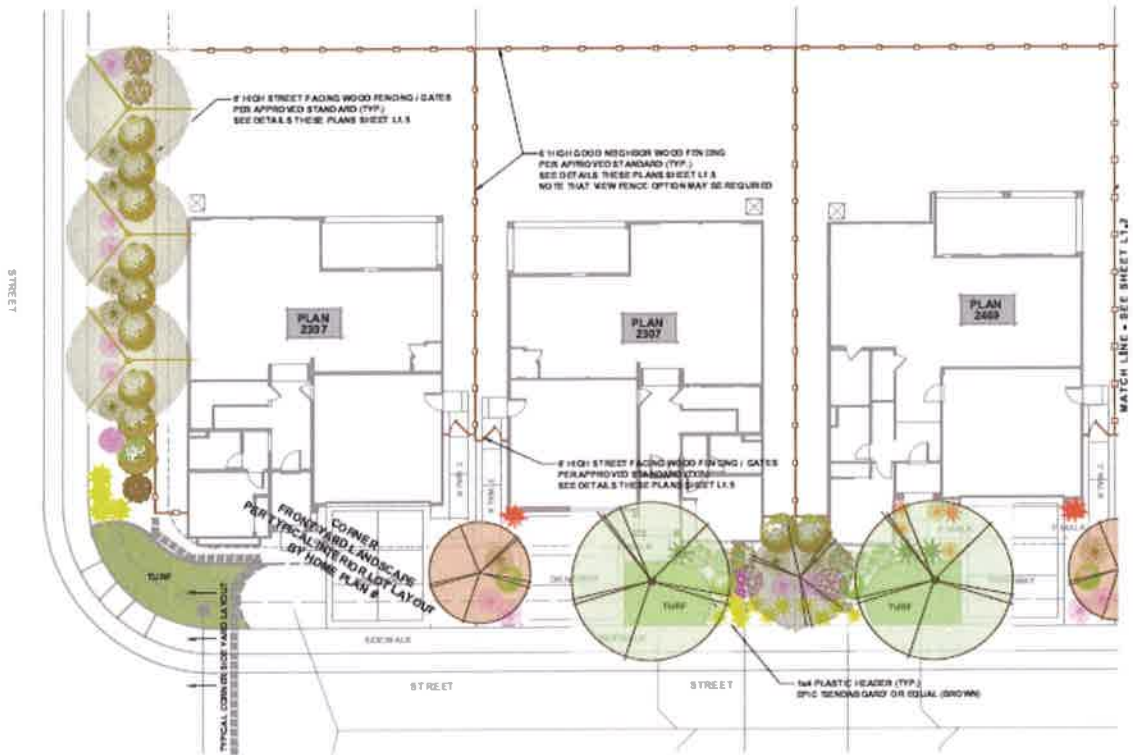
SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 4 (3312 "A")
 4 BEDROOM, 3 1/2 BATH, LOFT, SUITE, OPT DECK

FIGURE 22: CONCEPTUAL FRONT YARD LANDSCAPING



E. Development Agreement Amendment

A Development Agreement (DA) Amendment is proposed to include the recent entitlements that are proposed including Design Guideline amendments and reference to supplemental environmental review that has been prepared including the Addendum.

Nothing else would be changed or eliminated.

F. Street Names

When the project was proposed as an active adult community, it was proposed to be gated and the streets were proposed to be privately maintained. It is now proposed that the gates would be eliminated, and the streets would be publicly maintained. The original subdivision approval included private street names including:

- Pleasant Hill Lane
- Via Rancho Lane
- Harvest Gate Lane
- Sky Garden Lane
- Silent Grove Lane
- Via Verona Drive
- Garden Terrace Lane
- Brooks Loop

Now that these roads would be public, "Lane" and "Loop" need to be revised to "Way" and "Drive" and "Circle" consistent with the city's street name nomenclature.

Planning Commission Recommendation

On December 15, 2021, the Planning Commission held a public hearing to consider the Project. No members of the public provided comments. Planning Commission discussion asked clarifying questions regarding the request.

One amendment to the Conditions was recommended to Condition No. 33 to correct a typographical error. The condition should have referenced Empire Ranch Road instead of Savannah Parkway.

The Commission voted 6-0-0-0 to recommend to the City Council approval of the Project as proposed, with findings and conditions (including the change to conditions).

POLICY / RULE

The Folsom Municipal Code (FMC) requires that applications for Tentative Subdivision Maps of five or more lots be forwarded to the City Council for final action. City Council actions regarding Tentative Subdivision Maps are covered under Section 16.16.080 of the Folsom Municipal Code.

ANALYSIS

The following sections provide an analysis of the Applicant's proposal.

- A. Large Lot Vesting Tentative Subdivision Map amendment
- B. Small Lot Vesting Tentative Subdivision Map amendment
- C. Design Guideline Amendment
- D. Design Review
- E. Development Agreement Amendment
- F. Street Names Amendment
- G. Traffic/Access/Circulation
- H. Conformance with Relevant Folsom General Plan Folsom Plan Area Specific Plan Objectives and Policies
- I. Environmental Review

A. Large Lot Vesting Tentative Map Subdivision Amendment

The proposed change to the approved Large Lot Vesting Tentative Subdivision Map is minor and would remove the reference to "active adult". No boundary changes are proposed, and staff supports this minor change.

B. Small Lot Vesting Tentative Subdivision Map Amendment

The proposed change to the approved Small Lot Vesting Tentative Subdivision Map is minor and would remove the reference to "active adult". No boundary changes are proposed, and the unit count would remain the same. As analyzed below, the change in type of unit, does slightly increase the projected population of the neighborhood, but does not result in a significant impact not previously analyzed in the Russell Ranch EIR. Staff supports this minor change.

C. Design Guideline Amendment

As shown in Attachment 6, the proposed changes to the Russell Ranch Design Guidelines include revisions to Chapter 4 in Section 4.5 starting on page 77, to eliminate the reference to active adult uses, eliminates the description of a second community center and updates the chapter numbering. The elimination of the active adult use and community center from the guidelines does not change the overall vision of the Design Guidelines. In fact, the project area was originally approved without an active adult use. Staff supports this change.

D. Design Review

Villages 1, 2 and 4 are zoned Single Family High Density (SP-SFHD). The proposed subdivision conforms to the development standards established by the FPASP for the SP-SFHD land use category including minimum lot size, maximum lot coverage, and setbacks, as shown in Table 4. No deviations from the standards are proposed.

Table 4: SP-SFHD Single-Family High-Density Development Standards

Development Standard	Requirement	Proposed Project
Minimum Lot Size	4,000	4,000
Front Porch Setback	12.5 Feet	12.5 Feet
Front Primary Structure Setback	15 Feet	15 Feet
Front Garage Setback	20 Feet	20 Feet
Side Yard Setbacks	5 Feet/5 Feet	5 Feet/5 Feet
Rear Yard Setback	10 Feet	10 Feet
Maximum Lot Coverage	50%	50%

Proposed Residential Designs

The Project is located within the eastern portion of the Folsom Plan Area; thus, it is subject to the Russell Ranch Design Guidelines. The Design Guidelines are a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines.

The following are the general architectural principles intended to guide the design of the Russell Ranch, to ensure quality development:

- Embrace understated elegance.
- Create thresholds: destinations, and experience
- Celebrate California's rich heritage: fresh, unique, and local
- Reflect the natural beauty of the site and its surroundings
- Careful consider transition feathering of refine edges to natural open space
- Deliver a lifestyle of health, wellness, fitness, activity and outdoor living in a family-oriented environment.
- Celebrate hillside living through unparalleled views and carefully designed slopes creating meaningful open spaces.

The proposed subdivision maps and proposed residential designs are consistent with these goals.

The Design Guidelines require that specific homes within a subdivision that meet the definition of an “edge condition” lot are required to incorporate enhanced four-sided architectural details.

The Applicant has provided enhanced architectural features on the homes that are visible from street or open space views including additional windows and enhanced window details, siding details and materials (see Attachment 7, Residential Design Set).

Landscaping

Acknowledging the Planning Commission’s concern regarding turf in front yard landscaping and a desire for draught tolerant landscaping to reduce water use, Condition No. 42 has been amended to prohibit front yard turf. Further, it indicates that the Russell Ranch Design Guidelines shall be modified to prohibit turf in front yards for Lots 24-32 subdivisions. Currently the Russell Ranch Design Guidelines do not prohibit turf, but they also do not expressly permit turf. This change would clarify the expectation that no turf may be installed in the front yards of residences in the remaining subdivisions requiring Design Review. However, it should be noted that Village 3 within the subdivision has already received Design Review approval that allowed turf, so it would not be subject to this condition.

In evaluating the proposed project, staff also took into consideration building and design elements that could be considered unique to the Folsom Plan Area. Staff has determined that the proposed architectural styles and master plans do include many unique building and design elements and are consistent with the Russell Ranch Design Guidelines. Based on this analysis, staff and the Planning Commission forwards the following design recommendations to the City Council for consideration:

1. This approval is for one and two-story homes in six architectural styles with 12 color and material options. The Applicant shall submit building plans that comply with this approval and the attached building elevations dated November 16, 2021.
2. The design, materials, and colors of the single-family residential units shall be consistent with the approved building elevations, materials samples, and color schemes to the satisfaction of the Community Development Department.
3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roofline, same elevation style, side-by-side, or across the street from each other.
4. Decorative light fixtures, consistent with the Design Guidelines and unique to each architectural design theme, shall be added to the front elevation of each Master Plan to the satisfaction of the Community Development Department.
5. A minimum of one street tree shall be planted in the front yard of each residential lot within the subdivision. A minimum of two trees are required along the street-

side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final.

These recommendations listed above are included in the conditions of approval presented for consideration by the City Council (Condition No. 59).

E. Development Agreement Amendment

The proposed DA amendment is minor and does not make substantive changes to the agreement. It simply acknowledges changes since the DA was adopted.

F. Street Names Amendment

The proposed street names were reviewed by emergency services personnel, and staff determined that the street names as well as the change from “Loop” and “Lane” to “Way, Drive and Circle” would not conflict. Therefore, it is recommended that the street names be approved for use in the Project:

- Pleasant Hill Way
- Via Rancho Way
- Harvest Gate Way
- Sky Garden Way
- Silent Grove Drive
- Via Verona Drive
- Garden Terrace Drive
- Brooks Circle

G. Traffic/Access/Circulation

Primary access to the SLVSTM portion of the Project would be from Empire Ranch Road and White Rock Road. Fehr and Peers prepared an Access Evaluation (November 16, 2021, Attachment 9) to evaluate access and circulation-related impacts associated with the proposed Project. The evaluation primarily looked at the change in trip generation of the Project converting the age restrict uses to conventional lots.

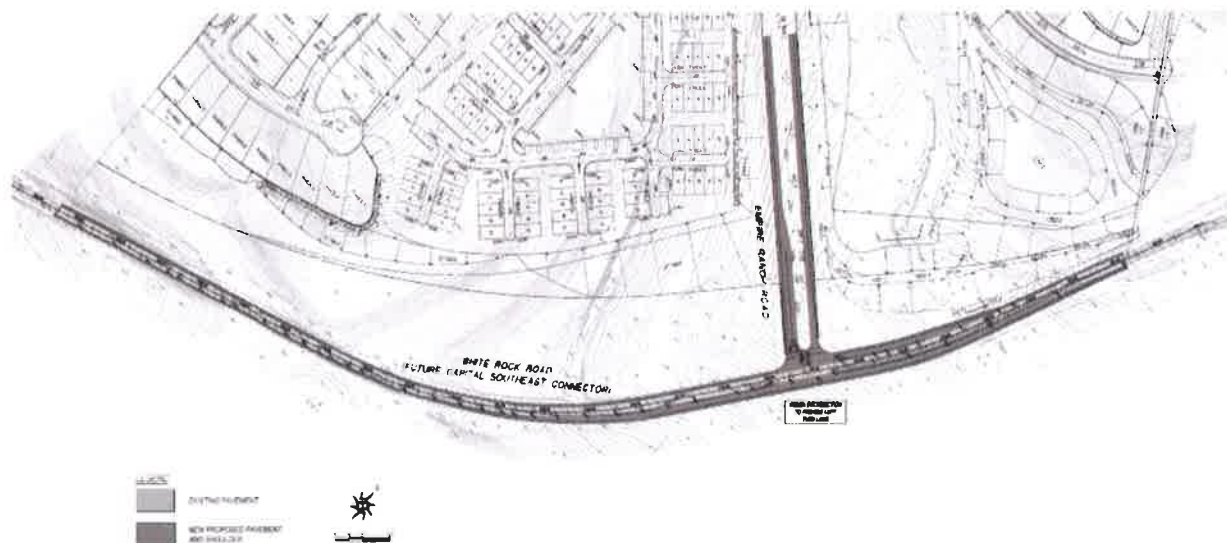
The proposed Project would result in an increase in population and therefore, result in 59 new a.m. peak trips and 79 p.m. peak trips. While this is an increase, the increase was determined to not result in a significant impact.

The analysis also looked at the cumulative condition. Traffic is expected to increase at the intersection of White Rock Road and Empire Ranch Road with or without the Project. The analysis determined that the left turn pocket will need to extend from 250-feet to 400-feet in the future (Figure 23). This is a regional improvement that is needed and is not a specific obligation of this project. The Joint Powers Authority will extend the turn pocket

when they construct the ultimate alignment of the Southeast Connector in the future. The Project will pay their fair share obligation through fees paid at the Building Permit stage.

The FPASP established a series of plans and policies for the circulation system within the entire Plan Area. The FPASP circulation system was designed with a sustainable community focus on the movement of people and provides mobility alternatives such as walking, cycling, carpooling, and viable forms of public transportation in addition to vehicular circulation. The circulation plan evaluated regional travel, both in terms of connectivity and capacity and local internal connections and access. The circulation plan also addressed the concerns of regional traffic, including parallel capacity to U.S. Highway 50, and connectivity with surrounding jurisdictions while considering community-wide connectivity, alternative modes of travel, and the provision of complete streets.

FIGURE 23: FUTURE IMPROVEMENTS TO WHITE ROCK ROAD AND EMPIRE RANCH ROAD INTERSECTION



The 2011 Folsom Plan Area Specific Plan Environmental Impact Report/Environmental Impact Statement included not only a detailed analysis of traffic-related impacts within the Plan Area, but also an evaluation of traffic-related impacts on the surrounding communities. There are fifty-four (54) traffic-related mitigation measures associated with development of the FPASP which are included as conditions of approval for the Russell Ranch Subdivision Project. Many of these mitigation measures are expected to reduce traffic impacts. Included among the mitigation measures are requirements to: fund and construct roadway improvements within the Plan Area, pay a fair-share contribution for construction of improvements north of U.S. Highway 50, participate in the City's Transportation System Management Fee Program, and Participate in the U.S. Highway 50 Corridor Transportation Management Association. The Russell Ranch Subdivision

Project is subject to all traffic-related mitigation measures required by the 2011 FPASP EIR/EIS.

H. Conformance with Relevant General Plan and Folsom Plan Area Specific Plan Objectives and Policies

The following is a summary analysis of the Project's consistency with the Folsom General Plan and key policies of the FPASP.

GP and SP OBJECTIVE H-1 (Housing)

To provide an adequate supply of suitable sites for the development of a range of housing types to meet the housing needs of all segments of the population.

GP and SP POLICY H-1.1

The City shall ensure that sufficient land is designated and zoned in a range of residential densities to accommodate the City's regional share of housing.

Analysis: The City provides residential lands at a variety of residential densities as specified in the General Plan and in the Folsom Municipal Code. The FPASP includes specialized zoning (Specific Plan Designations) that are customized to the Plan Area as adopted in 2011 and as amended over time. The FPASP provides residential lands in a range of densities.

The Russell Ranch Lots 24-32 Subdivision Project SLVTSM is consistent with the density range for the SFHD (4 to 7 units per acre) designation.

SP POLICY 4.1

Create pedestrian-oriented neighborhoods using a grid system of streets where feasible, sidewalks, bike paths and trails. Residential neighborhoods shall be linked, where appropriate, to encourage pedestrian and bicycle travel.

Analysis: The Russell Ranch Lots 24-32 Subdivision Project proposes traditional single-family neighborhoods with a system of local streets provided with sidewalks. Biking and walking will be accommodated within the Project and Class I trails, and on-street Class II and Class III bicycle lanes will connect nearby neighborhoods, parks, schools, with Class I bicycle trails.

SP POLICY 4.4

Provide a variety of housing opportunities for residents to participate in the home-ownership market.

Analysis: The FPASP provides home ownership opportunities within multiple single family and multiple-family land use designated areas. Residential development in the MLD (Multi-Family Low Density), MMD (Multi-Family Medium Density), MHD (Multi-Family High Density) and MU (Mixed-Use) land use categories may provide 'for rent' opportunities; however, home ownership may

also be accommodated in 'for sale' condos, townhomes, etc. at the time of development.

The Russell Ranch Lots 24-32 Subdivision Project is consistent with this policy in that it will provide detached single family home ownership opportunities within the SFHD designation. The Project provides housing supply in the City of Folsom, proximate to schools, park, trails, commercial services and other amenities that serve residents.

SP POLICY 4.6

As established by the FPASP, the total number of dwelling units for the Plan Area shall not exceed 11,461. The number of units within individual land use parcels may vary, so long as the number of units falls within the allowable density range for a particular land use designation.

Analysis: There have been several Specific Plan Amendments approved by the City Council which have increased residentially zoned land and a decreased commercially zoned land in the FPASP. As a result, the number of residential units within the Plan Area increased from 10,210 to 11,461. The various Specific Plan Amendment EIRs and Addenda analyzed impacts from the conversion of the commercial lands to residential lands; impacts and associated mitigations measures can be found in the individual project-specific environmental documents. The increase in population was analyzed and can be accommodated in the excess capacity of the school sites provided in the Plan Area.

The proposed Project does not result in any change in total dwelling units in the FPASP. The Project proposes to change the units from age-restricted to conventional residential units among parcels within the Project boundary, but the overall unit allocation will remain the same. The change in unit type will not exceed the allowable density for the parcels.

The Proposed project would result in an increase in population that would result in an increase in water use of 83-acre feet per year. The environmental analysis determined that this increase is consistent with what was originally analyzed in the FPASP EIR/EIS and adequate water supply is available to serve the site. In addition, as a condition of the Project (Condition No.42) no front yard turf will be allowed, in order to reduce water usage.

SP POLICY 7.1

The roadway network in the Plan Area shall be organized in a grid-like pattern of streets and blocks, except where topography and natural features make it infeasible, for the majority of the Plan Area in order to create neighborhoods that encourage walking, biking, public transit, and other alternative modes of transportation.

Analysis: Consistent with the requirements of the California Complete Streets Act,

the FPASP identified and planned for hierarchy of connect “complete streets” to ensure that pedestrian, bike, bus, and automobile modes are travel are designed to have direct and continuous connections throughout the Plan Area. Every option, from regional connector roadways to arterial and local streets, has been carefully planned and designed. Recent California legislation to reduce greenhouse gas emissions (AB 32 and SB 375) has resulted in an increased market demand for public transit and housing located closer to service needs and employment centers. In response to these changes, the FPASP includes a regional transit corridor that will provide public transportation links between the major commercial, public, and multi-family residential land uses in the Plan Area.

The Russell Ranch Lots 24-32 Project has been designed with multiple modes of transportation options (vehicles, bicycle, walking, access to transit and a Class I trail) and an internal street pattern consistent with the approved FPASP circulation plan.

SP POLICY 4.9 (PARKS)

Subdivisions of 200 dwellings units or more not immediately adjacent to a neighborhood or community park are encouraged to develop one or more local parks as needed to provide convenient resident access to children’s play areas, picnic areas and unprogrammed open turf area. If provided, these local parks shall be maintained by a landscape and lighting district or homeowner’s association and shall not receive or provide substitute park land dedication credit for parks required by the FPASP.

Analysis: The Project is consistent with this policy. Lot A will be developed with private park amenities which will provide passive park opportunities within the neighborhood. The proposed Project will not result in Quimby Act requirements to provide additional park land since the overall parks in the FPASP were determined as part of the total units approved by the Specific Plan. Parks and Recreation staff have reviewed and supports the proposed private park amenities.

I. ENVIRONMENTAL REVIEW

Ascent Environmental Consultants prepared an analysis of the Project (Attachment 8) dated November 16, 2021.

The City certified the FPASP EIR/EIS on June 28, 2011. Several addendums and subsequent environmental documents have been approved since 2011. The FPASP was updated in 2018 to include all the various approved plan amendments and mapping modifications made since the first approval in 2011. As amended, the FPASP provides for additional residential development, up to a total of 11,461 housing units.

Although the Project would result in a population increase from what was approved in 2018, the population for the Russell Ranch development overall would remain less than what was originally approved when the FPASP was adopted.

Due to the additional discretionary review required for the requested entitlements; and the change in residential unit types and population from the previously approved development, the Project was evaluated for potential new or different impacts in compliance with Section 15162 of the State CEQA Guidelines. Per State CEQA Guidelines Section 15162(b), if changes to a project or its circumstances occur or new information becomes available after adoption of a negative declaration, the lead agency shall prepare a subsequent EIR if required due to new information, new significant effects, or substantially more adverse impacts. Otherwise, the lead agency shall determine whether to prepare a subsequent negative declaration, an addendum, or no further documentation. The population is consistent with the assumptions in the original EIR.

Although the project would not result in changes to the type of development or number of residential dwelling units, implementation of the project would convert planned age-restricted active adult units to traditional units, thereby increasing the projected population at the project site from 829 persons to 1,020 persons. The increase in population would result in an increase in water demand at the site from the amount previously analyzed in the Russell Ranch EIR and the RR Lots 24-32 Environmental Checklist and Addendum. The water supply agreement for the FPASP area provides an overall cap of 5,600 acre-feet per year. As of May 2021, total water demand for the entire FPASP is 5,485 acre-feet per year. As such, the 83 acre-feet per year increase in water demand would not exceed water supply for the FPASP, and thus, would not result in any new or substantially more severe impacts.

An Addendum is appropriate to document no additional impacts.

Based on the analysis, the impacts of the Project are determined to be adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the Russell Ranch Lots 24-32 Environmental Checklist and Addendum. No new impacts as a result of the Project have been identified.

ATTACHMENTS

1. Resolution No. 10791 - A Resolution to Approve an Amendment to the Large Lot Vesting Subdivision Map, Small-Lot Vesting Tentative Subdivision Map for 208-Residential Lots, Russell Ranch Design Guideline Amendment to Eliminate Reference to Active Adult Uses, Design Review and Approval of Street Names for the Russell Ranch Phase 2 Lots 24-32 Project
2. Ordinance No. 1323 - An Uncodified Ordinance of the City of Folsom Approving Amendment No. 3 to the Amended and Restated Tier 1 Development Agreement Between the City of Folsom and Lennar Homes of California, LLC Relative to the Russell Ranch Phase 2 Lots 24-32 Project
3. Planning Commission Staff Report dated December 15, 2021.
4. Large-Lot Vesting Tentative Subdivision Map, dated May 7, 2021
5. Small-Lot Vesting Tentative Subdivision Map, dated October 26, 2021
6. Russell Ranch Design Guideline Amendments

7. Russell Ranch Phase 2 Design Set dated November 16, 2021, dated December 4, 2020.
8. Russell Ranch Phase 2 CEQA Addendum to the Folsom Plan Area Specific Plan EIR/EIS dated November 13, 2021.
9. Access and Circulation Analysis dated November 12, 2021.
10. Applicant's Inclusionary Housing Letter dated November 4, 2021.
11. Amenity Narrative for Lot A.
12. Development Agreement Amendment No. 3.

Submitted,

A handwritten signature in blue ink, appearing to read "Pam Johns", with a long horizontal flourish extending to the right.

PAM JOHNS, Community Development Director

Attachment 1

Resolution No. 10791 - A Resolution to Approve an Amendment to the Large Lot Vesting Subdivision Map, Small-Lot Vesting Tentative Subdivision Map for 208-Residential Lots, Russell Ranch Design Guideline Amendment to Eliminate Reference to Active Adult Uses, Design Review and Approval of Street Names for the Russell Ranch Phase 2 Lots 24-32 Project

RESOLUTION NO. 10791

A RESOLUTION TO APPROVE AN AMENDMENT TO THE LARGE-LOT VESTING SUBDIVISION TENTATIVE MAP, SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP FOR 208-RESIDENTIAL LOTS, RUSSELL RANCH DESIGN GUIDELINE AMENDMENT TO ELIMINATE REFERENCE TO ACTIVE ADULT USES, DESIGN REVIEW AND APPROVAL OF STREET NAMES FOR THE RUSSELL RANCH PHASE 2 LOTS 24-32 PROJECT

WHEREAS, the Planning Commission on December 15, 2021, held a public hearing on the proposed Large Lot Vesting Tentative Subdivision Map Amendment, Small Lot Vesting Tentative Subdivision Map Amendment, Design Guideline Amendment, Development Agreement Amendment and Design Review, considered public comment to allow 208-single-family residential lots to convert from age restricted to conventional units, and determined the proposed subdivision complies with all City requirements, as well as with the requirements of the State Subdivision Map Act; and

WHEREAS notice has been given at the time and in the manner required by State Law and City Code; and

WHEREAS, the Planning Commission on December 15, 2021, held a public hearing on the proposed Project, considered public comment and determined that based on the proposed site design, building heights, building setbacks, lot configuration, lot areas, building coverage, density, and parking, the project is consistent with the City's General Plan, the Folsom Plan Area Specific Plan; and

WHEREAS, the Planning Commission on December 15, 2021, held a public hearing on the proposed Large Lot Vesting Tentative Subdivision Amendment and Small-Lot Vesting Tentative Subdivision Map Amendment, considered public comment and based on the proposed configuration of the 208 single-family residential lots, determined the proposed subdivision complies with all City requirements, as well as with the requirements of the State Subdivision Map Act; and

WHEREAS the City has determined that the impacts of the Russell Ranch Lots 24-32 Project are adequately addressed by the Addendum to the Final Environmental Impact Report/Environmental Impact Statement for the Folsom Plan Area Specific Plan and associated Mitigation Measures. The Project does not result in any new impacts not already identified in the Environmental Impact Report/Environmental Impact Statement for the Folsom South of U.S. Highway 50 Specific Plan Project (FPASP EIR/EIS) (State Clearinghouse No. 2008092051) and the Russell Ranch Project Environmental Impact Report (Russell Ranch EIR) (State Clearinghouse No. 2014062018).

WHEREAS, notice has been given at the time and in the manner required by State Law and City Code; and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Folsom

hereby approve the CEQA Addendum to the Folsom Plan Area Specific Plan EIR/EIS and a Resolution to Approve an amendment to the Large-Lot Vesting Subdivision Tentative Map, Small-Lot Vesting Tentative Subdivision Map for 208-residential lots, Russell Ranch Design Guideline Amendment and Development Agreement amendments to eliminate reference to Active Adult Uses, Design Review and approval of Street Names for the Russell Ranch Phase 2 Lots 24-32 Project as set forth in the Conditions of Approval attached as Exhibit "C" and the following findings:

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, AND THE FOLSOM PLAN AREA SPECIFIC PLAN.

CEQA FINDINGS

- C. THE CITY, AS LEAD AGENCY, PREVIOUSLY CERTIFIED AN ENVIRONMENTAL IMPACT REPORT/ENVIRONMENTAL IMPACT STATEMENT FOR THE FOLSOM SOUTH OF U.S. HIGHWAY 50 SPECIFIC PLAN PROJECT (FPASP EIR/EIS) (STATE CLEARINGHOUSE NO. 2008092051) AND THE RUSSELL RANCH PROJECT ENVIRONMENTAL IMPACT REPORT (RUSSELL RANCH EIR) (STATE CLEARINGHOUSE NO. 2014062018).
- D. THE CITY HAS DETERMINED THAT THE IMPACTS OF THE RUSSELL RANCH SUBDIVISION PROJECT LOTS 24-32 ARE ADEQUATELY ADDRESSED BY THE ENVIRONMENTAL IMPACT REPORT/ENVIRONMENTAL IMPACT STATEMENT FOR THE FOLSOM SOUTH OF U.S. HIGHWAY 50 SPECIFIC PLAN PROJECT (FPASP EIR/EIS) AND THE RUSSELL RANCH PROJECT ENVIRONMENTAL IMPACT REPORT (RUSSELL RANCH EIR) AND AN ADDENDUM TO THE FPASP EIR/EIS AND RUSSELL RANCH EIR IS APPROPRIATE TO DOCUMENT NO NEW SIGNFIICANT IMPACTS CONSISTENT WITH THE REQUIREMENTS OF CEQA PURSUANT TO GOVERNMENT CODE SECTION 15164.
- E. NONE OF THE EVENTS SPECIFIED IN SECTION 21166 OF THE PUBLIC RESOURCES CODE OR SECTION 15162 OF THE CEQA GUIDELINES HAVE OCCURRED.
- F. THE PLANNING COMMISSION HAS CONSIDERED THE ADDENDUM WITH THE ENVIRONMENTAL IMPACT REPORT/ENVIRONMENTAL IMPACT STATEMENT FOR THE FOLSOM SOUTH OF U.S. HIGHWAY 50 SPECIFIC PLAN PROJECT (FPASP EIR/EIS) AND THE RUSSELL RANCH PROJECT ENVIRONMENTAL IMPACT REPORT (RUSSELL RANCH EIR) PRIOR TO MAKING A DECISION ON THIS PROJECT.

AMENDED LARGE LOT VESTING TENTATIVE SUBDIVISION MAP FINDINGS

- G. THE PROPOSED LARGE-LOT VESTING TENTATIVE SUBDIVISION MAP IS CONSISTENT WITH THE CITY'S SUBDIVISION ORDINANCE AND THE SUBDIVISION MAP ACT IN THAT THE PROJECT IS SUBJECT TO CONDITIONS OF APPROVAL THAT WILL ENSURE THAT THE PROJECT IS DEVELOPED IN COMPLIANCE WITH CITY STANDARDS.

AMENDED SMALL LOT VESTING TENTATIVE SUBDIVISION MAP FINDINGS

- H. THE PROPOSED SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP IS CONSISTENT WITH THE CITY'S SUBDIVISION ORDINANCE AND THE SUBDIVISION MAP ACT IN THAT THE PROJECT IS SUBJECT TO CONDITIONS OF APPROVAL THAT WILL ENSURE THAT THE PROJECT IS DEVELOPED IN COMPLIANCE WITH CITY STANDARDS.
- I. THE PROPOSED SUBDIVISION, TOGETHER WITH THE PROVISIONS FOR ITS DESIGN AND IMPROVEMENT, IS CONSISTENT WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND ALL APPLICABLE PROVISIONS OF THE FOLSOM MUNICIPAL CODE.
- J. THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT PROPOSED.
- K. THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF THE DEVELOPMENT.
- L. AS CONDITIONED, THE DESIGN OF THE SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.
- M. AS CONDITIONED, THE DESIGN OF THE SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH OR SAFETY PROBLEMS.
- N. THE DESIGN OF THE SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP AND THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

DESIGN REVIEW FINDINGS

- M. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE APPLICABLE ZONING ORDINANCES.

- O. THE PROJECT IS IN CONFORMANCE WITH THE RUSSELL RANCH DESIGN GUIDELINES, WITH THE EXCEPTION OF THE DESIGN GUIDELINE PROPOSED FOR AMENDMENT AS A PART OF THIS APPLICATION.
- P. THE BUILDING MATERIALS, TEXTURES, AND COLORS OF THE PROJECT WILL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

AMENDED RUSSELL RANCH DESIGN GUIDELINES FINDINGS

- Q. THE PROPOSED RUSSELL RANCH DESIGN GUIDELINES MODIFICATION IS CONSISTENT WITH AND DOES NOT SUBSTANTIALLY CHANGE THE OVERALL INTENT OF THE DESIGN GUIDELINES AND DOES NOT SIGNIFICANTLY ALTER THE QUALITY OF CHARACTER OF THE SUBDIVISION.
- R. THE PROPOSED RUSSELL RANCH DESIGN GUIDELINES MODIFICATION DOES NOT SIGNIFICANTLY ALTER THE QUALITY OR CHARACTER OF THE SUBDIVISION.

AMENDED DEVELOPMENT AGREEMENT FINDINGS

- S. THE PROPOSED DEVELOPMENT AGREEMENT AMENDMENT IS CONSISTENT WITH AND DOES NOT SUBSTANTIALLY CHANGE THE OVERALL INTENT OF THE DEVELOPMENT AGREEMENT OBLIGATIONS.

AMENDED STREET NAMES FINDINGS

- T. THE PROPOSED STREET NAME AMENDMENTS ARE CONSISTENT WITH THE CITY’S STREET NAMING POLICIES.

PASSED AND ADOPTED this 25th day of January 2022, by the following roll-call vote:

AYES: Councilmember(s):
NOES: Councilmember(s):
ABSENT: Councilmember(s):
ABSTAIN: Councilmember(s):

 Kerri M. Howell, MAYOR

ATTEST:

 Christa Freemantle, CITY CLERK

Exhibit A

Large Lot Vesting Tentative Subdivision Map

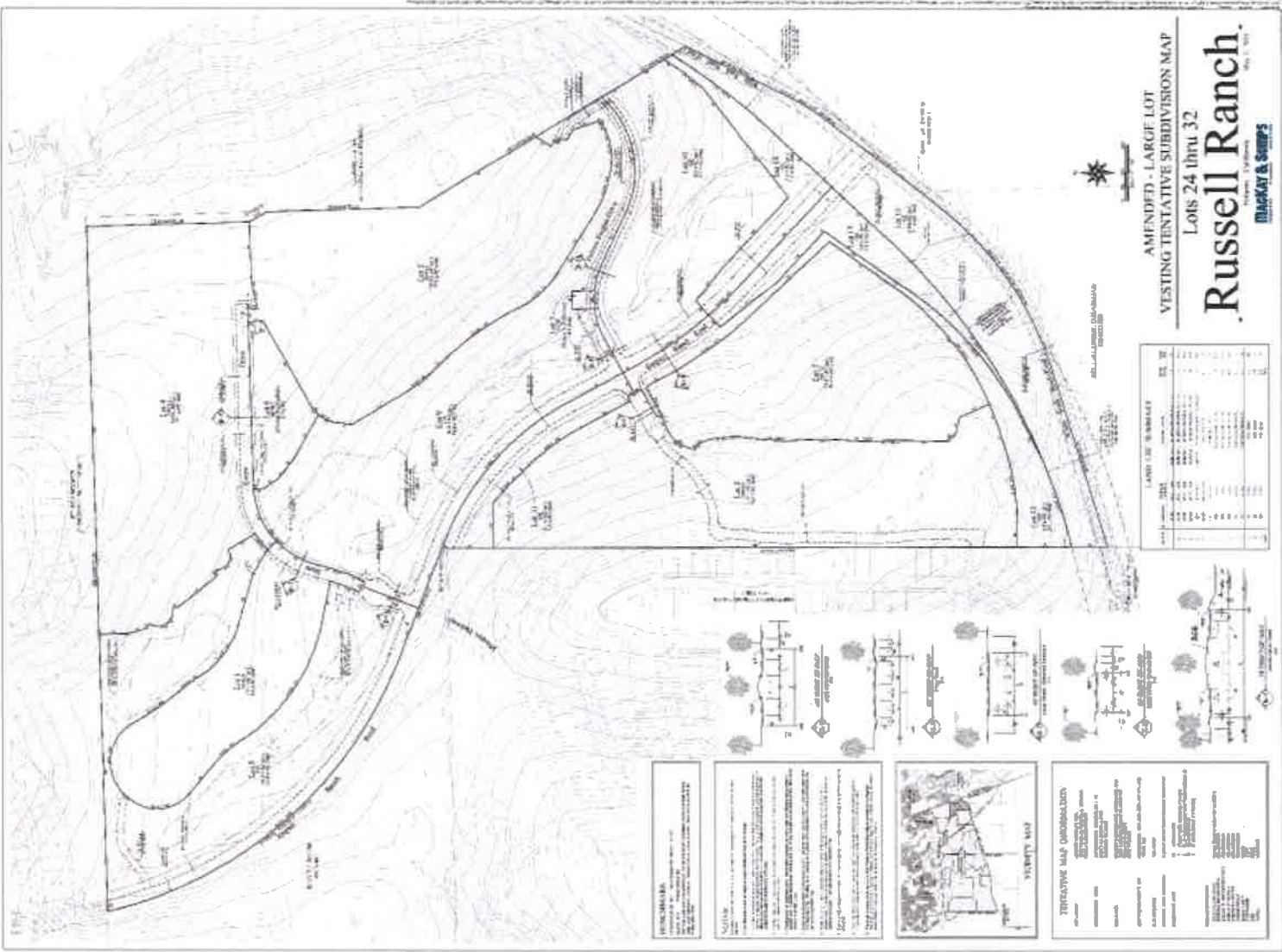


Exhibit B

Small Lot Vesting Tentative Subdivision Map

Exhibit C

Conditions of Approval

**CONDITIONS OF APPROVAL FOR THE AMENDED RUSSELL RANCH LOTS 24-32 SUBDIVISION PROJECT (PN 21-118)
WEST OF EL DORADO COUNTY LINE, EAST OF PLACERVILLE ROAD AND NORTH OF WHITE ROCK ROAD
SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP AND DESIGN REVIEW**

Condition No.	Mitigation Measure	Condition of Approval	When Required	Responsible Department
1.		<p><i>Final Development Plans</i> The owner/applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ol style="list-style-type: none"> 1. Vicinity Map 2. FPASP Development Activity bar Chart, dated January 17, 2018 3. General Plan Amendment Exhibit, dated January 26, 2018 4. Trail System Modification Exhibit, dated January 26, 2018 5. Large Lot Vesting Tentative Subdivision Map, dated May 7, 2021 6. Small-Lot Vesting Tentative Subdivision Map, October 26, 2021 7. Amended Preliminary Grading Plan, dated May 7, 2021 8. Amended Preliminary Utility Plan, dated May 7, 2021 9. Village 5 Small-Lot Vesting Tentative Subdivision Map, dated January 24, 2018 10. Village 5 Preliminary Grading Plan, January 24, 2018 11. Village 5 Preliminary Utility Plan, January 24, 2018 12. Initial Design for Empire Ranch Road/White Rock Road Interchange, dated January 24, 2018 13. Phase 1 of the Capital Southeast Connector dated January 24, 2018 14. Conceptual Phasing Plan, dated January 29, 2018 15. On-Site and Off-Site Infrastructure Phasing Plan, dated January 29, 2018 16. Measure W Open Space Exhibit, dated January 26, 2018 17. Russell Ranch Design Guidelines with redlines, dated April 2021. 18. Russell Ranch Phase 2 Environmental Documentation Supporting Addendum to the Folsom Plan Area Specific Plan EIR/EIS dated November 15, 2021 19. Russell Ranch Design Set dated November 16, 2021 	G, I, M, B	CD (P)(E)

		The Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Design Guidelines Amendment (Russell Ranch Lots 24 through 32 Subdivision) are approved for the development of a 389-unit residential project. Implementation of the Project shall be consistent with the above referenced items and these conditions of approval.		
2.	✓	Mitigation Monitoring The owner/applicant shall participate in a mitigation monitoring and reporting program pursuant to City Council Resolution No. 2634 and Public Resources Code 21081.6. The mitigation monitoring and reporting measures identified in the Folsom Plan Area Specific Plan FEIR/EIS are included as an Attachment A to these conditions and have been incorporated into these conditions of approval in order to mitigate or avoid significant effects on the environment. These mitigation monitoring and reporting measures are identified in the mitigation measure column. Applicant shall fund on a Time and Materials basis all mitigation monitoring (e.g., staff and consultant time).	OG	CD (P)
3.		Plan Submittal All civil engineering, improvement, and landscape and irrigation plans, shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.	G, I	CD (P)(E)
4.		Validity This approval of the Small-Lot Vesting Tentative Subdivision Map shall be valid for a period of twenty-four (24) months pursuant to Section 16.16.110A of the Folsom Municipal Code and the Subdivision Map Act. The term of the Planned Development Permit and approved Inclusionary Housing Agreement shall track the term of the Small-Lot Vesting Tentative Subdivision Map, as may be extended from time to time pursuant to Section 16.16.110.A and 16.16.120 of the Folsom Municipal Code and the Subdivision Map Act.	M	CD (P)
5.		Street Names <ul style="list-style-type: none"> The street names identified below shall be used for the Final Small-Lot Map: Empire Ranch Road, Elm Trail, Rosie Terrace, Highgate terrace, Parasol, Garden terrace, Hillgrass, Amaro, Harvest Gate, Crimson Leaf, Silent Grove, Vidalia, Sky Gardens, Climbing Vine, Via Rancho, Pleasant Hill, Coneflower Via Verona, Parkland, Via Rancho, Harvest Gate, Sky Garden, Silent Grove Garden Terrace and Brooks. 	M	CD (E) (P)

6.	<p>Indemnity for City</p> <p>The owner/applicant shall protect, defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project, which claim, action or proceeding is brought within the time period provided therefore in Government Code Section 66499.37 or other applicable statutes of limitation. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. If the City should fail to cooperate fully in the defense, the owner owner/applicant shall not thereafter be responsible to defend, indemnify and hold harmless the City or its agents, officers, and employees, pursuant to this condition. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant. The owner/applicant’s obligations under this condition shall apply regardless of whether a Final Map is ultimately recorded with respect to this project.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
7.	<p>Small-Lot Vesting Tentative Subdivision Map</p> <p>The Small-Lot Vesting Tentative Subdivision map is expressly conditioned upon compliance with all environmental mitigation measures identified in the Folsom Plan Area Specific Plan EIR/EIS the Russell Ranch FEIR, and the Russell Ranch Lots 24 through 32 Subdivision Addendum.</p>	OG	CD
8.	<p>ARDA and Amendments</p> <p>The owner/applicant shall comply with all provisions of Amendments No. 1 and 2 to the First Amended and Restated Tier 1 Development Agreement and any approved amendments thereafter by and between the City and the owner/applicant of the project.</p>	M	CD (E)

9.	<p><i>Homeowners Association</i></p> <p>The owner/applicant shall for one or more Homeowners Associations for the ownership and maintenance of all private streets including the private street storm drainage systems, sewer and water lines within the I Courts in Village 5, and landscaped open spaces and common areas on hillsides, etc. (Lots A, 1A, 1B, 2A, 2B, 3A, 3 B 4A, 4B, 5A, 5B). The Homeowners Association shall also be responsible for monitoring and ensuring maintenance of the landscaping within the open space.</p> <p>In addition, CC&R's shall be prepared by the owner/applicant and shall be subject to review and approval by the Community Development Department for compliance with this approval and with the Folsom Municipal Code and adopted policies, prior to recordation of the Final Map.</p> <p>The owner/applicant shall propose a funding mechanism (including but not limited to Homeowner's Association or a Project Maintenance Community Facilities District) subject to the approval of the Community Development Department of the non-Measure W landscaped open space.</p>	M	CD (P) PW
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POLICE/SECURITY REQUIREMENT				
10.		<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be considered:</p> <ul style="list-style-type: none"> • A security guard on-duty at all times at the site or a six-foot security fence shall be constructed around the perimeter of construction areas. • Security measures for the safety of all construction equipment and unit appliances. <p>Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting.</p>	G, I, B	PD
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
11.		<p>Taxes and Fees The owner/applicant shall pay all applicable taxes, fees and charges for the project at the rate and amount required by the Public Facilities Financing Plan and Amendments No. 1 and No. 2 to the Amended and Restated Tier 1 Development Agreement.</p>	M	CD (P)(E)
12.		<p>Assessments If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.</p>	M	CD (E)

13.		<p><i>FPASP Development Impact Fees</i></p> <p>The owner/applicant shall be subject to all Folsom Plan Area Specific Plan Area development impact fees in place at the time of approval or subsequently adopted consistent with the Public Facilities Financing Plan (PFFP), Development Agreement and amendments thereto, unless exempt by previous agreement. The owner/applicant shall be subject to all applicable Folsom Plan Area plan-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, the Folsom Plan Area Specific Plan Fee, Specific Plan Infrastructure Fee (SPIF), Solid Waste Fee, Corporation Yard Fee, Transportation Management Fee, Transit Fee, Highway 50 Interchange Fee, General Park Equipment Fee, Housing Trust Fee, etc.</p> <p>Any protest to such for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (January 25, 2022), or otherwise shall be governed by the terms of Amendments No. 1 and 2 to ARDA. The fees shall be calculated at the fee rate set forth in the PFFP and the ARDA.</p>	B	CD (P), PW, PK
14.		<p><i>Legal Counsel</i></p> <p>The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the City shall provide notice to the owner/applicant of the outside counsel selected, the scope of work and hourly rates, and the owner/applicant shall reimburse the City for all outside legal fees and costs incurred and documented by the City for such services. The owner/applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The owner/applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.</p>	OG	CD (P)(E)
15.		<p><i>Consultant Services</i></p> <p>If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the City shall provide notice to the owner/applicant of the outside consultant selected, the scope of work and hourly rates, and the owner/applicant shall reimburse the City for actual costs incurred and documented in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Grading Plan, Final Map, improvement plans, or beginning inspection, whichever is applicable.</p>	G, I, M, B	CD (P)(E)

GRADING PERMIT REQUIREMENTS

16.		<p>Phasing Plan The owner/applicant shall prepare a complete and comprehensive phasing plan and shall submit the phasing plan to the City for each proposed phase of development. The phasing plan shall include all required infrastructure for each proposed phase of development. The infrastructure shall include all required on-site and offsite improvements, but not limited to, water system improvements (distribution and transmission mains, booster pump stations, water reservoirs, PRV stations, etc.), recycled water mains and associated infrastructure, sanitary sewer improvements (sewer mains, lift stations, forced mains, etc.) roadway and transportation improvements, storm drainage improvements (detention/water quality basins, outfalls, etc.) and all other necessary improvements required for each phase of development. The phasing plan shall include itemized cost estimates for all required improvements and the phasing plan shall be reviewed and approved by the City prior to approval of grading and/or improvement plans.</p> <p>The City Engineer may condition the phasing to ensure that each phase functions independently and is consistent with the minimum utility and access standards of the City. All maps filed in phases will be required to have two points of access for vehicle access (except as approved by the Fire Department) and /or general traffic purposes for each phase and all off-site utilities deemed necessary as determined by the City Engineer.</p>	G, I, M	CD (PW)(E), EWR, FD
17.		<p>Off-site improvements/Rights of Entry For any improvements constructed on private property that are not under the ownership or control of the owner/applicant, all rights-of-entry, and if necessary, a permanent easement shall be obtained and provided to the City. All rights of entry, construction easements, either permanent or temporary and other easement shall be obtained as set forth in Amendment No. 1 to ARDA, which shall be fully executed by all affected parties and shall be recorded with the Sacramento County Recorder, where applicable prior to approval of grading and/or improvement plans</p>	G	CD (P)(E)

18.		<p>Grading in Utility Easement The owner/applicant shall obtain a consent agreement, letter of waiver and/or an encroachment permit from Pacific Gas & Electric, SMUD, WAPA etc. for any proposed grading and/or construction in any existing tower line and/or underground facility easement. The owner/applicant shall provide the approved consent agreement, letter of waiver and/or encroachment permit to the City prior to approval of any grading and/or improvement plans.</p>		
19.		<p>Mine Shaft Remediation The owner/applicant shall locate and remediate all antiquated mine shafts, drifts, open cuts, tunnels, and water conveyance or impoundment structures existing on the project site, with specific recommendations for the sealing, filling, or removal of each that meet all applicable health, safety and engineering standards. Recommendations shall be prepared by an appropriately licensed engineer or geologist. All remedial plans shall be reviewed and approved by the City prior to approval of grading plans.</p>	G	CD (E)
20.		<p>Prepare Traffic Control Plan. Prior to construction, a Traffic Control Plan for roadways and intersections affected by construction shall be prepared by the owner/applicant. The Traffic Control Plan prepared by the owner/applicant shall, at minimum, include the following measures:</p> <ul style="list-style-type: none"> • Maintaining the maximum amount of travel lane capacity during non-construction periods, possible, and advanced notice to drivers through the provision of construction signage. • Maintaining alternate one-way traffic flow past the lay down area and site access when feasible. • Heavy trucks and other construction transport vehicles shall avoid the busiest commute hours (7 a.m. to 8 a.m. and 5 p.m. to 6 p.m. on weekdays). • A minimum 72-hour advance notice of access restrictions for residents, businesses, and local emergency response agencies. This shall include the identification of alternative routes and detours to enable for the avoidance of the immediate construction zone. <p>A phone number and City contact for inquiries about the schedule of the construction throughout the construction period. This information will be posted in a local newspaper, via the City's web site, or at City Hall and will be updated on a monthly basis.</p>	G	CD I

21.		<i>State and Federal Permits</i> The owner/applicant shall obtain all required State and Federal permits and provide evidence that said permits have been obtained, or that the permit is not required, subject to staff review prior to approval of any grading or improvement plan.	G, I	CD (P)I
22.		<i>Animal Barrier</i> To discourage the migration of undesirable small animals (including snakes) into adjacent developed project, the owner/applicant shall install a barrier along all areas adjacent to the developed residential properties and parks to the satisfaction of the Community Development Department and consistent with a qualified biologist's recommendations. In general, the barrier may consist of wire-mesh fabric with openings not exceeding ½-inch width. The height of the barrier shall be at least 18 inches (above the ground surface) and may be buried into the ground at least twelve inches. The barrier shall be supported with metal stakes at no more than 10-foot spacing. The barrier shall be installed by the owner/applicant, as approved by the Community Development Department and a qualified biologist, prior to any construction disturbance on the site, including clearing and grading operations.	G	CD I PW
23.		<i>Landslide /Slope Failure</i> The owner/applicant shall retain an appropriately licensed engineer during grading activities to identify existing landslides and potential slope failure hazards. The said engineer shall be notified a minimum of two days prior to any site clearing or grading to facilitate meetings with the grading contractor in the field.	G	CD I PW
IMPROVEMENT PLAN REQUIREMENTS				
24.		<i>Improvement Plans</i> The improvement plans for the required public and private subdivision improvements necessary to serve any and all phases of development shall be reviewed and approved by the Community Development Department prior to approval of a Final Map.	M	CD I
25.		The owner/applicant shall include all record information for rights of entry, easements, temporary and permanent construction easements, slope easements, etc. for all proposed improvements on adjoining properties not owned by the owner/applicant and impacted by the owner/applicants' improvements. The record information and the recorded boundaries of all work on adjoining properties shall be include don all grading and/or improvement plans prior to plan approval.	G, I	CD I

26.		<p><i>Improvements in the PFFP</i> The owner/applicant shall be subject to all thresholds, timelines and deadlines for the construction and final completion of various improvements for the entire Folsom Plan Area. The various improvements are outline and detailed in the Folsom Plan Area Specific Plan Public Facilities Financing Plan (PFFP) dated January 28, 2014 and adopted by the City of Folsom Resolution No. 9298. These improvements in the PFFP include, but are not limited to, the backbone infrastructure water (water reservoirs, water transmission mains, booster pump stations, pressure reducing valve stations, etc.), sanitary sewer (lift stations and forced mains) systems, recycled water mains and associated infrastructure, roadway and transportation (future interchanges, major arterial roadways, etc.) improvements, aquatic center (community pool) parks, fire stations, municipal services center, community library, etc. The thresholds and timelines including in the PFFP require facilities to be constructed and completed based on number of building permits issued and in some cases, number of residential units that are occupied. The owner/applicant shall be required to address these thresholds and timelines as the project moves forward through the various development stages and shall be subject to the various fair share requirements subject to the provisions of the PFFP, the ARDA and anu amendment thereto.</p>	G, I	CD I PW (B), FD, EWR, PR
27.		<p><i>Standard Construction Specifications and Details</i> Public and private improvements, including roadways, curbs, gutters, sidewalks, bicycle lanes and trails, streetlights, underground infrastructure and all other improvements shall be provided in accordance with the latest edition of the City of Folsom <i>Standard Construction Specifications and Details</i> and the <i>Design and Procedures Manual and Improvement Standards</i>.</p>	I	CD (P)I

28.		<p><i>Water and Sewer Infrastructure</i> All City-owned water and sewer infrastructure shall be placed within the street right of way. In the event that a City-maintained public water or sewer main needs to be placed in an area other than the public right of way, such as through an open space corridor, landscaped area, etc., the following criteria shall be met;</p> <ul style="list-style-type: none"> • The Owner/Applicant shall provide public sewer and water main easements • An access road shall be designed and constructed to allow for the operations, maintenance and replacement of the public water or sewer line by the City along the entire water and/or sewer line alignment. • In no case shall a City-maintained public water or public sewer line be placed on private residential property. • The domestic water and irrigation system owned and maintained by the City shall be separately metered per <i>City of Folsom Standard Construction Specifications and Details</i>. <p>All publicly owned water and sewer lines and services shall be accessible for operations, maintenance, and repair. Non-accessible situations would include placing mains and services behind retaining walls, placing public mains on private property, etc. In no event shall a public water or public sewer line be placed on private residential property. For example, installing a waterline on the property line between two single family homes.</p>	I, M	CD I
29.		<p><i>Water and Sewer in I Courts</i> The water services and sewer services in the I-Courts within Village 5 shall be privately owned and maintained by the owner/applicant and the owner/applicant shall create a funding mechanism for repair and maintenance of this section of the water and sewer services to the satisfaction of the Community Development Department.</p>	I	CD I
30.		<p><i>Utility Coordination</i> The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.). The owner/applicant shall provide the City with written confirmation of public utility service prior to approval of the final maps.</p>	I, M	CD (P)I

31.		<p>Replacing Hazardous Facilities The owner/applicant shall be responsible for replacing any and all damaged or hazardous public sidewalk, curb and gutter, and/or bicycle trail facilities along the site frontage and/or boundaries, including pre-existing conditions and construction damage, to the satisfaction of the Community Development Department.</p>	I, OG	CD I
32.		<p>Vertical Curb All curbs located adjacent to landscaping, whether natural or manicured, and where parking is allow shall be vertical.</p>		
33.		<p>Class II Bike Lanes All Class II bike lanes (Empire Ranch Road) shall be striped, and the legends painted to the satisfaction of the Community Development Department. No parking shall be permitted within the Class II bike lanes.</p>	I	CD I(P)

34.		<p><i>Master Plan Updates</i> The City has approved the Folsom Plan Area Storm Drainage Master Plan, Wastewater Master plan and Sewer Master Plan. The owner/applicant shall submit complete updates to the approved master plans, if applicable for the proposed changes to the master plans as a result of the proposed project. The updates to the master plans for the proposed project shall be reviewed and approved by the City prior to approval of grading and/or improvement plans.</p> <p>The plans shall be accompanied by engineering studies supporting the sizing, location and timing of the proposed facilities. Improvements shall be constructed in phases as the project develops in accordance with the approved master plans, including any necessary off-site improvements to support development of a particular phase or phases, subject to prior approval by the City. Off-site improvements may include roadways to provide secondary access, water transmission lines or distribution facilities to provide a looped water system, sewer trunk mains and lift stations, water quality facilities, non-potable water pipelines and infrastructure, and drainage facilities, including on or off-site detention. No changes in infrastructure from that shown on the approved master plan shall be permitted unless and until the applicable master plan has been revised and approved by the City. Final lot configurations may need to be modified to accommodate the improvements identified in these studies to the satisfaction of the City.</p> <p>The owner/applicant shall provide sanitary sewer, water and storm drainage improvements with corresponding easements, as necessary, in accordance with these studies and the latest edition of the City of Folsom <i>Standard Construction Specifications and Details</i>, and the <i>Design and Procedures Manual and Improvement Standards</i>.</p> <p>The storm drainage design shall provide for no net increase in run-off under post-development conditions.</p>	G, I	CDI, EWR, PW
35.		<p><i>Litter Control</i> During Construction, the owner/applicant shall be responsible for litter control and sweeping of all paved surfaces in accordance with City standards. All on-site storm drains shall be cleaned immediately before the official start of the rainy season (October 15).</p>	O G	CD I

Environmental and Water Resources Requirements				
36.		<p><i>Water Infrastructure Design</i> The owner/applicant shall design all water reservoirs, water booster pump stations, pressure reducing valve stations, and sewer lift stations and shall coordinate the design with the community Development Department and the Environmental and Water resources Department.</p> <p>The owner/applicant shall pay for, furnish and install all infrastructure associated with the water meter fixed network system.</p>	I	CD I, EWR
37.		<p><i>Water Meter Fixed Network System</i> The owner/applicant shall pay for furnish and install all infrastructure associated with the water meter fixed network system for any City-owned and maintained water meter within the project.</p>	I	
Fire Dept Requirements				
38.		<p><i>Prepare fuel modification plan (FMPs)</i> If applicable, the owner/applicant shall submit a Fuel Modification Plan to the City for review and preliminary approval from the Fire Code Official prior to any Final and/or Parcel Map. Final approval of the plan by the Fire Code Official shall occur prior to the issuance of a permit for any new construction. A Fuel modification Plan shall consist of a set of scaled plans showing fuel modification zones indicated with applicable assessment notes, a detailed landscape plan and an irrigation plan. A fuel modification plan submitted for approval shall be prepared by one of the following: a California state licensed landscape architect, or state licensed landscape contractor, or a landscape designer, or an individual with expertise acceptable to the Fire Code Official. The owner/applicant shall obtain off-site easements for the required fuel modification buffer.</p>	G, I, M, B	CD (P)(FD)

39.		<p><i>All-Weather access and Fire Hydrants</i></p> <p>The owner/applicant shall provide all-weather access and fire hydrants before combustible materials are allowed on any project site or other approved alternative method as approved by the Fire code Official/Fire Chief. All-weather emergency access roads and fire hydrants (tested and flushed) shall be provided before combustible material or vertical construction is allowed on any project site or other approved alternative method as approved by the Fire Code Official/Fire Chief. (All-weather access is defined as six inches of compacted aggregate base from May 1 to September 30 and two-inch asphalt concrete over six inch aggregate base from October to April 30). The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and approved by the Fire Marshal.</p> <ul style="list-style-type: none"> • Residential Fire-Flow with Automatic Fire Sprinkler System: The required fire-flow for the residential portion of the project is determined to be 875 GPM for one hour. • All public streets shall meet City of Folsom Street Standards unless an alternative specifically included within this approval. • The maximum length of any dead-end street shall not exceed 500 feet in accordance with the Folsom Fire Code (Unless approved by the Fire Department). Several streets indicated on the plans are dead ends greater than 500 feet. In such cases a second emergency access will be required. • All-weather emergency access roads and fire hydrants (tested and flushed) shall be provided before combustible material storage or vertical construction is allowed. All weather access is defined as 6" of compacted AB from May 1 to September 30 and 2" AC over 6" AB from October 1 to April 30. • The HOA shall be required and have the ability to tow away vehicles parked within fire access lanes. These provisions shall be recorded with the CCR's for the subdivision, and the City shall review the conditions of the CCDDR's to ensure that the intent is met. • Property fence lines along open space boundaries shall be constructed of noncombustible materials. • The first Fire Station planned for the Folsom Plan Area shall be completed and operational at the time that the threshold of 1,500 occupied homes within the Folsom Plan Area is met. 		
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40.		<p><u><i>Condition of Approval 40 is deleted in its entirety as gates are no longer proposed.</i></u></p> <p><i>Private-Gated Entries</i> Prior to approval of improvement plans, all private-gated entry designs shall be reviewed and approved by the Community Development Department and Fire Department. Pedestrian gates, which are to remain unlocked, shall be provided on each side of any gated entries where a sidewalk occurs, to facilitate improved pedestrian circulation and to eliminate the requirement for pedestrians to cross the street in order to enter or exit any proposed subdivision. The gates shall be equipped with the "Click to Enter" gate opening system (or some other product) to allow emergency vehicle access by 2-way radio frequency to open the gates. Should vehicle stacking not be sufficient, the Community Development Department may require the gates to remain open during peak hours. The homeowner's association whose boundary covers the private gate shall comply with this requirement and the owner/applicant shall ensure this requirement is in the HOA CC&R's.</p>	I OG	CD I FD
41.		<p><i>Utility Lines</i> All future utility lines lower than 69 KV that are to be built within the project shall be placed underground within and along the perimeter of the project at the developer's cost. The owner/applicant shall dedicate to SMUD all necessary underground easements for the electrical facilities that will be necessary to service development of the project.</p>	I	CD I FD

42.		<p>Landscaping Plans Final landscape plans and specifications shall be prepared by a registered landscape architect and approved by the City prior to the approval of the first building permit. Said plans shall include all on-site landscape specifications and details including a tree planting exhibit demonstrating sufficient diversity and appropriate species selection to the satisfaction of the Community Development Department. The tree exhibit shall include all street trees, accent trees, parking lot shading trees, and mitigation trees proposed within the development. Said plans shall comply with all State and local rules, regulations, Governor’s declarations and restrictions pertaining to water conservation and outdoor landscaping.</p> <p>Landscaping shall meet shade requirements as outlined in the Folsom Plan Area Specific Plan where applicable. The landscape plans shall comply and implement water efficient requirements as adopted by the State of California (Assembly Bill 1881) (State Model Water Efficient Landscape Ordinance) until such time the City of Folsom adopts its own Water Efficient Landscape Ordinance at which time the owner/applicant shall comply with any new ordinance. Shade and ornamental trees shall be maintained according to the most current American National Standards for Tree Care Operations (ANSI A-300) by qualified tree care professionals. Tree topping for height reduction, view protection, light clearance or any other purpose shall not be allowed. Specialty-style pruning, such as pollarding, shall be specified within the approved landscape plans and shall be implemented during a 5-year establishment and training period. The owner/applicant shall comply with city-wide landscape rules or regulations on water usage. The Owner/Applicant shall comply with any state or local rules and regulations relating to landscape water usage and landscaping requirements necessitated to mitigate for drought conditions on all landscaping in the Russell Ranch Subdivision project.</p> <p>No turf shall be allowed in the front yards of homes (excluding Village 3 which has already received Design Review approval for turf). Alternative drought tolerant landscaping shall be used for the remaining Project areas. The Russell Ranch Design Guidelines shall be modified to prohibit turf in the front yards of Russell Ranch Lots 24 to 32 Subdivisions (Excluding Village 3).</p>	B	CD (P)(PW)
43.		<p>Right of Way Landscaping Landscaping along all road rights of way and in public open space lots shall be installed when the adjoining road or lots are constructed.</p>	I, OG	CD (P) PW

Map Requirements

44.	<p><i>Subdivision Improvement Agreement</i> Prior to the approval of any Final Map, the owner/applicant shall enter into a subdivision improvement agreement with the City, identifying all required improvements, if any, to be constructed with each proposed phase of development. The owner/applicant shall provide security acceptable to the City, guaranteeing construction of the improvements.</p>	M	CD I
45.-	<p><u><i>Condition of Approval 45 is deleted in its entirety as it is duplicative (COA 9)</i></u></p> <p><i>Homeowners Association</i> The owner/applicant shall for one or more Homeowners Associations for the ownership and maintenance of all private streets including the private street storm drainage systems, sewer and water lines within the I Courts in Village 5, and landscaped open spaces and common areas on hillsides, etc. (Lots A, 1A, 1B, 2A, 2B, 3A, 3 B 4A, 4B, 5A, 5B). The Homeowners Association shall also be responsible for monitoring and ensuring maintenance of the landscaping within the open space.</p> <p>The property owners of all created lots within Phases 1, 2 and 4 shall be age restricted communities limited to buyers who are 55 years of age or older as is permitted by law.</p> <p>In addition, CC&R's shall be prepared by the owner/applicant and shall be subject to review and approval by the Community Development Department for compliance with this approval and with the Folsom Municipal Code and adopted policies, prior to recordation of the Final Map.</p> <p>The owner/applicant shall propose a funding mechanism (including but not limited to Homeowner's Association or a Project Maintenance Community Facilities District) subject to the approval of the Community Development Department of the non-Measure W landscaped open space.</p>	M	CD (P) PW
46.	<p><i>Large Lot Final Map</i> Prior to the recording of any phase of the Vesting Small Lot Tentative Subdivision Map, the Russell Ranch Lots 24 through 32 Vesting Large Lot Tentative Subdivision Map shall be recorded.</p>	M	CD I

47.		<p>Centralized Mail Delivery Units All Final Maps shall show easements or other mapped provisions for the placement of centralized mail delivery units. The owner/applicant shall provide a concrete base for the placement of any centralized mail delivery unit. Specifications and location of such base shall be determined pursuant to the applicable requirements of the U.S Postal Service and the City of Folsom Community development Department, with due consideration for street light location, traffic safety, security and consumer convenience.</p>	M	CD I
48.		<p>Financing Districts The owner/applicant shall for a landscape and Lighting Assessment District, a Community Services District, and/or a Home Owners Association, which shall be responsible for maintenance of all common areas, maintenance of all on-site landscaping, maintenance of storm drainage facilities, maintenance of stormwater detention/detention basins and associated channels, maintenance of water quality ponds, and maintenance of any other site facilities in the subdivision (Lots A, B, C, D, E, F, and G) throughout the life of the project to the satisfaction of the Community Development Department.</p>	M	CD (P) I
49.		<p>Public Utility Easements The owner/applicant shall dedicate public easements for water sewer and sidewalks within the private streets, as well as public utility easements for underground public facilities on properties adjacent to the streets. Twelve and one-half foot (12.5') wide Public Utility Easements for underground public facilities shall be dedicated adjacent to all private and public streets for other public utilities (i.e. SMUD, Pacific Gas and Electric, cable television, telephone). The width of the public utility easements adjacent to public and private streets may be reduced with prior approval from public utility companies. The owner/applicant shall dedicate additional width to accommodate extraordinary facilities as determine by the City. The width of the public utility easements adjacent to</p>	M	CD I
50.		<p>Final Map Phasing Should multiple Final Maps be filed by the owner/applicant, the phasing of maps shall be to the satisfaction of the Community Development Department.</p>		

51.		<p>Backbone Infrastructure As provided for in the ARDA and the Amendment No. 1 thereto, the owner/applicant shall provide fully executed grant deeds, legal descriptions, and plats for all necessary Backbone Infrastructure to serve the project, including but not limited to lands, public rights of way, public utility easements, public water main easements, public sewer easements, irrevocable offers of dedication and temporary construction easements. All required easements as listed necessary for the Backbone Infrastructure shall be reviewed and approved by the City and recorded with the Sacramento County Reorder pursuant to the timing requirements et forth in Section 3.8 of the ARDA, and any amendments thereto.</p>		
52.		<p>New Permanent Benchmarks The owner/applicant shall provide and establish new permanent benchmarks on the (NAVD 88) datum in various locations within the subdivision or at any other locations in the vicinity of the project/subdivision as directed by the City Engineer. The type and specifications for the permanent benchmarks shall be provided by the City. The new benchmarks shall be placed by the owner/applicant within 6 months from the date of approval of the vesting tentative subdivision map.</p>	M	CD I
53.		<p>Community Facilities Districts and Financing Plans Prior to approval of the first small lot final map and in accordance with Amendment No. 1 of the ARDA and any further amendments thereto, the owner/applicant is required to complete the following where applicable:</p> <ul style="list-style-type: none"> • Formation and approval by the City Council of the Aquatic Center CFD • Formation and approval by the City Council of the Parks, Trails, Landscape Corridors, Medians and Open Space Maintenance CFD. • Formation and approval by the City Council of the Storm Drainage Maintenance CFD (unless such drainage maintenance is included in the Services CFD). • Formation and approval by the City Council of the Street Maintenance District/Lighting Maintenance District CFD (unless such street maintenance is included in the Services CFD). • Formation and approval by the City Council of the Open Space Management and Financing Plan • Formation and approval by the City Council of the Drainage Facilities Maintenance and Financing Plan. 	M	CD I

Building Permit Requirements

54.	<p>Master Plans The owner/applicant shall prepare complete and updated change pages to master plans for transportation (including roadway, bikeway, transit and pedestrian facilities), water (including reclaimed), sewer, grading and drainage (including boundaries of the 100-year floodplain) to the extent applicable as a result of the Specific Plan Amendment to the satisfaction of the City prior to approval of a final map, improvements plans or grading plans. Timelines for approval of specified plans, guidelines, funding mechanisms, community facilities districts and land dedications set forth in Section 2.5.3 of the ARDA and any amendments thereto shall apply. The master plans shall be accompanied by engineering studies supporting the sizing, location and timing of the proposed facilities. Improvements shall be constructed in phases as the project develops in accordance with these approved master plans and the provisions of Section 3.7, 3.9, and 3.9.1 of the ARDA and any amendments thereto. These phases may include necessary off-site improvements to support development of a particular phase or phases subject to prior approval of the City. These off-site improvements may include roadways to provide secondary public access, water transmission mains for different pressure zones or distribution mains to provide a looped water system, booster pumps and reservoirs to provide adequate water pressure and flow, sewer trunk mains and temporary and/or permanent lift stations, temporary and/or permanent water quality/detention basins and drainage facilities and/or outfalls. No change in infrastructure from those shown in the complete and updated approved master plans shall be permitted unless and until the applicable master plan has been reviewed and approved by the city. Final lot/parcel configurations may need to be modified to accommodate the improvements identified in these studies as determined by the City. Any and all modifications to existing lots/parcels necessary shall be the sole responsibility of the owner/applicant.</p>		
55.	<p>Completion of Infrastructure improvements All on and off-site subdivision and Backbone Infrastructure improvements required to serve this project and any subsequent phase of the project, including but not limited to, roadway and transportation improvements, sanitary sewer, water, storm drainage, water quality/detention basins, etc., shall be completed to the satisfaction of the City prior to issuance of the first building permit within the project.</p>	B	CD I
56.	<p>The Russell Ranch Design Guidelines shall include a provision that all trash bins in residential areas shall be enclosed and screen from view except when they are on the street. Truck access to the bin shall be subject to approval by the City.</p>	B	CD I

57.	<p>Recorded Final Map Prior to the issuance of building permits, the owner/applicant shall provide a digital copy of the recorded Final Map (in AutoCAD format) to the Community Development Department. The exception to this requirement is model homes. Building permits for model homes only may be issued prior to recording of the Final Map, subject to approval by the Community Development Department.</p>	B	CD I
58.	<p>Recorded Final Map Prior to the issuance of building permits, the owner/applicant shall provide the Folsom-Cordova Unified School District with a copy of the recorded Final Map. The exception to this requirement is model homes. Building permits for model homes only may be issued prior to recording of the Final Map, subject to approval by the Community Development Department.</p>	B	CD I, FCUSD
59.	<p>Design Review Approval Prior to issuance of a building permit for any residential units or the private recreational facility within the subdivision, the owner/applicant shall obtain Design Review and/or Planned Development approval from the Planning Commission for all buildings to be built within the subdivision. If the architecture is not consistent with the Russell Ranch Design Guidelines, the owner applicant may modify the plans or apply for a modification to the Design Guidelines to be approved by the Planning Commission.</p>	B	CD (P)
60.	<p>Final exterior building and site lighting plans shall be submitted to review and approval by Community Development Department for aesthetics, level of illumination, glare and tress prior to the issuance of any building permits. The exterior building and site lighting will be required to achieve energy efficient standards by installing high-intensity discharge (mercury vapor, high pressure sodium, or similar) lamps. In addition, lighting shall be equipped with a timer or photo condenser. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of way. Building-attached light fixtures shall be subject to review and approval by the Community Development Department to ensure that they have an architecturally consistent and appropriate design.</p>		

61.		The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District, that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	M, B	CD (E) (B) PW
62.		<i>Credit Reimbursement Agreement</i> Prior to the recordation of the first Final Map, the owner/applicant and City shall enter into a credit and reimbursement agreement for constructed improvements that included in the Folsom Plan Area's Public Facilities Financing Plan.	M	CE (E)
Architecture Design Requirements				
63.		<i>Walls/Fences/Gates</i> The final location, design, height, materials, and colors of the walls, fences, and gates shall be subject to review and approval for the Community Development Department to ensure consistency with the Russell Ranch Design Guidelines. Fencing shall remain in the location as shown in Attachment 10. Side yard fencing may not be located closer to the street than shown in Attachment 10.	B	CD (P) (E)
64.		<i>Mechanical Equipment Screening</i> All mechanical equipment shall be concealed from view of public streets, neighboring properties and nearby higher buildings where practicable to the satisfaction of the Community Development Department.	B	CD (P)
65.		<i>Bicycle Trail System Modifications</i> The owner/applicant shall incorporate the design and grading for the proposed Class I bike trails and Class II on-street bike lanes into the improvement plans consistent with the Russell Ranch Proposed Trail System Modification exhibit dated January 26, 2018.	I	CD I

66.	<p><i>White Rock Road Shoulder Improvements</i></p> <p>The owner/applicant shall construct shoulder improvements along the project's entire frontage of westbound White Rock Road to the satisfaction of the City prior to approval of the Phase 2 Final Map or upon the construction of the future Empire Ranch Road connection to White Rock Road, whichever occurs first. In lieu of constructing the aforementioned interim shoulder improvements, the owner/applicant may enter into a Subdivision Improvement Agreement with the City and post adequate security to the City's satisfaction to ensure construction of said improvements; the security shall be for a minimum period of 10 years. If construction of the Capital Southeast Connector Project between East Bidwell Street and the El Dorado County line has commenced during the term of the Subdivision Improvement Agreement, then the shoulder improvement condition will be deemed satisfied, and the security shall be released to the owner/applicant.</p>	M,I	CD E
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**See Attachment A
Mitigation Monitoring Reporting Program**

MITIGATION MONITORING AND REPORTING PROGRAM

INTRODUCTION

In accordance with the California Environmental Quality Act (CEQA) (Section 15000 et seq., Title 14, California Code of Regulations), the City of Folsom (City) prepared an environmental checklist and addendum to the Russell Ranch Environmental Impact Report (EIR) and Folsom Plan Area Specific Plan (FPASP) EIR/Environmental Impact Statement (EIS) for the Russell Ranch (Lots 24 through 32) Project. While the checklist confirmed that the project would not have new or substantially more significant impacts, the previously-certified environmental documents had significant impacts for which mitigation measures were required.

CEQA and the State CEQA Guidelines (PRC Section 21081.6 and State CEQA Guidelines Sections 15091[d] and 15097) require public agencies “to adopt a reporting and monitoring program for changes to the project which it has adopted or made a condition of project approval to mitigate or avoid significant effects on the environment.” A Mitigation Monitoring and Reporting Program (MMRP) is required for the project because the IS/MND identifies potential significant adverse impacts related to the project implementation, and mitigation measure have been identified to reduce those impacts. Adoption of the MMRP would occur along with approval of the project.

The following is the MMRP for the Russell Ranch (Lots 24 through 32) Project. The intent of the MMRP is to ensure implementation of the mitigation measures identified within the Russell Ranch (Lots 24 through 32) Project addendum/checklist. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this MMRP shall be funded by the applicant.

COMPLIANCE CHECKLIST

The MMRP contained herein is intended to satisfy the requirements of CEQA as they relate to the EIR for the Russell Ranch (Lots 24 through 32) Project prepared by the City of Folsom. This MMRP is intended to be used by City staff and mitigation monitoring personnel to ensure compliance with mitigation measures during project implementation. Mitigation measures identified in this MMRP were developed in the EIR that was prepared for the proposed project.

The Russell Ranch Project EIR presents a detailed set of mitigation measures that will be implemented throughout the lifetime of the project. Mitigation is defined by CEQA Guidelines, section 15370, as a measure that:

- ▲ Avoids the impact altogether by not taking a certain action or parts of an action;
- ▲ Minimizes impacts by limiting the degree or magnitude of the action and its implementation;
- ▲ Rectifies the impact by repairing, rehabilitating, or restoring the impacted environment;
- ▲ Reduces or eliminates the impact over time by preservation and maintenance operations during the life of the project; or
- ▲ Compensates for the impact by replacing or providing substitute resources or environments.

The intent of the MMRP is to ensure the implementation of adopted mitigation measures. The MMRP will provide for monitoring of construction activities as necessary and in-the-field identification and resolution of environmental concerns.

Monitoring and documenting the implementation of mitigation measures will be coordinated by the City of Folsom. The table attached to this report identifies the mitigation measure, the monitoring action for the mitigation measure, the responsible party for the monitoring action, and timing of the monitoring action. The applicant will be responsible for fully understanding and effectively implementing the mitigation measures contained within the MMRP. The City will be responsible for monitoring compliance.

During construction of the project, the City will assign an inspector(s) who will be responsible for field monitoring of mitigation measure compliance. The inspector(s) will report to the City Planning Department and will be thoroughly familiar with permit conditions and the MMRP.

ROLES AND RESPONSIBILITIES

Unless otherwise specified herein, the City is responsible for taking all actions necessary to implement the mitigation measures under its jurisdiction according to the specifications provided for each measure and for demonstrating that the action has been successfully completed. The City, at its discretion, may delegate implementation responsibility or portions thereof to a licensed contractor or other designated agent. Section 21081.6 of the Public Resources Code, requires the lead agency to identify the “custodian of documents and other material” which constitutes the “record of proceedings” upon which the action on the project was based. The Folsom City Manager, or designee, is the custodian of such documents for the Russell Ranch (Lots 24 through 32) Project.

Inquiries should be directed to:

Steve Banks, Senior Planner
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The location of this information is:

City of Folsom, Community Development Department
50 Natoma Street
Folsom, CA 95630

The City is responsible for overall administration of the MMRP and for verifying that City staff members and/or the construction contractor has completed the necessary actions for each measure. The City may designate a project manager to oversee implementation of the MMRP. Duties of the project manager include the following:

- ▲ ensure routine inspections of the construction site are conducted by appropriate City staff; check plans, reports, and other documents required by the MMRP; and conduct report activities;
- ▲ serve as a liaison between the City and the contractor or project applicant regarding mitigation monitoring issues;
- ▲ complete forms and maintain reports and other records and documents generated for the MMRP; and
- ▲ coordinate and ensure that corrective actions or enforcement measures are taken, if necessary.

The responsible party for implementation of each item will identify the staff members responsible for coordinating with the City on the MMRP.

REPORTING

The City shall, or may require the developer to, prepare a monitoring report upon completion of the project describing the compliance of the activity with the required mitigation measures. Information regarding inspections and other requirements shall be compiled and explained in the report. The report shall be designed to simply and clearly identify whether mitigation measures have been adequately implemented. At a minimum, each report shall identify the mitigation measures or conditions to be monitored for implementation, whether compliance with the mitigation measures or conditions has occurred, the procedures used to assess compliance, and whether further action is required. The report shall be presented to the City Council.

MITIGATION MONITORING AND REPORTING PROGRAM TABLE

The categories identified in the attached MMRP table are described below.

- ▲ Mitigation Number – This column provides the identification number of the adopted mitigation measure as well as the source for the mitigation measure; FPASP EIR/EIS or Russell Ranch EIR (RR EIR). If the mitigation was updated in the checklist, that is also indicated.
- ▲ Mitigation Measure – This column provides the verbatim text of the adopted mitigation measure
- ▲ Monitoring Agency – This column identifies the party responsible for enforcing compliance with the requirements of the mitigation measure.
- ▲ Implementation Schedule – This column identifies the time frame in which the mitigation will be implemented.
- ▲ Sign-off – This column is to be dated and signed by the person (either project manager or his/her designee) responsible for verifying compliance with the requirements of the mitigation measure.

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
Aesthetics				
3A.1-4 (FPASP EIR/EIS)	<p>Screen Construction Staging Areas</p> <p>The project applicant(s) for any particular discretionary development application shall locate staging and material storage areas as far away from sensitive biological resources and sensitive land uses (e.g., residential areas, schools, parks) as feasible. Staging and material storage areas shall be approved by the appropriate agency (identified below) before the approval of grading plans for all project phases and shall be screened from adjacent occupied land uses in earlier development phases to the maximum extent practicable. Screens may include, but are not limited to, the use of such visual barriers such as berms or fences. The screen design shall be approved by the appropriate agency to further reduce visual effects to the extent possible.</p> <p>Mitigation for the off-site elements outside of the City of Folsom's jurisdictional boundaries shall be developed by the project applicant(s) of each applicable project phase in consultation with the affected oversight agency(ies) (i.e., El Dorado and/or Sacramento Counties, and Caltrans) to reduce to the extent feasible the visual effects of construction activities on adjacent project land uses that have already been developed.</p>	City of Folsom Neighborhood Services Department and City of Folsom Community Development Department.	Before approval of grading plans and during construction for all project phases.	
4.1-1 (RR EIR)	<p>Material Storage Areas</p> <p>The owner/applicant of all project phases shall locate staging and material storage areas as far away from sensitive biological resources and sensitive land uses (e.g., residential areas, schools, parks) as feasible. Staging and material storage areas shall be screened from adjacent occupied land uses in earlier development phases to the maximum extent practicable. Screens may include, but are not limited to, the use of visual barriers such as berms or fences. Staging and material storage areas shall be shown on all grading and/or improvement plans prior to plan approval by the City.</p>	City of Folsom Community Development Department.	Before approval of grading plans and during construction for all project phases.	
4.1-2 (RR EIR)	<p>Lighting Plan</p> <p>The owner/applicant of all project phases shall submit a lighting plan for the project to the Community Development Department. The lighting plan shall be consistent with the Design Guidelines:</p> <ul style="list-style-type: none"> ▲ shield or screen lighting fixtures to direct the light downward and prevent light spill on adjacent properties; ▲ place and shield or screen flood and area lighting needed for construction activities, nighttime sporting activities, and/or security so as not to disturb adjacent residential areas and passing motorists; ▲ for public lighting in residential neighborhoods, prohibit the use of light fixtures that are of unusually high intensity or that blink or flash; ▲ use appropriate building materials (such as low-glare glass, low-glare building glaze or finish, neutral, earth toned colored paint and roofing materials), shielded or screened lighting, and appropriate signage in the office/commercial areas to prevent light and glare from adversely affecting motorists on nearby roadways; and 	City of Folsom Neighborhood Services Department and City of Folsom Community Development Department.	Before approval of building permits.	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<ul style="list-style-type: none"> ▲ design exterior on-site lighting as an integral part of the building and landscaping design in the Specific Plan Area. Lighting fixtures shall be architecturally consistent with the overall site design. 			
Air Quality				
3A.2-1a (FPASP EIR/EIS)	<p>Basic Construction Emission Control Practices</p> <p>The owner/applicant shall implement Sacramento Metropolitan Air Quality Management District 's list of Basic Construction Emission Control Practices, Enhanced Fugitive Particulate Matter Dust Control Practices (listed below), and Enhanced Exhaust Control Practices or whatever mitigation measures are recommended by Sacramento Metropolitan Air Quality Management District at the time individual portions of the site undergo construction. In addition to Sacramento Metropolitan Air Quality Management District –recommended measures, construction operations shall comply with all applicable Sacramento Metropolitan Air Quality Management District rules and regulations.</p> <p>The following shall be noted on Grading Plans and building construction plans:</p> <p>Basic Construction Emission Control Practices</p> <ul style="list-style-type: none"> ▲ Water all exposed surfaces two times daily. Exposed surfaces include, but are not limited to soil piles, graded areas, unpaved parking areas, staging areas, and access roads. The owner/applicant shall not be permitted to use potable water from the City of Folsom water system for grading and/or construction while the City is in a stage 3 (water warning), stage 4 (water crisis), or stage 5 (water emergency) conservation stage as determined by the City and in conformance with Chapter 13.26 Water Conservation of the Folsom Municipal Code (FMC). The City may prohibit the use of potable water for grading and/or construction purposes on the project in its sole discretion regardless of the Water Conservation Stage. ▲ Cover or maintain at least two feet of free board space on haul trucks transporting soil, sand, or other loose material on the site. Any haul trucks that would be traveling along freeways or major roadways shall be covered. ▲ Use wet power vacuum street sweepers to remove any visible trackout mud or dirt onto adjacent public roads at least once a day. Use of dry power sweeping is prohibited. ▲ Limit vehicle speeds on unpaved roads to 15 miles per hour (mph). ▲ All roadways, driveways, sidewalks, parking lots to be paved should be completed as soon as possible. In addition, building foundations shall be laid as soon as possible after grading unless seeding or soil binders are used. ▲ Minimize idling time either by shutting equipment off when not in use or reducing the time of idling to 5 minutes (as required by the state airborne toxics control measure [Title 13, Section 2485 of the California 	City of Folsom Community Development Department	Before the approval of all grading plans by the City and throughout project construction, where applicable, for all project phases.	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>Code of Regulations)). Provide clear signage that posts this requirement for workers at the entrances to the site.</p> <ul style="list-style-type: none"> ▲ Maintain all construction equipment in proper working condition according to manufacturer’s specifications. The equipment shall be checked by a certified mechanic and determine to be running in proper condition before it is operated. <p>Enhanced Fugitive Particulate Matter Dust Control Practices – Soil Disturbance Areas</p> <ul style="list-style-type: none"> ▲ Water exposed soil with adequate frequency for continued moist soil. However, do not overwater to the extent that sediment flows off the site. ▲ Suspend excavation, grading, and/or demolition activity when wind speeds exceed 20 mph. ▲ Install wind breaks (e.g., plant trees, solid fencing) on windward side(s) of construction areas. ▲ Plant vegetative ground cover (fast-germinating native grass seed) in disturbed areas as soon as possible. Water appropriately until vegetation is established. <p>Enhanced Fugitive Particulate Matter Dust Control Practices – Unpaved Roads</p> <ul style="list-style-type: none"> ▲ Install wheel washers for all exiting trucks, or wash off all trucks and equipment leaving the site. ▲ Treat site accesses to a distance of 100 feet from the paved road with a 6 to 12-inch layer of wood chips, mulch, or gravel to reduce generation of road dust and road dust carryout onto public roads. ▲ Post a publicly visible sign with the telephone number and person to contact at the construction site regarding dust complaints. This person shall respond and take corrective action within 48 hours. The phone number of Sacramento Metropolitan Air Quality Management District and the City contact person shall also be posted to ensure compliance. <p>Enhanced Exhaust Control Practices</p> <ul style="list-style-type: none"> ▲ The owner/applicant shall provide a plan, for approval by the City of Folsom Community Development Department and Sacramento Metropolitan Air Quality Management District , demonstrating that the heavy-duty (50 horsepower [hp] or more) offroad vehicles to be used in the construction project, including owned, leased, and subcontractor vehicles, will achieve a project wide fleet-average 20% NOX reduction and 45% particulate reduction compared to the most current California Air Resources Board (ARB) fleet average that exists at the time of construction. Acceptable options for reducing emissions may include use of late-model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. ▲ The owner/applicant shall submit to the City of Folsom Community Development Department and Sacramento Metropolitan Air Quality Management District a comprehensive inventory of all off-road construction 			

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>equipment, equal to or greater than 50 hp, that would be used an aggregate of 40 or more hours during any portion of the construction project. The inventory shall include the horsepower rating, engine production year, and projected hours of use for each piece of equipment. The inventory shall be updated and submitted monthly throughout the duration of the project, except that an inventory shall not be required for any 30-day period in which no construction activity occurs. At least 48 hours prior to the use of heavy-duty off-road equipment, the project representative shall provide Sacramento Metropolitan Air Quality Management District with the anticipated construction timeline including start date, and name and phone number of the project manager and on-site foreman.</p> <ul style="list-style-type: none"> ▲ Sacramento Metropolitan Air Quality Management District 's Construction Mitigation Calculator can be used to identify an equipment fleet that achieves this reduction (Sacramento Metropolitan Air Quality Management District 2007a). The project shall ensure that emissions from all off-road diesel powered equipment used on the SPA do not exceed 40% opacity for more than three minutes in any one hour. Any equipment found to exceed 40 percent opacity (or Ringelmann 2.0) shall be repaired immediately, and the City and Sacramento Metropolitan Air Quality Management District shall be notified within 48 hours of identification of non-compliant equipment. A visual survey of all in-operation equipment shall be made at least weekly, and a monthly summary of the visual survey results shall be submitted throughout the duration of the project, except that the monthly summary shall not be required for any 30-day period in which no construction activity occurs. The monthly summary shall include the quantity and type of vehicles surveyed as well as the dates of each survey. Sacramento Metropolitan Air Quality Management District staff and/or other officials may conduct periodic site inspections to determine compliance. Nothing in this mitigation measure shall supersede other Sacramento Metropolitan Air Quality Management District or state rules or regulations. ▲ If at the time of construction, Sacramento Metropolitan Air Quality Management District has adopted a regulation or new guidance applicable to construction emissions, compliance with the regulation or new guidance may completely or partially replace this mitigation if it is equal to or more effective than the mitigation contained herein, and if Sacramento Metropolitan Air Quality Management District so permits. Such a determination shall be supported by a project-level analysis and be approved by Sacramento Metropolitan Air Quality Management District. 			
<p>3A.2-1b (FPASP EIR/EIS)</p>	<p>Pay Off-Site Mitigation Fee to Sacramento Metropolitan Air Quality Management District to Off-Set NOX Emissions Generated by Construction of Off and On-Site Elements.</p> <p>The owner/applicant(s) shall pay Sacramento Metropolitan Air Quality Management District a mitigation fee for the purpose of reducing NOX emissions to a less-than-significant level (i.e., less than 85 lb/day). The specific fee amounts shall be calculated when the daily construction emissions can be more accurately determined: that is, the City and the owner/applicants shall establish the phasing by which development would occur, and the owner/applicants shall develop a detailed construction schedule. Calculation of fees associated with each project development phase shall be conducted by the owner/applicant(s) in consultation with Sacramento Metropolitan Air Quality Management District staff before the approval of grading plans by the</p>	<p>The City of Folsom Community Development Department shall not grant any grading permits to the respective project</p>	<p>Before the approval of all grading plans by the City and throughout project construction for all project phases.</p>	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>City. The owner/applicant(s) for all project phases shall pay into Sacramento Metropolitan Air Quality Management District 's mitigation fund to further mitigate construction-generated emissions of NOX that exceed Sacramento Metropolitan Air Quality Management District 's daily emission threshold of 85 lb/day. The calculation of daily NOX emissions shall be based on the cost rate established by Sacramento Metropolitan Air Quality Management District at the time the calculation and payment are made. The determination of the final mitigation fee shall be conducted in coordination with Sacramento Metropolitan Air Quality Management District before any ground disturbance occurs for any project phase.</p>	<p>applicant(s) until the respective project applicant(s) have paid the appropriate off-site mitigation fee to SMAQMD.</p>		
<p>3A.2-1d (FPASP EIR/EIS)</p>	<p>Implement SMAQMD's Basic Construction Emission Control Practices during Construction of all Off- site Elements located in Sacramento County.</p> <p>The applicants responsible for the construction of each off-site element in Sacramento County shall require their contractors to implement SMAQMD's Basic Construction Emission Control Practices during construction. A list of SMAQMD's Basic Construction Emission Control Practices is provided under Mitigation Measure 3A.2-1a.</p> <p>Mitigation for the off-site elements outside of the City of Folsom's jurisdictional boundaries must be developed by the project applicant(s) of each applicable project phase with the affected oversight agency(ies) (i.e., Sacramento County or Caltrans) to implement SMAQMD's Basic Construction Emission Control Practices or comparable feasible measures.</p>	<p>City of Folsom Community Development Department</p>	<p>Before the approval of all grading plans by the City.</p>	
<p>3A.2-1f (FPASP EIR/EIS)</p>	<p>Implement SMAQMD's Enhanced Exhaust Control Practices during Construction of all Off-site Elements.</p> <p>Implement SMAQMD's Enhanced Exhaust Control Practices, which are listed in Mitigation Measure 3A.2-1a, in order to control NOx emissions generated by construction of all off-site elements (in Sacramento and El Dorado Counties, or Caltrans right-of-way).</p>	<p>1. For the two roadway connections in El Dorado Hills: El Dorado County Development Services Department.</p> <p>2. For the detention basin west of Prairie City Road: Sacramento County Planning and Community Development Department.</p>	<p>Before the approval of all grading plans from the respective air district (SMAQMD)</p>	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
		3. For the U.S. 50 interchange improvements: Caltrans.		
3A.2-1g (FPASP EIR/EIS)	<p>Pay Off-site Mitigation Fee to SMAQMD to Off-Set NO_x Emissions Generated by Construction of Off-site Elements.</p> <p>The off-site elements could result in construction-generated NOX emissions that exceed the SMAQMD threshold of significance, even after implementation of the SMAQMD Enhanced Exhaust Control Practices (listed in Mitigation Measure 3A.2-1a).</p> <p>Therefore, the responsible project applicant(s) for each off-site element in Sacramento County shall pay SMAQMD an off-site mitigation fee for implementation of each off-site element in Sacramento County for the purpose of reducing NOX emissions to a less-than-significant level (i.e., less than 85 lb/day). The specific fee amounts shall be calculated when the daily construction emissions can be more accurately determined. This calculation shall occur if the City/USACE certify the EIR/EIS and select and approves the Proposed Project or one of the other four other action alternatives, the City, Sacramento County, and the applicants establish the phasing by which construction of the off-site elements would occur, and the applicants develop a detailed construction schedule. Calculation of fees associated with each off-site element shall be conducted by the project applicant(s) in consultation with SMAQMD staff before the approval of respective grading plans by Sacramento County. The project applicant(s) responsible for each off-site element in Sacramento County shall pay into SMAQMD's off-site construction mitigation fund to further mitigate construction-generated emissions of NOX that exceed SMAQMD's daily emission threshold of 85 lb/day. The calculation of daily NO_x emissions shall be based on the cost rate established by SMAQMD at the time the calculation and payment are made. At the time of writing this EIR/EIS the cost rate is \$16,000 to reduce 1 ton of NOX plus a 5% administrative fee (SMAQMD 2008c). The determination of the final mitigation fee shall be conducted in coordination with SMAQMD before any ground disturbance occurs for any project phase. Because the fee is based on the mass quantity of emissions that exceed SMAQMD's daily threshold of significance of 85 lb/day, total fees for construction of the off-site elements would vary according to the timing and potential overlap of construction schedules for off-site elements. This measure applies only to those off-site elements located in SMAQMD's jurisdiction (i.e., in Sacramento County) because EDCAQMD does not offer a similar off-set fee program for construction-generated NOX emissions in its jurisdiction. (This fee is used by SMAQMD to purchase off-site emissions reductions. Such purchases are made through SMAQMD's Heavy Duty Incentive Program, through which select owners of heavy-duty equipment in Sacramento County can repower or retrofit their old engines with cleaner engines or technologies.)</p> <p>Mitigation for the off-site elements outside of the City of Folsom's jurisdictional boundaries must be developed by the project applicant(s) of each applicable project phase in consultation with the affected oversight agency(ies) (i.e., Sacramento County or Caltrans).</p>	<p>1. For all off-site improvements within Sacramento County: Sacramento County Planning and Community Development Department shall not grant any grading permits to the respective project applicant(s) until the respective project applicant(s) have paid the appropriate off-site mitigation fee to SMAQMD.</p> <p>2. For the U.S. 50 interchange improvements: Caltrans shall not grant any grading permits to the respective project applicant(s) until the respective</p>	Before the approval of each grading plan for the off-site elements in Sacramento County.	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
		project applicant(s) have paid the appropriate off-site mitigation fee to SMAQMD.		
3A.2-1h (FPASP EIR/EIS)	<p>Analyze and Disclose Projected PM10 Emission Concentrations at Nearby Sensitive Receptors Resulting from Construction of Off-site Elements.</p> <p>Prior to construction of each off-site element located in Sacramento County that would involve site grading or earth disturbance activity that would exceed 15 acres in one day, the responsible agency or its selected consultant shall conduct detailed dispersion modeling of construction-generated PM10 emissions pursuant to Sacramento Metropolitan Air Quality Management District guidance that is in place at the time the analysis is performed.</p> <p>Sacramento Metropolitan Air Quality Management District emphasizes that PM10 emission concentrations at nearby sensitive receptors be disclosed in project-level CEQA analysis. Each project-level analysis shall incorporate detailed parameters of the construction equipment and activities, including the year during which construction would be performed, as well as the proximity of potentially affected receptors, including receptors proposed by the project that exist at the time the construction activity would occur. If the modeling analysis determines that construction activity would result in an exceedance or substantial contribution to the CAAQS and NAAQS at a nearby receptor, then the owner/applicant(s) shall require their respective contractors to implement additional measures for controlling construction-generated PM10 exhaust emission and fugitive PM10 dust emissions in accordance with Sacramento Metropolitan Air Quality Management District guidance, requirements, and/or rules that apply at the time the project-level analysis is performed. It is likely that these measures would be the same or similar to those listed as Enhanced Fugitive PM Dust Control Practices for Soil Disturbance Areas and Unpaved Roads and Enhanced Exhaust Control Practices. Dispersion modeling is not required for the two El Dorado County roadway connections because the total amount of disturbed acreage is expected to be less than the EDCAQMD screening level of 12 acres.</p> <p>Mitigation for the off-site elements outside of the City of Folsom's jurisdictional boundaries shall be developed by the owner/applicant(s) of each applicable project phase in consultation with the affected oversight agency(ies) (i.e., Sacramento County or Caltrans).</p>	<p>1. For all off-site improvements within Sacramento County: Sacramento County Planning and Community Development Department.</p> <p>2. For the U.S. 50 interchange improvements: Caltrans.</p>	<p>1. For all off-site improvements within unincorporated Sacramento County: Before the approval of the respective grading plans from the Sacramento County Planning and Community Development Department</p> <p>2. For the U.S. 50 interchange improvements: Before the approval of construction plans from Caltrans.</p>	
3A.2-2 (FPASP EIR/EIS)	<p>Implement All Measures Prescribed by the Air Quality Mitigation Plan to Reduce Operational Air Pollutant Emissions.</p> <p>To reduce operational emissions, the project applicant(s) for any particular discretionary development application shall implement all measures prescribed in the SMAQMD-approved Folsom Plan Area Specific Plan Air Quality Mitigation Plan (AQMP) (Torrence Planning 2008), a copy of which is included in Appendix C2. The AQMP is intended to improve mobility, reduce vehicle miles traveled, and improve air quality as required by AB 32 and SB 375. The AQMP includes, among others, measures</p>	City of Folsom Community Development Department.	Before issuance of subd vision maps or improvement plans.	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>designed to provide bicycle parking at commercial land uses, an integrated pedestrian/bicycle path network, transit stops with shelters, a prohibition against the use the wood-burning fireplaces, energy star roofing materials, electric lawnmowers provided to homeowners at no charge, and on-site transportation alternatives to passenger vehicles (including light rail) that provide connectivity with other local and regional alternative transportation networks.</p>			
<p>4.2-3 (RR EIR)</p>	<p>Naturally Occurring Asbestos</p> <p>Prior to the commencement of any site-disturbing activities, the owner/applicant shall demonstrate to the satisfaction of the Sacramento Metropolitan Air Quality Management District that Naturally Occurring Asbestos does not exist on site. To demonstrate the owner/applicant shall obtain the services of a California Certified Geologist to conduct a thorough site investigation of the development area per the protocol outlined in the California Geological Survey Special Report 124 to determine whether and where Naturally Occurring Asbestos is present in the soil and rock on the project site and/or areas that would be disturbed by the project, except for those areas previously explored and sampled for Naturally Occurring Asbestos as part of the Geotechnical Engineering Study for Russell Ranch South prepared by Youndahl Consulting Group, Inc. in December 2013. The site investigation shall include the collection of three soil and rock samples per acre to be analyzed via the California Air Resources Board 435 Method, or other acceptable method agreed upon by Sacramento Metropolitan Air Quality Management District and the City. If the investigation determines that Naturally Occurring Asbestos is not present on the project site, then the owner/applicant shall submit a Geologic Exemption to Sacramento Metropolitan Air Quality Management District as allowed under Title 17, Section 93105, Asbestos Airborne Toxic Control Measure for Construction, Grading, Quarrying, and Surface Mining (Asbestos ATCM). The owner/applicant shall submit proof of compliance with the above to the Community Development Department for review and approval prior to the commencement of any site-disturbing activities.</p> <p>If the site investigation determines that Naturally Occurring Asbestos is present on the project site, or alternatively if the owner/applicant elects to assume presence of trace Naturally Occurring Asbestos, then, prior to commencement of any ground disturbance activity, the owner/applicant shall submit to the Sacramento Metropolitan Air Quality Management District for review and approval an Asbestos Dust Mitigation Plan, including, but not limited to, control measures required by the Asbestos ATCM, such as vehicle speed limitations, application of water prior to and during ground disturbance,</p>	<p>City of Folsom Community Development Department.</p>	<p>Before the approval of all grading plans by the City and throughout project construction, where applicable, for all project phases.</p>	
Biological Resources				
<p>4.3-1 (RR EIR)</p>	<p>Special-status plant species.</p> <p>Prior to the initiation of construction activities, the applicant shall retain a qualified biologist/botanist to consult with the appropriate regulatory agencies (CDFW and USFWS) to determine if additional plant surveys are required. Written results of the consultation efforts shall be provided to the Folsom Community Development Department. If the regulatory agencies (CDFW and USFWS) determine additional plant surveys are required, the following shall be implemented:</p> <ul style="list-style-type: none"> ▲ The project applicant shall retain a qualified botanist to conduct protocol-level preconstruction special-status plant surveys for all potentially occurring species in all areas that have not previously been surveyed for special-status 	<p>Folsom Community Development Department CDFW USFWS</p>	<p>Prior to the initiation of construction activities</p>	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>plants. If special-status plants are not found during focused surveys, the botanist shall document the findings in a letter report to USFWS, CDFW and, the City of Folsom, and no further mitigation shall be required.</p> <ul style="list-style-type: none"> ▲ If special-status plant populations are found, the project applicant shall consult with CDFW and USFWS, as appropriate, depending on species status, to determine the appropriate mitigation measures for direct and indirect impacts on any special-status plant population that could occur as a result of project implementation. Mitigation measures may include preserving and enhancing existing populations, creation of off-site populations on project mitigation sites through seed collection or transplantation, and/or restoring or creating suitable habitat in sufficient quantities to achieve no net loss of occupied habitat or individuals. ▲ If potential impacts on special-status plant species are likely, a mitigation and monitoring plan shall be developed before the approval of grading plans or any ground-breaking activity within 250 feet of a special- status plant population. The mitigation plan shall be submitted to the City of Folsom for review and approval. It shall be submitted concurrently to CDFW or USFWS, as appropriate, depending on species status, for review and comment. The plan shall require maintaining viable plant populations on-site and shall identify avoidance measures for any existing population(s) to be retained and compensatory measures for any populations directly affected. Possible avoidance measures include fencing populations before construction and exclusion of project activities from the fenced-off areas, and construction monitoring by a qualified botanist to keep construction crews away from the population. The mitigation plan shall also include monitoring and reporting requirements for populations to be preserved on site or protected or enhanced off-site. ▲ If relocation efforts are part of the mitigation plan, the plan shall include details on the methods to be used, including collection, storage, propagation, receptor site preparation, installation, long-term protection and management, monitoring and reporting requirements, and remedial action responsibilities should the initial effort fail to meet long-term monitoring requirements. ▲ If off-site mitigation includes dedication of conservation easements, purchase of mitigation credits or other off-site conservation measures, the details of these measures shall be included in the mitigation plan, including information on responsible parties for long-term management, conservation easement holders, long-term management requirements, and other details, as appropriate to target the preservation of long term viable populations. 			
4.3-3(a) (RR EIR)	<p>Conduct environmental awareness training for construction employees.</p> <p>Prior to initiation of construction activities, the project applicant shall employ a qualified biologist to conduct environmental awareness training for construction employees. The training will describe the importance of on-site biological resources, including special-status wildlife habitats; potential nests of special-status birds; and roosting habitat for special-status bats. The biologist will also explain the importance of other responsibilities related to the protection of wildlife during construction, such as inspecting open trenches and looking under vehicles and machinery prior to moving them to ensure there are no lizards, snakes, small mammals, or other wildlife that could become trapped, injured, or killed in construction areas or under equipment.</p>	Folsom Community Development Department	Prior to the initiation of construction activities	

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	<p>A qualified biologist shall conduct environmental awareness training for construction employees prior to construction activity. The training will describe the importance of onsite biological resources, including special-status wildlife habitats; potential nests of special-status birds; and roosting habitat for special-status bats. The biologist will also explain the importance of other responsibilities related to the protection of wildlife during construction, such as inspecting open trenches and looking under vehicles and machinery prior to moving them to ensure there are no lizards, snakes, small mammals, or other wildlife that could become trapped, injured, or killed in construction areas or under equipment.</p> <p>Environmental awareness training will be conducted prior to construction activity.</p>			
<p>4.3-3(b) (RR EIR)</p>	<p>Conduct preconstruction western spadefoot toad survey.</p> <p>The project applicant shall retain a qualified biologist to conduct a preconstruction survey for Western spadefoot toad within 48 hours of the initiation of construction activities for each phase of development. The preconstruction surveys shall evaluate suitable habitats for this species, as determined by the qualified biologist. If no Western spadefoot toad individuals are found during the preconstruction survey, the biologist shall document the findings in a letter report to CDFW and the City of Folsom, and no further mitigation shall be required.</p> <p>If Western spadefoot toad individuals are found, the qualified biologist shall consult with CDFW to determine appropriate avoidances measures. Mitigation measures may include relocation of aquatic larvae, construction monitoring, or preserving and enhancing existing populations.</p>	<p>Folsom Community Development Department</p>	<p>Prior to the initiation of construction activities</p>	
<p>4.3-4 (RR EIR)</p>	<p>Western Pond Turtle.</p> <p>The project applicant(s), shall retain a qualified biologist to conduct preconstruction survey for Western pond turtle within 48 hours of the initiation of construction activities for each phase of development. The preconstruction surveys shall evaluate suitable habitats for this species, as determined by the qualified biologist. If no western pond turtles are found during the preconstruction survey, the biologist shall document the findings in a letter report to CDFW and the City of Folsom, and no further mitigation shall be required. If western pond turtles are found, the qualified biologist shall capture and relocate the turtles to a suitable preserved location in the vicinity of the project.</p>	<p>Folsom Community Development Department CDFW</p>	<p>Within 48 hours prior to the initiation of construction activities for each phase of development</p>	
<p>4.3-5(a) (RR EIR)</p>	<p>Swainson's hawk nesting habitat.</p> <p>To mitigate impacts on Swainson's hawk a qualified biologist shall be retained to conduct preconstruction surveys and to identify active nests on and within 0.5-mile of the project area. The surveys shall be conducted before the approval of grading and/or improvement plans (as applicable) and no less than 14 days and no more than 30 days before the beginning of construction. To the extent feasible, guidelines provided in Recommended Timing and Methodology for Swainson's Hawk Nesting Surveys in the Central Valley (Swainson's Hawk Technical Advisory Committee 2000) shall be followed for surveys for Swainson's hawk. If no nests are found, no further mitigation is required.</p>	<p>Folsom Community Development Department CDFW</p>	<p>Prior to approval of Grading or Improvement Plans and not less than 14 days or more than 30 days before the beginning of construction</p>	

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	<p>If active nests are found, impacts on nesting Swainson’s hawks shall be avoided by establishing appropriate buffers around the nests. No project activity shall commence within the buffer area until the young have fledged, the nest is no longer active, or until a qualified biologist has determined in coordination with CDFW that reducing the buffer would not result in nest abandonment. CDFW guidelines recommend implementation of 0.25- or 0.5-mile-wide buffers, but the size of the buffer may be adjusted if a qualified biologist and the City, in consultation with CDFW, determine that such an adjustment would not be likely to adversely affect the nest. Monitoring of the nest by a qualified biologist during and after construction activities will be required if the activity has potential to adversely affect the nest.</p>			
<p>4.3-5(b) (RR EIR, updated per 2018 RR Checklist)</p>	<p>Swainson's hawk foraging habitat.</p> <p>To mitigate for the loss of Swainson's hawk foraging habitat, the project applicant(s) shall identify permanent impacts to foraging habitat and prepare and implement a Swainson's hawk mitigation plan specific to the project. The Swainson's hawk mitigation plan shall be consistent with the Swainson's Hawk Mitigation Plan – Folsom Plan Area Specific Plan (prepared by ECORP Consulting, Inc. and dated May 2, 2017, and any City-approved addenda), including but not limited to the requirements described below.</p> <p>Before the approval of grading and improvement plans, or before any ground-disturbing activities, whichever occurs first, the project applicant shall secure suitable Swainson's hawk foraging habitat to ensure appropriate mitigation of habitat value for Swainson's hawk foraging habitat that is permanently lost as a result of the project, as determined by the City after consultation with CDFW and a qualified biologist.</p> <p>The mitigation ratio shall be based on Swainson's hawk nesting distribution and an assessment of habitat quality, availability, and use within the project area and shall be consistent with the 1994 DFG Swainson's Hawk Guidelines included in the Staff Report Regarding Mitigation for Impacts to Swainson's Hawks (<i>Buteo swainsoni</i>) in the Central Valley of California. Such mitigation shall be accomplished through purchase of credits at an approved mitigation bank, the transfer of fee title, or perpetual conservation easement. If non-bank mitigation is proposed, the mitigation land shall be located within the known foraging area and within Sacramento County. The City, after consultation with CDFW, will determine the appropriateness of the mitigation land.</p> <p>The project applicant shall transfer said Swainson's hawk mitigation land, through either conservation easement or fee title, to a third-party, nonprofit conservation organization (Conservation Operator), with the City and CDFW named as third-party beneficiaries. The Conservation Operator shall be a qualified conservation easement land manager that manages land as its primary function. Additionally, the Conservation Operator shall be a tax-exempt nonprofit conservation organization that meets the criteria of Civil Code Section 815.3(a) and shall be selected or approved by the City, after consultation with CDFW. After consultation with CDFW and the Conservation Operator, the City shall approve the content and form of the conservation easement. The City, CDFW, and the Conservation Operator shall each have the power to enforce the terms of the conservation easement. The Conservation Operator shall monitor the easement in perpetuity to assure compliance with the terms of the easement.</p>	<p>Folsom Community Development Department CDFW</p>	<p>Prior to approval of Grading and Improvement Plans, or before any ground-disturbing activities, whichever occurs first</p>	

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	<p>After consultation with the City, The project applicant, CDFW, and the Conservation Operator, shall establish an endowment or some other financial mechanism that is sufficient to fund in perpetuity the operation, maintenance, management, and enforcement of the conservation easement. If an endowment is used, either the endowment funds shall be submitted to the City for impacts on lands within the City's jurisdiction to an appropriate third-party nonprofit conservation agency, or they shall be submitted directly to the third-party nonprofit conservation agency in exchange for an agreement to manage and maintain the lands in perpetuity. The Conservation Operator shall not sell, lease, or transfer any interest of any conservation easement or mitigation land it acquires without prior written approval of the City and CDFW.</p> <p>If the Conservation Operator ceases to exist, the duty to hold, administer, manage, maintain, and enforce the interest shall be transferred to another entity acceptable to the City and CDFW. The City Planning Department shall ensure that mitigation habitat established for impacts on habitat within the City's planning area is properly established and is functioning as habitat by conducting regular monitoring of the mitigation site(s) for the first ten years after establishment of the easement.</p>			
4.3-6(a) (RR EIR)	<p>Burrowing Owl Preconstruction survey.</p> <p>A qualified biologist shall be retained by the project applicant to conduct a preconstruction survey to identify active burrows within the project area. The surveys shall be conducted no less than 14 days and no more than 30 days before the beginning of construction activities for each phase of development. The preconstruction survey shall follow the protocols outlined in the Staff Report on Burrowing Owl Mitigation (CDFG 2012).</p>	Folsom Community Development Department	No less than 14 days and no more than 30 days before the beginning of construction activities for each phase of development	
4.3-6(b) (RR EIR)	<p>Burrowing Owl Active burrows.</p> <p>If active burrows are found, a mitigation plan shall be submitted to the City for review and approval before any ground-disturbing activities. The City shall consult with CDFW. The mitigation plan may consist of installation of one-way doors on all burrows to allow owls to exit, but not reenter, and construction of artificial burrows within the project vicinity, as needed; however, burrowing owl exclusions may only be used if a qualified biologist verifies that the burrow does not contain eggs or dependent young. If active burrows contain eggs and/or young, no construction shall occur within 50 feet of the burrow until young have fledged. Once it is confirmed that there are no owls inside burrows, these burrows may be collapsed.</p>	Folsom Community Development Department CDFW	Prior to ground disturbing activities if active owl burrows are found	
4.3-7 (RR EIR)	<p>Tricolored blackbird.</p> <p>A qualified biologist shall conduct a preconstruction survey for any project activity that would occur during the tricolored blackbird's nesting season (March 1–August 31). The preconstruction survey shall be conducted before any activity occurring within 500 feet of suitable nesting habitat, including freshwater marsh and areas of riparian scrub vegetation. The survey shall be conducted within 14 days before project activity begins.</p> <p>If no tricolored blackbird colony is present, no further mitigation is required. If a colony is found, the qualified biologist shall establish a buffer around the nesting colony. No project activity shall commence within the buffer area until a qualified biologist</p>	Folsom Community Development Department CDFW	Prior to the initiation of construction activities during the nesting season (March 1 – August 31) occurring within 500 feet of suitable nesting habitat	

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	<p>confirms that the colony is no longer active. The size of the buffer shall be determined in consultation with CDFW. Buffer size is anticipated to range from 100 to 500 feet, depending on the nature of the project activity, the extent of existing disturbance in the area, and other relevant circumstances.</p>			
<p>4.3-8(a) (RR EIR)</p>	<p>Nesting raptors.</p> <p>To mitigate impacts on nesting raptors, a qualified biologist shall be retained to conduct a preconstruction survey to identify active nests on and within 0.5 miles of the project area. The surveys shall be conducted no less than 14 days and no more than 30 days before the beginning of construction activities for each phase of development.</p> <p>If active nests are found, impacts on nesting raptors shall be avoided by establishing appropriate buffers around the nests. No project activity shall commence within the buffer area until the young have fledged, the nest is no longer active, or until a qualified biologist has determined in coordination with CDFW that reducing the buffer would not result in nest abandonment. The buffer may be adjusted if a qualified biologist and the City, in consultation with CDFW, determine that such an adjustment would not be likely to adversely affect the nest. Monitoring of the nest by a qualified biologist during and after construction activities will be required if the activity has potential to adversely affect the nest.</p>	<p>Folsom Community Development Department CDFW</p>	<p>No less than 14 days and no more than 30 days before the beginning of construction activities for each phase of development</p>	
<p>4.3-8(b) (RR EIR)</p>	<p>Other nesting special-status and migratory birds.</p> <p>A qualified biologist shall conduct a preconstruction survey for any project activity that would occur in suitable nesting habitat during the avian nesting season (approximately March 1–August 31). The preconstruction survey shall be conducted within 14 days before any activity occurring within 100 feet of suitable nesting habitat. Suitable habitat includes annual grassland, valley needlegrass grassland, freshwater seep, vernal pool, seasonal wetland, and intermittent drainage habitat within the project site.</p> <p>If no active special-status or other migratory bird nests are present, no further mitigation is required. If an active nest is found, the qualified biologist shall establish a buffer around the nest. No project activity shall commence within the buffer area until a qualified biologist confirms that the nest is no longer active. The size of the buffer shall be determined in consultation with CDFW. Buffer size is anticipated to range from 50 to 100 feet, depending on the nature of the project activity, the extent of existing disturbance in the area, and other relevant circumstances.</p>	<p>Folsom Community Development Department CDFW</p>	<p>Prior to any construction activities that would occur between approximately March 1 and August 31</p>	
<p>4.3-10 (RR EIR)</p>	<p>American badger.</p> <p>The project applicant(s) shall retain a qualified biologist to conduct preconstruction American badger burrow surveys within 48 hours of the initiation of construction activity. If no American badger burrows are found during the preconstruction survey, the biologist shall document the findings in a letter report to CDFW and the City of Folsom, and no further mitigation shall be required. If potential American badger burrows are found, the qualified biologist shall consult with CDFW to determine appropriate measures.</p>	<p>Folsom Community Development Department CDFW</p>	<p>With 48 hours of the initiation of construction activity</p>	

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<p>4.3-11(a) (RR EIR, updated per 2018 RR Checklist)</p>	<p>Clean Water Act Sections 401 and 404.</p> <p>The project applicant shall comply with permits obtained under Sections 401 and 404 of the CWA or the State’s Porter-Cologne Act and implement all permit conditions for the proposed project. All permits, regulatory approvals, and permit conditions for effects on wetland habitats shall be secured and conditions implemented before implementation of any grading activities within 250 feet of Waters of the U.S. or wetland habitats, including Waters of the State, that potentially support federally-listed species, or within 100 feet of any other Waters of the U.S. or wetland habitats, including Waters of the State. The project applicant shall adhere to all conditions outlined in the permits. The project applicant shall commit to replace, restore, or enhance on a “no net loss” basis (in accordance with USACE and the Central Valley RWQCB) the acreage of all wetlands and other Waters of the U.S. that would be removed, lost, and/or degraded with implementation of the project. Wetland habitat shall be restored, enhanced, and/or replaced at an acreage and location and by methods agreeable to USACE, the Central Valley RWQCB, and the City, as appropriate, depending on agency jurisdiction, and as determined during the Section 401 and Section 404 permitting processes.</p> <p>All mitigation requirements to satisfy the requirements of the City and the Central Valley RWQCB, for impacts on the non-jurisdictional wetlands beyond the jurisdiction of USACE, shall be determined and implemented before grading plans are approved.</p> <p>A water quality certification pursuant to Section 401 of the CWA is required before issuance of the record of decision and before issuance of the Section 404 permit. Before construction in any areas containing wetland features, the project applicant shall obtain water quality certification for the project. Any measures required as part of the issuance of water quality certification shall be implemented.</p>	<p>Folsom Community Development Department USACE Central Valley RWQCB</p>	<p>Prior to the approval of Grading and Improvement Plans and before any groundbreaking activity associated with each distinct project phase</p>	
<p>4.3-11(b) (RR EIR)</p>	<p>Master Streambed Alteration Agreement.</p> <p>The project applicant shall amend, if necessary, and implement the original Section 1602 Master Streambed Alteration Agreement received from CDFW for all construction activities that would occur in the bed and bank of CDFW jurisdictional features within the project site. As outlined in the Master Streambed Alteration Agreement, the project applicant shall submit a Sub-Notification Form (SNF) to CDFW 60 days prior to the commencement of construction to notify CDFW of the project.</p> <p>Any conditions of issuance of the Master Streambed Alteration Agreement shall be implemented as part of those project construction activities that would adversely affect the bed and bank within on-site drainage channels subject to CDFW jurisdiction. The agreement shall be executed by the project applicant and CDFW before the approval of any grading or improvement plans or any construction activities in any project phase that could potentially affect the bed and bank of on-site drainage channels under CDFW jurisdiction.</p>	<p>Folsom Community Development Department CDFW</p>	<p>60 days prior to the commencement of construction</p>	
<p>4.3-11(c) (RR EIR, updated)</p>	<p>Valley Needlegrass.</p>	<p>Folsom Community</p>	<p>Prior to any groundbreaking activities</p>	

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per 2018 RR Checklist)	<p>The project applicant will comply with the Conceptual Valley Needlegrass Grassland Mitigation and Monitoring Plan – Folsom Plan Area Specific Plan (prepared by ECORP Consulting, Inc. and dated October 6, 2016, and any City-approved addenda). The following measures shall be implemented to mitigate for losses of valley needlegrass grassland:</p> <ul style="list-style-type: none"> ▲ Valley needlegrass grassland will be established (restored) within the FPASP's Passive Recreation Open Space in areas that are currently characterized by annual grassland (Restoration Areas), at a minimum ratio of 1:1 acres of restored grassland to acres of impacted grassland. ▲ Needlegrass plants may be established via seeding, planting nursery-grown transplants (plugs), or translocating existing needlegrass individuals from impact areas. If practicable, needlegrass populations that will be impacted by the Project should be salvaged by collecting seed from existing plants for use in Restoration Areas, or by translocating existing plants to open space areas. ▲ Valley needlegrass grassland Restoration Areas will be monitored twice during the first year following planting, and annually for the four subsequent years for a total of five years. ▲ A success criteria of 80 percent of the target acreage (or as otherwise agreed upon in consultation with the California Department of Fish and Wildlife (CDFW) should be established by the fifth year of monitoring. 	Development Department CDFW		
4.3-1 (2018 RR Checklist)	<p>Special-Status Plant Species.</p> <p>Prior to initiation of construction activities, a qualified biologist/botanist shall consult with the appropriate regulatory agencies (CDFW and USFWS) to determine if additional plant surveys are required. If additional surveys are required, protocol-level preconstruction special-status plant surveys will be conducted for all potentially occurring species in areas that have not previously been surveyed. If special-status plant populations are found, the Project Applicant shall consult with CDFW and USFWS, as appropriate, to determine appropriate mitigation measures. If impacts are likely, a mitigation and monitoring plan shall be developed before approval of grading plans or ground-breaking activity within 250 feet of special-status plant populations.</p> <p>Upon approval of final proposed development plans by the USACE, a qualified biologist/botanist will consult with CDFW and USFWS to determine if additional surveys are required.</p>			
Cultural Resources				
4.4-1 (RR EIR, updated per 2018 RR Checklist)	<p>Comply with the Programmatic Agreement and Carry Out Mitigation.</p> <p>The FAPA provides a management framework for identifying historic properties and Historical Resources through inventories and evaluations, determining adverse effects, and resolving those adverse effects with appropriate mitigation. Proof of compliance with the applicable procedures in the FAPA and implementation of applicable HPTP (Westwood and Knapp 2013b and 2013c) with regard to mitigation for the Keefe-McDerby Mine Ditch and Brooks Hotel Site is to be provided to the City's</p>	Folsom Community Development Department USACE	Prior to authorization of any ground disturbing activities in any given segment of the project area	

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	<p>Community Development Department prior to authorization of any ground-disturbing activities. Proof of compliance is defined as written approval from the USACE of all applicable mitigation documentation generated from implementation of an approved HPTP and includes the following mitigation actions:</p> <ul style="list-style-type: none"> ▲ Historic American Engineering Record (HAER) Documentation of the Keefe-McDerby Mine Ditch (P-34-1475): in consultation with the National Park Service, the USACE shall require the completion of Historic American Engineering Record program documentation. ▲ Data Recovery Excavations of the Brooks Hotel Site (P-34-2166): Data recovery shall follow the standards and guidelines in the HPTP. The results of excavation, laboratory analysis, artifact analysis, and archival research, shall be documented in a confidential data recovery technical report, which shall be submitted to the City's Community Development Department. ▲ Geoarchaeological Monitoring: Due to a potential for deeply buried archaeological resources down to a depth of 1.5m (approximately five feet) below soil formations known as the T-2 terrace, where colluvial deposits grade onto the T-2 terrace, and along the distal edge of tributary alluvial fans, all ground-disturbing activity in those areas shall be monitored by a qualified professional archaeologist with a specialization in geoarchaeology. Monitoring is no longer needed once subsurface disturbance extends beyond 1.5m below surface. 	NPS		
4.4-2(a) (RR EIR, updated per 2018 RR Checklist)	<p>Conduct construction worker awareness training, on-site monitoring if required, stop work if cultural resources are discovered, asses the significance of the find, and perform treatment or avoidance as required.</p> <ul style="list-style-type: none"> ▲ To reduce potential impacts to previously undiscovered cultural resources, the Project applicant(s) shall retain a qualified archaeologist to conduct training for construction supervisors. Construction supervisors shall inform the workers about the possibility of encountering buried cultural resources and inform the workers of the proper procedures should cultural resources be encountered. Proof of the contractor awareness training shall be submitted to the City's Community Development Department in the form of a copy of training materials and the completed training attendance roster. ▲ Should any cultural resources, such as structural features, bone or shell, artifacts, or architectural remains be encountered during any construction activities, work shall be suspended within 200 feet of the find and the City of Folsom and USACE shall be notified immediately. The City shall retain a qualified archaeologist who shall conduct a field investigation of the specific site and shall evaluate the significance of the find by evaluating the resource for eligibility for listing on the CRHR and the NRHP. If the resource is eligible for listing on the CRHR or NRHP and would be subject to disturbance or destruction, the actions required by the FAPA and subsequent documentation shall be implemented. The City of Folsom Community Development Department and USACE shall be responsible for approval of recommended mitigation if it is determined to be feasible in light of the approved land uses, and shall implement the approved mitigation and seek written approval on mitigation documentation before resuming construction activities at the archaeological site. 	Folsom Community Development Department USACE	Prior to start of any ground-disturbing activities	

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4.4-2(b) (RR EIR, updated per 2018 RR Checklist)	<p>Suspend ground-disturbing activities if human remains are encountered and comply with California Health and Safety Code procedures.</p> <p>In the event that human remains are discovered, construction activities within 150 feet of the discovery shall be halted or diverted and the requirements for managing unanticipated discoveries in 3A.5-3 shall be implemented. In addition, the provisions of § 7050.5 of the California Health and Safety Code, § 5097.98 of the California PRC, and Assembly Bill (AB) 2641 shall be implemented. When human remains are discovered, state law requires that the discovery be reported to the County Coroner (§ 7050.5 of the Health and Safety Code) and that reasonable protection measures be taken during construction to protect the discovery from disturbance (AB 2641). If the Coroner determines the remains are Native American, the Coroner shall notify the NAHC, which then designates a Native American Most Likely Descendant (MLD) for the Project (§ 5097.98 of the PRC). The designated MLD then has 48 hours from the time access to the property is granted to make recommendations concerning treatment of the remains (AB 2641). If the landowner does not agree with the recommendations of the MLD, the NAHC can mediate (§ 5097.94 of the PRC). If no agreement is reached, the landowner must rebury the remains where they will not be further disturbed (§ 5097.98 of the PRC). This will also include either recording the site with the NAHC or the appropriate information center; using an open space or conservation zoning designation or easement; or recording a deed restriction with the county in which the property is located (AB 2641).</p>	<p>Sacramento County Coroner</p> <p>Native American Heritage Commission</p> <p>Folsom Community Development Department</p>	<p>During construction if human remains are discovered</p>	
Geology and Soils				
3A.7-1a (FPASP EIR/EIS)	<p>Prepare Site-Specific Geotechnical Report per CBC Requirements and Implement Appropriate Recommendations.</p> <p>Before building permits are issued and construction activities begin any project development phase, the project applicant(s) of each project phase shall hire a licensed geotechnical engineer to prepare a final geotechnical subsurface investigation report for the on- and off-site facilities, which shall be submitted for review and approval to the appropriate City or county department (identified below). The final geotechnical engineering report shall address and make recommendations on the following:</p> <ul style="list-style-type: none"> ▲ site preparation; ▲ soil bearing capacity; ▲ appropriate sources and types of fill; ▲ potential need for soil amendmets; ▲ road, pavement, and parking areas; ▲ structural foundations, including retaining-wall design; ▲ grading practices; ▲ soil corrosion of concrete and steel; ▲ erosion/winterization; ▲ seismic ground shaking; 	<p>City of Folsom Community Development Department</p>	<p>Before issuance of building permits and ground-disturbing activities.</p>	

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	<p>▲ liquefaction; and</p> <p>▲ expansive/unstable soils.</p> <p>In addition to the recommendations for the conditions listed above, the geotechnical investigation shall include subsurface testing of soil and groundwater conditions, and shall determine appropriate foundation designs that are consistent with the version of the CBC that is applicable at the time building and grading permits are applied for. All recommendations contained in the final geotechnical engineering report shall be implemented by the project applicant(s) of each project phase. Special recommendations contained in the geotechnical engineering report shall be noted on the grading plans and implemented as appropriate before construction begins. Design and construction of all new project development shall be in accordance with the CBC. The project applicant(s) shall provide for engineering inspection and certification that earthwork has been performed in conformity with recommendations contained in the geotechnical report.</p>			
<p>3A.7-1b (FPASP EIR/EIS)</p>	<p>Monitor Earthwork during Earthmoving Activities.</p> <p>All earthwork shall be monitored by a qualified geotechnical or soils engineer retained by the project applicant(s) of each project phase. The geotechnical or soils engineer shall provide oversight during all excavation, placement of fill, and disposal of materials removed from and deposited on both on- and off-site construction areas.</p> <p>Mitigation for the off-site elements outside of the City of Folsom’s jurisdictional boundaries must be coordinated by the project applicant(s) of each applicable project phase with the affected oversight agency(ies) (i.e., El Dorado and/or Sacramento Counties, or Caltrans).</p>	<p>City of Folsom Community Development Department</p>	<p>Before issuance of building permits and ground-disturbing activities.</p>	
<p>3A.7-3 (FPASP EIR/EIS)</p>	<p>Prepare and Implement the Appropriate Grading and Erosion Control Plan. Before grading permits are issued, the project applicant(s) of each project phase that would be located within the City of Folsom shall retain a California Registered Civil Engineer to prepare a grading and erosion control plan. The grading and erosion control plan shall be submitted to the City Public Works Department before issuance of grading permits for all new development. The plan shall be consistent with the City’s Grading Ordinance, the City’s Hillside Development Guidelines, and the state’s NPDES permit, and shall include the site-specific grading associated with development for all project phases.</p> <p>For the two off-site roadways into El Dorado Hills, the project applicant(s) of that phase shall retain a California Registered Civil Engineer to prepare a grading and erosion control plan. The grading and erosion control plan shall be submitted to the El Dorado County Public Works Department and the El Dorado Hills Community Service District before issuance of grading permits for roadway construction in El Dorado Hills. The plan shall be consistent with El Dorado County’s Grading, Erosion, and Sediment Control Ordinance and the state’s NPDES permit, and shall include the site-specific grading associated with roadway development.</p> <p>For the off-site detention basin west of Prairie City Road, the project applicant(s) of that phase shall retain a California Registered Civil Engineer to prepare a grading and erosion control plan. The grading and erosion control plan shall be submitted to the Sacramento County Public Works Department before issuance of a grading permit. The plan shall be consistent with</p>	<p>City of Folsom Community Development Department</p>	<p>Before the start of construction activities.</p>	

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	<p>Sacramento County’s Grading, Erosion, and Sediment Control Ordinance and the state’s NPDES permit, and shall include the site-specific grading associated with construction of the detention basin.</p> <p>The plans referenced above shall include the location, implementation schedule, and maintenance schedule of all erosion and sediment control measures, a description of measures designed to control dust and stabilize the construction-site road and entrance, and a description of the location and methods of storage and disposal of construction materials. Erosion and sediment control measures could include the use of detention basins, berms, swales, wattles, and silt fencing, and covering or watering of stockpiled soils to reduce wind erosion. Stabilization on steep slopes could include construction of retaining walls and reseeding with vegetation after construction. Stabilization of construction entrances to minimize trackout (control dust) is commonly achieved by installing filter fabric and crushed rock to a depth of approximately 1 foot. The project applicant(s) shall ensure that the construction contractor is responsible for securing a source of transportation and deposition of excavated materials.</p> <p>Mitigation for the off-site elements outside of the City of Folsom’s jurisdictional boundaries must be coordinated by the project applicant(s) of each applicable project phase with the affected oversight agency(ies) (i.e., El Dorado and/or Sacramento Counties).</p> <p>Implementation of Mitigation Measure 3A.9-1 (discussed in Section 3A.9, “Hydrology and Water Quality – Land”) would also help reduce erosion-related impacts.</p>			
<p>3A.7-5 (FPASP EIR/EIS)</p>	<p>Divert Seasonal Water Flows Away from Building Foundations.</p> <p>The project applicant(s) of all project phases shall either install subdrains (which typically consist of perforated pipe and gravel, surrounded by nonwoven geotextile fabric), or take such other actions as recommended by the geotechnical or civil engineer for the project that would serve to divert seasonal flows caused by surface infiltration, water seepage, and perched water during the winter months away from building foundations.</p>	<p>City of Folsom Community Development Department</p>	<p>Before and during earthmoving activities.</p>	
<p>3A.7-10 (FPASP EIR/EIS)</p>	<p>Conduct Construction Personnel Education, Stop Work if Paleontological Resources are Discovered, Assess the Significance of the Find, and Prepare and Implement a Recovery Plan as Required.</p> <p>To minimize potential adverse impacts on previously unknown potentially unique, scientifically important paleontological resources, the project applicant(s) of all project phases where construction would occur in the lone and Mehrten Formations shall do the following:</p> <ul style="list-style-type: none"> ▲ Before the start of any earthmoving activities for any project phase in the lone or Mehrten Formations, the project applicant(s) shall retain a qualified paleontologist or archaeologist to train all construction personnel involved with earthmoving activities, including the site superintendent, regarding the possibility of encountering fossils, the appearance and types of fossils likely to be seen during construction, and proper notification procedures should fossils be encountered. ▲ If paleontological resources are discovered during earthmoving activities, the construction crew shall immediately cease work in the vicinity of the find and notify the appropriate lead agency (identified below). The project 	<p>City of Folsom Community Development Department</p>	<p>During earthmoving activities in the lone and Mehrten Formations.</p>	

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	<p>applicant(s) shall retain a qualified paleontologist to evaluate the resource and prepare a recovery plan in accordance with Society of Vertebrate Paleontology guidelines (1996). The recovery plan may include, but is not limited to, a field survey, construction monitoring, sampling and data recovery procedures, museum storage coordination for any specimen recovered, and a report of findings. Recommendations in the recovery plan that are determined by the lead agency to be necessary and feasible shall be implemented before construction activities can resume at the site where the paleontological resources were discovered.</p> <p>Mitigation for the off-site elements outside of the City of Folsom’s jurisdictional boundaries must be coordinated by the project applicant(s) of each applicable project phase with the affected oversight agency(ies) (i.e., Sacramento County).</p>			
Greenhouse Gas Emissions				
<p>3A.4-1 (FPASP EIR/EIS)</p>	<p>Implement Additional Measures to Control Construction-Generated GHG Emissions.</p> <p>To further reduce construction-generated GHG emissions, the project applicant(s) any particular discretionary development application shall implement all feasible measures for reducing GHG emissions associated with construction that are recommended by SMAQMD at the time individual portions of the site undergo construction. Such measures may reduce GHG exhaust emissions from the use of on-site equipment, worker commute trips, and truck trips carrying materials and equipment to and from the SPA, as well as GHG emissions embodied in the materials selected for construction (e.g., concrete). Other measures may pertain to the materials used in construction. Prior to releasing each request for bid to contractors for the construction of each discretionary development entitlement, the project applicant(s) shall obtain the most current list of GHG reduction measures that are recommended by SMAQMD and stipulate that these measures be implemented in the respective request for bid as well as the subsequent construction contract with the selected primary contractor. The project applicant(s) for any particular discretionary development application may submit to the City and SMAQMD a report that substantiates why specific measures are considered infeasible for construction of that particular development phase and/or at that point in time. The report, including the substantiation for not implementing particular GHG reduction measures, shall be approved by the City, in consultation with SMAQMD prior to the release of a request for bid by the project applicant(s) for seeking a primary contractor to manage the construction of each development project. By requiring that the list of feasible measures be established prior to the selection of a primary contractor, this measure requires that the ability of a contractor to effectively implement the selected GHG reduction measures be inherent to the selection process.</p> <p>SMAQMD’s recommended measures for reducing construction-related GHG emissions at the time of writing this EIR/EIS are listed below and the project applicant(s) shall, at a minimum, be required to implement the following:</p> <ul style="list-style-type: none"> ▲ Improve fuel efficiency from construction equipment: ➤ reduce unnecessary idling (modify work practices, install auxiliary power for driver comfort); ➤ perform equipment maintenance (inspections, detect failures early, corrections); ➤ train equipment operators in proper use of equipment; 	<ol style="list-style-type: none"> 1. For all project-related improvements that would be located within the City of Folsom: City of Folsom Community Development Department. 2. For all on- and off-site project-related activities within the City of Folsom and Sacramento County. 	<p>Before approval of small-hot final maps and building permits for all discretionary development project, including all on- and off-site elements and implementation throughout project construction.</p>	

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	<ul style="list-style-type: none"> ➤ use the proper size of equipment for the job; and ➤ use equipment with new technologies (repowered engines, electric drive trains). <ul style="list-style-type: none"> ▲ Use alternative fuels for electricity generators and welders at construction sites such as propane or solar, or use electrical power. ▲ Use an ARB-approved low-carbon fuel, such as biodiesel or renewable diesel for construction equipment. (Emissions of oxides of nitrogen [NOX] emissions from the use of low carbon fuel must be reviewed and increases mitigated.) Additional information about low carbon fuels is available from ARB’s Low Carbon Fuel Standard Program (ARB 2009b). ▲ Encourage and provide carpools, shuttle vans, transit passes and/or secure bicycle parking for construction worker commutes. ▲ Reduce electricity use in the construction office by using compact fluorescent bulbs, powering off computers every day, and replacing heating and cooling units with more efficient ones. ▲ Recycle or salvage non-hazardous construction and demolition debris (goal of at least 75% by weight). ▲ Use locally sourced or recycled materials for construction materials (goal of at least 20% based on costs for building materials, and based on volume for roadway, parking lot, sidewalk and curb materials). ▲ Minimize the amount of concrete used for paved surfaces or use a low carbon concrete option. ▲ Produce concrete on-site if determined to be less emissive than transporting ready mix. ▲ Use EPA-certified SmartWay trucks for deliveries and equipment transport. Additional information about the SmartWay Transport Partnership Program is available from ARB’s Heavy-Duty Vehicle Greenhouse Gas Measure (ARB 2009c) and EPA (EPA 2009). ▲ Develop a plan in consultation with SMAQMD to efficiently use water for adequate dust control. This may consist of the use of nonpotable water from a local source. <p>In addition to SMAQMD-recommended measures, construction activity shall comply with all applicable rules and regulations established by SMAQMD and ARB.</p>			
3A.4-2a (FPASP EIR/EIS)	<p>Implement Additional Measures to Reduce Operational GHG Emissions. Each increment of new development within the project site requiring a discretionary approval (e.g., proposed tentative subdivision map, conditional use permit), shall be subject to a project-specific environmental review (which could support an applicable exemption, negative or mitigated negative declaration or project-specific EIR) and will require that GHG emissions from operation of each phase of development, including supporting roadway and infrastructure improvements that are part of the selected action alternative, will</p>	City of Folsom Community Development Department.	Before approval of final maps and building permits for all project phases, including all on and off-site elements.	

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	<p>be reduced by an amount sufficient to achieve the 2020-based threshold of significance of 4.36 CO2e/SP/year for development that would become operational on or before the year 2020, and the 2030-based threshold of significance of 2.86 CO2e/SP/year for development that would become operational on or before the year 2030.</p> <p>The above-stated thresholds of significance may be subject to change if SMAQMD approves its own GHG significance thresholds, in which case, SMAQMD-adopted thresholds will be used. The amount of GHG reduction required to achieve the applicable significance thresholds will furthermore depend on existing and future regulatory measures including those developed under AB 32).</p> <p>For each increment of new discretionary development, the City shall submit to the project applicant(s) a list of potentially feasible GHG reduction measures to be considered in the development design. The City's list of potentially feasible GHG reduction measures shall reflect the current state of the regulatory environment, available incentives, and thresholds of significance that may be developed by SMAQMD, which will evolve under the mandate of AB 32 and Executive Order S-3-05. If the project applicant(s) asserts it cannot meet the 2020-based goal, then the report shall also demonstrate why measures not selected are considered infeasible. The City shall review and ensure inclusion of the design features in the proposed project before applicant(s) can receive the City's discretionary approval for the any increment of development. In determining what measures should appropriately be imposed by the City under the circumstances, the City shall consider the following factors:</p> <ul style="list-style-type: none"> ▲ the extent to which rates of GHG emissions generated by motor vehicles traveling to, from, and within the SPA are projected to decrease over time as a result of regulations, policies, and/or plans that have already been adopted or may be adopted in the future by ARB or other public agency pursuant to AB 32, or by EPA; ▲ the extent to which mobile-source GHG emissions, which at the time of writing this EIR/EIS comprise a substantial portion of the state's GHG inventory, can also be reduced through design measures that result in trip reductions and reductions in trip length; ▲ the extent to which GHG emissions emitted by the mix of power generation operated by SMUD, the electrical utility that will serve the SPA, are projected to decrease pursuant to the Renewables Portfolio Standard required by SB 1078 and SB 107, as well as any future regulations, policies, and/or plans adopted by the federal and state governments that reduce GHG emissions from power generation; ▲ the extent to which any stationary sources of GHG emissions that would be operated on a proposed land use (e.g., industrial) are already subject to regulations, policies, and/or plans that reduce GHG emissions, particularly any future regulations that will be developed as part of ARB's implementation of AB 32, or other pertinent regulations on stationary sources that have the indirect effect of reducing GHG emissions; ▲ the extent to which other mitigation measures imposed on the project to reduce other air pollutant emissions may also reduce GHG emissions; 			

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	<ul style="list-style-type: none"> ▲ the extent to which the feasibility of existing GHG reduction technologies may change in the future, and to which innovation in GHG reduction technologies will continue, effecting cost-benefit analyses that determine economic feasibility; and ▲ whether the total costs of proposed mitigation for GHG emissions, together with other mitigation measures required for the proposed development, are so great that a reasonably prudent property owner would not proceed with the project in the face of such costs. <p>In considering how much, and what kind of, mitigation is necessary in light of these factors, the City shall consider the following list of options, though the list is not intended to be exhaustive, as GHG emission reduction strategies and their respective feasibility are likely to evolve over time. These measures are derived from multiple sources including the Mitigation Measure Summary in Appendix B of the California Air Pollution Control Officer’s Association (CAPCOA) white paper, CEQA & Climate Change (CAPCOA 2009a); CAPCOA’s Model Policies for Greenhouse Gases in General Plans (CAPCOA 2009b); and the California Attorney General’s Office publication, The California Environmental Quality Act: Addressing Global Warming Impacts at the Local Agency Level (California Attorney General’s Office 2008).</p> <p>Energy Efficiency</p> <ul style="list-style-type: none"> ▲ Include clean alternative energy features to promote energy self-sufficiency (e.g., photovoltaic cells, solar thermal electricity systems, small wind turbines). ▲ Design buildings to meet CEC Tier II requirements (e.g., exceeding the requirements of the Title 24 [as of 2007] by 35%). ▲ Site buildings to take advantage of shade and prevailing winds and design landscaping and sun screens to reduce energy use. ▲ Install efficient lighting in all buildings (including residential). Also install lighting control systems, where practical. Use daylight as an integral part of lighting systems in all buildings. ▲ Install light-colored “cool” pavements, and strategically located shade trees along all bicycle and pedestrian routes. <p>Water Conservation and Efficiency</p> <ul style="list-style-type: none"> ▲ With the exception of ornamental shade trees, use water-efficient landscapes with native, drought-resistant species in all public area and commercial landscaping. Use water-efficient turf in parks and other turf-dependent spaces. ▲ Install the infrastructure to use reclaimed water for landscape irrigation and/or washing cars. ▲ Install water-efficient irrigation systems and devices, such as soil moisture-based irrigation controls. 			

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	<ul style="list-style-type: none"> ▲ Design buildings and lots to be water-efficient. Only install water-efficient fixtures and appliances. ▲ Restrict watering methods (e.g., prohibit systems that apply water to nonvegetated surfaces) and control runoff. Prohibit businesses from using pressure washers for cleaning driveways, parking lots, sidewalks, and street surfaces. These restrictions should be included in the Covenants, Conditions, and Restrictions of the community. ▲ Provide education about water conservation and available programs and incentives. ▲ To reduce stormwater runoff, which typically bogs down wastewater treatment systems and increases their energy consumption, construct driveways to single-family detached residences and parking lots and driveways of multifamily residential uses with pervious surfaces. Possible designs include Hollywood drives (two concrete strips with vegetation or aggregate in between) and/or the use of porous concrete, porous asphalt, turf blocks, or pervious pavers. <p>Solid Waste Measures</p> <ul style="list-style-type: none"> ▲ Reuse and recycle construction and demolition waste (including, but not limited to, soil, vegetation, concrete, lumber, metal, and cardboard). ▲ Provide interior and exterior storage areas for recyclables and green waste at all buildings. ▲ Provide adequate recycling containers in public areas, including parks, school grounds, golf courses, and pedestrian zones in areas of mixed-use development. ▲ Provide education and publicity about reducing waste and available recycling services. <p>Transportation and Motor Vehicles</p> <ul style="list-style-type: none"> ▲ Promote ride-sharing programs and employment centers (e.g., by designating a certain percentage of parking spaces for ride-sharing vehicles, designating adequate passenger loading and unloading zones and waiting areas for ride-share vehicles, and providing a Web site or message board for coordinating ride-sharing). ▲ Provide the necessary facilities and infrastructure in all land use types to encourage the use of low- or zero-emission vehicles (e.g., electric vehicle charging facilities and conveniently located alternative fueling stations). ▲ At industrial and commercial land uses, all forklifts, “yard trucks,” or vehicles that are predominately used on-site at non-residential land uses shall be electric-powered or powered by biofuels (such as biodiesel [B100]) that are produced from waste products, or shall use other technologies that do not rely on direct fossil fuel consumption. 			

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3A.4-2b (FPASP EIR/EIS)	<p>Participate in and Implement an Urban and Community Forestry Program and/or Off-Site Tree</p> <p>Program to Off-Set Loss of On-Site Trees. The trees on the project site contain sequestered carbon and would continue to provide future carbon sequestration during their growing life. For all harvestable trees that are subject to removal, the project applicant(s) for any particular discretionary development application shall participate in and provide necessary funding for urban and community forestry program (such as the UrbanWood program managed by the Urban Forest Ecosystems Institute [Urban Forest Ecosystems Institute 2009]) to ensure that wood with an equivalent carbon sequestration value to that of all harvestable removed trees is harvested for an end-use that would retain its carbon sequestration (e.g., furniture building, cabinet making). For all nonharvestable trees that are subject to removal, the project applicant(s) shall develop and fund an off-site tree program that includes a level of tree planting that, at a minimum, increases carbon sequestration by an amount equivalent to what would have been sequestered by the blue oak woodland during its lifetime. This program shall be funded by the project applicant(s) of each development phase and reviewed for comment by an independent Certified Arborist unaffiliated with the project applicant(s) and shall be coordinated with the requirements of Mitigation Measure 3.3-5, as stated in Section 3A.3, “Biological Resources - Land.” Final approval of the program shall be provided by the City. Components of the program may include, but not be limited to, providing urban tree canopy in the City of Folsom, or reforestation in suitable areas outside the City. Reforestation in natural habitat areas outside the City of Folsom would simultaneously mitigate the loss of oak woodland habitat while planting trees within the urban forest canopy would not. The California Urban Forestry Greenhouse Gas Reporting Protocol shall be used to assess this mitigation program (CCAR 2008). All unused vegetation and tree material shall be mulched for use in landscaping on the project site, shipped to the nearest composting faciilty, or shipped to a landfill that is equipped with a methane collection system, or combusted in a biomass power plant. Tree and vegetative material should not be burned on- or off-site unless used as fuel in a biomass power plant.</p>	The City of Folsom Community Development Department.	Before approval of final maps and/or building permits for all project phases requiring discretionary approval, including all on- and off-site elements.	
Hazards and Hazardous Materials				
3A.7-4 (FPASP EIR/EIS)	<p>Prepare a Seismic Refraction Survey and Obtain Appropriate Permits for All On-Site and Off-site Elements East of Old Placerville Road.</p> <p>Prior to the commencement of grading and construction activities east of Old Placerville Road, the owner/applicant(s) for any discretionary development application shall retain a licensed geotechnical engineer to perform a seismic refraction survey. Project-related excavation activities shall be carried out as recommend by the geotechnical engineer. Excavation may include the use of heavy-duty equipment such as large bulldozers or large excavators, and may include blasting. Appropriate permits for blasting operations shall be obtained from the relevant City or county jurisdiction prior to the start of any blasting activities.</p> <p>Mitigation for the off-site elements outside of the City of Folsom’s jurisdictional boundaries shall be coordinated by the owner/applicant(s) of each applicable project phase with the affected oversight agency(ies) (i.e., El Dorado and/or Sacramento Counties).</p>	Folsom Engineering Division	Prior to initiation of ground disturbance	

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3A.8-7 (FPASP EIR/EIS)	<p>Prepare and Implement a Vector Control Plan in Consultation with the Sacramento-Yolo Mosquito and Vector Control District.</p> <p>To ensure that operation and design of the stormwater system, including multiple planned detention basins, is consistent with the recommendations of the Sacramento-Yolo Mosquito and Vector Control District regarding mosquito control, the project applicant(s) of all project phases shall prepare and implement a Vector Control Plan. This plan shall be prepared in coordination with the Sacramento-Yolo Mosquito and Vector Control District and shall be submitted to the City for approval before issuance of the grading permit for the detention basins under the City’s jurisdiction. For the off-site detention basin, the plan shall be submitted to Sacramento County for approval before issuance of the grading permit for the off-site detention basin. The plan shall incorporate specific measures deemed sufficient by the City to minimize public health risks from mosquitoes, and as contained within the Sacramento-Yolo Mosquito and Vector Control District BMP Manual (Sacramento-Yolo Mosquito and Vector Control District 2008). The plan shall include, but is not limited to, the following components:</p> <ul style="list-style-type: none"> ▲ Description of the project. ▲ Description of detention basins and all water features and facilities that would control on-site water levels. ▲ Goals of the plan. ▲ Description of the water management elements and features that would be implemented, including: <ul style="list-style-type: none"> i. BMPs that would implemented on-site; ii. public education and awareness; iii. sanitary methods used (e.g., disposal of garbage); iv. mosquito control methods used (e.g., fluctuating water levels, biological agents, pesticides, larvacides, circulating water); and v. stormwater management (consistent with Stormwater Management Plan). ▲ Long-term maintenance of the detention basins and all related facilities (e.g., specific ongoing enforceable conditions or maintenance by a homeowner’s association). <p>To reduce the potential for mosquitoes to reproduce in the detention basins, the project applicant(s) shall coordinate with the Sacramento- Yolo Mosquito and Vector Control District to identify and implement BMPs based on their potential effectiveness for SPA conditions. Potential BMPs could include, but are not limited to, the following:</p> <ul style="list-style-type: none"> i. build shoreline perimeters as steep and uniform as practicable to discourage dense plant growth; ii. perform routine maintenance to reduce emergent plant densities to facilitate the ability of mosquito predators (i.e., fish) to move throughout vegetated area; 	<p>Folsom Community Development Department</p> <p>Sacramento-Yolo Mosquito and Vector Control District</p>	<p>Prior to the issuance of grading permits for the project water features</p>	

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	<p>iii. design distribution piping and containment basins with adequate slopes to drain fully and prevent standing water. The design slope should take into consideration buildup of sediment between maintenance periods. Compaction during grading may also be needed to avoid slumping and settling;</p> <p>iv. coordinate cleaning of catch basins, drop inlets, or storm drains with mosquito treatment operations;</p> <p>v. enforce the prompt removal of silt screens installed during construction when no longer needed to protect water quality;</p> <p>vi. if the sump, vault, or basin is sealed against mosquitoes, with the exception of the inlet and outlet, submerge the inlet and outlet completely to reduce the available surface area of water for mosquito egg- laying (female mosquitoes can fly through pipes); and</p> <p>vii. design structures with the appropriate pumping, piping, valves, or other necessary equipment to allow for easy dewatering of the unit if necessary (Sacramento Yolo Mosquito and Vector Control District 2008).</p> <p>The project applicant(s) of the project phase containing the off-site detention basin shall coordinate mitigation for the off-site with the affected oversight agency (i.e., Sacramento County).</p>			
Hydrology and Water Quality				
3A.9-1 (FPASP EIR/EIS)	<p>Acquire Appropriate Regulatory Permits and Prepare and Implement SWPPP and BMPs.</p> <p>The owner/applicant(s) of all projects disturbing one or more acres (including phased construction of smaller areas which are part of a larger project) shall obtain coverage under the State Water Resources Control Board’s National Pollution Discharge Elimination System stormwater permit for general construction activity (Order 2009-0009-DWQ), including preparation and submittal of a project-specific Storm Water Pollution Prevention Permit at the time the Notice of Intent is filed. The Storm Water Pollution Prevention Permit and other appropriate plans shall identify and specify:</p> <ul style="list-style-type: none"> ▲ the use of an effective combination of robust erosion and sediment control BMPs and construction techniques accepted by the local jurisdictions for use in the project area at the time of construction, that shall reduce the potential for runoff and the release, mobilization, and exposure of pollutants, including legacy sources of mercury from project-related construction sites. These may include but would not be limited to temporary erosion control and soil stabilization measures, sedimentation ponds, inlet protection, perforated riser pipes, check dams, and silt fences ▲ the implementation of approved local plans, non-stormwater management controls, permanent post-construction BMPs, and inspection and maintenance responsibilities; 	Folsom Community Development Department	Prior to the issuance of grading permits for all on-site project phases and off-site elements and implementation throughout project construction	

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	<ul style="list-style-type: none"> ▲ the pollutants that are likely to be used during construction that could be present in stormwater drainage and nonstormwater discharges, including fuels, lubricants, and other types of materials used for equipment operation; ▲ spill prevention and contingency measures, including measures to prevent or clean up spills of hazardous waste and of hazardous materials used for equipment operation, and emergency procedures for responding to spills; ▲ personnel training requirements and procedures that shall be used to ensure that workers are aware of permit requirements and proper installation methods for BMPs specified in the Storm Water Pollution Prevention Permit; and ▲ the appropriate personnel responsible for supervisory duties related to implementation of the Storm Water Pollution Prevention Permit. <p>Where applicable, Best Management Practices identified in the Storm Water Pollution Prevention Permit shall be in place throughout all site work and construction/demolition activities and shall be used in all subsequent site development activities. Best Management Practices may include, but are not limited to, such measures as those listed below:</p> <ul style="list-style-type: none"> ▲ Implementing temporary erosion and sediment control measures in disturbed areas to minimize discharge of sediment into nearby drainage conveyances, in compliance with state and local standards in effect at the time of construction. These measures may include silt fences, staked straw bales or wattles, sediment/silt basins and traps, geofabric, sandbag dikes, and temporary vegetation. ▲ Establishing permanent vegetative cover to reduce erosion in areas disturbed by construction by slowing runoff velocities, trapping sediment, and enhancing filtration and transpiration. ▲ Using drainage swales, ditches, and earth dikes to control erosion and runoff by conveying surface runoff down sloping land, intercepting and diverting runoff to a watercourse or channel, preventing sheet flow over sloped surfaces, preventing runoff accumulation at the base of a grade, and avoiding flood damage along roadways and facility infrastructure. <p>A copy of the approved Storm Water Pollution Prevention Permit shall be maintained and available at all times on the construction site.</p>			
3A.9-2 (FPASP EIR/EIS)	<p>Prepare and Submit Final Drainage Plans and Implement Requirements Contained in Those Plans.</p> <p>The owner/applicant(s) shall submit final drainage plans to the City demonstrating that off-site upstream runoff will be appropriately conveyed through the Folsom Plan Area, and that project-related on-site runoff will be appropriately conveyed and contained in detention basins or managed through other improvements (e.g., source controls, biotechnical stream stabilization) to reduce flooding and hydromodification impacts and provide water quality treatment.</p>	Folsom Public Works Department	Prior to approval of grading plans and building permits of all project phases	

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Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>The plans shall include, but not be limited to, the following items:</p> <ul style="list-style-type: none"> • an accurate calculation of pre-project and post-project runoff scenarios, obtained using appropriate engineering methods, that accurately evaluates potential changes to runoff, including increased surface runoff; • runoff calculations for the 10-year and 100-year (0.01 AEP) storm events (and other, smaller storm events as required) shall be performed and the trunk drainage pipeline sizes confirmed based on alignments and detention facility locations finalized in the design phase; • a description of the proposed maintenance program for the on-site drainage system; • project-specific standards for installing drainage systems; • City flood control design requirements and measures designed to comply with them; Implementation of stormwater management BMPs that avoid increases in the erosive force of flows beyond a specific range of conditions needed to limit hydromodification and maintain current stream geomorphology. These Best Management Practices will be designed and constructed in accordance with the forthcoming Stormwater Quality Partnership Hydromodification Management Plan (to be adopted by the Regional Water Quality Control Board) and may include, but are not limited to, the following: <ul style="list-style-type: none"> i. Use of Low Impact Development (LID) techniques to limit increases in stormwater runoff at the point of origination (these may include, but are not limited to: surface swales; replacement of conventional impervious surfaces with pervious surfaces [e.g., porous pavement]; impervious surfaces disconnection; and trees planted to intercept stormwater); ii. Enlarged detention basins to minimize flow changes and changes to flow duration characteristics; ii. Bioengineered stream stabilization to minimize bank erosion, utilizing vegetative and rock stabilization, and inset floodplain restoration features that provide for enhancement of riparian habitat and maintenance of natural hydrologic and channel to floodplain interactions; iii. Minimize slope differences between any stormwater or detention facility outfall channel with the existing receiving channel gradient to reduce flow velocity; and v. Minimize to the extent possible detention basin, bridge embankment, and other encroachments into the channel and floodplain corridor, and utilize open bottom box culverts to allow sediment passage on smaller drainage courses. <p>The final drainage plan shall demonstrate to the satisfaction of the City of Folsom Community Development and Public Works Departments that 100-year (0.01 AEP) flood flows would be appropriately channeled and contained, such that the risk to people or damage to structures within or down gradient of the Folsom Plan Area would not occur, and that hydromodification would not be increased from pre-development levels such that existing stream geomorphology would be changed (the range of conditions</p>			

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>should be calculated for each receiving water if feasible, or a conservative estimate should be used, e.g., an Ep of 1 ±10% or other as approved by the Sacramento Stormwater Quality Partnership and/or City of Folsom).</p>			
<p>3A.9-3 (FPASP EIR/EIS)</p>	<p>Develop and Implement a BMP and Water Quality Maintenance Plan.</p> <p>A detailed BMP and water quality maintenance plan shall be prepared by a qualified engineer retained by the owner/applicant(s) for the project. The plan shall finalize the water quality improvements and further detail the structural and nonstructural BMPs proposed for the project. The plan shall include the elements described below.</p> <ul style="list-style-type: none"> ▲ A quantitative hydrologic and water quality analysis of proposed conditions incorporating the proposed drainage design features. ▲ Predevelopment and post development calculations demonstrating that the proposed water quality BMPs meet or exceed requirements established by the City of Folsom and including details regarding the size, geometry, and functional timing of storage and release pursuant to the latest edition of the "Stormwater Quality Design Manual for Sacramento and South Placer Regions" (the City's MS4NPDES permit, page 46) and El Dorado County's NPDES SWMP (County of El Dorado 2004). ▲ Source control programs to control water quality pollutants on the SPA, which may include but are not limited to recycling, street sweeping, storm drain cleaning, household hazardous waste collection, waste minimization, prevention of spills and illegal dumping, and effective management of public trash collection areas. ▲ A pond management component for the proposed basins that shall include management and maintenance requirements for the design features and BMPs, and responsible parties for maintenance and funding. ▲ LID control measures shall be integrated into the BMP and water quality maintenance plan. These may include, but are not limited to: <ul style="list-style-type: none"> i. Surface swales; ii. Replacement of conventional impervious surfaces with pervious surfaces (e.g., porous pavement); iii. Impervious surfaces disconnection; and iv. Trees planted to intercept stormwater. <p>New stormwater facilities shall be placed along the natural drainage courses within the Specific Plan Area (SPA) to the extent practicable so as to mimic the natural drainage patterns. The reduction in runoff as a result of the LID configurations shall be quantified based on the runoff reduction credit system methodology described in the latest edition of the "Stormwater Quality Design Manual for the Sacramento and South Placer Regions, and proposed detention basins and other water quality BMPs shall be sized to handle these runoff volumes.</p>	<p>Folsom Community Development Department</p> <p>Folsom Public Works Department</p>	<p>Prior to the issuance of grading permits for all project phases and off-site elements and implementation throughout project construction.</p>	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
3A.9-4 (FPASP EIR/EIS)	<p>Inspect and Evaluate Existing Dams Within and Upstream of the Project Site and Make Improvements if Necessary.</p> <p>Prior to submittal to the City of tentative maps or improvement plans the project applicant(s) of all project phases shall perform conduct studies to determine the extent of inundation in the case of dam failure. If the studies determine potential exposure of people or structures to a significant risk of flooding as a result of the failure of a dam, the applicants(s) shall implement of any feasible recommendations provided in that study, potentially through drainage improvements, subject to the approval of the City of Folsom Public Works Department.</p>	City of Folsom Public Works Department.	Prior to submittal to the City of tentative maps or improvement plans.	
Noise				
3A.11-1 (FPASP EIR/EIS)	<p>Implement Noise-Reducing Construction Practices, Prepare and Implement a Noise Control Plan, and Monitor and Record Construction Noise near Sensitive Receptors.</p> <p>The owner/applicant shall prepare and implement a construction noise management plan. This plan shall identify specific measures to ensure compliance with the noise control measures specified below. The noise control plan shall be submitted to the City of Folsom before any noise-generating construction activity begins and shall be noted on Grading Plans and building construction plans. Grading and construction shall not commence until the construction noise management plan is approved by the City of Folsom.</p> <ul style="list-style-type: none"> ▲ Noise-generating construction operations shall be limited to the hours between 7 a.m. and 7 p.m. Monday through Friday, and between 8 a.m. and 5 p.m. on Saturdays. No construction is allowed on Sundays. ▲ All construction equipment and equipment staging areas shall be located as far as possible from nearby noise-sensitive land uses. ▲ All construction equipment shall be properly maintained and equipped with noise-reduction intake and exhaust mufflers and engine shrouds, in accordance with manufacturers' recommendations. Equipment engine shrouds shall be closed during equipment operation. ▲ All motorized construction equipment shall be shut down when not in use to prevent idling. ▲ Individual operations and techniques shall be replaced with quieter procedures (e.g., using welding instead of riveting, mixing concrete off- site instead of on-site). ▲ Noise-reducing enclosures shall be used around stationary noise-generating equipment (e.g., compressors and generators) as planned phases are built out and future noise sensitive receptors are located within close proximity to future construction activities. ▲ Written notification of construction activities shall be provided to all noise-sensitive receptors located within 850 feet of construction activities. Notification shall include anticipated dates and hours during which construction activities are anticipated to occur and contact information, including a daytime telephone number, for the project representative to be contacted in the event that noise levels are deemed excessive. 	Folsom Community Development Department	During construction	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>Recommendations to assist noise-sensitive land uses in reducing interior noise levels (e.g., closing windows and doors) shall also be included in the notification.</p> <ul style="list-style-type: none"> ▲ To the extent feasible, acoustic barriers (e.g., lead curtains, sound barriers) shall be constructed to reduce construction-generated noise levels at affected noise-sensitive land uses. The barriers shall be designed to obstruct the line of sight between the noise-sensitive land use and on-site construction equipment. When installed properly, acoustic barriers can reduce construction noise levels by approximately 8–10 dB (EPA 1971). ▲ When future noise sensitive uses are within close proximity to prolonged construction noise, noise-attenuating buffers such as structures, truck trailers, or soil piles shall be located between noise sources and future residences to shield sensitive receptors from construction noise. 			
<p>3A.11-3 (FPASP EIR/EIS, updated per 2018 Checklist)</p>	<p>Implement Measures to Prevent Exposure of Sensitive Receptors to Groundborne Noise or Vibration from Project Generated Construction Activities.</p> <ul style="list-style-type: none"> ▲ To the extent feasible, blasting activities shall not be conducted within 275 feet of existing or future sensitive receptors. ▲ To the extent feasible, bulldozing activities shall not be conducted within 50 feet of existing or future sensitive receptors. ▲ All blasting shall be performed by a blast contractor and blasting personnel licensed to operate in the State of California. ▲ A blasting plan, including estimates of vibration levels at the residence closest to the blast, shall be submitted to the enforcement agency for review and approval prior to the commencement of the first blast. ▲ Each blast shall be monitored and documented for groundbourne noise and vibration levels at the nearest sensitive land use and associated recorded submitted to the enforcement agency. ▲ To reduce the potential for annoyance because of blasting and blast-induced air overpressures, the peak value overpressures should not exceed 0.01 psi (equivalent to 110 dB Linear) at the nearest property line, which prevents damage or undue annoyance at neighboring properties. To the extent possible, blasting contractors will design blasts so that a worst-case blast would not exceed 0.01 psi. This generally is done through blast charge and interval delays. 	<p>1. For all project-related improvements that would be located within the City of Folsom: City of Folsom Community Development Department.</p> <p>2. For the two roadway connections off-site into El Dorado Hills: El Dorado County Development Services Department.</p> <p>3. For the off-site detention basin west of Prairie City</p>	<p>Before and during bulldozing and blasting activities on the SPA and within El Dorado Hills and the County of Sacramento</p>	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
		Road: Sacramento County Planning and Community Development Department. 4. For the U.S. 50 interchange improvements: Caltrans.		
3A.11-5 (FPASP EIR/EIS, updated per 2018 Checklist)	<p>Implement Measures to Reduce Noise from Project-Generated Stationary Sources</p> <p>The project applicant(s) for any particular discretionary development project shall implement the following measures to reduce the effect of noise levels generated by on-site stationary noise sources that would be located within 600 feet of any noise-sensitive receptor:</p> <ul style="list-style-type: none"> ▲ Routine testing and preventive maintenance of emergency electrical generators shall be conducted during the less sensitive daytime hours (i.e., 7:00 a.m. to 6:00 p.m.). All electrical generators shall be equipped with noise control (e.g., muffler) devices in accordance with manufacturers’ specifications. ▲ External mechanical equipment associated with buildings shall incorporate features designed to reduce noise emissions below the stationary noise source criteria. These features may include, but are not limited to, locating generators within equipment rooms or enclosures that incorporate noise-reduction features, such as acoustical louvers, and exhaust and intake silencers. Equipment enclosures shall be oriented so that major openings (i.e., intake louvers, exhaust) are directed away from nearby noise-sensitive receptors. ▲ Parking lots shall be located and designed so that noise emissions do not exceed the stationary noise source criteria established in this analysis (i.e., 50 dB for 30 minutes in every hour during the daytime [7 a.m. to 10 p.m.] and less than 45 dB for 30 minutes of every hour during the night time [10 p.m. to 7 a.m.]). Reduction of parking lot noise can be achieved by locating parking lots as far away as feasible from noise sensitive land uses, or using buildings and topographic features to provide acoustic shielding for noise-sensitive land uses. ▲ Loading docks shall be located and designed so that noise emissions do not exceed the stationary noise source criteria established in this analysis (i.e., 50 dB for 30 minutes in every hour during the daytime [7 a.m. to 10 p.m.] and less than 45 dB for 30 minutes of every hour during the night time [10 p.m. to 7 a.m.]). Reduction of loading dock noise can be achieved by locating loading docks as far away as possible from noise sensitive land uses, constructing noise barriers between loading docks and noise-sensitive land uses, or using buildings and topographic features to provide acoustic shielding for noise-sensitive land uses. 	City of Folsom Community Development Department.	Before submittal of improvement plans for each project phase, and during project operations for testing of emergency generators.	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
4.6-3(a) (RR EIR, updated per 2018 Checklist)	<p>Noise Barriers</p> <p>In conjunction with the submittal of improvement plans for each proposed development phase where noise barrier locations are recommended, the owner/applicant shall show on the Improvement Plans that sound walls and/or landscaped berms shall be constructed along US 50, White Rock Road, and Empire Ranch Road. The specific height and locations of the noise barriers shall be confirmed based upon the final approved site and grading plans. All required wall heights shall be relative to finished building pad elevations. Noise barrier walls shall be constructed of concrete masonry units, as required in the Planned Development Guidelines. Abrupt transitions exceeding two feet in height shall be avoided. The Grading and/or Improvement Plans shall be subject to review and approval by the City Engineer.</p> <p>Alternatively, and at the owner/applicant's request and in the City's discretion, the owner/applicant may submit a site-specific acoustical analysis for a specific development phase where noise barrier locations are recommended, that is prepared by an acoustical consultant approved by the City of Folsom to determine and confirm whether sound attenuation is needed, taking into account site-specific conditions (e.g. site design, location of structures, building characteristics, building orientation, etc.) in accordance with adopted noise standards. If sound attenuation is determined by the City to be necessary, the site-specific acoustical analysis shall identify measures to reduce noise impacts to meet the City's noise standards at these locations, including, but not limited to, constructing exterior sound walls, constructing barrier walls and/or berms with vegetation, or other alternative attenuation solution acceptable to the City, provided that the improvement plans are accompanied with the acoustical analysis that confirms whether any proposed alternative solution will meet the adopted City noise standard. The acoustical analysis shall also take into consideration sound attenuation mitigation that may be required of parcels adjacent to the noise barriers.</p> <p>Figure 4.12-1, below, shows where noise barriers are required in response to the site-specific noise analysis done for the Russell Ranch Lots 24-32 Project.</p>	Folsom Community Development Department City Engineer	In conjunction with submittal of Improvement Plans for the development phase where noise barrier locations are recommended	
4.6-3(c) (RR EIR)	<p>Mechanical Ventilation</p> <p>In conjunction with submittal of Building Permits, the owner/applicant shall show on the plans that mechanical ventilation shall be installed in all residential uses to allow residents to keep doors and windows closed, as desired for acoustical isolation. The building plans shall be subject to review and approval by the City Community Development Department.</p>	City of Folsom Community Development Director	In conjunction with submittal of Building Permits	
Public Services				
3A.14-2 (FPASP EIR/EIS)	<p>Incorporate California Fire Code; City of Folsom Fire Code Requirements; and EDHFD Requirements, if Necessary, into Project Design and Submit Project Design to the City of Folsom Fire Department for Review and Approval.</p> <p>To reduce impacts related to the provision of new fire services, the owner/applicant shall do the following, as described below:</p>	Folsom Fire Department Folsom Community	Prior to the issuance of building permits or prior to final inspections for all project phases	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<p>Incorporate into project designs fire flow requirements based on the California Fire Code, Folsom Fire Code (City of Folsom Municipal Code Title 8, Chapter 8.36), and other applicable requirements based on the City of Folsom Fire Department fire prevention standards. Improvement plans showing the incorporation of automatic sprinkler systems, the availability of adequate fire flow, and the locations of hydrants shall be submitted to the City of Folsom Fire Department for review and approval. In addition, approved plans showing access design shall be provided to the City of Folsom Fire Department as described by Zoning Code Section 17.57.080 (“Vehicular Access Requirements”). These plans shall describe access-road length, dimensions, and finished surfaces for firefighting equipment. The installation of security gates across a fire apparatus access road shall be approved by the City of Folsom Fire Department. The design and operation of gates and barricades shall be in accordance with the Sacramento County Emergency Access Gates and Barriers Standard, as required by the City of Folsom Fire Code.</p> <p>Submit a Fire Systems New Buildings, Additions, and Alterations Document Submittal List to the City of Folsom Community Development Department Building Division for review and approval before the issuance of building permits.</p> <p>The Fire Dept. shall review and approve any improvement plans or building permits for accessibility of emergency fire equipment, fire hydrant flow location, and other construction features. The City shall not authorize the occupancy of any structures until the owner/applicant(s) have obtained a Certificate of Occupancy from the City of Folsom Community Development Department verifying that all fire prevention items have been addressed on-site to the satisfaction of the City of Folsom Fire Department.</p>	Development Department		
3A.14-3 (FPASP EIR/EIS)	<p>Incorporate Fire Flow Requirements into Project Designs.</p> <p>The owner/applicant(s) shall incorporate into their project designs fire flow requirements based on the California Fire Code, Folsom Fire Code and shall verify to the City of Folsom Fire Department that adequate water flow is available, prior to approval of improvement plans and issuance of occupancy permits or final inspections for all project phases.</p>	Folsom Fire Department Folsom Community Development Department	Prior to the issuance of building permits or prior to final inspections for all project phases	
Transportation/Traffic				
4.8-1 (RR EIR)	<p>Traffic and Parking Management Plan</p> <p>Prior to the approval of the grading plan and or construction, the owner/applicant shall prepare a construction traffic and parking management plan to the satisfaction of the City Traffic Engineer and subject to review by any affected agencies, if necessary. The plan shall ensure that acceptable operating conditions on local roadways and freeway facilities are maintained. At a minimum, the plan shall include the following:</p> <ul style="list-style-type: none"> ▲ Description of trucks including number and size of trucks per day (i.e., 85 trucks per day), expected arrival/departure times, and truck circulation patterns. 	City Engineer	Prior to the beginning of construction	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
	<ul style="list-style-type: none"> ▲ Description of staging area including location, maximum number of trucks simultaneously permitted in staging area, use of traffic control personnel, and specific signage. ▲ Description of street closures and/or bicycle and pedestrian facility closures including duration, advance warning and posted signage, safe and efficient access routes for existing businesses and emergency vehicles, and use of manual traffic control. ▲ Description of driveway access plan including provisions for safe vehicular, pedestrian, and bicycle travel, minimum distance from any open trench, special signage, and private vehicle accesses. 			
4.8-2(a) (RR EIR)	<p>East Bidwell/Iron Point</p> <p>Prior to issuance of a building permit, the owner/applicant shall pay a fair share fee to the City of Folsom towards the modification to the westbound approach to the East Bidwell Street/Iron Point Road intersection to include three left-turn lanes, two through lanes, and one right-turn lane.</p>	Folsom Community Development Department	Prior to issuance of a building permit	
4.8-2(b) (RR EIR)	<p>White Rock Road / Placerville Road</p> <p>Prior to issuance of a building permit, the owner/applicant shall pay a fair share through the Public Facilities Financing Plan (PFFP) fee to the City of Folsom towards the addition of a westbound right-turn lane to the White Rock Road/Placerville Road intersections.</p>	Folsom Community Development Department	Prior to issuance of a building permit	
4.8-3 (RR EIR)	<p>US 50 from Sunrise Boulevard to East Bidwell Street/Scott Road</p> <p>Participate in Fair Share Funding of Improvements to Reduce Impacts on Eastbound U.S. 50 between Sunrise Boulevard to East Bidwell Street/Scott Road (Freeway Segment 4). To ensure that Eastbound U.S. 50 operates at an acceptable LOS between Folsom Boulevard and Prairie City Road an auxiliary lane shall be constructed. This improvement was recommended in the Traffic Operations Analysis Report for the U.S. 50 Auxiliary Lane Project. This improvement is included in the proposed 50 Corridor Mobility Fee Program. The owner/applicant shall pay its proportionate share of funding of improvements, as may be determined by a nexus study or other appropriate and reliable mechanism paid for by owner/applicant, to reduce the impacts to Eastbound U.S. 50 between Sunrise Boulevard to East Bidwell Street/Scott Road (Freeway Segment 4).</p>	Folsom Community Development Department	Prior to issuance of a building permit MOU	
4.8-6 (RR EIR)	<p>Scott Road/Easton Valley Parkway intersection.</p> <p>The owner/applicant shall pay a fair share fee to the City of Folsom towards the addition of a channelized westbound right-turn lane to the Scott Road/Easton Valley Parkway intersection.</p>	Folsom Community Development Department	Prior to the issuance of a building permit	

Utilities and Service Systems

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
3A.16-1 (FPASP EIR/EIS)	<p>Submit Proof of Adequate On- and Off-Site Wastewater Conveyance Facilities and Implement On- and Off-Site Infrastructure Service Systems or Ensure That Adequate Financing Is Secured.</p> <p>The owner/applicant shall submit proof to the City of Folsom that an adequate wastewater conveyance system either has been constructed or is ensured through payment or other sureties to the City's satisfaction. Both on-site wastewater conveyance infrastructure and off-site force main sufficient to provide adequate service to the project shall be in place for the amount of development identified in the tentative map before approval of the final map and issuance of building permits for all project phases, or their financing shall be ensured to the satisfaction of the City.</p>	<p>Folsom Community Development Department</p> <p>Folsom Public Works Department</p>	<p>Prior to approval of final maps and issuance of building permits for any project phases</p>	
3A.16-3 (FPASP EIR/EIS)	<p>Demonstrate Adequate SRWTP Wastewater Treatment Capacity.</p> <p>The owner/applicant shall demonstrate adequate capacity at the Sacramento Regional Water Treatment Plant for new wastewater flows generated by the project. This shall involve preparing a tentative map-level study and paying connection and capacity fees as identified by Sacramento Regional County Sanitation District. Approval of the final map and issuance of building permits for all project phases shall not be granted until the City verifies adequate Sacramento Regional Water Treatment Plant capacity is available for the amount of development identified in the tentative map. The written approval from the Sacramento Regional County Sanitation District shall be provided to the City.</p>	<p>Folsom Community Development Department</p> <p>Folsom Public Works Department</p>	<p>Prior to approval of final maps and issuance of building permits for any project phases</p>	
3A.18-1 (FPASP EIR/EIS)	<p>Water Supply Availability</p> <p>The owner/applicant shall submit proof of compliance with Government Code Section 66473.7 (SB 221) by demonstrating the availability of a reliable and sufficient water supply from a public water system for the amount of development that would be authorized by the final subdivision map. Such a demonstration shall consist of information showing that both existing sources are available or needed supplies and improvements will be in place prior to occupancy. The written proof of compliance shall be provided to the City and approved by the City prior to approval of any final map.</p>	<p>Folsom Community Development Department</p> <p>Folsom Public Works Department</p>	<p>Prior to approval of final maps and issuance of building permits for any project phases</p>	
3A.18-2a (FPASP EIR/EIS)	<p>Submit Proof of Adequate Off-Site Water Conveyance Facilities and Implement Off-Site Infrastructure Service System or Ensure That Adequate Financing Is Secured.</p> <p>The owner/applicant shall submit proof to the City of Folsom that an adequate off-site water conveyance system either has been constructed or is ensured to the City's satisfaction. The off-site water conveyance infrastructure sufficient to provide adequate service to the project shall be in place for the amount of development identified in the tentative map before approval of a final subdivision map and issuance of building permits for all project phases, or their financing shall be ensured to the satisfaction of the City. A certificate of occupancy shall not be issued for any building within the Specific Plan Area until the water conveyance infrastructure sufficient to serve such building has been constructed and is in place to the satisfaction of the City.</p>	<p>Folsom Community Development Department</p> <p>Folsom Public Works Department</p>	<p>Prior to approval of final maps and issuance of building permits for any project phases</p>	

MITIGATION MONITORING AND REPORTING PROGRAM – RUSSELL RANCH (LOTS 24 THROUGH 32) PROJECT

Mitigation Number (Source)	Mitigation Measure	Monitory Agency	Implementation Schedule	Sign-off
3A.3-1a (FPASP EIR/EIS)	<p>Design Stormwater Drainage Plans and Erosion and Sediment Control Plans to Avoid and Minimize Erosion and Runoff to All Wetlands and Other Waters That Are to Remain on the SPA and Use Low Impact Development Features.</p> <p>To minimize indirect effects on water quality and wetland hydrology, the owner/ owner/applicant(s) shall include stormwater drainage plans and erosion and sediment control plans in their grading and/or improvement plans and shall submit these plans to the City for review and approval. Prior to approval of grading and/or improvement plans, the owner/applicant(s) for any particular discretionary development application shall obtain a NPDES Construction General Permit and Grading Permit, comply with the City's Grading Ordinance and City drainage and stormwater quality standards, and commit to implementing all measures in their drainage plans and erosion and sediment control plans to avoid and minimize erosion and runoff into Alder Creek and all wetlands and other waters that would remain on-site.</p> <p>The owner/applicant(s) shall implement stormwater quality treatment controls consistent with the Stormwater Quality Design Manual for Sacramento and South Placer Regions in effect at the time the application is submitted. Appropriate runoff controls such as berms, storm gates, off-stream detention basins, overflow collection areas, filtration systems, and sediment traps shall be implemented to control siltation and the potential discharge of pollutants. Development plans shall incorporate Low Impact Development (LID) features, such as pervious strips, permeable pavements, bioretention ponds, vegetated swales, disconnected rain gutter downspouts, and rain gardens, where appropriate. Use of LID features is recommended by the EPA to minimize impacts on water quality, hydrology, and stream geomorphology and is specified as a method for protecting water quality in the proposed specific plan. In addition, free spanning bridge systems shall be used for all roadway crossings over wetlands and other waters that are retained in the on-site open space. These bridge systems would maintain the natural and restored channels of creeks, including the associated wetlands, and would be designed with sufficient span width and depth to provide for wildlife movement along the creek corridors even during high-flow or flood events, as specified in the 404 permit.</p> <p>The owner/applicant shall be responsible for all necessary off-site improvements needed to support the Russell Ranch drainage system.</p>	<p>Folsom Public Works Department</p> <p>Caltrans</p> <p>USACE</p> <p>Central Valley RWQCB</p>	<p>Prior to the approval of Improvements and Drainage Plans</p>	



Source: J.C. Brennan & Associates 2017

X17010090 01 007

Exhibit 4.12-1

Noise Barrier Locations



Attachment 2

**Ordinance No. 1323 - An Uncodified Ordinance of the City of Folsom Approving
Amendment No. 3 to the Amended and Restated Tier 1 Development Agreement
Between the City of Folsom and Lennar Homes of California, LLC Relative to the
Russell Ranch Phase 2 Lots 24-32 Project**

ORDINANCE NO. 1323

**AN UNCODIFIED ORDINANCE OF THE CITY OF FOLSOM APPROVING
AMENDMENT NO. 3 TO THE AMENDED AND RESTATED TIER 1 DEVELOPMENT
AGREEMENT BETWEEN THE CITY OF FOLSOM AND LENNAR HOMES OF
CALIFORNIA, LLC RELATIVE TO THE RUSSELL RANCH PHASE 2 LOTS 24-32
PROJECT**

WHEREAS, a Final Environmental Impact Report/Environmental Impact Statement for the Folsom Plan Area Specific Plan was prepared and certified by the City Council on June 11, 2011, and the Sacramento Local Agency Formation Commission approved the City's annexation of the Folsom Plan Area on January 18, 2012; and

WHEREAS, pursuant to the authority in Sections 65864 through 65869.5 of the Government Code, the City Council, following a duly notified public hearing on May 12, 2015, approved the Tier 1 Development Agreement relative to the Folsom Area Specific Plan (Tier 1 DA) for the Russell Ranch Phases 1-3.; and

WHEREAS, the proposed Russell Ranch Phase 2 Lots 24-32 Project consists of the development of 208 unit traditional residential community located within the Folsom Plan Area Specific Plan; and

WHEREAS, the City, the developer of the Russell Ranch Lots 24-32 Project desire to amend the DA in order to provide a minor update to reflect recent entitlements to provide greater certainty and clarity to matters that are common, necessary and essential for the development of the project; and

WHEREAS, the Planning Commission, at its regular meeting on December 15, 2021, considered Amendment No. 3 to the First Amended and Restated Tier 1 Development Agreement by and between the City of Folsom and Lennar Homes of California, LLC relative to the Russell Ranch Lots 24-32 Project at a duly noticed public hearing as prescribed by law, and recommended that the City Council approve said Amendment No. 3; and

WHEREAS, all notices have been given at the time and in the manner required by State Law and the Folsom Municipal Code.

NOW, THEREFORE, the City Council of the City of Folsom hereby does ordain as follows:

SECTION 1 FINDINGS

- A. The above recitals are true and correct and incorporated herein by reference.
- B. The Amendment No. 3 to the First Amended and Restated Tier 1 Development Agreement by and between the City of Folsom and Lennar Homes, LLC is consistent with the objectives, policies, general land uses and programs specified in the City's General Plan and the Folsom Plan Area Specific Plan.
- C. The Amendment No.3 to the First Amended and Restated Tier 1 Development Agreement is in conformity with public convenience, general welfare, and good land use practices.
- D. The Amendment No. 3 will not be detrimental to the health, safety, and general welfare of persons residing in the immediate area, nor be detrimental or injurious to property or persons in the general neighborhood or to the general welfare of the residents of the City as a whole.
- E. The Amendment No. 3 will not adversely affect the orderly development of property or the preservation of property values.
- F. The Amendment No. 3 has been prepared in accordance with, and is consistent with, Government Code Sections 65864 through 65869.5, and City Council Resolution No. 2370.
- G. All notices have been given at the time and in the manner required by State Law and the Folsom Municipal Code.
- H. The Amendment No. 3 is consistent with the Environmental Impact Report / Environmental Impact Statement for the Folsom Plan Area Specific Plan certified by the City Council on June 11, 2011. Based on the analysis, the impacts of the Project are determined to be adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the Russell Ranch Lots 24-32 Environmental Checklist and Addendum. No new impacts as a result of the Project have been identified, which are incorporated herein by reference. None of the events in Sections 15162 and 15163 of the CEQA Guidelines exists which warrant the preparation of a subsequent EIR or supplemental EIR.

SECTION 2 APPROVAL OF AMENDMENT TO DEVELOPMENT AGREEMENT

The Mayor is hereby authorized and directed to execute the Amendment No. 3 to the Amended and Restated Tier 1 Development Agreement by and between the City of Folsom and Lennar Homes of California, LLC on behalf of the City after the effective date of this Ordinance.

SECTION 3 SEVERABILITY

If any section, subsection, sentence, clause, or phrase in this Ordinance or any part thereof is for any reason held to be unconstitutional, invalid, or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of this Ordinance or any part thereof. The City Council declares that it would have passed each section irrespective of the fact that any one or more section, subsection, sentence, clause, or phrase be declared unconstitutional, invalid, or ineffective.

SECTION 4 EFFECTIVE DATE

This ordinance shall become effective thirty (30) days from and after its passage and adoption, provided it is published in full or in summary within twenty (20) days after its adoption in a newspaper of general circulation in the City.

This ordinance was introduced and the title thereof read at the regular meeting of the City Council on January 25, 2022 and the second reading occurred at the regular meeting of the City Council on February 8, 2022.

On a motion by Council Member _____ seconded by Council Member _____, the foregoing ordinance was passed and adopted by the City Council of the City of Folsom, State of California, this 8th day of February 2022, by the following roll-call vote:

- AYES:** Councilmember(s):
- NOES:** Councilmember(s):
- ABSENT:** Councilmember(s):
- ABSTAIN:** Councilmember(s):

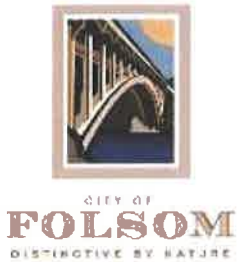
Kerri M. Howell, MAYOR

ATTEST:

Christa Freemantle, CITY CLERK

Attachment 3

Planning Commission Staff Report dated December 15, 2021



AGENDA ITEM NO. 2
Type: Public Hearing
Date: December 15, 2021

Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Russell Ranch Phase 2 Subdivision (Lots 24-32)
File #: PN-21-118
Requests: Large Lot Vesting Tentative Subdivision Map Amendment
Small Lot Vesting Tentative Subdivision Map Amendment
Design Review
Amendment to the Russell Ranch Design Guidelines to remove reference to "Active Adult" uses.
Development Agreement Amendment to add recent entitlements
Approval of Amendment to Street Names

Location: The proposed Russell Ranch Phase 2 Subdivision (Lots 24-32) Project is located north of White Rock Road and east of Empire Ranch Road in the Folsom Plan Area Specific Plan. APNs: 072-3520- 001, 003, 005-016, 019, and 020.

Staff Contact: Kathy Pease, AICP, Contract Planner, 916-812-0749
kpease@masfirm.com

Property Owner
A G Essential Housing CA 4 LP
8585 E Hartford Drive, #118
Scottsdale AZ 85255

Applicant
Lennar Homes of CA
1025 Creekside Ridge #240
Roseville, CA 95678

Recommendation: Conduct a public hearing and upon conclusion recommend approval of the following entitlements, subject to the findings (Findings A-X) and Large Lot Vesting Tentative Subdivision Map conditions of approval (Conditions 1-14) and the Small Lot Map Vesting Tentative Subdivision Map (Conditions 1-66) attached to this report:

- Large Lot Vesting Tentative Subdivision Map Amendment
- Small Lot Vesting Tentative Subdivision Map Amendment
- Amendment to Design Guidelines
- Design Review



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Hearing
Date: December 15, 2021

- Development Agreement Amendment
- Approval of Street Name Changes

Project Summary: The proposed Project includes the following entitlements:

- Large Lot Vesting Tentative Subdivision Map Amendment
- Small Lot Vesting Tentative Subdivision Map Amendment
- Amendments to the Russell Ranch Design Guidelines.
- Design Review
- Development Agreement Amendment to include recent entitlements
- Approval of Street Name Changes

These proposed actions are described in detail and analyzed in this report.

Table of Contents:

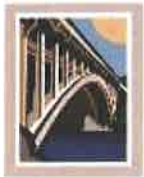
Attachment 1 Background and Setting

Attachment 2 Project Description

- Large Lot Vesting Subdivision Tentative Map
- Small Lot Vesting Tentative Subdivision Map
- Amendment to Russell Ranch Design Guidelines
- Design Review
- Conditions of Approval
- Development Agreement Amendment
- Street Names

Attachment 3 Analysis

- Large Lot Vesting Tentative Subdivision Map
- Small Lot Vesting Tentative Subdivision Map
- Amendment to Russell Ranch Design Guidelines
- Design Review
- Conditions of Approval
- Development Agreement Amendment
- Street Names
- Environmental Review



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Hearing
Date: December 15, 2021

- Attachment 4 Revised Large Lot Vesting Tentative Subdivision Map (Conditions 1-14), Small Lot Vesting Tentative Subdivision Map (Conditions 1-66) Conditions of Approval, and Mitigation and Monitoring Reporting Program
- Attachment 5 Large Lot Vesting Tentative Subdivision Map dated May 7, 2021
- Attachment 6 Small Lot Vesting Tentative Subdivision Map dated October 26, 2021
- Attachment 7 Russell Ranch Design Guideline Amendments
- Attachment 8 Russell Ranch Phase 2 Addendum to the Folsom Plan Area Specific Plan EIR/EIS dated November 15, 2021.
- Attachment 9 Access and Circulation Evaluation, dated November 12, 2021
- Attachment 10 Russell Ranch Phase 2 Design Set dated November 16, 2021
- Attachment 11 Inclusionary Housing Letter dated November 4, 2021
- Attachment 12 Amenity Narrative for Lot A
- Attachment 13 Development Agreement Amendment No. 3

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 BACKGROUND AND SETTING

A. Background: Folsom Plan Area Specific Plan

The proposed Project site is part of the approved Folsom Plan Area Specific Plan (FPASP), a comprehensively planned community that proposes new development based “Smart Growth” and Transit Oriented Development principles.

The Russell Ranch Phase 2 Project site is in the eastern portion of the FPASP and is west of Empire Ranch Road and north of White Rock Road. The Project site is designated in the FPASP with seven land use categories (FPASP Land Use Plan, Figure 1), including SP-P (Park), SP-SF (Single Family Residential), SP-MLD (Multi Family Low Density Residential), SP-SFHD (Single Family High Density) and SP-OS (Open Space).

On May 15, 2015, the City Council approved a General Plan Amendment, Specific Plan Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, Planned Development Permit, Design Guidelines, Inclusionary Housing Plan, and Amended and Restated Development Agreement Amendment for development of an 879-unit single-family residential subdivision known as the Russell Ranch Subdivision within the eastern portion of the Folsom Plan Area. The Russell Ranch Design Guidelines were established to act as an implementation tool for residential development within the Russell Ranch Subdivision.

On June 28, 2016, the City Council approved an Amended Large-Lot Vesting Tentative Subdivision Map and an Amended Small-Lot Vesting Tentative Subdivision Map for development of an 852-unit single-family residential subdivision (Russell Ranch Subdivision).

In 2018, a Small-Lot Vesting Tentative Subdivision Map for the prior Phase 4 and an amendment of a portion of the approved Small-Lot Vesting Tentative Subdivision Map for the prior Phase 3, collectively known as Phase 2 - Lots 24 through 32 was approved..

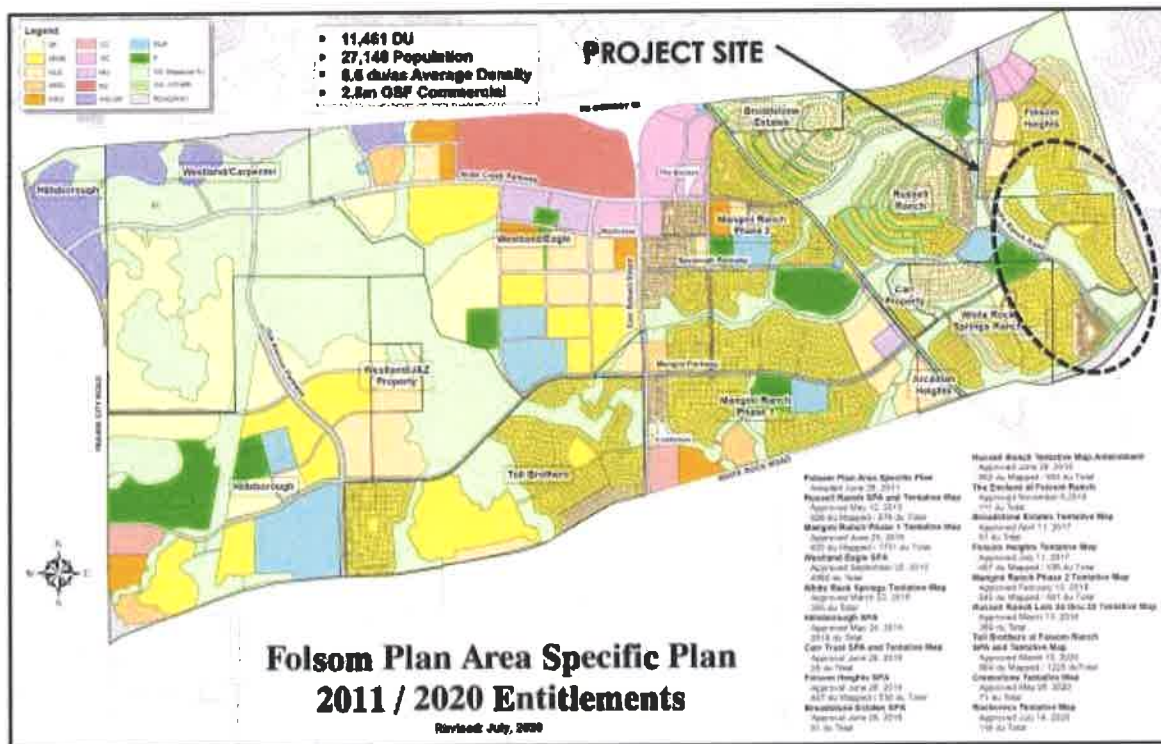
On March 27, 2018, the City Council approved a General Plan Amendment, Specific Plan Amendment, Design Guidelines Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Development Agreement Amendment for the development of a 389-unit residential subdivision (Russell Ranch Lots 24-32 Subdivision). This approval included 208 active adult units. The Design Guidelines Amendment provided additional direction in terms of the architecture and design of the proposed active-adult community and associated community center, and the townhome portions of the Russell Ranch Subdivision.

On November 7, 2018, the Planning Commission approved a Design Review Application for 95 traditional single-family residential units located within Phase 1, Villages 6 and 8 of the previously approved Russell Ranch Subdivision project.

On February 20, 2019, the Planning Commission approved a Design Review Application for 77 traditional single-family residential units located within Phase 1, Villages 1 and 2 of the previously approved Russell Ranch Subdivision project.

In April 2021 a Minor Administrative Modification was approved that refined the boundaries of a neighborhood on the east side to maximize development efficiencies. At that time staff also determined that the revised Small Lot Tentative Subdivision maps were in substantial compliance and did not require additional approval.

FIGURE 1: FPASP LAND USE PLAN



B. Physical Setting

The 134.6-acre Project site is located west of east of Empire Ranch Road, north of White Rock Road in the FPASP. The site features hilly terrain with native grasses and trees. The aerial below shows the Russell Ranch boundary shown in red and the Project boundary shown in red cross hatch.

FIGURE 2: AERIAL PHOTOGRAPH



**ATTACHMENT 2
PROJECT DESCRIPTION**

A. APPLICANT'S PROPOSAL

The Project site is 134.6 acres located in the Russell Ranch area on the east side of the FPASP. The Applicant's proposal is a request to remove 208 active adult designated lots that were previously approved with the maps and convert the units to conventional (non-age restricted) lots. The Russell Ranch Lots 24 through 32 entitlements, approved in 2018, designated active adult units in response to a lack of this housing product type in the FPASP at the time. However, the Toll Brothers at Folsom Ranch Phase 1 Small Lot Tentative Subdivision map has since been approved and includes 590 active-adult homesites. In addition, the proposed Toll Brothers at Folsom Ranch Phase 2 tentative subdivision proposes another 329 active-adult homesites for a total of 919 active-adult units. The Toll Brothers gated community, private recreation amenities, and dog parks, presents market challenges for the Russell Ranch active-adult development that the Applicant feels, result in an over-saturated active-adult housing market. Therefore, the Project proposes to remove the active-adult restrictions and amend the entitlements to provide for traditional lots.

This proposal covers Villages 1, 2 and 4, of the previously approved Phase 2 Russell Ranch subdivision and includes 208 units out of the 389 units located within the subdivision. The entire land use summary for this phase is shown in Table 1 below (Villages 3 and 5 are shaded below and are not proposed for any changes).

TABLE 1: LAND USE SUMMARY

Village	Zoning/ Land Use	Gross Acres	Net Acres	Units	Density
1	SFHD Single-Family High Density	6.8	6.5	33	5.1
2	SFHD	17.3	17.1	79	4.6
3	SFHD	15.8	11.8	63	5.3
4	SFHD	17.1	14.6	96	6.6
5	MLD Multi-Family Low Density	12.4	11.4	118	9.5
A	SFHD Private Recreation	2.1	1.9		

B	Public/Quasi Public	.1	.1		
C	Open Space (Measure W)	12.9	11.7		
D	Open Space (Measure W)	14.8	13.6		
E	Open Space (Measure W)	9.1	8.4		
F	Open Space (Measure W)	1.3	0.9		
G	Open Space (Measure W)	3.2	3.0		
H	Open Space	2.0	1.7		
I	Open Space	1.9	1.4		
Private Park (Lot 5a)	MLD	0.0	1.0		
Landscape	Varies	0.0	11.7		
Right of Way	Roads	17.8	17.8		
Total		134.6	134.6	389	

Active adult uses typically generate fewer persons per household as shown in Table 2.

TABLE 2: COMPARISON OF POPULATION

Land Use	Zoning	Population per Household	Units	Population
Single Family High Density Age Restricted	SP-SFHD 4-7 du/ac	2.00	208	416
Single Family High Density No Age Restriction	SP-SFHD 4-7 du/ac	2.92	208	607
Population Increase				+191

While there would be no change in proposed residential units or density, the anticipated population would increase by 191 persons.

A. Large Lot Vesting Tentative Subdivision Map Amendment

An amendment to the approved Large Lot Tentative Subdivision Map is requested to remove “active adult” from the map. The use would allow conventional residential (non-age restricted). A copy of the Large Lot Vesting Tentative Map can be found as Attachment 4.

B. Small Lot Vesting Tentative Subdivision Map

An amendment to the approved Small Lot Tentative Subdivision Map is requested to remove “active adult” from the map. The proposed use would allow conventional residential (non-age restricted) and would not change the overall unit count. A copy of the Small Lot Tentative Subdivision Map can be found as Attachment 5.

C. Russell Ranch Design Guideline Amendment

As shown in Attachment 6, the Applicant is proposing changes to the Design Guidelines to make it consistent with the elimination of active adult uses by eliminating reference to active adult uses. The proposed changes are shown in red-line, strike-out.

Originally Russell Ranch included two community centers; one for the entire community and one to serve the active adult portion. The active adult proposal included a gated community with a two-acre parcel with a proposed community center/recreation center. However, now that the active adult uses are no longer proposed, the neighborhood would be conventional (no gates, no private community center and streets would be publicly maintained).

According to the Applicant, the location where the Active Adult community center would have been located (Lot A) will include passive recreation amenities open to the entire (Russell Ranch) community. A description of this is included as Attachment 12. The proposal includes covered shade picnic structure(s), bench seating, large open turf area for passive play like kite flying, picnics, and small group field games. It would also include tables and barbecue for dining, a drinking fountain, and possible game tables.

D. Design Review

The Project includes the construction of 208 single family homes. Village 1 and 2 would have average lot sizes of 50' x 105' and Village 4 would have average lots sizes of 55' x 90'. The Project features nine floor plans, ranging from 1,991 to 3,312 square feet in size with a mix of two types of single-story homes and seven two-story homes as shown in Attachment 8.

The Applicant's submittal proposes six architectural styles which are described as follows:

- *Spanish Eclectic* roof elements are primarily hip with some gable elements – primary wall materials are stucco with board and batten and brick veneer accents. Windows are primarily rectangular with some shutter accents and some arch accent windows. Additional detail may include tubular steel pot shelves.
- *California Prairie* roof forms are all hip. Primary wall materials are stucco, horizontal siding and stone veneer accents. Windows may be grouped or individual and occasionally placed asymmetrically or at corners. –
- *California Cottage* – Roof forms are primarily steeper gable with some hip roof elements. Primary wall materials are stucco with board and batten and brick veneer accents. Front gables may include detail at the top of the gable. Windows are primarily rectangular with some shutter accents. Roofs are a lower hip on hip design with flat concrete roof tiles.
- *Spanish Colonia Revival* roof forms are primarily gable with some hip roof elements and S-tile roofs. Primary wall material stucco. Front gables may include accents such as scallop details. Exposed rafter tails occur along front elevations. Windows are primarily rectangular with shutter accents and some signature primary windows. Additional details may include gable ends and tubular steel pot shelves.
- *California Wine* roof forms are primarily gable. Primary wall materials are stucco with shingle siding and stone veneer accents. Windows are primarily rectangular individual or in groups. Additional detail may include standing seam metal roof at porch.
- *Transitional Bungalow* roof forms are primarily gable. Primary wall materials are stucco with shingle siding and stone veneer accents. Windows are primarily rectangular individual or in groups. Additional details include tapered columns at porch, board and batten in gable and braced shed roof elements.

Example illustrations of the architectural styles and floor plans are shown in Figures 4-21 below. The first set of elevations are for the Village 4 Lots 34-149 referred to by the Applicant as the Silver Knoll neighborhood which, based on the small lot size includes all two-story homes. The second set of elevations include both one and two-story homes in Villages 1 and 2 and include Lots 1-33 and 133-208 in an area the Applicant is referring to as the Sterling Hills neighborhood.

All floor plans include a bedroom on the first floor.



FIGURE 3: SILVER KNOLL PLAN 1 ELEVATIONS



**PLAN 1 [2307]
FRONT ELEVATIONS**



FIGURE 4: SILVER KNOLL PLAN 1 FLOOR PLANS

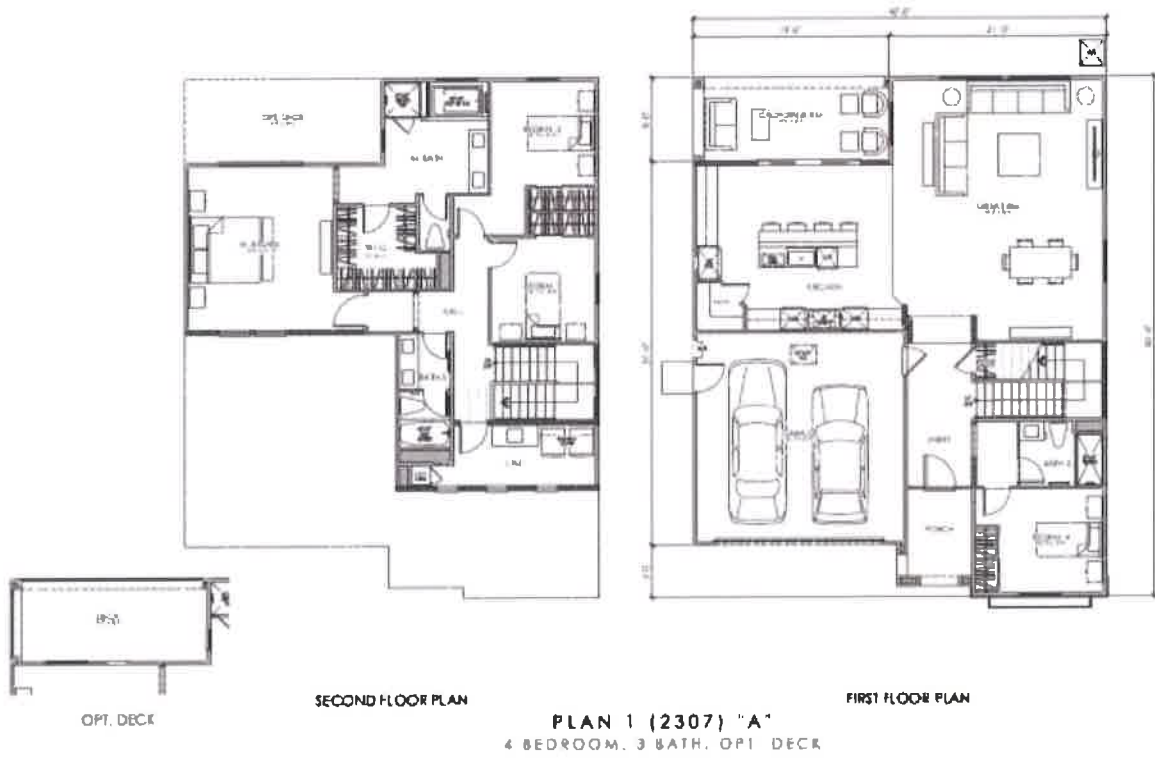


FIGURE 5: SILVER KNOLL PLAN 2 ELEVATIONS



'A' SPANISH ECLECTIC

EXTERIOR LIGHTS



'A' SPANISH ECLECTIC



'B' CALIFORNIA PRAIRIE



'C' CALIFORNIA COTTAGE



'B' CALIFORNIA PRAIRIE



'C' CALIFORNIA COTTAGE

**PLAN 2 (2469)
FRONT ELEVATIONS**



FIGURE 6: SILVER KNOLL PLAN 2 FLOOR PLANS

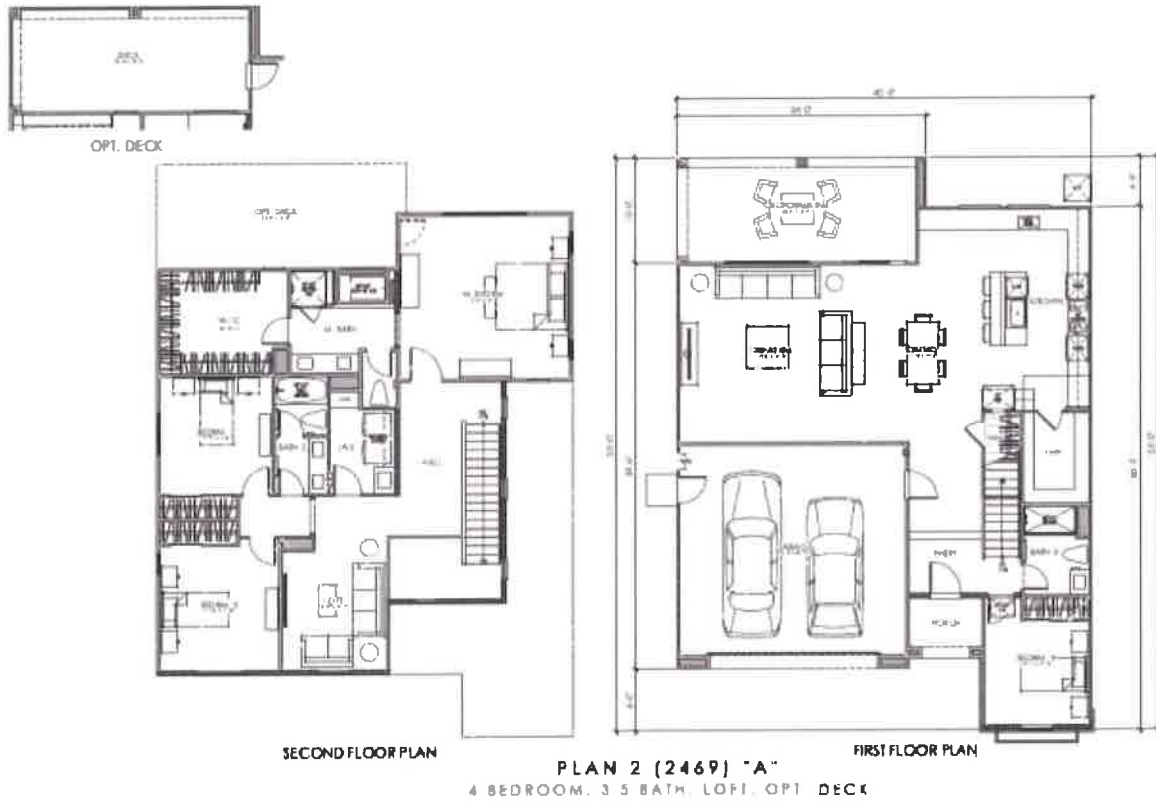


FIGURE 7: SILVER KNOLL PLAN 3 ELEVATIONS



'A' SPANISH ECLECTIC

EXTERIOR LIGHTS



'A' SPANISH ECLECTIC



'B' CALIFORNIA PRAIRIE



'C' CALIFORNIA COTTAGE



'B' CALIFORNIA PRAIRIE



'C' CALIFORNIA COTTAGE

**PLAN 3 (2704)
FRONT ELEVATIONS**



FIGURE 8: SILVER KNOLL PLAN 3 FLOOR PLAN

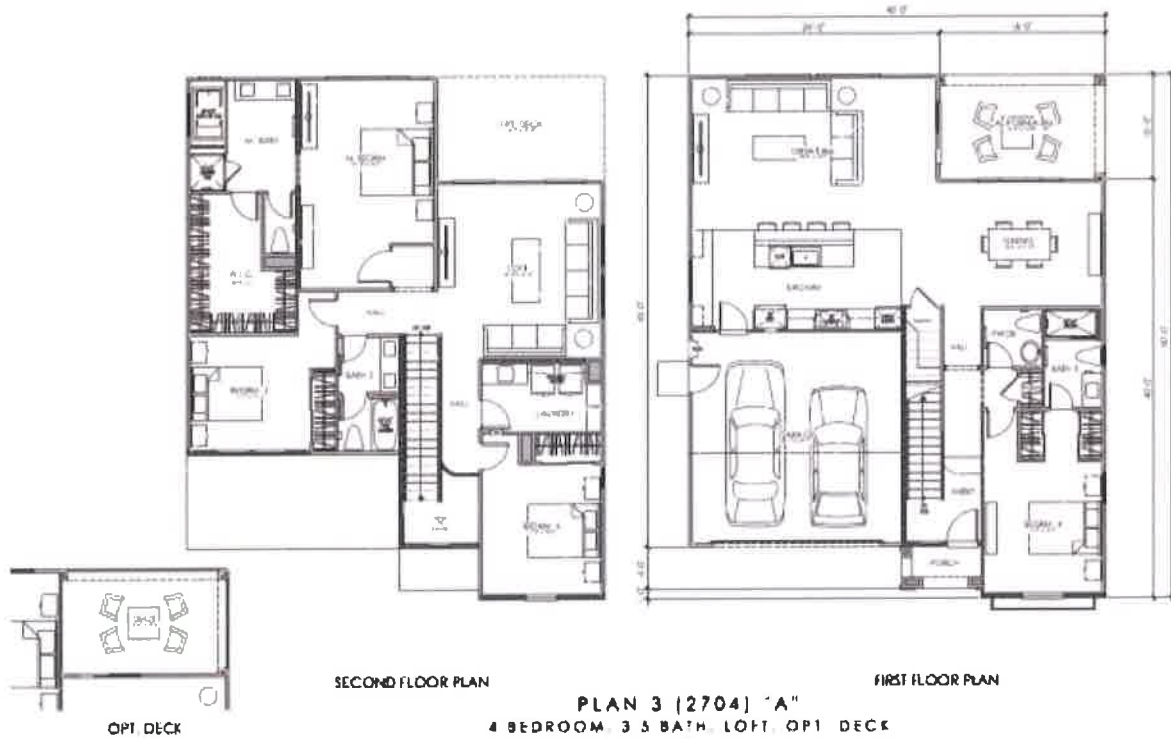


FIGURE 9: PLAN 4 SILVER KNOLL PLAN 4 ELEVATIONS



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'A' SPANISH ECLECTIC

EXTERIOR LIGHTS



'A' SPANISH ECLECTIC



'B' CALIFORNIA PRAIRIE



'C' CALIFORNIA COTTAGE



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'B' CALIFORNIA PRAIRIE



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'C' CALIFORNIA COTTAGE

**PLAN 4 (2804)
FRONT ELEVATIONS**



FIGURE 10: SILVER KNOLL PLAN 4 FLOOR PLAN

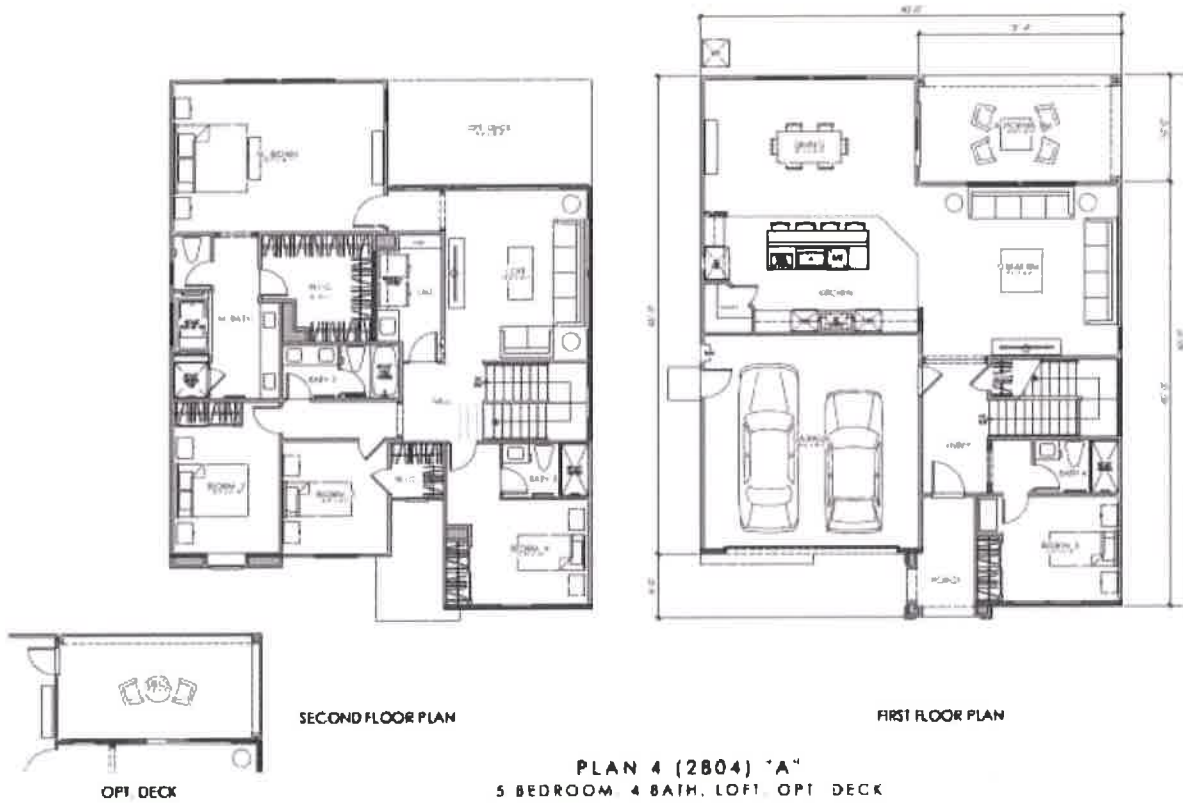


FIGURE 11: PLAN 5 SILVER KNOLL ELEVATIONS



"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

**PLAN 5 (2968)
FRONT ELEVATIONS**



FIGURE 12: SILVER KNOLL PLAN 5 FLOOR PLAN

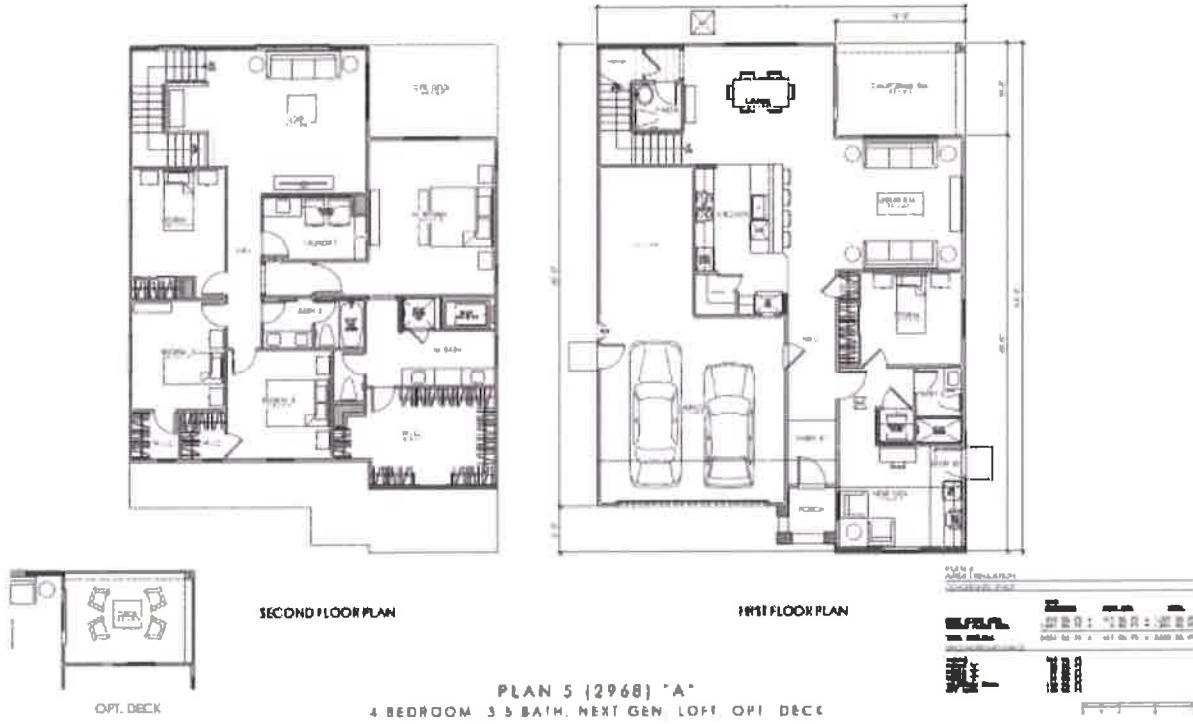


FIGURE 13: STIRLING HILLS CONCEPTUAL STREET SCENE

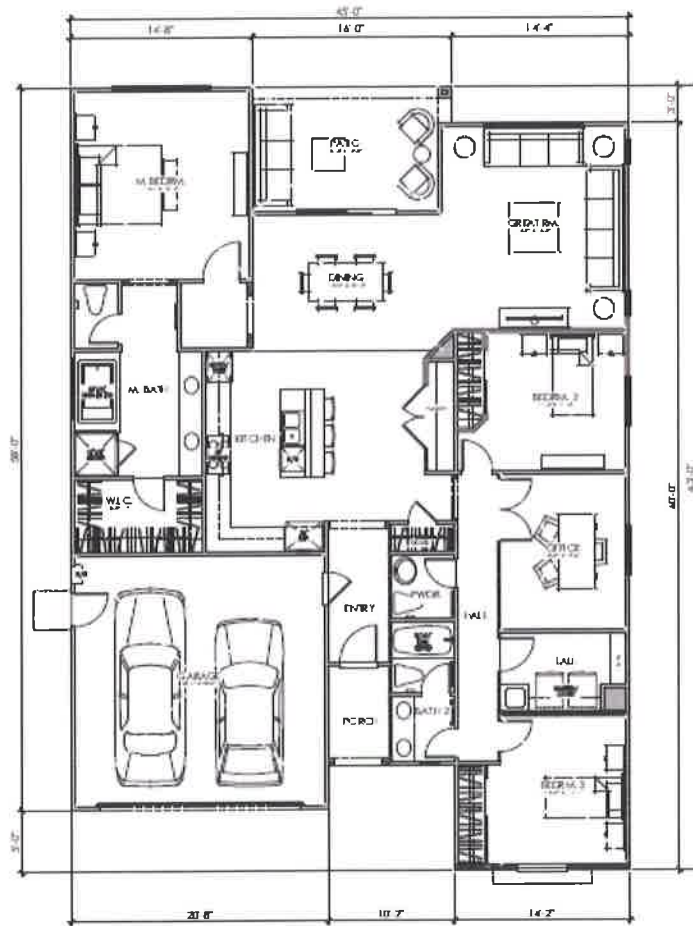


FIGURE 14: STIRLING HILLS PLAN 1



PLAN 1 | 11.9911

FIGURE 15: STIRLING HILLS FLOOR PLAN 1



FLOOR PLAN
PLAN 1 (1991 "A")
3 BEDROOM, 2.5 BATH, OFFICE

FIGURE 16: STIRLING HILLS PLAN 2



***A* SPANISH COLONIAL REVIVAL**

EXTERIOR LIGHTS



***A* SPANISH COLONIAL REVIVAL**

***B* CALIFORNIA WINE**

***C* TRADITIONAL BUNGALOW**

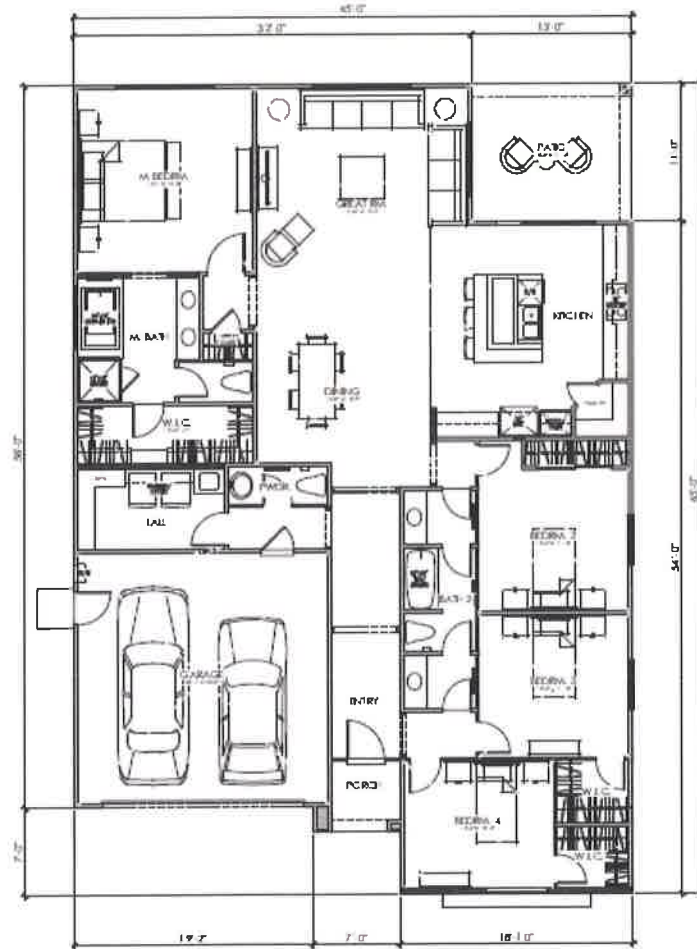


***B* CALIFORNIA WINE**



***C* TRADITIONAL BUNGALOW**

FIGURE 17: STIRLING HILLS FLOOR PLAN 2



FLOORPLAN
PLAN 2 (2162 "A")
4 BEDROOM, 2.5 BATH

FIGURE 18: STIRLING HILLS PLAN 3



A' SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS



A' SPANISH COLONIAL REVIVAL

B' CALIFORNIA WINE

C' TRADITIONAL BUNGALOW

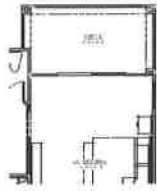


B' CALIFORNIA WINE



C' TRADITIONAL BUNGALOW

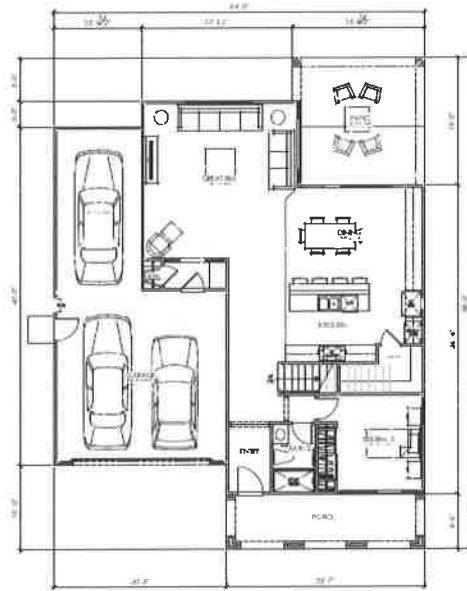
FIGURE 19: STIRLING HILLS FLOOR PLAN 3



OPT. DECK



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 3 (3028 "A")
5 BEDROOM, 3 BATH, LOFT, OPT DECK

FIGURE 20: STIRLING HILLS PLAN 4



A' SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS



A' SPANISH COLONIAL REVIVAL



B' CALIFORNIA WINE



C' TRANSITIONAL BUNGALOW



B' CALIFORNIA WINE

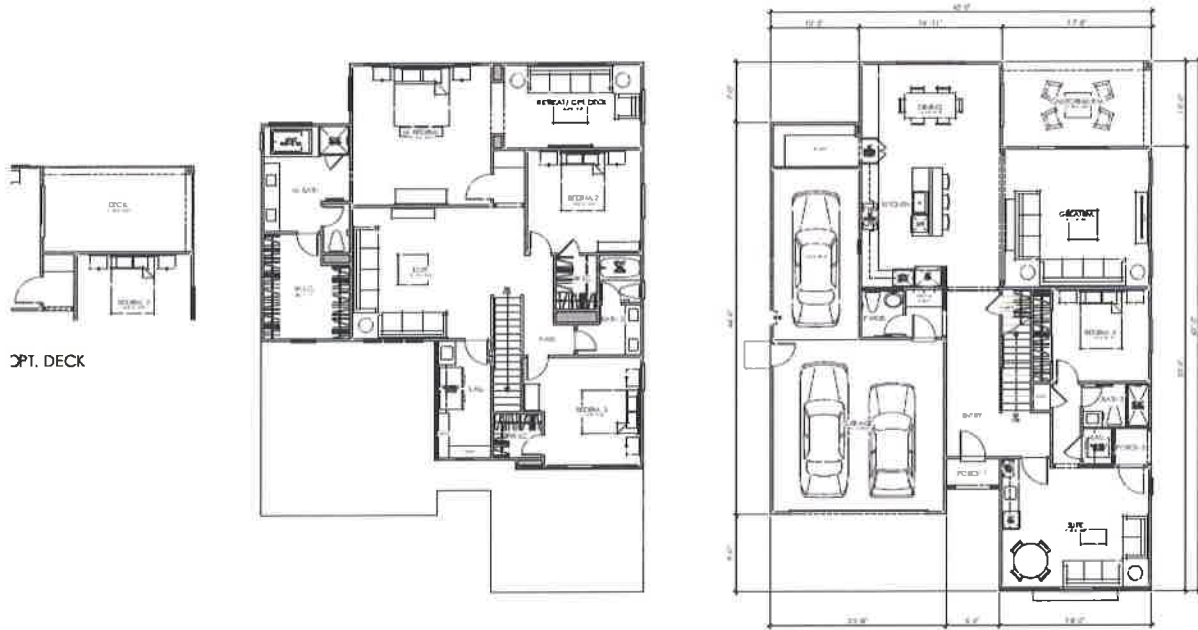


C' TRANSITIONAL BUNGALOW

**PLAN 4 (3312)
FRONT ELEVATIONS**



FIGURE 21: STIRLING HILLS FLOOR PLAN 4



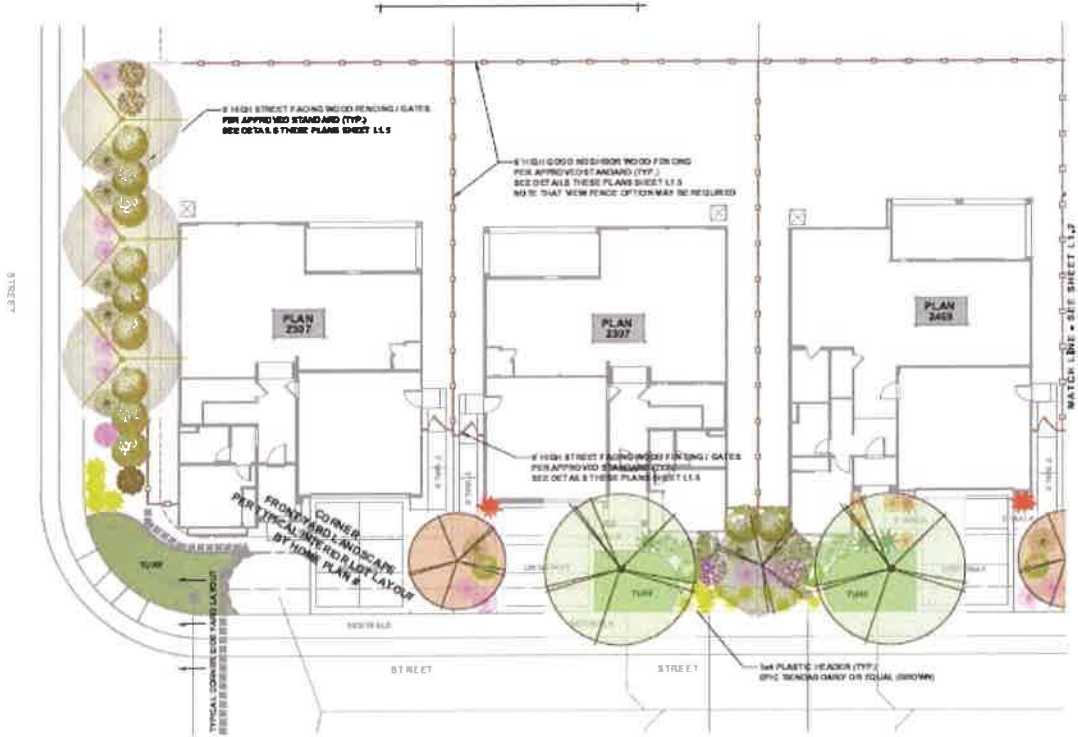
SECOND FLOOR PLAN

FIRST FLOOR PLAN

PLAN 4 (3312 "A")
4 BEDROOM, 3.5 BATH, LOFT, SUITE, OPT DECK

The Applicant has added a note to the design set that indicates that options other than turf would be allowed in the front yard in order to reduce water use.

FIGURE 22: CONCEPTUAL FRONT YARD LANDSCAPING



E. Development Agreement Amendment

A Development Agreement (DA) Amendment is proposed to include the recent entitlements including reference to the General Plan, specific plan, financing plan, intent of the Design Guidelines and reference to supplemental environmental review.

Nothing else would be changed or eliminated.

F. Street Names

When the project was proposed as an active adult community, it was proposed to be gated and the streets were proposed to be privately maintained. It is now proposed that the gates would be eliminated, and the streets would be publicly maintained. The original subdivision approval included private street names including:

- Pleasant Hill Lane
- Via Rancho Lane
- Harvest Gate Lane
- Sky Garden Lane
- Silent Grove Lane
- Via Verona Drive
- Garden Terrace Lane
- Brooks Loop

Now that these roads would be public, "Lane" and "Loop" need to be revised to "Way" and "Drive" and "Circle" consistent with the city's street name nomenclature.

ATTACHMENT 3 ANALYSIS

The following sections provide an analysis of the Applicant's proposal. Staff's analysis addresses the following:

- A. Large Lot Vesting Tentative Subdivision Map amendment
- B. Small Lot Vesting Tentative Subdivision Map amendment
- C. Design Guideline Amendment
- D. Design Review
- E. Development Agreement Amendment
- F. Street Names Amendment
- G. Traffic/Access/Circulation
- H. Conformance with Relevant Folsom General Plan Folsom Plan Area Specific Plan Objectives and Policies
- I. Environmental Review

A. Large Lot Vesting Tentative Map Subdivision Amendment

The proposed change to the approved Large Lot Vesting Tentative Subdivision Map is minor and would remove the reference to "active adult". No boundary changes are proposed, and staff supports this minor change.

B. Small Lot Vesting Tentative Subdivision Map Amendment

The proposed change to the approved Small Lot Vesting Tentative Subdivision Map is minor and would remove the reference to "active adult". No boundary changes are proposed, and the unit count would remain the same. As analyzed below, the change in type of unit, does slightly increase the projected population of the neighborhood, but does not result in a significant impact not previously analyzed in the Russell Ranch EIR. Staff supports this minor change.

C. Design Guideline Amendment

As shown in Attachment 7, the proposed changes to the Russell Ranch Design Guidelines include revisions to Chapter 4 in Section 4.5 starting on page 77, to eliminate the reference to active adult uses, eliminates the description of a second community center and updates the chapter numbering. The elimination of the active adult use and community center from the guidelines does not change the overall vision of the Design Guidelines. In fact, the project area was originally approved without an active adult use. Staff supports this change.

D. Design Review

Villages 1, 2 and 4 are zoned Single Family High Density (SP-SFHD). The proposed subdivision conforms to the development standards established by the FPASP for the SP-SFHD land use category including minimum lot size, maximum lot coverage, and setbacks, as shown in Table 4. No deviations from the standards are proposed.

Table 4: SP-SFHD Single-Family High-Density Development Standards

Development Standard	Requirement	Proposed Project
Minimum Lot Size	4,000	4,000
Front Porch Setback	12.5 Feet	12.5 Feet
Front Primary Structure Setback	15 Feet	15 Feet
Front Garage Setback	20 Feet	20 Feet
Side Yard Setbacks	5 Feet/5 Feet	5 Feet/5 Feet
Rear Yard Setback	10 Feet	10 Feet
Maximum Lot Coverage	50%	50%

Proposed Residential Designs

The Project is located within the eastern portion of the Folsom Plan Area; thus, it is subject to the Russell Ranch Design Guidelines. The Design Guidelines are a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines.

The following are the general architectural principles intended to guide the design of the Russell Ranch, to ensure quality development:

- Embrace understated elegance.
- Create thresholds: destinations, and experience
- Celebrate California's rich heritage: fresh, unique, and local
- Reflect the natural beauty of the site and its surroundings
- Careful consider transition feathering of refine edges to natural open space
- Deliver a lifestyle of health, wellness, fitness, activity and outdoor living in a family-oriented environment.
- Celebrate hillside living through unparalleled views and carefully designed slopes creating meaningful open spaces.

The proposed subdivision maps and proposed residential designs are consistent with these goals.

The Design Guidelines require that specific homes within a subdivision that meet the definition of an "edge condition" lot are required to incorporate enhanced four-sided architectural details.

The Applicant has provided enhanced architectural features on the homes that are visible from street or open space views including additional windows and enhanced window details, siding details and materials (see Attachment 8, Residential Design Set).

Landscaping

Acknowledging the Planning Commission's concern regarding turf in front yard landscaping and a desire for draught tolerant landscaping to reduce water use, Condition No. 42 has been amended to prohibit front yard turf. Further, it indicates that the Russell Ranch Design Guidelines shall be modified to prohibit turf in front yards for Lots 24-32 subdivisions. Currently the Russell Ranch Design Guidelines do not prohibit turf, but they also do not expressly permit turf. This change would clarify the expectation that no turf may be installed in the front yards of residences in the remaining subdivisions requiring Design Review. However, it should be noted that Village 3 within the subdivision has already received Design Review approval that allowed turf, so Village 3 would not be subject to this condition.

In evaluating the proposed project, staff also took into consideration building and design elements that could be considered unique to the Folsom Plan Area. Staff has determined that the proposed architectural styles and master plans do include many unique building and design elements and are consistent with the Russell Ranch Design Guidelines. Based on this analysis, staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for one and two-story homes in six architectural styles with 12 color and material options. The Applicant shall submit building plans that comply with this approval and the attached building elevations dated November 16, 2021.
2. The design, materials, and colors of the single-family residential units shall be consistent with the approved building elevations, materials samples, and color schemes to the satisfaction of the Community Development Department.
3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roofline, same elevation style, side-by-side, or across the street from each other.
4. Decorative light fixtures, consistent with the Design Guidelines and unique to each architectural design theme, shall be added to the front elevation of each Master Plan to the satisfaction of the Community Development Department.

5. A minimum of one street tree shall be planted in the front yard of each residential lot within the subdivision. A minimum of two trees are required along the street-side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final.

These recommendations listed above are included in the conditions of approval presented for consideration by the Planning Commission (Condition No. 59).

E. Development Agreement Amendment

The proposed DA amendment is minor and does not make substantive changes to the agreement. It simply acknowledges changes since the DA was adopted.

F. Street Names Amendment

The proposed street names were reviewed by emergency services personnel, and staff determined that the street names as well as the change from "Loop" and "Lane" to "Way, Drive and Circle" would not conflict. Therefore, it is recommended that the street names be approved for use in the Project:

- Pleasant Hill Way
- Via Rancho Way
- Harvest Gate Way
- Sky Garden Way
- Silent Grove Drive
- Via Verona Drive
- Garden Terrace Drive
- Brooks Circle

G. Traffic/Access/Circulation

Primary access to the SLVSTM portion of the Project would be from Empire Ranch Road and White Rock Road.

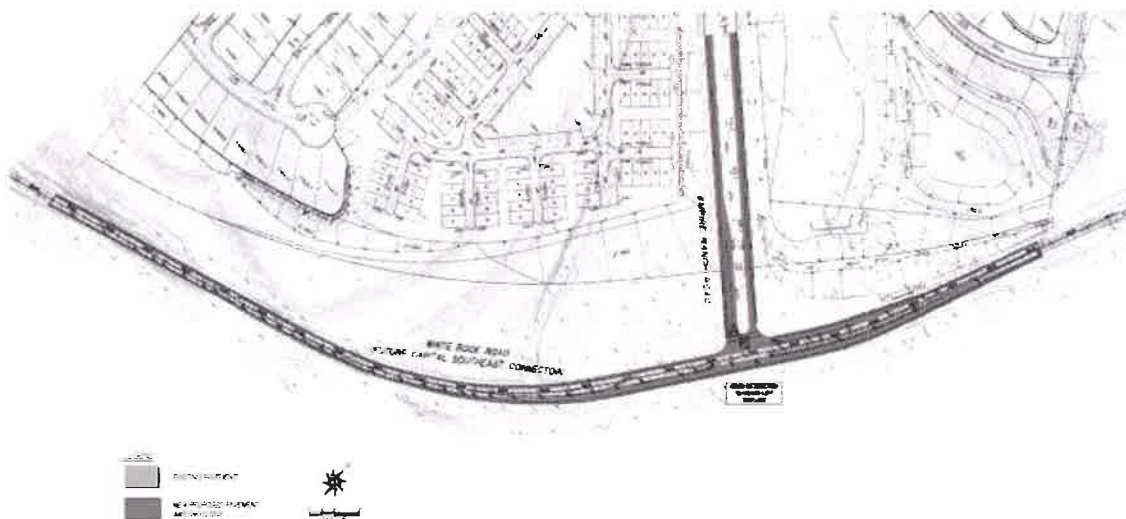
Fehr and Peers prepared an Access Evaluation (November 16, 2021, Attachment 9) to evaluate access and circulation-related impacts associated with the proposed Project. The evaluation primarily looked at the change in trip generation of the Project converting the age restrict uses to conventional lots.

The proposed Project would result in an increase in population and therefore, result in 59 new a.m. peak trips and 79 p.m. peak trips. While this is an increase, the increase was determined to not result in a significant impact.

The analysis also looked at the cumulative condition. Traffic is expected to increase at the intersection of White Rock Road and Empire Ranch Road with or without the Project. The analysis determined that the left turn pocket will need to extend from 250-feet to 400-feet in the future (Figure 23). This is a regional improvement that is needed and is not a specific obligation of this project. The Joint Powers Authority will extend the turn pocket when they construct the ultimate alignment of the Southeast Connector in the future. The Project will pay their fair share obligation through fees paid at the Building Permit stage.

The FPASP established a series of plans and policies for the circulation system within the entire Plan Area. The FPASP circulation system was designed with a sustainable community focus on the movement of people and provides mobility alternatives such as walking, cycling, carpooling, and viable forms of public transportation in addition to vehicular circulation. The circulation plan evaluated regional travel, both in terms of connectivity and capacity and local internal connections and access. The circulation plan also addressed the concerns of regional traffic, including parallel capacity to U.S. Highway 50, and connectivity with surrounding jurisdictions while considering community-wide connectivity, alternative modes of travel, and the provision of complete streets.

FIGURE 23: FUTURE IMPROVEMENTS TO WHITE ROCK ROAD AND EMPIRE RANCH ROAD INTERSECTION



The 2011 Folsom Plan Area Specific Plan Environmental Impact Report/Environmental Impact Statement included not only a detailed analysis of traffic-related impacts within the Plan Area, but also an evaluation of traffic-related impacts on the surrounding communities. There are fifty-four (54) traffic-related mitigation measures associated with development of the FPASP which are included as conditions of approval for the Russell

Ranch Subdivision Project. Many of these mitigation measures are expected to reduce traffic impacts. Included among the mitigation measures are requirements to: fund and construct roadway improvements within the Plan Area, pay a fair-share contribution for construction of improvements north of U.S. Highway 50, participate in the City's Transportation System Management Fee Program, and Participate in the U.S. Highway 50 Corridor Transportation Management Association. The Russell Ranch Subdivision Project is subject to all traffic-related mitigation measures required by the 2011 FPASP EIR/EIS.

H. Conformance with Relevant General Plan and Folsom Plan Area Specific Plan Objectives and Policies

The following is a summary analysis of the Project's consistency with the Folsom General Plan and key policies of the FPASP.

GP and SP OBJECTIVE H-1 (Housing)

To provide an adequate supply of suitable sites for the development of a range of housing types to meet the housing needs of all segments of the population.

GP and SP POLICY H-1.1

The City shall ensure that sufficient land is designated and zoned in a range of residential densities to accommodate the City's regional share of housing.

Analysis: The City provides residential lands at a variety of residential densities as specified in the General Plan and in the Folsom Municipal Code. The FPASP includes specialized zoning (Specific Plan Designations) that are customized to the Plan Area as adopted in 2011 and as amended over time. The FPASP provides residential lands in a range of densities.

The Russell Ranch Lots 24-32 Subdivision Project SLVTSM is consistent with the density range for the SFHD (4 to 7 units per acre) designation.

SP POLICY 4.1

Create pedestrian-oriented neighborhoods using a grid system of streets where feasible, sidewalks, bike paths and trails. Residential neighborhoods shall be linked, where appropriate, to encourage pedestrian and bicycle travel.

Analysis: The Russell Ranch Lots 24-32 Subdivision Project proposes traditional single-family neighborhoods with a system of local streets provided with sidewalks. Biking and walking will be accommodated within the Project and Class I trails, and on-street Class II and Class III bicycle lanes will connect nearby neighborhoods, parks, schools, with Class I bicycle trails.

SP POLICY 4.4

Provide a variety of housing opportunities for residents to participate in the home-ownership market.

Analysis: The FPASP provides home ownership opportunities within multiple single family and multiple-family land use designated areas. Residential development in the MLD (Multi-Family Low Density), MMD (Multi-Family Medium Density), MHD (Multi-Family High Density) and MU (Mixed-Use) land use categories may provide 'for rent' opportunities; however, home ownership may also be accommodated in 'for sale' condos, townhomes, etc. at the time of development.

The Russell Ranch Lots 24-32 Subdivision Project is consistent with this policy in that it will provide detached single family home ownership opportunities within the SFHD designation. The Project provides housing supply in the City of Folsom, proximate to schools, park, trails, commercial services and other amenities that serve residents.

SP POLICY 4.6

As established by the FPASP, the total number of dwelling units for the Plan Area shall not exceed 11,461. The number of units within individual land use parcels may vary, so long as the number of units falls within the allowable density range for a particular land use designation.

Analysis: There have been several Specific Plan Amendments approved by the City Council which have increased residentially zoned land and a decreased commercially zoned land in the FPASP. As a result, the number of residential units within the Plan Area increased from 10,210 to 11,461. The various Specific Plan Amendment EIRs and Addenda analyzed impacts from the conversion of the commercial lands to residential lands; impacts and associated mitigations measures can be found in the individual project-specific environmental documents. The increase in population was analyzed and can be accommodated in the excess capacity of the school sites provided in the Plan Area.

The proposed Project does not result in any change in total dwelling units in the FPASP. The Project proposes to change the units from age-restricted to conventional residential units among parcels within the Project boundary, but the overall unit allocation will remain the same. The change in unit type will not exceed the allowable density for the parcels.

The Proposed project would result in an increase in population that would result in an increase in water use of 83-acre feet per year. The environmental analysis determined that this increase is consistent with what was originally analyzed in the FPASP EIR/EIS and adequate water supply is available to serve the site. In addition, as a condition of the Project (Condition No.) no front yard turf will be allowed, in order to reduce water usage.

SP POLICY 7.1

The roadway network in the Plan Area shall be organized in a grid-like pattern of streets and blocks, except where topography and natural features make it infeasible, for the majority of the Plan Area in order to create neighborhoods that encourage walking, biking, public transit, and other alternative modes of transportation.

Analysis: Consistent with the requirements of the California Complete Streets Act, the FPASP identified and planned for hierarchy of connect “complete streets” to ensure that pedestrian, bike, bus, and automobile modes of travel are designed to have direct and continuous connections throughout the Plan Area. Every option, from regional connector roadways to arterial and local streets, has been carefully planned and designed. Recent California legislation to reduce greenhouse gas emissions (AB 32 and SB 375) has resulted in an increased market demand for public transit and housing located closer to service needs and employment centers. In response to these changes, the FPASP includes a regional transit corridor that will provide public transportation links between the major commercial, public, and multi-family residential land uses in the Plan Area.

The Russell Ranch Lots 24-32 Project has been designed with multiple modes of transportation options (vehicles, bicycle, walking, access to transit and a Class I trail) and an internal street pattern consistent with the approved FPASP circulation plan.

SP POLICY 4.9 (PARKS)

Subdivisions of 200 dwellings units or more not immediately adjacent to a neighborhood or community park are encouraged to develop one or more local parks as needed to provide convenient resident access to children’s play areas, picnic areas and unprogrammed open turf area. If provided, these local parks shall be maintained by a landscape and lighting district or homeowner’s association and shall not receive or provide substitute park land dedication credit for parks required by the FPASP.

Analysis: The Project is consistent with this policy. Lot A will be developed with private park amenities which will provide passive park opportunities within the neighborhood. The proposed Project will not result in Quimby Act requirements to provide additional park land since the overall parks in the FPASP were determined as part of the total units approved by the Specific Plan. Parks and Recreation staff have reviewed and supports the proposed private park amenities.

I. Environmental Review

Ascent Environmental Consultants prepared an Addendum to the Folsom Plan Area Specific Plan EIR/EIS dated November 16, 2021 and found in Attachment No. 8

The City certified the FPASP EIR/EIS on June 28, 2011. Several addendums and subsequent environmental documents have been approved since 2011. The FPASP was updated in 2018 to include all the various approved plan amendments and mapping modifications made since the first approval in 2011. As amended, the FPASP provides for additional residential development, up to a total of 11,461 housing units.

Although the proposed Project would result in a population increase from what was approved in 2018, the population for the Russell Ranch development overall would remain less than what was originally approved when the FPASP was adopted.

Due to the additional discretionary review required for the requested entitlements; and the change in residential unit types and population from the previously approved development, the Project was evaluated for potential new or different impacts in compliance with Section 15162 of the State CEQA Guidelines. Per State CEQA Guidelines Section 15162(b), if changes to a project or its circumstances occur or new information becomes available after adoption of a negative declaration, the lead agency shall prepare a subsequent EIR if required due to new information, new significant effects, or substantially more adverse impacts. Otherwise, the lead agency shall determine whether to prepare a subsequent negative declaration, an addendum, or no further documentation. The population is consistent with the assumptions in the original EIR.

Although the project would not result in changes to the type of development or number of residential dwelling units, implementation of the project would convert planned age-restricted active adult units to traditional units, thereby increasing the projected population at the project site from 829 persons to 1,020 persons (+191). The increase in population would result in an increase in water demand at the site from the amount previously analyzed in the Russell Ranch EIR and the Russell Ranch Lots 24-32 Environmental Checklist and Addendum. The water supply agreement for the FPASP area provides an overall cap of 5,600 acre-feet per year. As of May 2021, total water demand for the entire FPASP is 5,485 acre-feet per year. As such, the 83 acre-feet per year increase in water demand would not exceed water supply for the FPASP, and thus, would not result in any new or substantially more severe impacts.

Based on the analysis, the impacts of the Project are determined to be adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the Russell Ranch Lots 24-32 Environmental Checklist and Addendum. No new impacts as a result of the Project have been identified and Staff has determined that an Addendum is appropriate to document no additional impacts.

RECOMMENDATION/PLANNING COMMISSION ACTION

Move to recommend that the City Council:

- Approve the CEQA Addendum documenting that the Project including a Large Lot Tentative Subdivision Map amendment, Small Lot Vesting Tentative Subdivision Map amendment, Design Review, Development Agreement Amendment and Street Name amendment to convert 208 age restricted units to conventional units does not result in any new impacts not already identified in the Environmental Impact Report/Environmental Impact Statement for the Folsom South of U.S. Highway 50 Specific Plan Project (FPASP EIR/EIS) (State Clearinghouse No. 2008092051) and the Russell Ranch Project Environmental Impact Report (Russell Ranch EIR) (State Clearinghouse No. 2014062018).

These approvals are subject to the proposed findings below (Findings A-X) and the recommended Large Lot Vesting Tentative Subdivision Map (Conditions 1-14) and the Small Lot Vesting Tentative Subdivision Map conditions of approval (Conditions 1-66) attached to this report (Attachment 4).

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, AND THE FOLSOM PLAN AREA SPECIFIC PLAN.

CEQA FINDINGS

- C. THE CITY, AS LEAD AGENCY, PREVIOUSLY CERTIFIED AN ENVIRONMENTAL IMPACT REPORT/ENVIRONMENTAL IMPACT STATEMENT FOR THE FOLSOM SOUTH OF U.S. HIGHWAY 50 SPECIFIC PLAN PROJECT (FPASP EIR/EIS) (STATE CLEARINGHOUSE NO. 2008092051) AND THE RUSSELL RANCH PROJECT ENVIRONMENTAL IMPACT REPORT (RUSSELL RANCH EIR) (STATE CLEARINGHOUSE NO. 2014062018).
- D. THE CITY HAS DETERMINED THAT THE IMPACTS OF THE RUSSELL RANCH SUBDIVISION PROJECT LOTS 24-32 ARE ADEQUATELY ADDRESSED BY THE ENVIRONMENTAL IMPACT REPORT/ENVIRONMENTAL IMPACT STATEMENT FOR THE FOLSOM SOUTH OF U.S. HIGHWAY 50 SPECIFIC PLAN PROJECT (FPASP EIR/EIS) AND THE RUSSELL RANCH PROJECT ENVIRONMENTAL IMPACT REPORT (RUSSELL RANCH EIR) AND AN ADDENDUM TO THE FPASP EIR/EIS AND RUSSELL RANCH EIR IS APPROPRIATE TO DOCUMENT NO NEW SIGNFIICANT IMPACTS CONSISTENT WITH THE REQUIREMENTS OF CEQA PURSUANT TO GOVERNMENT CODE SECTION 15164.

- E. NONE OF THE EVENTS SPECIFIED IN SECTION 21166 OF THE PUBLIC RESOURCES CODE OR SECTION 15162 OF THE CEQA GUIDELINES HAVE OCCURRED.
- F. THE PLANNING COMMISSION HAS CONSIDERED THE ADDENDUM WITH THE ENVIRONMENTAL IMPACT REPORT/ENVIRONMENTAL IMPACT STATEMENT FOR THE FOLSOM SOUTH OF U.S. HIGHWAY 50 SPECIFIC PLAN PROJECT (FPASP EIR/EIS) AND THE RUSSELL RANCH PROJECT ENVIRONMENTAL IMPACT REPORT (RUSSELL RANCH EIR) PRIOR TO MAKING A DECISION ON THIS PROJECT.

AMENDED LARGE LOT VESTING TENTATIVE SUBDIVISION MAP FINDINGS

- G. THE PROPOSED LARGE-LOT VESTING TENTATIVE SUBDIVISION MAP IS CONSISTENT WITH THE CITY'S SUBDIVISION ORDINANCE AND THE SUBDIVISION MAP ACT IN THAT THE PROJECT IS SUBJECT TO CONDITIONS OF APPROVAL THAT WILL ENSURE THAT THE PROJECT IS DEVELOPED IN COMPLIANCE WITH CITY STANDARDS.

AMENDED SMALL LOT VESTING TENTATIVE SUBDIVISION MAP FINDINGS

- H. THE PROPOSED SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP IS CONSISTENT WITH THE CITY'S SUBDIVISION ORDINANCE AND THE SUBDIVISION MAP ACT IN THAT THE PROJECT IS SUBJECT TO CONDITIONS OF APPROVAL THAT WILL ENSURE THAT THE PROJECT IS DEVELOPED IN COMPLIANCE WITH CITY STANDARDS.
- I. THE PROPOSED SUBDIVISION, TOGETHER WITH THE PROVISIONS FOR ITS DESIGN AND IMPROVEMENT, IS CONSISTENT WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND ALL APPLICABLE PROVISIONS OF THE FOLSOM MUNICIPAL CODE.
- J. THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT PROPOSED.
- K. THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF THE DEVELOPMENT.
- L. AS CONDITIONED, THE DESIGN OF THE SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.
- M. AS CONDITIONED, THE DESIGN OF THE SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH OR SAFETY PROBLEMS.

- N. THE DESIGN OF THE SMALL-LOT VESTING TENTATIVE SUBDIVISION MAP AND THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

DESIGN REVIEW FINDINGS

- O. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE APPLICABLE ZONING ORDINANCES.
- P. THE PROJECT IS IN CONFORMANCE WITH THE RUSSELL RANCH DESIGN GUIDELINES, WITH THE EXCEPTION OF THE DESIGN GUIDELINE PROPOSED FOR AMENDMENT AS A PART OF THIS APPLICATION.
- Q. THE BUILDING MATERIALS, TEXTURES, AND COLORS OF THE PROJECT WILL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

AMENDED RUSSELL RANCH DESIGN GUIDELINES FINDINGS

- R. THE PROPOSED RUSSELL RANCH DESIGN GUIDELINES MODIFICATION IS CONSISTENT WITH AND DOES NOT SUBSTANTIALLY CHANGE THE OVERALL INTENT OF THE DESIGN GUIDELINES AND DOES NOT SIGNIFICANTLY ALTER THE QUALITY OF CHARACTER OF THE SUBDIVISION.
- S. THE PROPOSED RUSSELL RANCH DESIGN GUIDELINES MODIFICATION DOES NOT SIGNIFICANTLY ALTER THE QUALITY OR CHARACTER OF THE SUBDIVISION.

DEVELOPMENT AGREEMENT AMENDMENT FINDINGS

- T. THE PROPOSED AMENDMENT NO. 3 TO THE FIRST AMENDED AND RESTATED TIER 1 DEVELOPMENT AGREEMENT IS CONSISTENT WITH THE OBJECTIVES, POLICIES, GENERAL LAND USES AND PROGRAMS SPECIFIED IN THE CITY GENERAL PLAN (AS AMENDED) AND THE FOLSOM PLAN AREA SPECIFIC PLAN (AS AMENDED).
- U. THE PROPOSED AMENDMENT NO. 3 TO THE FIRST AMENDED AND RESTATED TIER 1 DEVELOPMENT AGREEMENT IS IN CONFORMITY WITH PUBLIC CONVENIENCE, GENERAL WELFARE, AND GOOD LAND USE PRACTICES.
- V. THE PROPOSED AMENDMENT NO. 3 TO THE FIRST AMENDED AND RESTATED TIER 1 DEVELOPMENT AGREEMENT WILL NOT BE DETRIMENTAL

TO THE HEALTH, SAFETY, AND GENERAL WELFARE OF PERSONS RESIDING IN THE IMMEDIATE AREA, NOR BE DETRIMENTAL OR INJURIOUS TO PROPERTY OR PERSONS IN THE GENERAL NEIGHBORHOOD OR TO THE GENERAL WELFARE OF THE RESIDENTS OF THE CITY AS A WHOLE.

W. THE PROPOSED AMENDMENT NO. 3 TO THE FIRST AMENDED AND RESTATED TIER 1 DEVELOPMENT AGREEMENT WILL NOT ADVERSELY AFFECT THE ORDERLY DEVELOPMENT OF PROPERTY OR THE PRESERVATION OF PROPERTY VALUES.

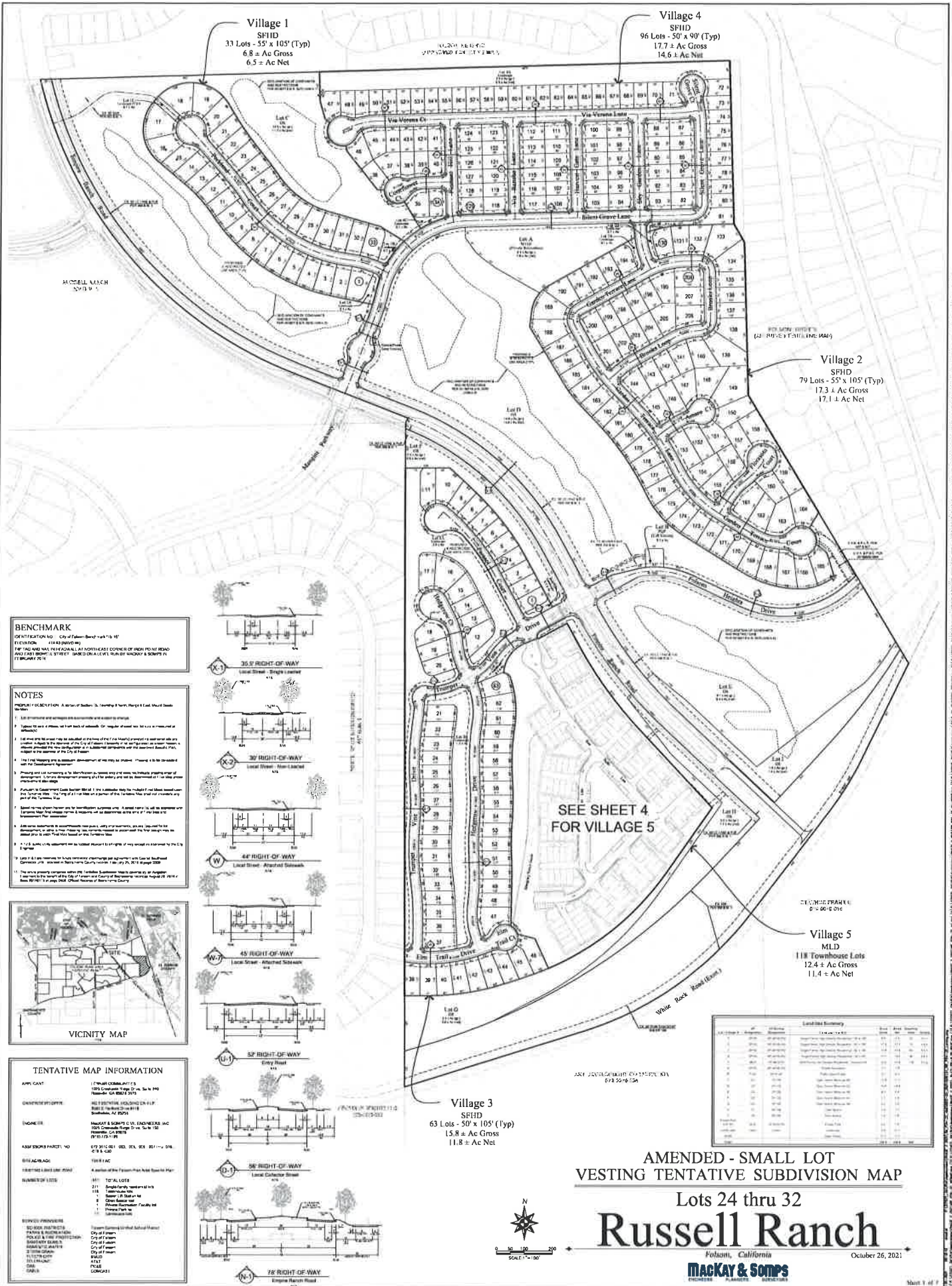
X. THE PROPOSED AMENDMENT NO. 3 TO THE FIRST AMENDED AND RESTATED TIER DEVELOPMENT AGREEMENT IS CONSISTENT WITH THE PROVISIONS OF GOVERNMENT CODE SECTIONS 65864 THROUGH 65869.5.

Attachment 4

Large-Lot Vesting Tentative Subdivision Map, dated May 7, 2021

Attachment 5

Small-Lot Vesting Tentative Subdivision Map, dated October 26, 2021



Village 1
SFHD
33 Lots - 55' x 105' (Typ)
6.8 ± Ac Gross
6.5 ± Ac Net

Village 4
SFHD
96 Lots - 50' x 90' (Typ)
17.7 ± Ac Gross
14.6 ± Ac Net

Village 2
SFHD
79 Lots - 55' x 105' (Typ)
17.3 ± Ac Gross
17.1 ± Ac Net

Village 3
SFHD
63 Lots - 50' x 105' (Typ)
15.8 ± Ac Gross
11.8 ± Ac Net

Village 5
MLD
118 Townhouse Lots
12.4 ± Ac Gross
11.4 ± Ac Net

SEE SHEET 4
FOR VILLAGE 5

Land Use Summary		Area	Acres
1. Single-Family Detached	33	6.8	
2. Single-Family Attached	96	14.6	
3. Medium-Density Residential	79	17.1	
4. Medium-Density Residential (Townhouse)	118	11.4	
5. Other	0	0.0	
TOTAL	316	50.9	

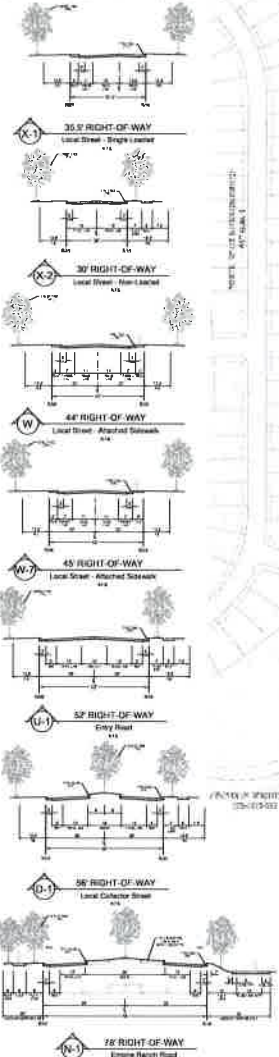
BENCHMARK
IDENTIFICATION: City of Folsom Bench Mark 16 16'
ELEVATION: 114.88 (MGS 85)
EASTING AND NORTHING: 453,430.00
EASTING AND NORTHING: 1,600,000.00
EASTING AND NORTHING: 1,600,000.00
EASTING AND NORTHING: 1,600,000.00

- NOTES**
1. All dimensions and areas are approximate and subject to change.
 2. Typical lot width is 55 feet, but may vary between 45' and 65' feet.
 3. All lots are to be developed in accordance with the City of Folsom's Comprehensive Ordinance 10.01.010, which requires that all lots be developed in accordance with the City of Folsom's Comprehensive Ordinance 10.01.010.
 4. The City of Folsom is not responsible for the accuracy of the information provided in this map.
 5. The City of Folsom is not responsible for the accuracy of the information provided in this map.
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 7. The City of Folsom is not responsible for the accuracy of the information provided in this map.
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 10. The City of Folsom is not responsible for the accuracy of the information provided in this map.
 11. The City of Folsom is not responsible for the accuracy of the information provided in this map.



TENTATIVE MAP INFORMATION

APPLICANT: [Name]
ENGINEER: [Name]
DATE: [Date]



AMENDED - SMALL LOT
VESTING TENTATIVE SUBDIVISION MAP
Lots 24 thru 32
Russell Ranch
Folsom, California
Mackay & Somp
October 26, 2021

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 11. The City of Folsom is not responsible for the accuracy of the information provided in this map.

Attachment 6

Russel Ranch Design Guideline Amendments

PLANNED DEVELOPMENT DESIGN GUIDELINES
AND BROADSTONE ESTATES AT RUSSELL RANCH
RUSSELL RANCH



RUSSELL RANCH

AND BROADSTONE ESTATES AT RUSSELL RANCH

PLANNED DEVELOPMENT DESIGN GUIDELINES

ADOPTED 2018
REVIS²⁰²¹ED APRIL ~~2019~~



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4.5 ACTIVE ADULT

Russell Ranch will feature an active adult neighborhood within the community for residents seeking a living experience designed specifically for residents 55 and better. The active adult neighborhood will feature a private, gated entrance, its own private clubhouse amenity and will share access to the Russell Ranch trail system.

The Active Adult neighborhood will comply with the SFHD guidelines set forth in the Architecture section of this document.

5 4.6 THE TOWNHOMES

The Townhomes provide an opportunity to create an eclectic urban micro-neighborhood environment within Russell Ranch and there are certain defining elements that the Townhomes must exhibit. When designing townhomes, which are typically distinguished as being narrow in nature, the quantity, scale, and placement of architectural detail must be judicious to not overwhelm the scale of the building.

- The architectural style must be selected from the permitted architectural styles described in this chapter.
- To avoid dominant unbroken planes and create shadow lines, TheTownhomes must provide vertical articulation at the front elevation.
- Varied setbacks for different portions of the home, such as garages, second floors, balconies, etc., are encouraged.
- Massing of forms must be established using the fundamental characteristics of the selected architectural style.

- Contemporary interpretations of the architectural styles permitted for The Townhomes are encouraged through the use of eclectic materials, such as metals (must be anti-reflective) and variations on traditional siding, asymmetrical roof pitches, and playful massing and use of color.



Townhome Concept Imagery

6 4.7 THE RECREATION CENTER

Russell Ranch will feature ^a two recreation centers, ^{which} one for the multigenerational portion of the neighborhood and one for the active adult portion of the neighborhood. The recreation centers will provide an opportunity for residents of the neighborhood to gather and enjoy a beautiful indoor-outdoor environment. The Recreation Centers will feature architecture that blends historic with contemporary to create a truly iconic neighborhood building that residents and visitors alike will admire. The design intent is to convey the impression of an historic structure with a contemporary addition.

The following defining characteristics are intended as a kit of parts and set of rules to influence the design of the Recreation Centers. A combination of these elements should be used to inform the design of the building (all of the elements are not required).

- Casual, asymmetrical form with a combination of gable and shed roof forms.

- Overgrouted stone as a significant wall material, utilized to present full massing elements. For example, an entire central mass of the structure may feature stone, with wings of a complementary material, such as stucco. This design solution gives the appearance of an original structure with wings added on over time.
- A clerestory roof form in the central portion of the structure is appropriate.
- Wall materials may be overgrouted stone or brick, smooth or imperfect smooth stucco or plaster, and glass.
- Accent materials include heavy beams, rusted metal, wrought iron, copper, and precast concrete.
- The primary roof should be barrel or S-tile, which may be boosted.
- The contemporary portion of the building may feature a metal standing seam roof.
- Rain chains should be used in place of traditional downspouts.
- Windows may be recessed and void of trim, or feature full window surrounds, which may be precast concrete or wood.
- Arched windows are appropriate as feature or accent windows.
- Exposed beams and structural connections should be celebrated as part of the design statement.
- Site structures, such as restrooms, cabanas, pool equipment rooms, and trash enclosures must complement the design of the primary structure.
- Mechanical and pool equipment must be screened from sight through integrated walls, landscaping, or a combination of both.



Recreation Center Concept Imagery



7 4.8 THE SCHOOL

Although it is recognized that school architecture is governed by functionality and a specialized kit of parts and set of rules, the elementary school located at Russell Ranch is encouraged to complement the surrounding neighborhood in its design. The following recommendations are encouraged for consideration in design of the school:

- The school is encouraged to draw inspiration from the approved architectural styles found in these Guidelines.
- A simplified interpretation of the selected architectural style is appropriate.
- Earth tone colors are encouraged in rich hues.
- Recommended wall materials include stucco, brick, horizontal siding, and board and batten siding.
- Standing seam metal is the recommended material for the roof in dark earth tone colors.



School Concept Imagery

Attachment 7

Russell Ranch Phase 2 Design Set dated November 16, 2021,
dated December 4, 2020

RUSSELL  RANCH
FOLSOM, CA



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A-2	Typical Plotting	A-35	Plan 4 - (2804) Floor Plan
A-3	Articulation Plan	A-36	Plan 4 - (2804 "A") Spanish Eclectic Elevation
		A-37	Plan 4 - (2804 "A") Spanish Eclectic Opt. Deck Elevation
A-4	Plan 1 - (2307) Front Elevations	A-38	Plan 4 - (2804 "B") California Prairie Elevation
A-5	Plan 1 - (2307) Floor Plan	A-39	Plan 4 - (2804 "B") California Prairie Opt. Deck Elevation
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A-79	Plan 3 - (3028 "C") Transitional Bungalow Elevation	L2.3	Irrigation Calcs
A-80	Plan 3 - (3028 "C") Transitional Bungalow Opt. Deck Elevation		
A-81	Plan 3 - (3028) Roof Plans		
A-82	Plan 3 - (3028) Roof Plans Opt. Deck		

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Silver Knoll at

RUSSELL



RANCH

FOLSOM, CA



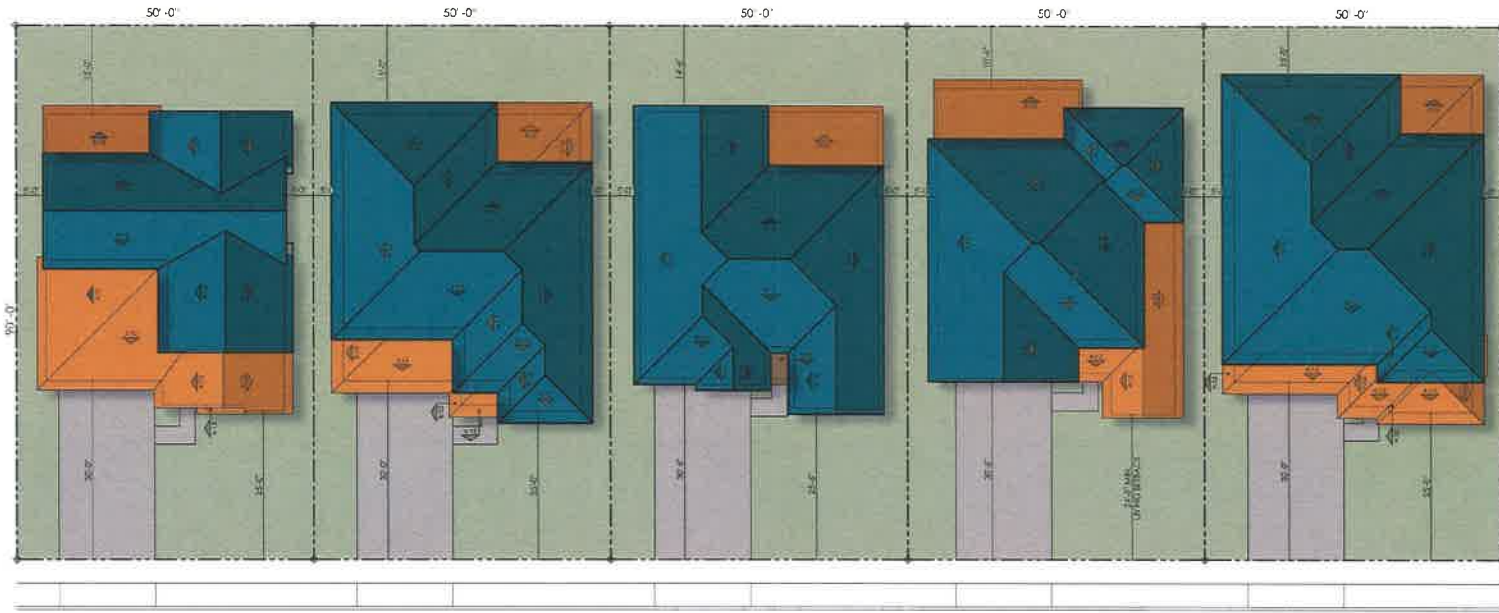
50' x 90'
20119A



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11/16/2021
A-1

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Inc. #20119



PLAN 1 | SPANISH ECLECTIC

PLAN 3 | CALIFORNIA PRAIRIE

PLAN 4 | CALIFORNIA COTTAGE

PLAN 2 | SPANISH ECLECTIC

PLAN 5 | CALIFORNIA PRAIRIE

LEGEND

- FIRST FLOOR MASSING
- SECOND FLOOR MASSING
- COVERED FRONT PORCH (ONE STORY)
- DRIVEWAY / SIDEWALK

ARTICULATION PLAN

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Silver Knoll at **RUSSELL RANCH**
FOLOSOM, CA

50' x 90'
20119A

11/16/2021
A-3

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Refer to landscape drawings for wall, tree, and shrub locations

"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



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"B" CALIFORNIA PRAIRIE



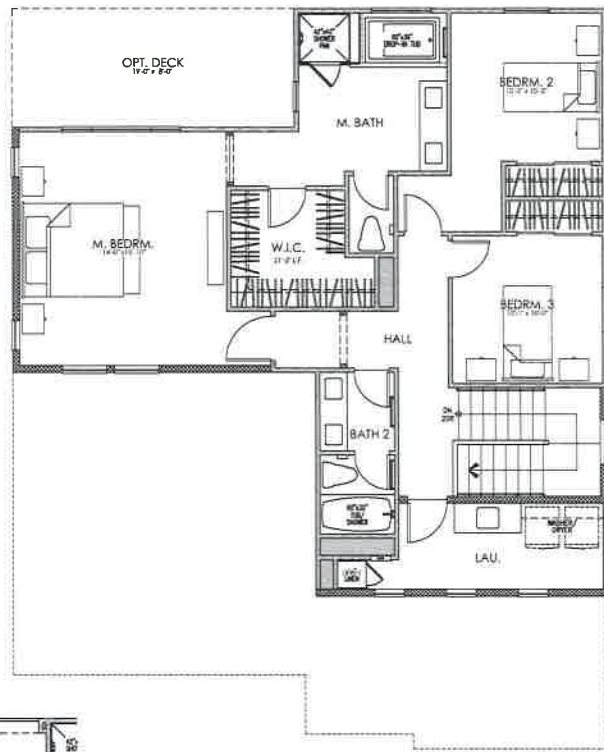
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Refer to landscape drawings for wall, tree, and shrub locations

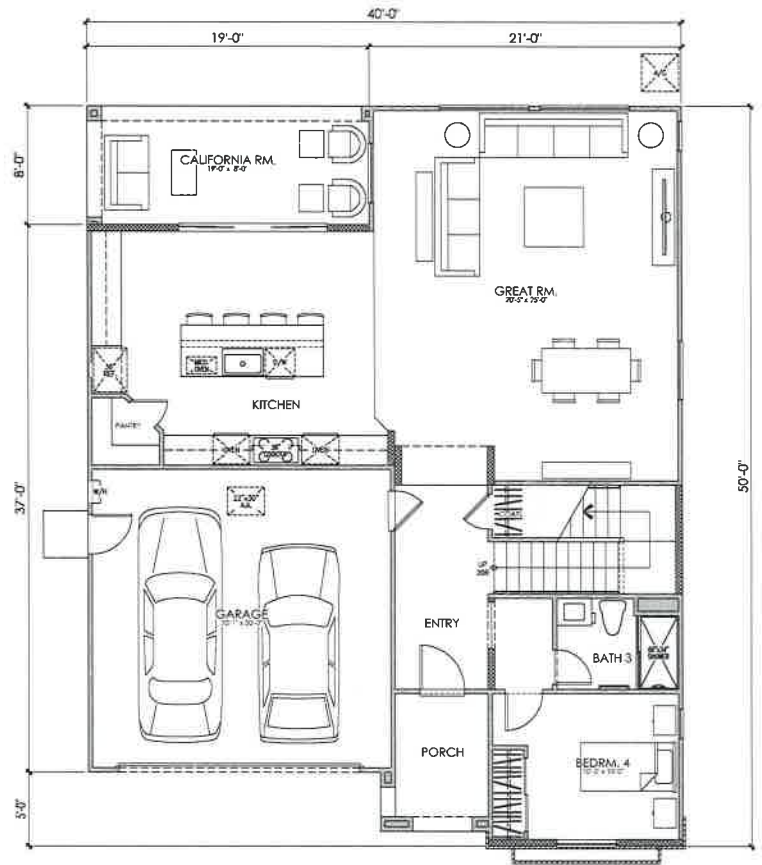
"C" CALIFORNIA COTTAGE

PLAN 1 (2307)
FRONT ELEVATIONS

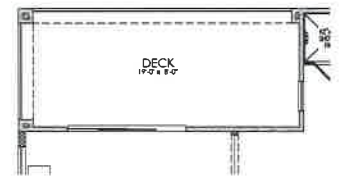




SECOND FLOOR PLAN



FIRST FLOOR PLAN



OPT. DECK

PLAN 1 (2307) "A"
4 BEDROOM, 3 BATH, OPT. DECK

**PLAN 1
AREA TABULATION**

CONDITIONED SPACE	
FIRST FLOOR AREA	1,252 SQ. FT.
SECOND FLOOR AREA	1,055 SQ. FT.
TOTAL DWELLING	2,307 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	418 SQ. FT.
PORCH "A"	62 SQ. FT.
PORCH "B"	70 SQ. FT.
PORCH "C"	33 SQ. FT.
CALIFORNIA ROOM	152 SQ. FT.
OPT. DECK	152 SQ. FT.

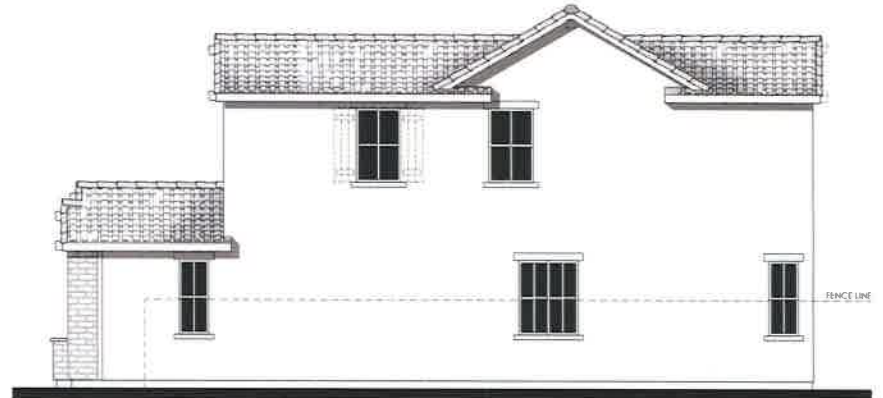




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

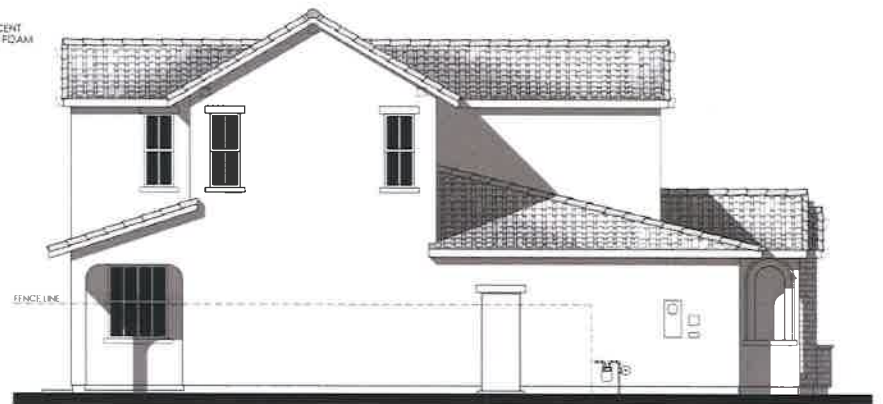
MATERIALS LEGEND

- (WALLS ONLY)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE LOW PROFILE "S" TILE
 - ROOF EXTENSIONS: WOOD CORBEL
 - FASCIA: CUTTER
 - BARGE: 2x4 WOOD
 - GABLE END: WOOD GYPSUM FOAM OUTLEGGY
 - WALL: STUCCO / BRICK
 - WINDOWS: WHITE W/ GRIDS
 - SHUTTERS: SIMULATED WOOD
 - POT SHELF: WROUGHT IRON ACCENT
 - TRIM: STUCCO OVER RIGID FOAM



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME 1
PLAN 1A (2307 "A")
 SPANISH ECLECTIC ELEVATION



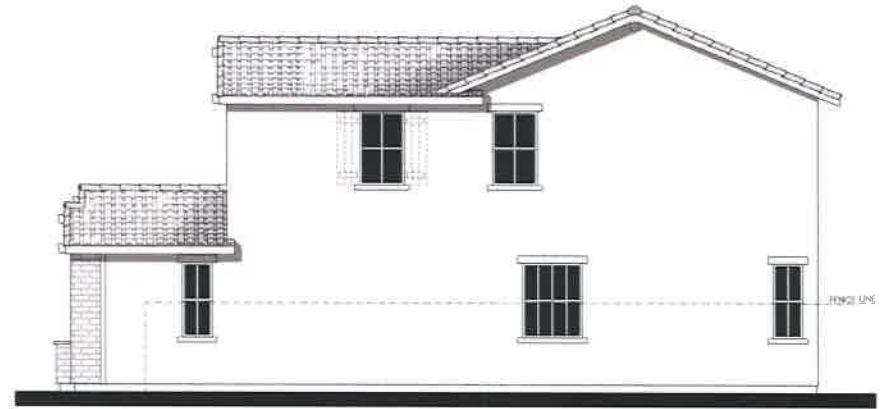
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-6

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Architect
 Inc.
 #20119



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

PLAN 1A OPT. DECK (2307 "A")
SPANISH ECLECTIC ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-7

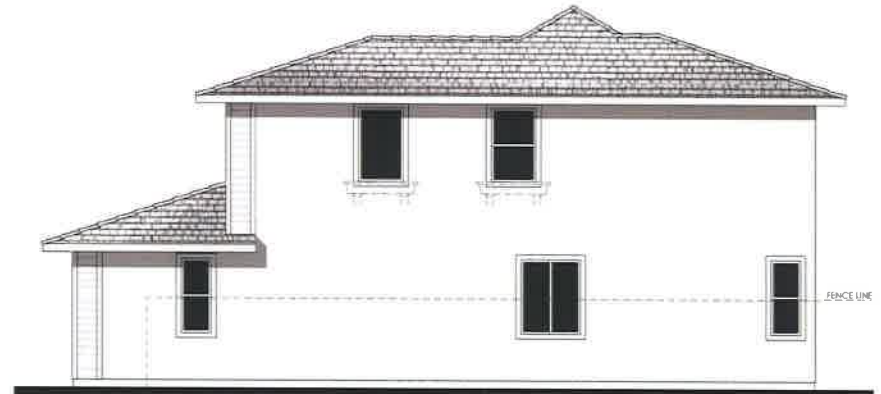
Kevin L. Crook
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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

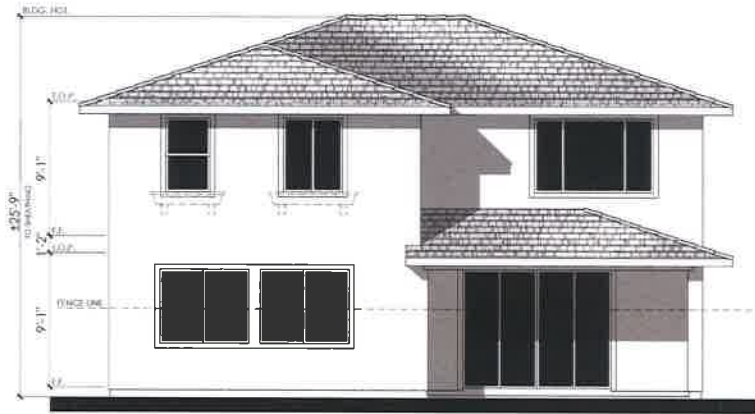


Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

MATERIALS LEGEND

- (WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE FLAT TILE
- FASCIA: GUTTER
- WALL: STUCCO / LAP SIDING / STONE VENEER
- WINDOWS: VINYL
- TRIM: STUCCO OVER RIGID FOAM
- WAINSCOT: STONE VENEER



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



LEFT

COLOR SCHEME 4
PLAN 1B (2307 "B")
 CALIFORNIA PRAIRIE ELEVATION



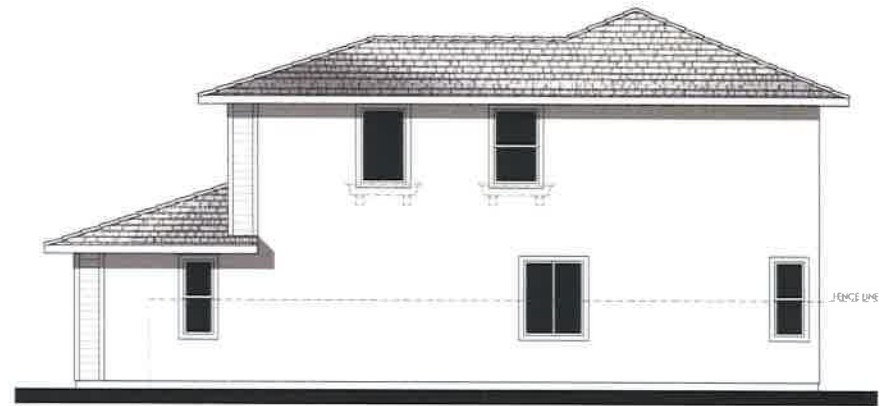
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-8

Kevin L. Crook
Architect
 LLC
 #20119



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



LEFT

PLAN 1B OPT. DECK (2307 "B")
CALIFORNIA PRAIRIE ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-9

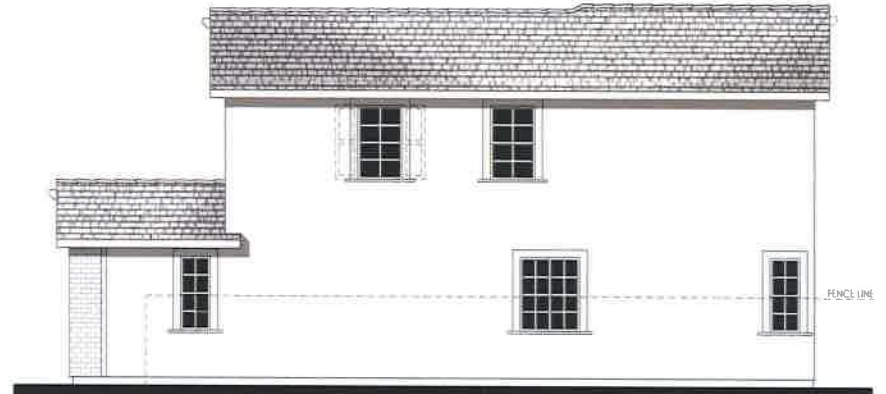
Sevin L. Cook
Architect
Inc.
#20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements; see site

RIGHT

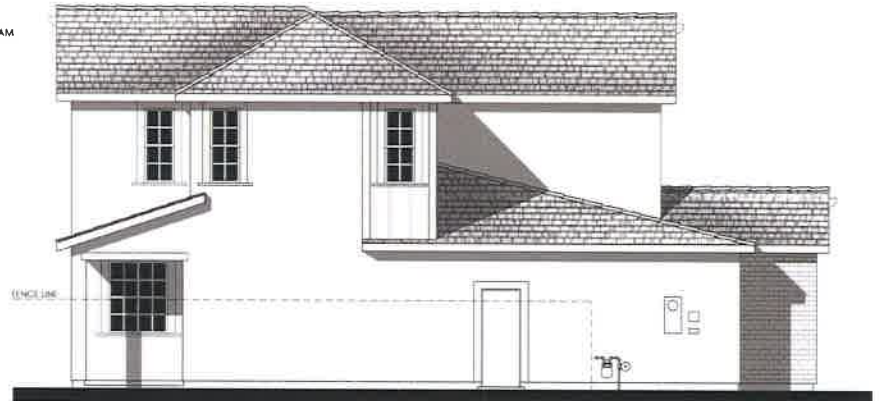
MATERIALS LEGEND

- (MFR & CCOR)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: CUTTER
 - BARGE: 2x6 WOOD
 - GABLE END: WOOD GRAIN FOAM OUTLOOKER
 - WALL: BOARD AND BATTEN
 - WINDOW: STUCCO / BRICK
 - SHUTTERS: LAP SIDING
 - TRIM: BOARD AND BATTEN
 - POT SHELF: VINYL W/ GRIDS
 - STUCCO OVER RIGID FOAM
 - BRICK VENEER
 - SIMULATED WOOD



Items shown dashed shall occur at lots requiring enhancements; see site

REAR



Items shown dashed shall occur at lots requiring enhancements; see site

LEFT

COLOR SCHEME 7
PLAN 1C (2307 "C")
 CALIFORNIA COTTAGE ELEVATION



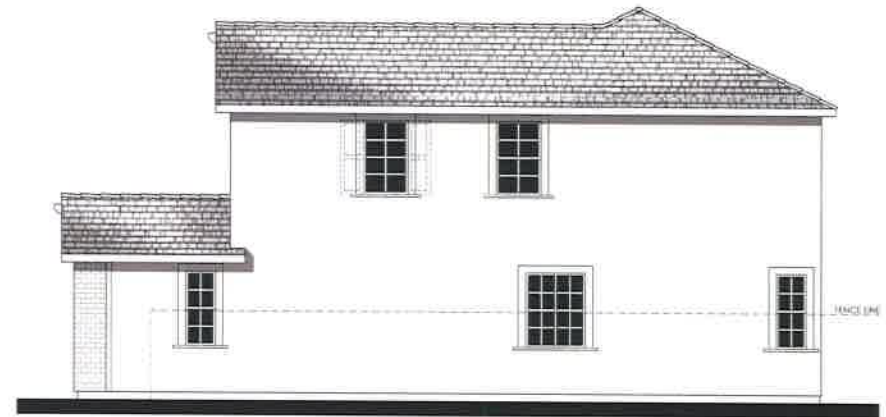
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-10

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 11/20119

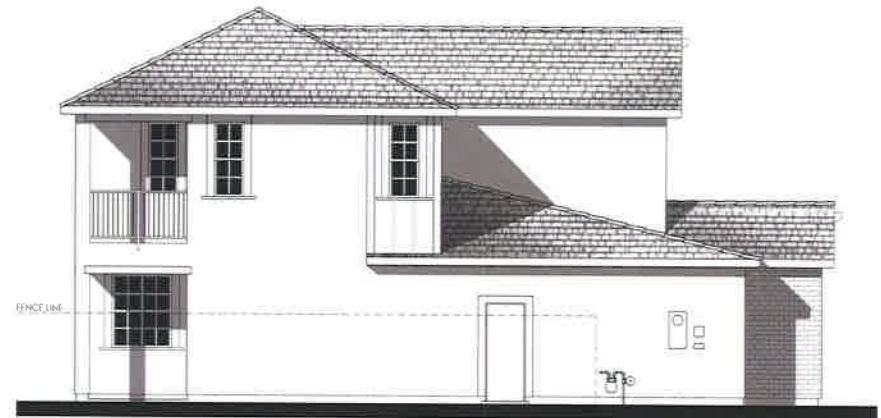


Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



REAR



LEFT

PLAN 1C OPT. DECK (2307 "C")
CALIFORNIA COTTAGE ELEVATION



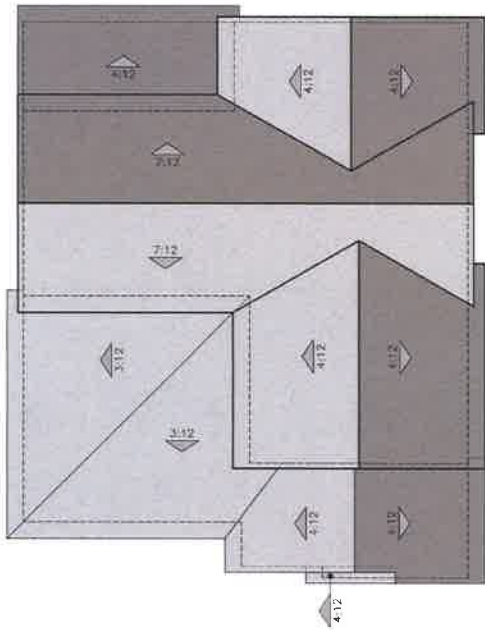
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLOSOM, CA

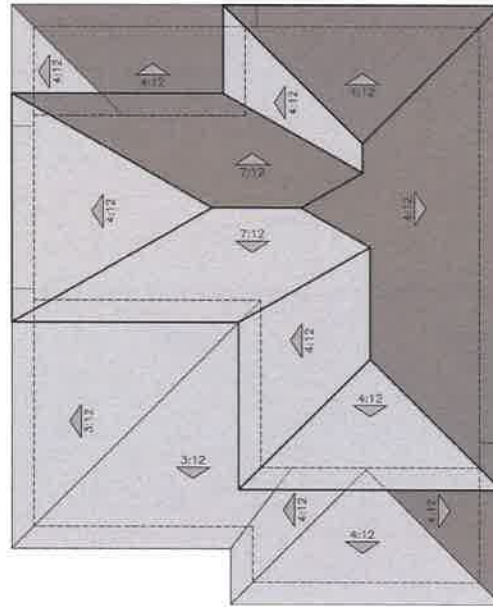
50' x 90'
20119A

11/16/2021
A-11

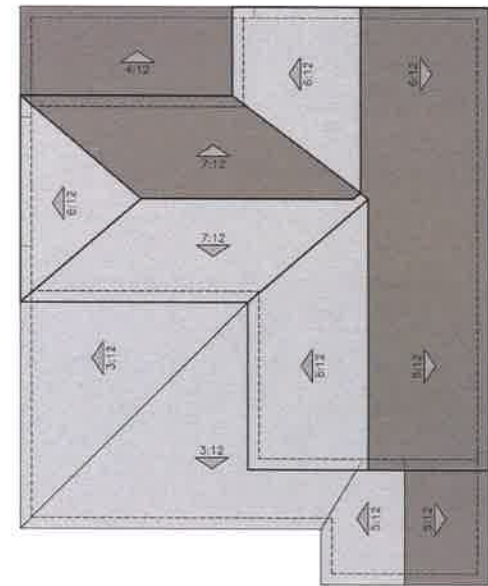
Kevin L. Crook
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INC.
#30119



"A" SPANISH ECLECTIC



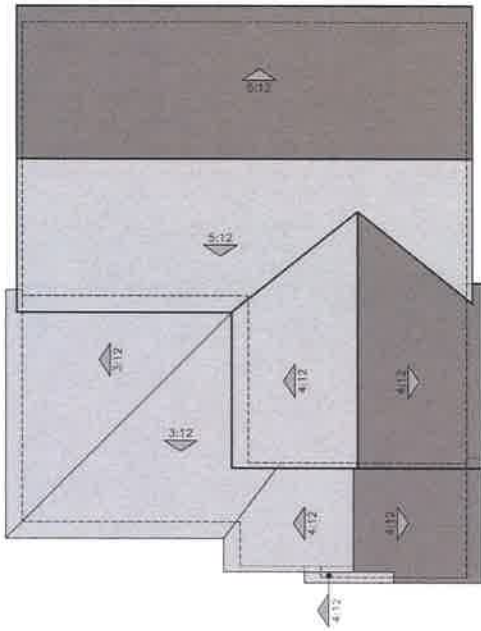
"B" CALIFORNIA PRAIRIE



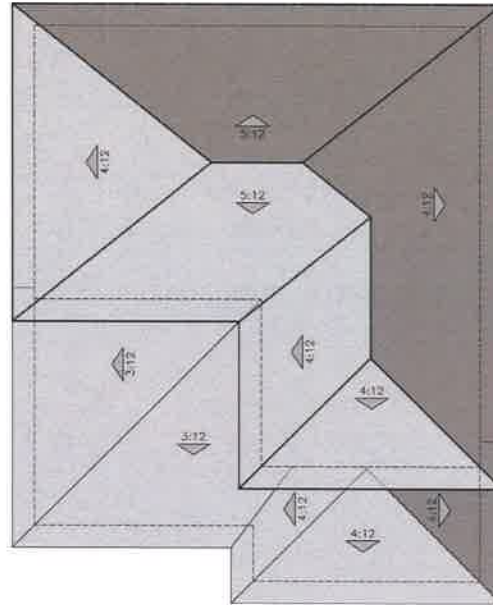
"C" CALIFORNIA COTTAGE

ROOF PLANS
PLAN 1 (2307)

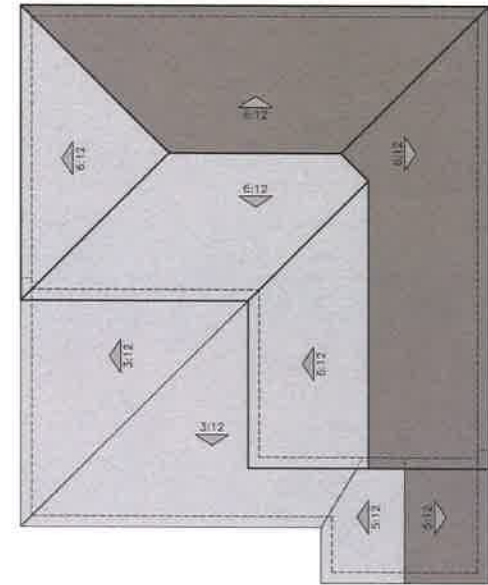




"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

ROOF PLANS
PLAN 1 OPTIONAL DECK (2307)





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Refer to landscape drawings for wall, tree, and shrub locations

"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



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Refer to landscape drawings for wall, tree, and shrub locations

"B" CALIFORNIA PRAIRIE



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Refer to landscape drawings for wall, tree, and shrub locations

"C" CALIFORNIA COTTAGE

PLAN 2 (2469)
FRONT ELEVATIONS



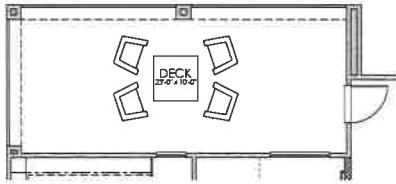
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

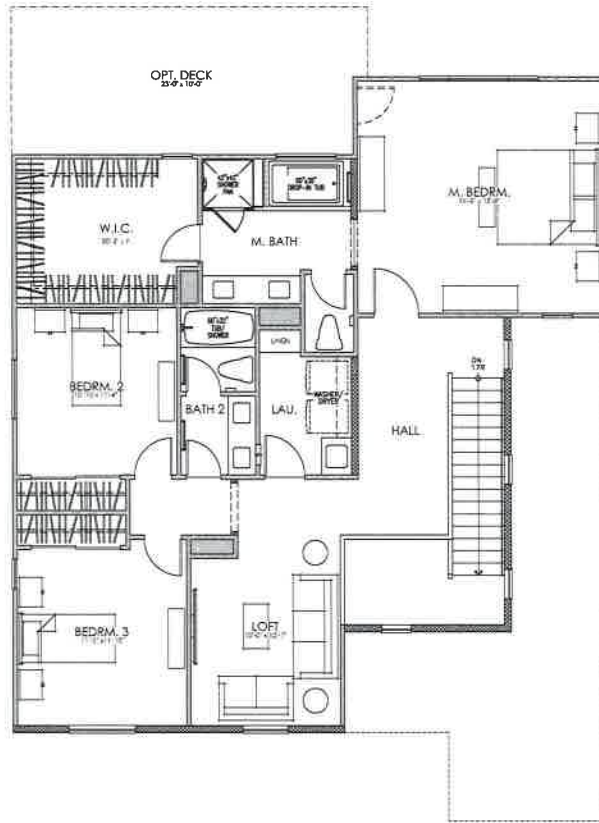
50' x 95'
20119A

11/16/2021
A-14

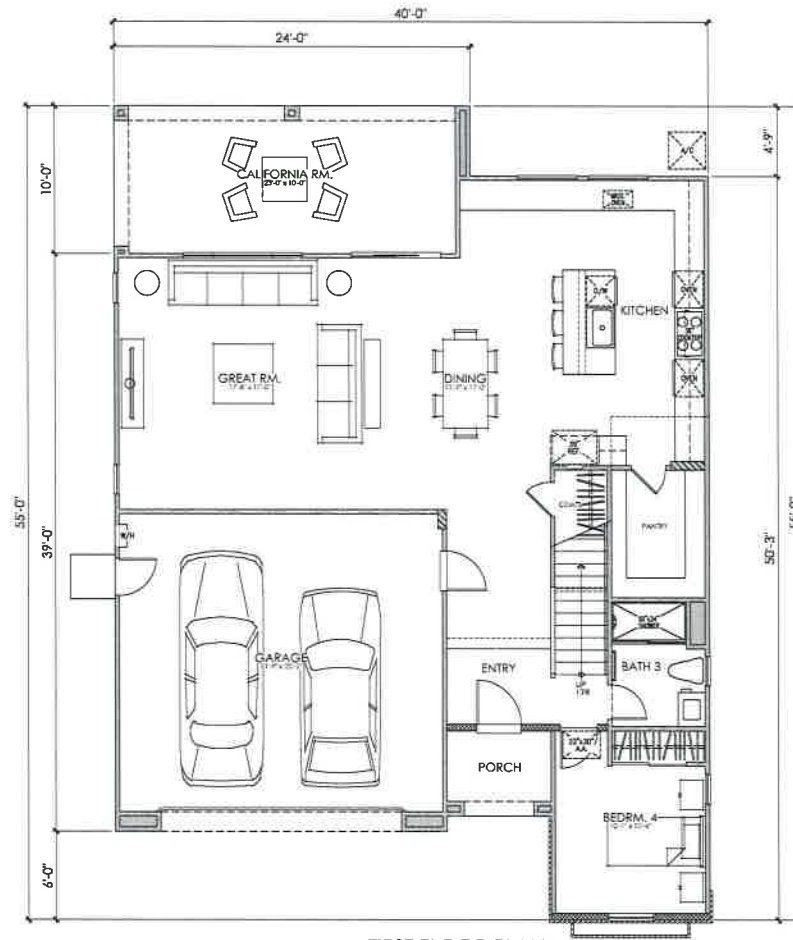
Kevin L. Crook
Architect
Inc. #20119



OPT. DECK



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 2 (2469) "A"
4 BEDROOM, 3.5 BATH, LOFT, OPT. DECK

PLAN 2
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1,122 SQ. FT.
SECOND FLOOR AREA	1,277 SQ. FT.
TOTAL DWELLING	2,469 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	452 SQ. FT.
PORCH "A"	40 SQ. FT.
PORCH "B"	47 SQ. FT.
PORCH "C"	47 SQ. FT.
CALIFORNIA ROOM	230 SQ. FT.
OPT. DECK	230 SQ. FT.





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Refer to landscape drawings for wall, tree, and shrub locations.

FRONT



Items shown dashed shall occur at lots requiring enhancements. see site.

RIGHT

MATERIALS LEGEND

- (WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE LOW PROFILE "S" TILE
- ROOF EXTENSIONS: WOOD CORBEL
- FASCIA: GUTTER
- BARGE: 2x4 WOOD
- GABLE END: WOOD GRAIN FOAM OUTLOOKER
- WALL: STUCCO / BRICK
- WINDOWS: VINYL W/ GRIDS
- SHUTTERS: SIMULATED WOOD
- POT SHELF: WROUGHT IRON ACCENT
- TRIM: STUCCO OVER RIGID FOAM



Items shown dashed shall occur at lots requiring enhancements. see site.

REAR

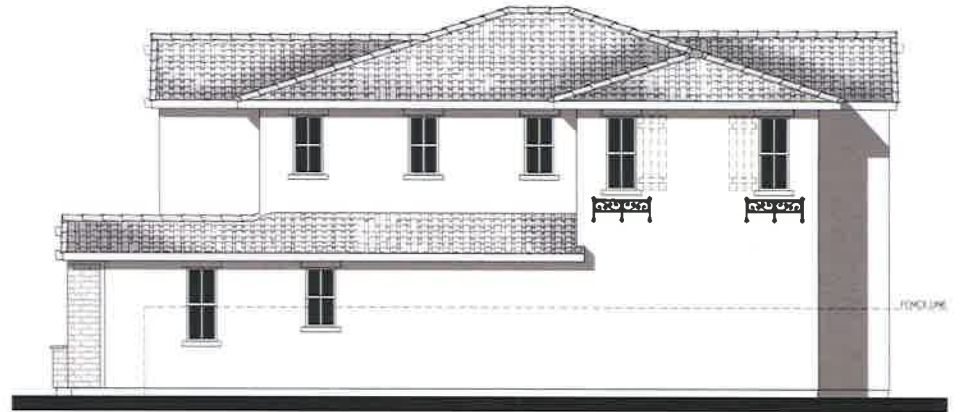


Items shown dashed shall occur at lots requiring enhancements. see site.

LEFT

COLOR SCHEME 2
PLAN 2A (2469 "A")
 SPANISH ECLECTIC ELEVATION





Items shown dashed shall occur if lots requiring enhancements, see site.

RIGHT



REAR



Items shown dashed shall occur if lots requiring enhancements, see site.

LEFT

PLAN 2A OPT. DECK (2469 "A")
SPANISH ECLECTIC ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-17

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#20119



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Refer to landscape drawings for wall, tree, and shrub locations.

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

MATERIALS LEGEND

- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE FLAT TILE
- FASCIA: GUTTER
- WALL: STUCCO / LAP SIDING / STONE VENEER
- WINDOWS: VINYL
- TRIM: STUCCO OVER RIGID FOAM
- WAINSCOT: STONE VENEER



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME 5
PLAN 2B (2469 "B")
 CALIFORNIA PRAIRIE ELEVATION



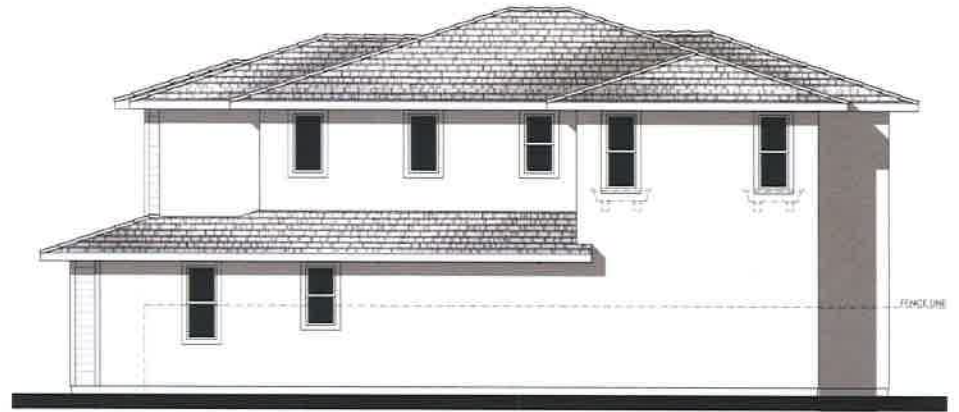
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-18

Kevin L. Crook
Architect
 Inc. #20119



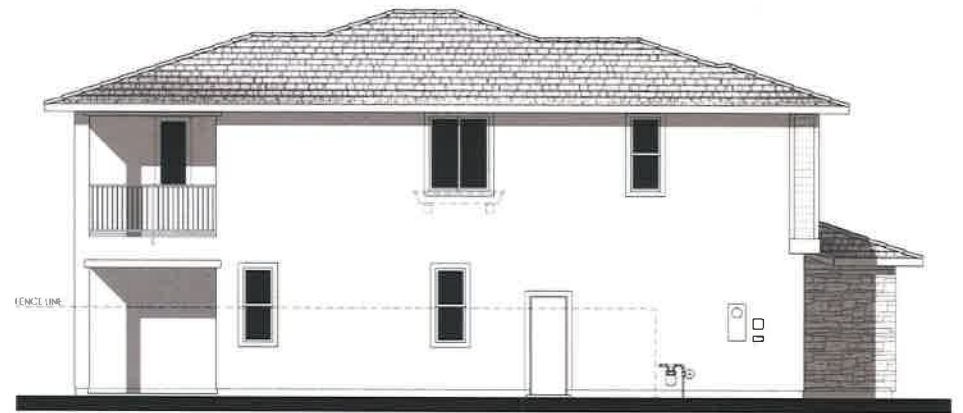
Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site

REAR



Items shown dashed shall occur at lots requiring enhancements, see site

LEFT

PLAN 2B OPT. DECK (2469 "B")
CALIFORNIA PRAIRIE ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-19

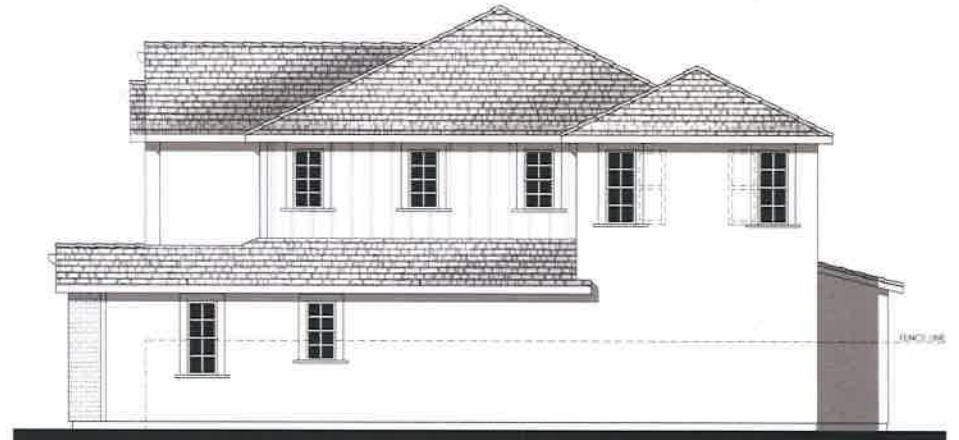
Kevin L. Cook
Architect
Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT

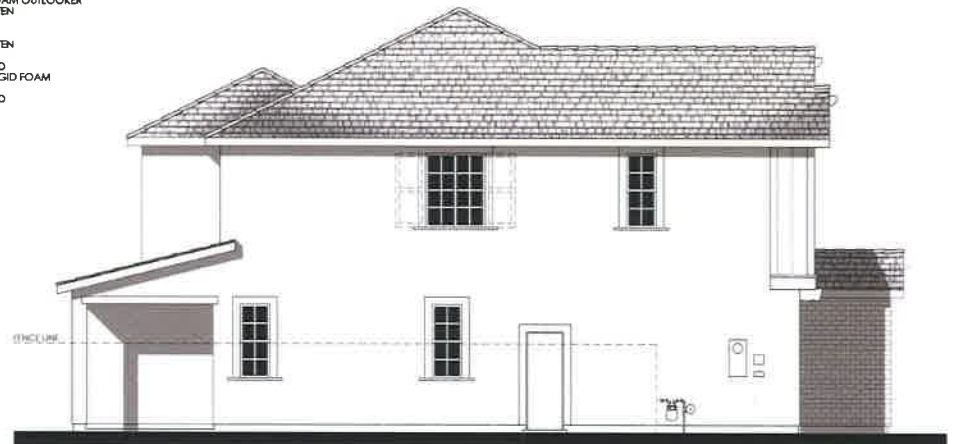
MATERIALS LEGEND

- (WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - BARGE: 2x6 WOOD
 - GABLE END: WOOD GRAIN FOAM OUTLOOKER
 - WALL: BOARD AND BATTEN
 - STUCCO / BRICK
 - LAP SIDING
 - WINDOWS: BOARD AND BATTEN
 - SHUTTERS: VINYL W/ GRIDS
 - TRIM: SIMULATED WOOD
 - WAINSCOT: STUCCO OVER RIGID FOAM
 - POT SHELF: BRICK VENEER
 - SIMULATED WOOD



Items shown dashed shall occur at lots requiring enhancements, see site

REAR



Items shown dashed shall occur at lots requiring enhancements, see site

LEFT

COLOR SCHEME 8

PLAN 2C (2469 "C")
CALIFORNIA COTTAGE ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-20

Kevin L. Crook
Architect
Inc.
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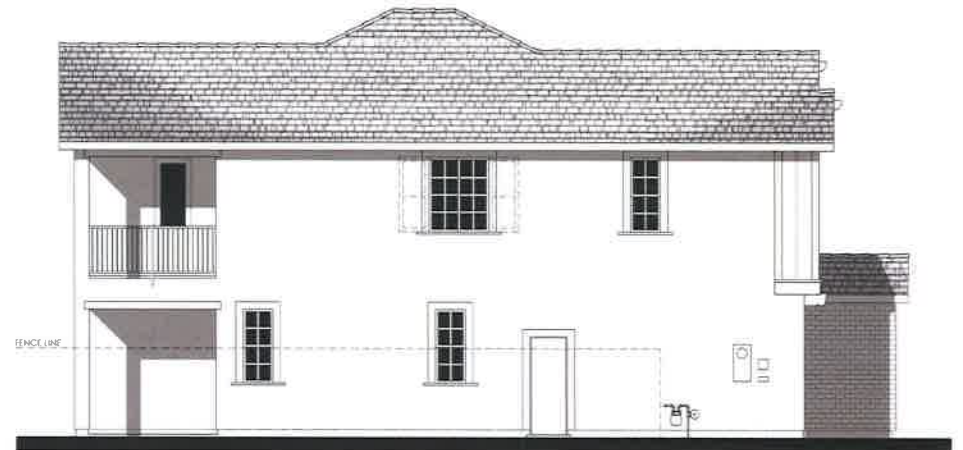


Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT



REAR



Items shown dashed shall occur at lots requiring enhancements, see site

LEFT

PLAN 2C OPT. DECK (2469 "C")
CALIFORNIA COTTAGE ELEVATION



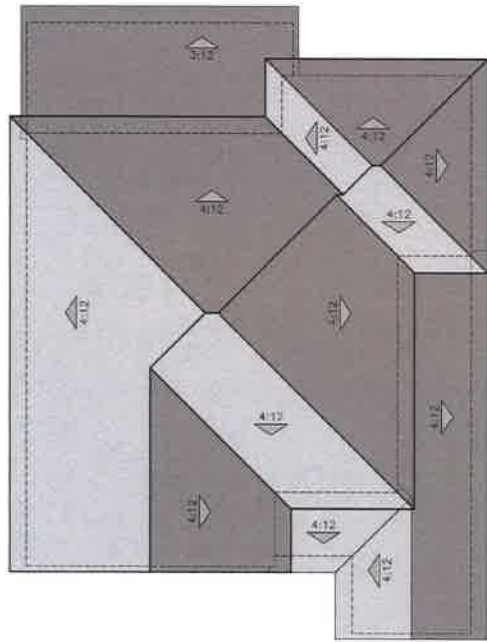
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

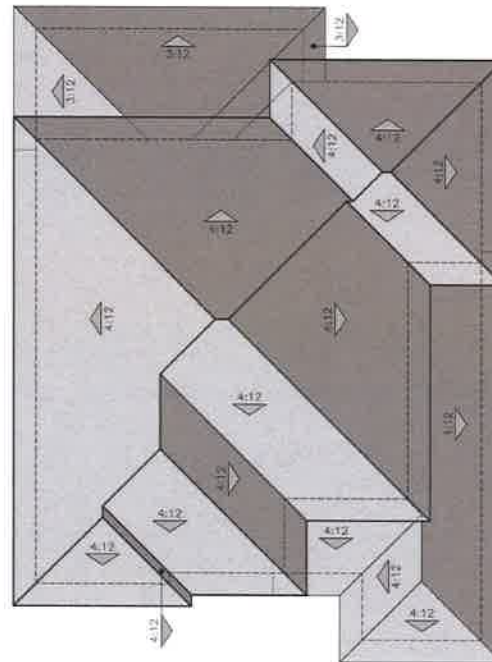
50' x 90'
20119A

11/16/2021
A-21

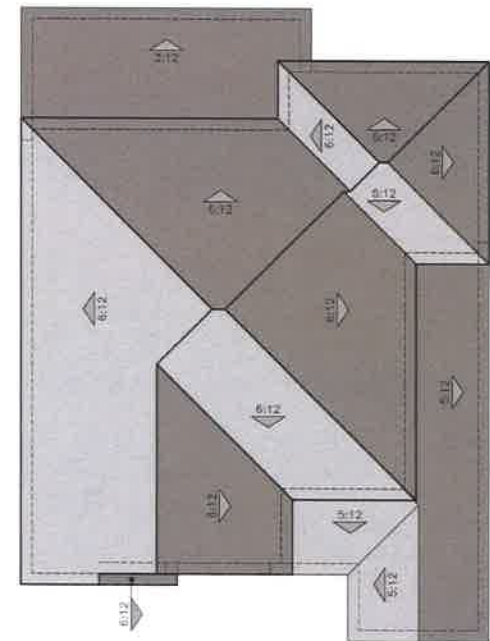
Kevin L. Crook
Architect
Inc. #20119



"A" SPANISH ECLECTIC

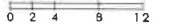


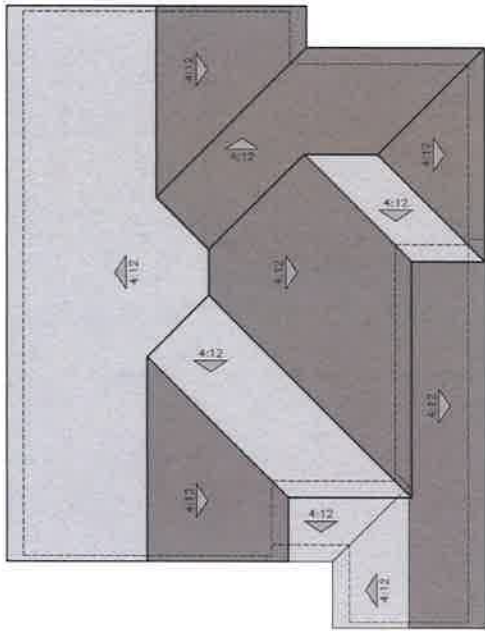
"B" CALIFORNIA PRAIRIE



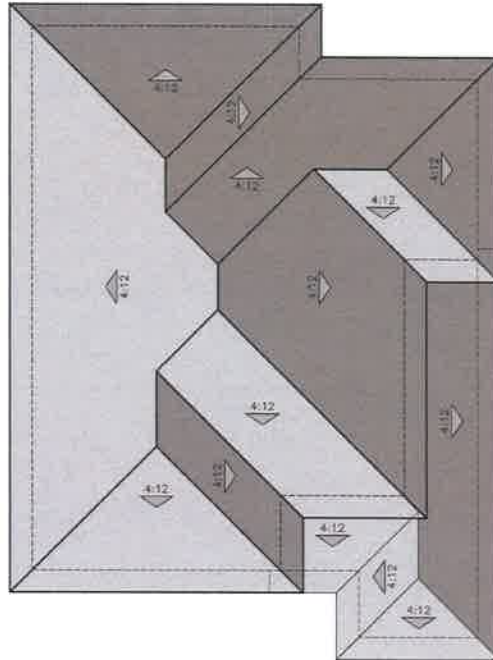
"C" CALIFORNIA COTTAGE

ROOF PLANS
PLAN 2 (2469)

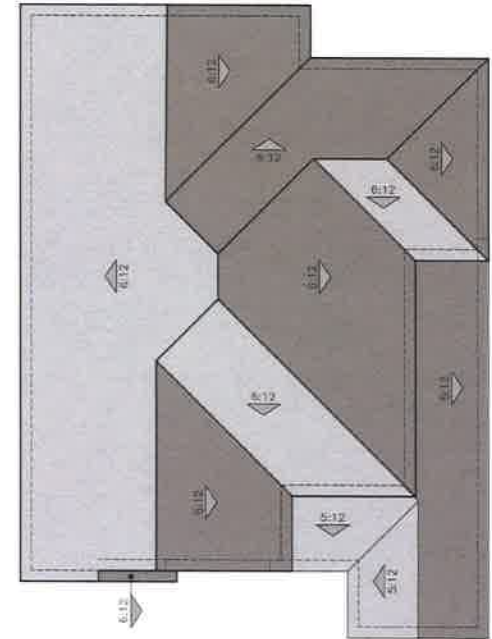




"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

ROOF PLANS
 PLAN 2 OPTIONAL DECK (2469)





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"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



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"B" CALIFORNIA PRAIRIE

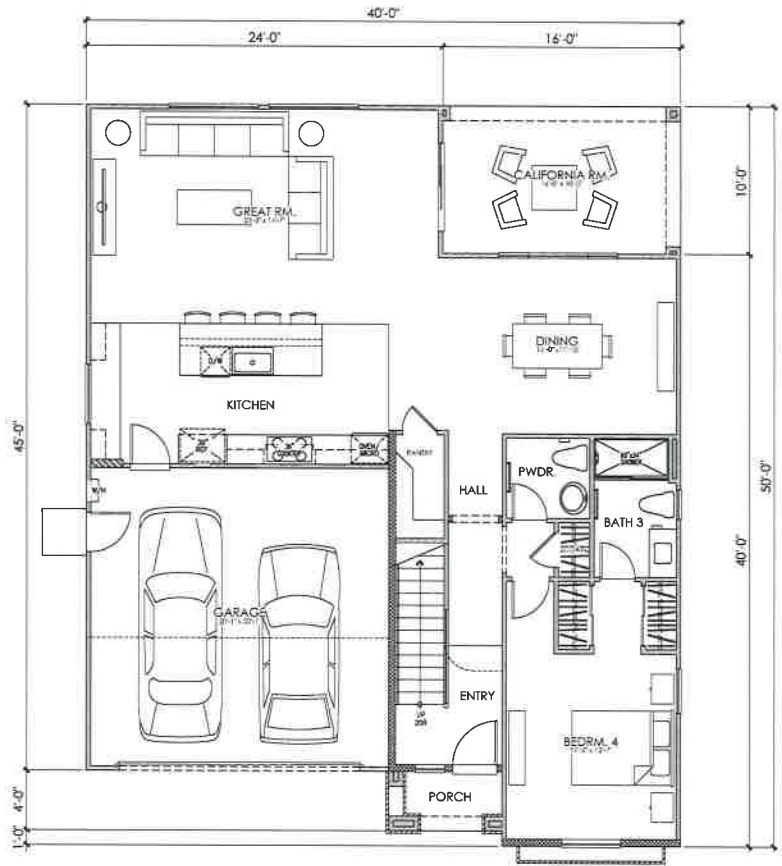
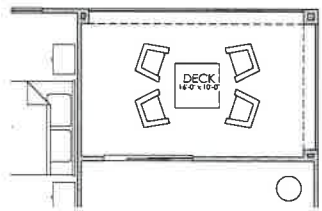
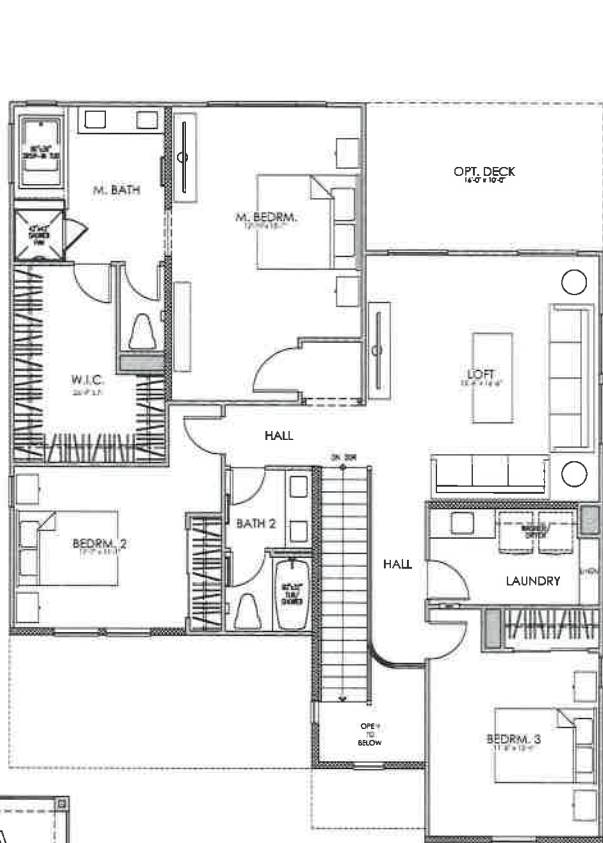


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"C" CALIFORNIA COTTAGE

PLAN 3 (2704)
FRONT ELEVATIONS





SECOND FLOOR PLAN

FIRST FLOOR PLAN

PLAN 3 (2704) "A"
4 BEDROOM, 3.5 BATH, LOFT, OPT. DECK

PLAN 3
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1,285 SQ. FT.
SECOND FLOOR AREA	1,419 SQ. FT.
TOTAL DWELLING	2,704 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	415 SQ. FT.
PORCH "A"	30 SQ. FT.
PORCH "B"	33 SQ. FT.
PORCH "C"	32 SQ. FT.
CALIFORNIA ROOM	160 SQ. FT.
OPT. DECK	160 SQ. FT.

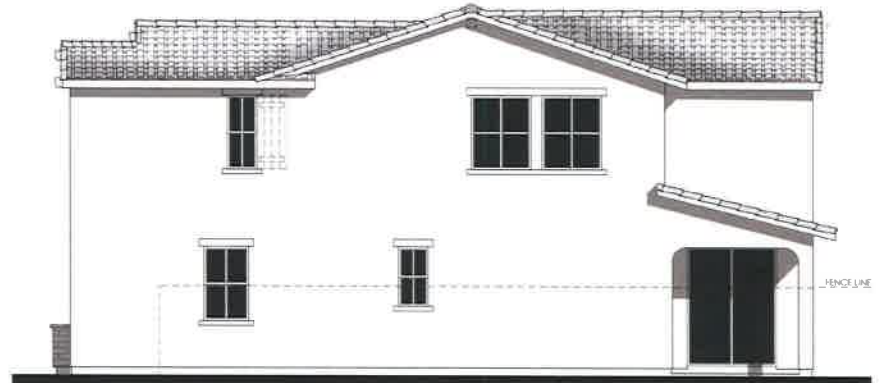




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT

- MATERIALS LEGEND**
(WHERE APPLICABLE)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: 15 YEAR CONCRETE LOW PROFILE "T" TILE
 - ROOF EXTENSIONS: WOOD COMBREL
 - FASCIA: 2x4 WOOD
 - BARGE: WOOD GRAIN FOAM OUTLOOKER
 - GABLE END: STUCCO / BRICK
 - WALL: VINYL W/ GRID
 - WINDOWS: INSULATED WOOD
 - SHUTTERS: WROUGHT IRON ACCENT
 - POT SHELF: STUCCO OVER RIGID FOAM
 - TRIM:



Items shown dashed shall occur at lots requiring enhancements, see site

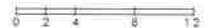
REAR



Items shown dashed shall occur at lots requiring enhancements, see site

LEFT

COLOR SCHEME 3
PLAN 3A (2704 "A")
SPANISH ECLECTIC ELEVATION



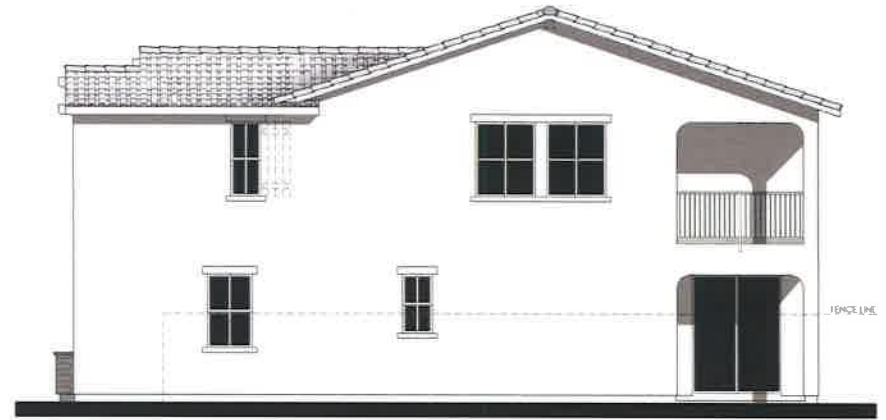
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

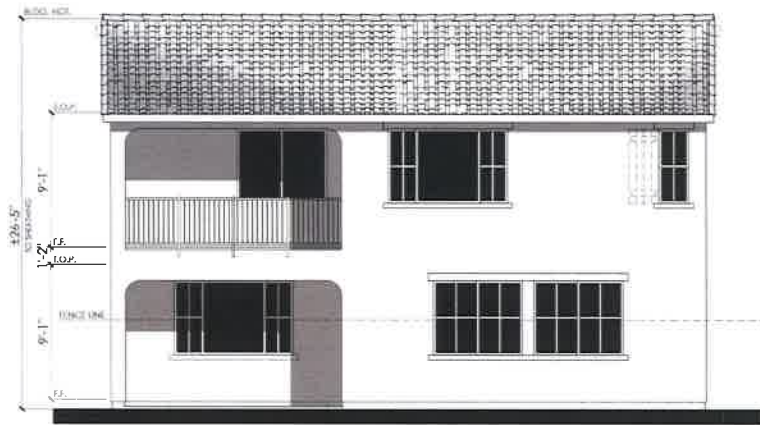
11/16/2021
A-26

Kevin L. Crook
Architect
Inc. 4/20119



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site

REAR



Items shown dashed shall occur at lots requiring enhancements, see site

LEFT

PLAN 3A OPT. DECK (2704 "A")
SPANISH ECLECTIC ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 95'
20119A

11/16/2021
A-27

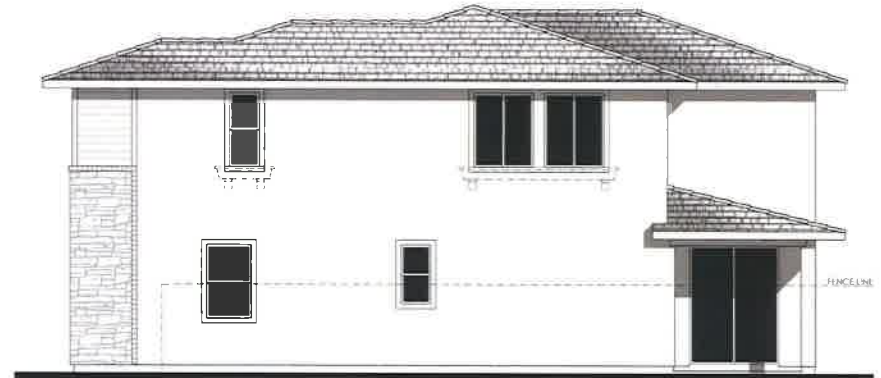
Kevin L. Cook
Architect
Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations.

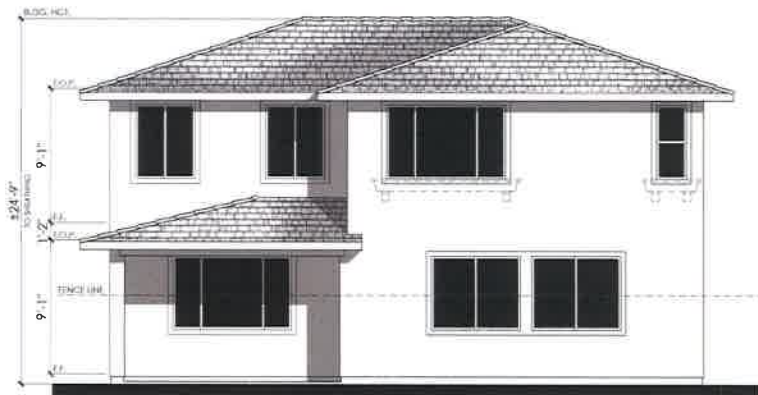
FRONT



Items shown dashed shall occur at lots requiring enhancements; see site.

RIGHT

MATERIALS LEGEND
 (WHERE OCCURS)
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 ROOF: CONCRETE FLAT TILE
 FASCIA: GUTTER
 WALL: STUCCO / LAP SIDING / STONE VENEER
 WINDOWS: VINYL
 TRIM: STUCCO OVER RIGID FOAM
 WAINSCOT: STONE VENEER



Items shown dashed shall occur at lots requiring enhancements; see site.

REAR



Items shown dashed shall occur at lots requiring enhancements; see site.

LEFT

COLOR SCHEME 6
PLAN 3B (2704 "B")
 CALIFORNIA PRAIRIE ELEVATION



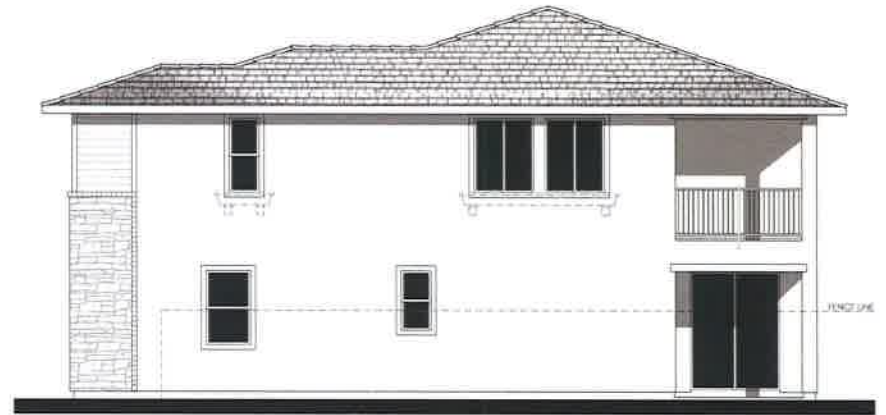
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-28

Kevin L. Crook
Architect
 Inc. #20119



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

PLAN 3B OPT. DECK (2704 "B")
CALIFORNIA PRAIRIE ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-29

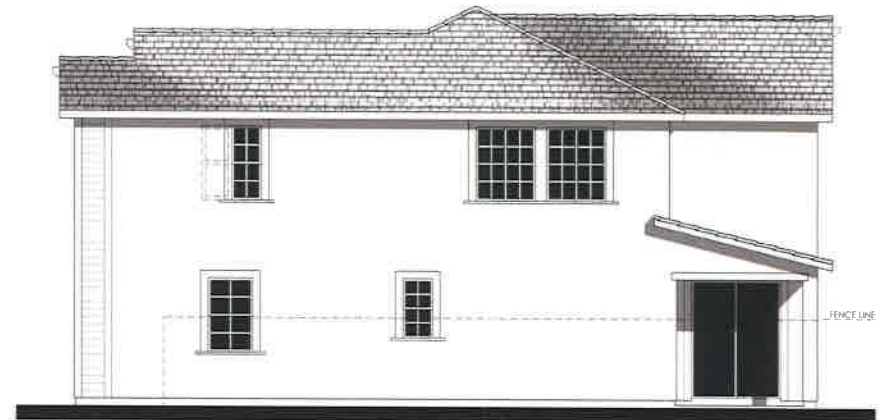
Kevin L. Creek
Architect
Inc. #20119



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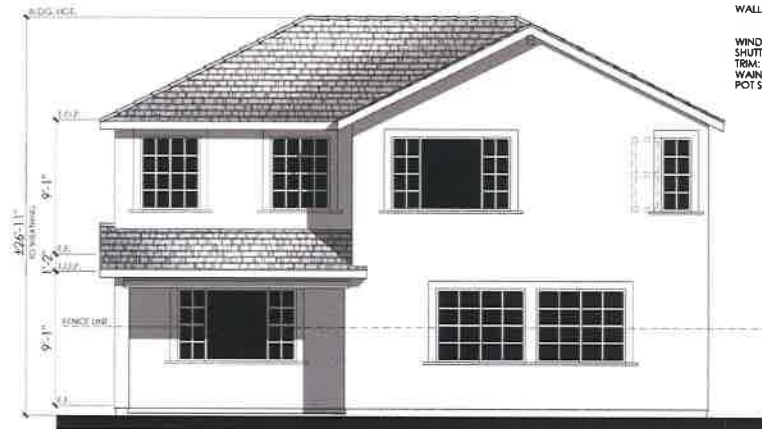
Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site

REAR

MATERIALS LEGEND

(WHERE OCCURS)

- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE FLAT TILE
- FASCIA: CUTTER
- BARGE: 2x4 WOOD
- GABLE END: WOOD GRAIN FOAM OUTLOOKER
- WALL: BOARD AND BATTEN
- STUCCO / BRICK
- LAP SIDING
- WINDOWS: BOARD AND BATTEN
- VINYL /W/ GRIDS
- SHUTTERS: SIMULATED WOOD
- TRIM: STUCCO OVER RIGID FOAM
- WAINSCOT: BRICK VENEER
- POT SHELF: SIMULATED WOOD



Items shown dashed shall occur at lots requiring enhancements, see site

LEFT

COLOR SCHEME 9
PLAN 3C (2704 "C")
 CALIFORNIA COTTAGE ELEVATION



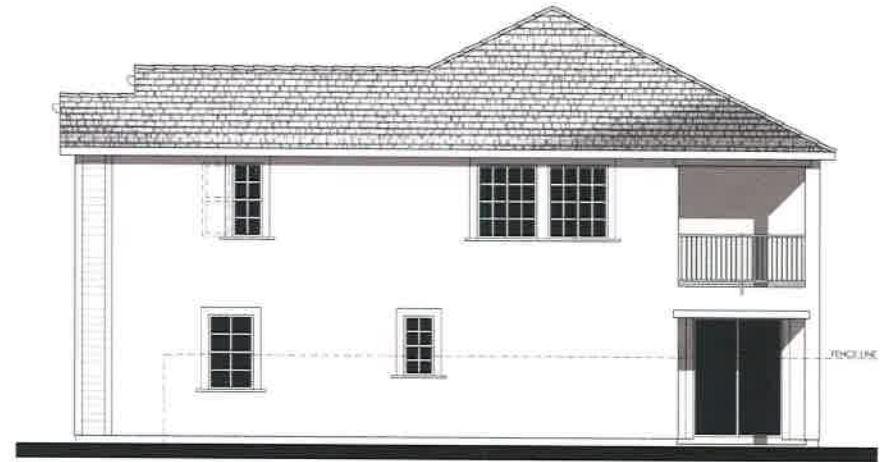
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-30

Kevin L. Crook
Architect
 Inc.



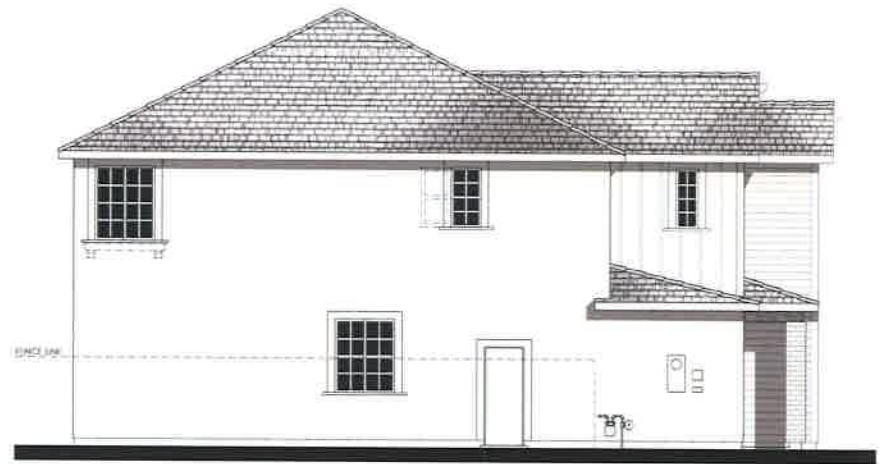
Items shown dashed shall occur on lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur on lots requiring enhancements, see site.

REAR



Items shown dashed shall occur on lots requiring enhancements, see site.

LEFT

PLAN 3C OPT. DECK (2704 "C")
CALIFORNIA COTTAGE ELEVATION



LENNAR

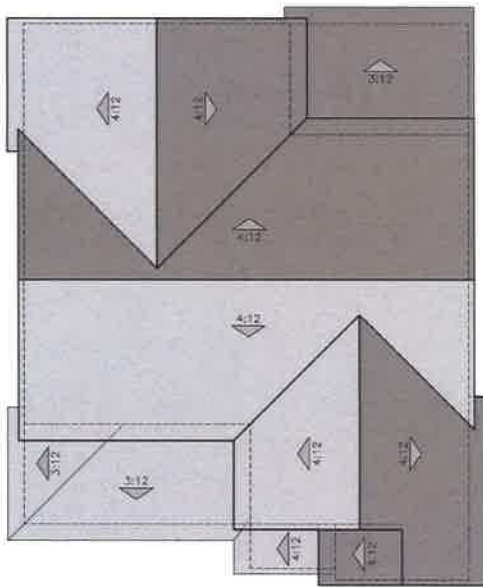
Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

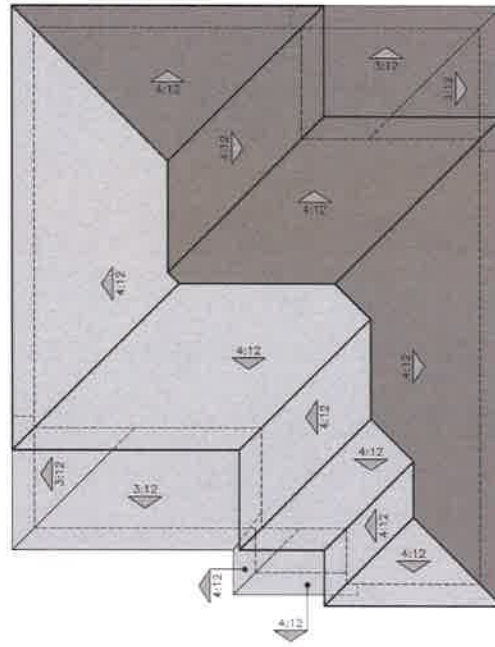
11/16/2021
A-31

Kevin L. Crook
Architect
INC
FOLSOM, CA

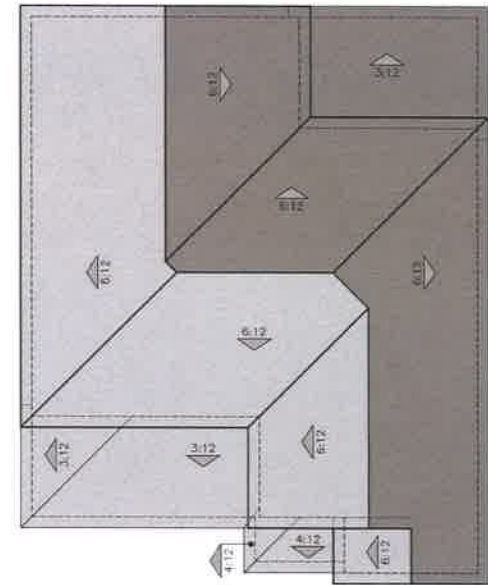
11/19



"A" SPANISH ECLECTIC



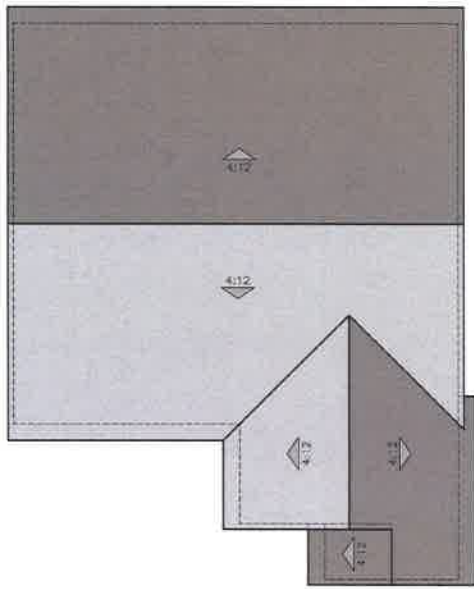
"B" CALIFORNIA PRAIRIE



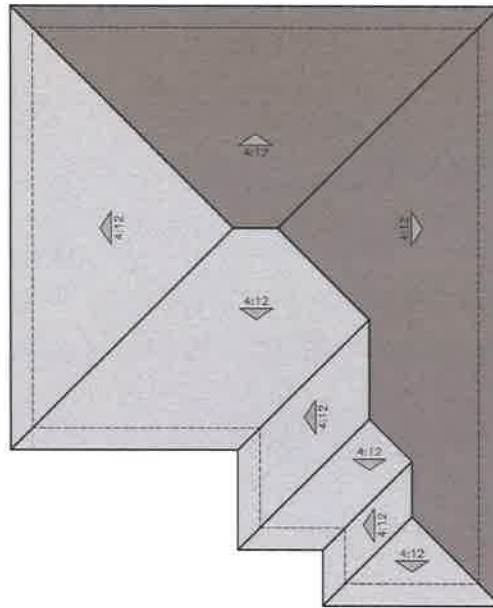
"C" CALIFORNIA COTTAGE

ROOF PLANS
PLAN 3 (2704)

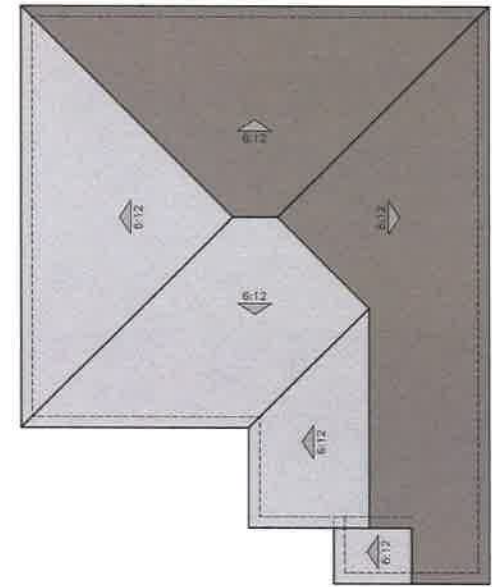




"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

ROOF PLANS
 PLAN 3 OPTIONAL DECK (2704)





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Refer to landscape drawings for wall, tree, and shrub locations

"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



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Refer to landscape drawings for wall, tree, and shrub locations

"B" CALIFORNIA PRAIRIE



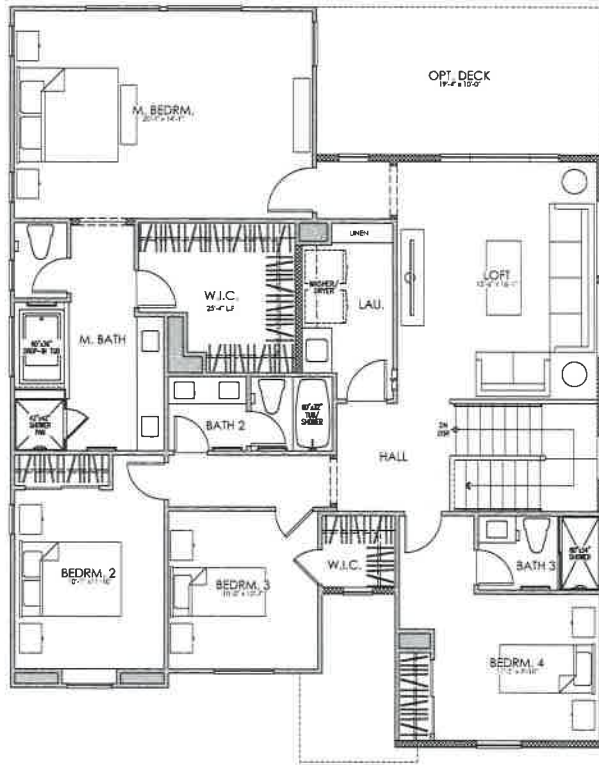
© 2021 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

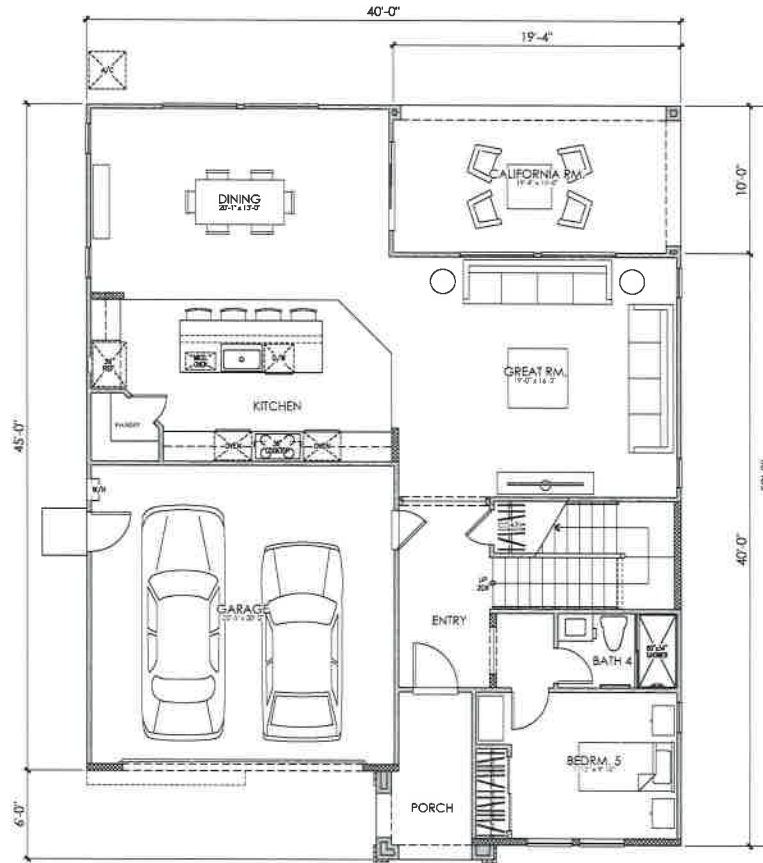
"C" CALIFORNIA COTTAGE

PLAN 4 (2804)
FRONT ELEVATIONS

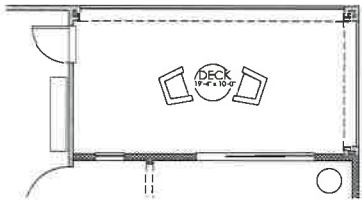




SECOND FLOOR PLAN



FIRST FLOOR PLAN



OPT. DECK

PLAN 4 (2804) "A"
5 BEDROOM, 4 BATH, LOFT, OPT. DECK

PLAN 4 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	1,226 SQ. FT.
SECOND FLOOR AREA	1,578 SQ. FT.
TOTAL DWELLING	2,804 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	424 SQ. FT.
PORCH "A"	65 SQ. FT.
PORCH "B"	26 SQ. FT.
PORCH "C"	26 SQ. FT.
CALIFORNIA ROOM	193 SQ. FT.
OPT. DECK	193 SQ. FT.



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-35

Kevin L. Crook
Architect
Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations.

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

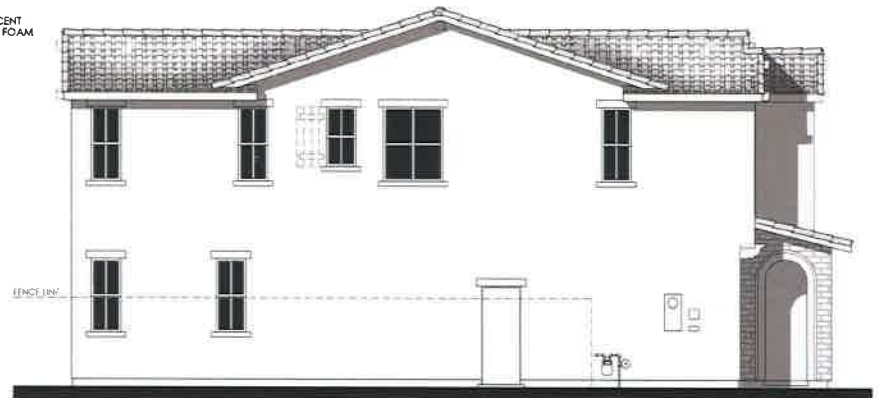
RIGHT

MATERIALS LEGEND
 (WHERE OCCURS)
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 ROOF: CONCRETE LOW PROFILE "S" TILE
 ROOF EXTENSIONS: WOOD CORBEL
 FASCIA: GUTTER
 BARGE: 2x6 WOOD
 GABLE END: WOOD GRAIN FOAM OUTLOOKER
 WALL: STUCCO / BRICK
 WINDOWS: VINYL W/ GRIDS
 SHUTTERS: SIMULATED WOOD
 POT SHELF: WROUGHT IRON ACCENT
 TRIM: STUCCO OVER RIGID FOAM



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME 1
PLAN 4A (2804 "A")
 SPANISH ECLECTIC ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

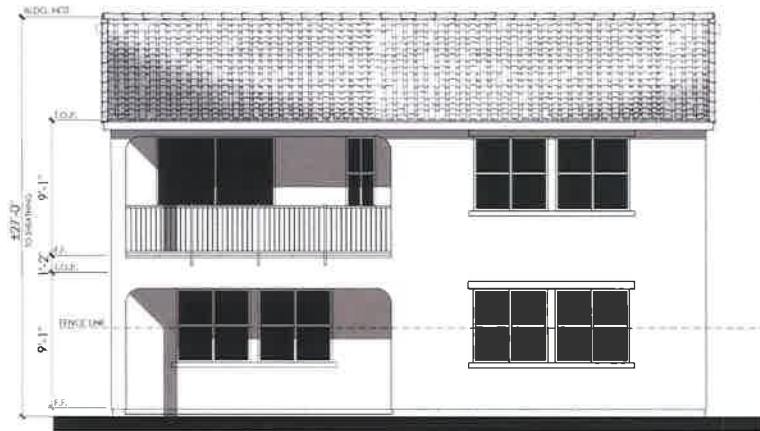
11/16/2021
 A-36

Kevin L. Crook
Architect
 Inc.
 #20119



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

PLAN 4A OPT. DECK (2804 "A")
SPANISH ECLECTIC ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-37

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Inc.
#20119



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Refer to landscape drawings for wall, tree, and shrub locations

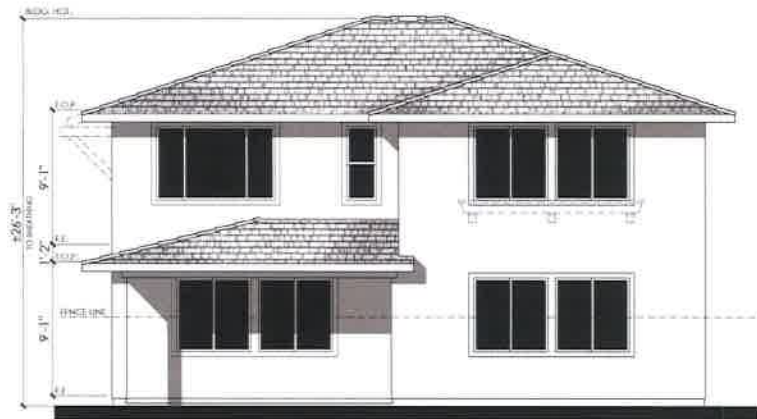
FRONT



Items shown dashed shall occur at lots requiring enhancements. see site

RIGHT

MATERIALS LEGEND
 (WHERE OCCURS)
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 ROOF: CONCRETE FLAT TILE
 FASCIA: GUTTER
 WALL: STUCCO / LAP SIDING / STONE VENEER
 WINDOWS: VINYL
 TRIM: STUCCO OVER RIGID FOAM
 WAINSCOT: STONE VENEER



Items shown dashed shall occur at lots requiring enhancements. see site

REAR



Items shown dashed shall occur at lots requiring enhancements. see site

LEFT

COLOR SCHEME 4
PLAN 4B (2804 "B")
 CALIFORNIA PRAIRIE ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-38

Kevin L. Crook
Architect
 LLC #20119



Items shown dashed shall occur at lots requiring enhancements see site

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site

REAR



LEFT

PLAN 4B OPT. DECK (2804 "B")
CALIFORNIA PRAIRIE ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-39

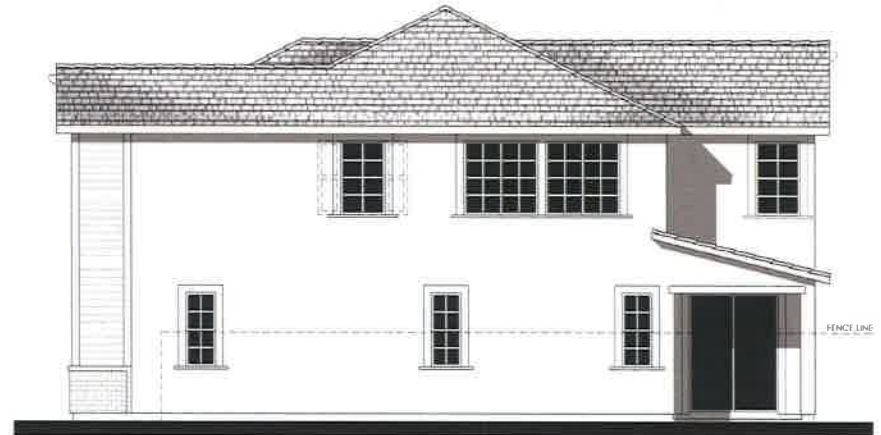
Kevin L. Crook
Architect
Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

MATERIALS LEGEND

- (When Occurs)
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE FLAT TILE
- FASCIA: GUTTER
- BARGE: 2x6 WOOD
- GABLE END: WOOD GRAIN FOAM OUTLOOKER
- WALL: BOARD AND BATTEN
- WINDOWS: STUCCO / BRICK
- SHUTTERS: LAP SIDING
- TRIM: BOARD AND BATTEN
- WAINSCOT: VINYL IVY GRIDS
- POT SHELF: SIMULATED WOOD
- STUCCO OVER RIGID FOAM
- BRICK VENEER
- SIMULATED WOOD



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME 7
PLAN 4C (2804 "C")
 CALIFORNIA COTTAGE ELEVATION



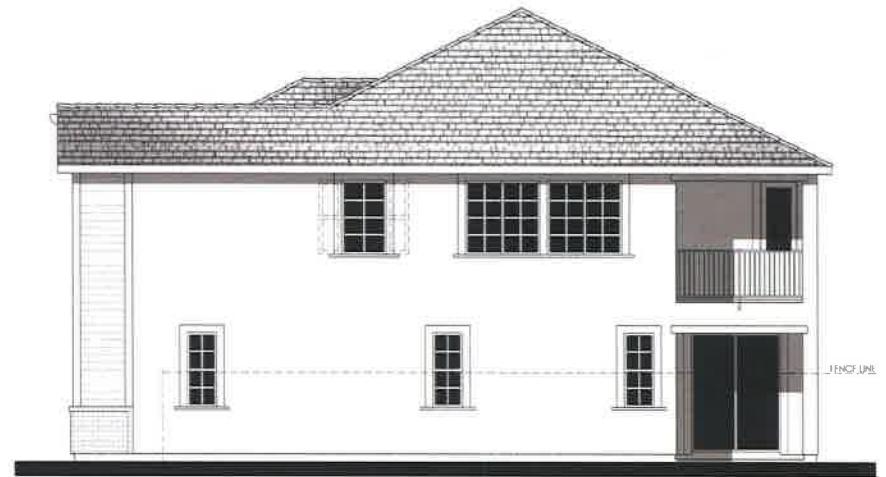
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-40

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 Inc.
 #20119



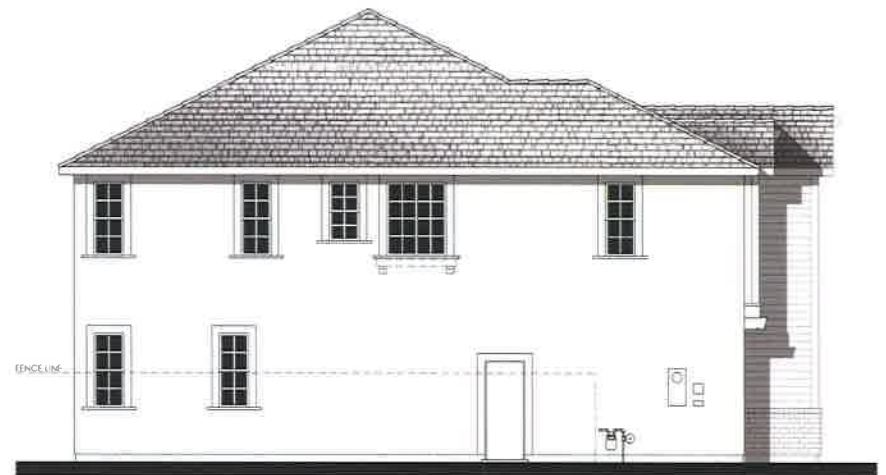
Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

PLAN 4C OPT. DECK (2804 "C")
CALIFORNIA COTTAGE ELEVATION



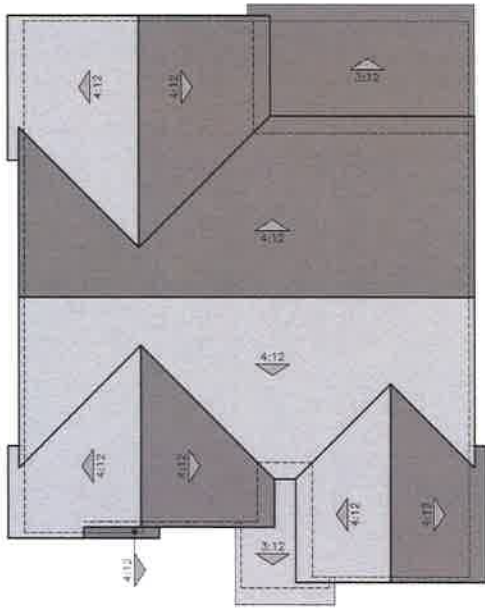
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

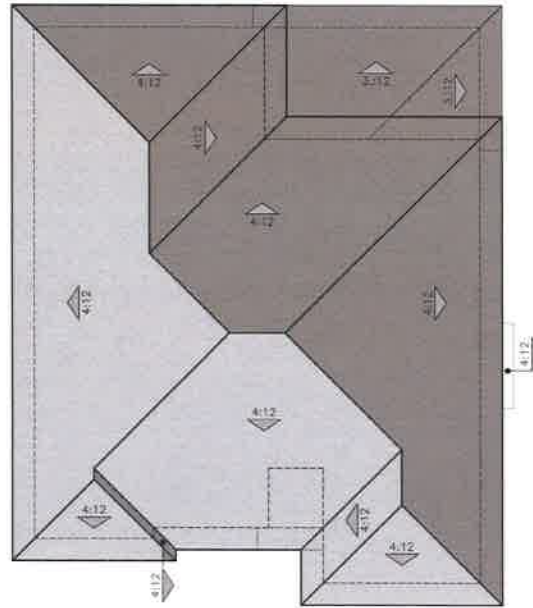
50' x 90'
20119A

11/16/2021
A-41

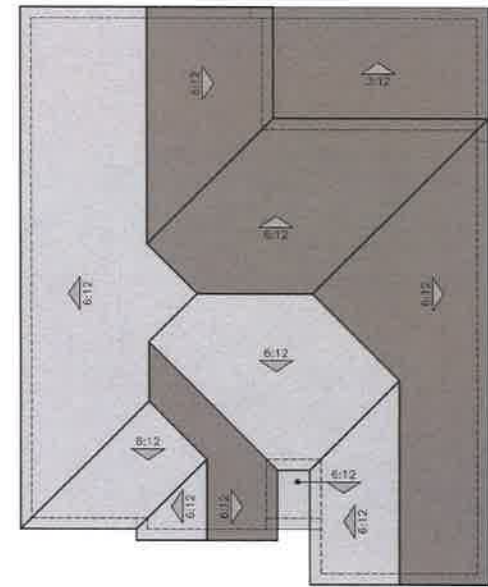
Kevin L. Cook
Architect
Inc. #20119



"A" SPANISH ECLECTIC



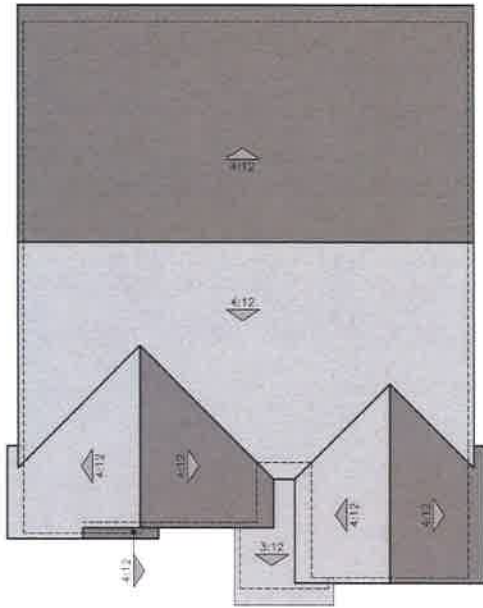
"B" CALIFORNIA PRAIRIE



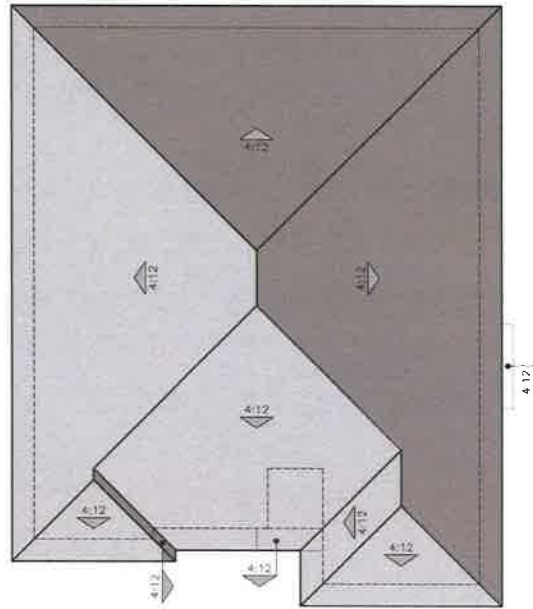
"C" CALIFORNIA COTTAGE

ROOF PLANS
PLAN 4 (2804)

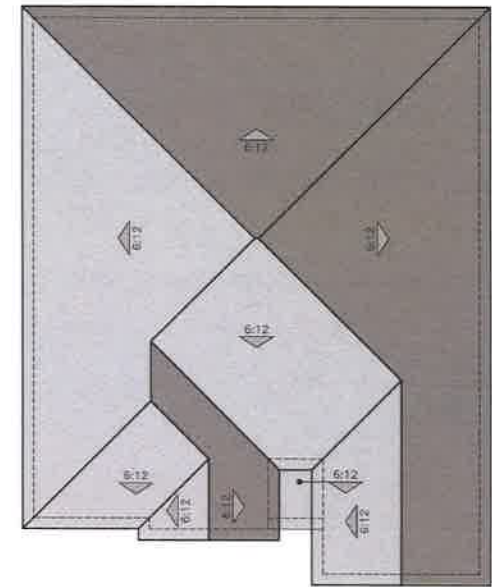




"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

ROOF PLANS
 PLAN 4 OPTIONAL DECK (2804)





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Refer to landscape drawings for wall, tree, and shrub locations

"A" SPANISH ECLECTIC

EXTERIOR LIGHTS



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE



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Refer to landscape drawings for wall, tree, and shrub locations

"B" CALIFORNIA PRAIRIE



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Refer to landscape drawings for wall, tree, and shrub locations

"C" CALIFORNIA COTTAGE

PLAN 5 (2968)
FRONT ELEVATIONS



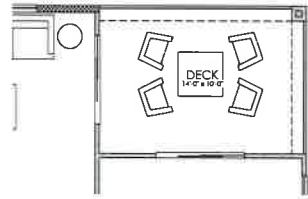
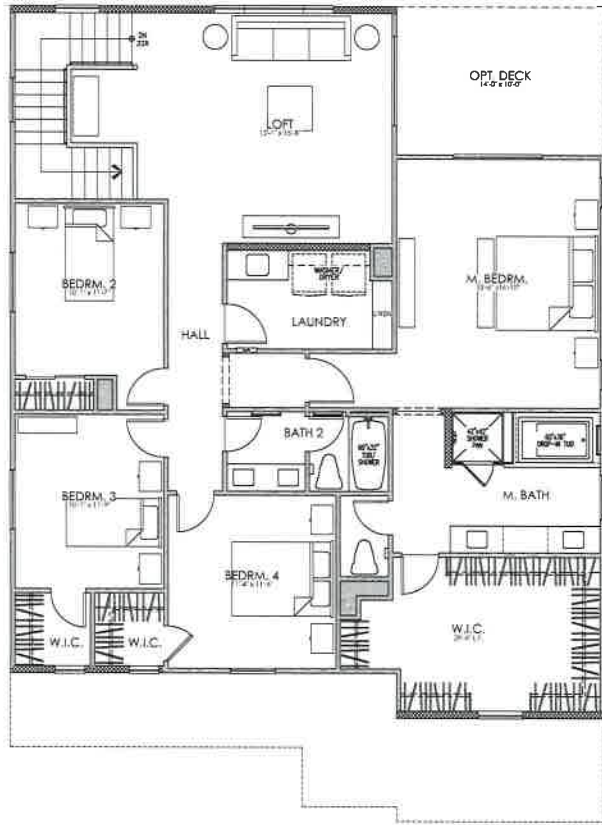
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

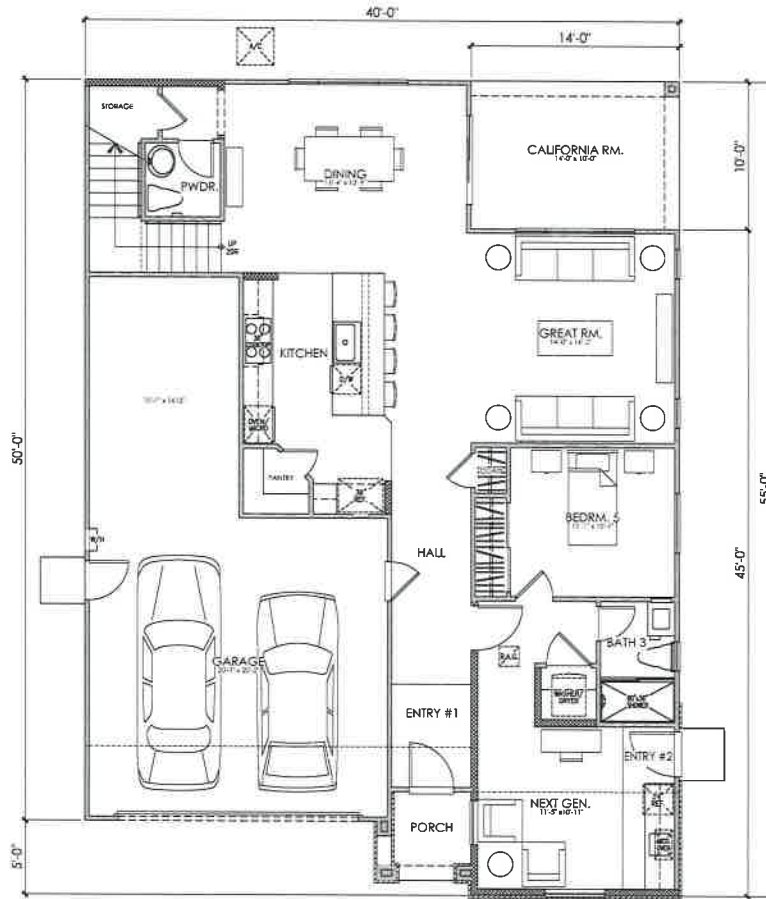
11/16/2021
A-44

KEVIN L. CROOK
Architect
Inc. #20119



OPT. DECK

SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 5
AREA TABULATION
CONDITIONED SPACE

	MAIN RESIDENCE	NEXT GEN.	TOTAL
FIRST FLOOR AREA	910 SQ. FT. +	417 SQ. FT. =	1,327 SQ. FT.
SECOND FLOOR AREA	1,641 SQ. FT. +	0 SQ. FT. =	1,641 SQ. FT.
TOTAL DWELLING	2,551 SQ. FT. +	417 SQ. FT. =	2,968 SQ. FT.

UNCONDITIONED SPACE

GARAGE	593 SQ. FT.
PORCH "A"	36 SQ. FT.
PORCH "B"	37 SQ. FT.
PORCH "C"	37 SQ. FT.
CALIFORNIA ROOM	140 SQ. FT.
OPT. DECK	140 SQ. FT.



PLAN 5 (2968) "A"

4 BEDROOM, 3.5 BATH, NEXT GEN, LOFT, OPT. DECK

LENNAR

Silver Knoll at RUSSELL RANCH
EDISON, CA

50' x 90'
29119A

11/16/2021
A-45

Kevin L. Crook
Architect
Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

MATERIALS LEGEND

- TRIM: OCCURS
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE LOW PROFILE "S" TILE
 - ROOF EXTENSIONS: WOOD CORBEL
 - FASCIA: GUTTER
 - BARGE: 2x4 WOOD
 - GABLE END: WOOD GRAIN FOAM OUTLOOKER
 - WALL: STUCCO / BRICK
 - WINDOWS: VINYL W/ GRIDS
 - SHUTTERS: SIMULATED WOOD
 - POT SHELF: WROUGHT IRON ACCENT
 - TRIM: STUCCO OVER RIGID FOAM



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME 2
PLAN 5A (2968 "A")
 SPANISH ECLECTIC ELEVATION



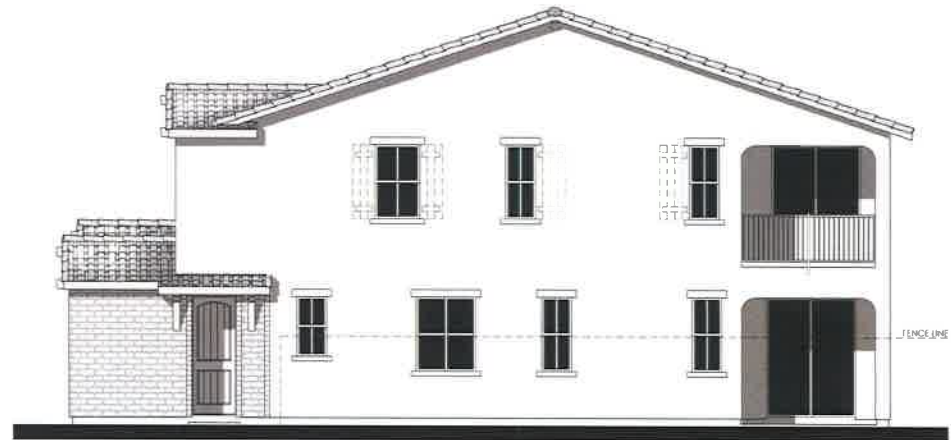
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

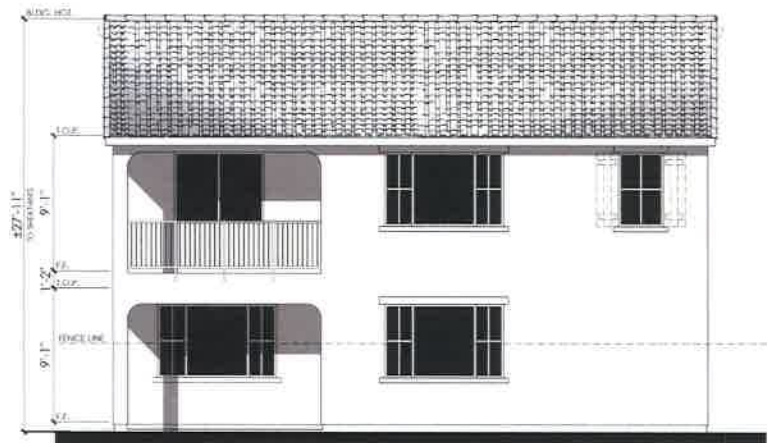
11/16/2021
 A-46

Kevin L. Crook
 Architect
 Inc.
 © 2019



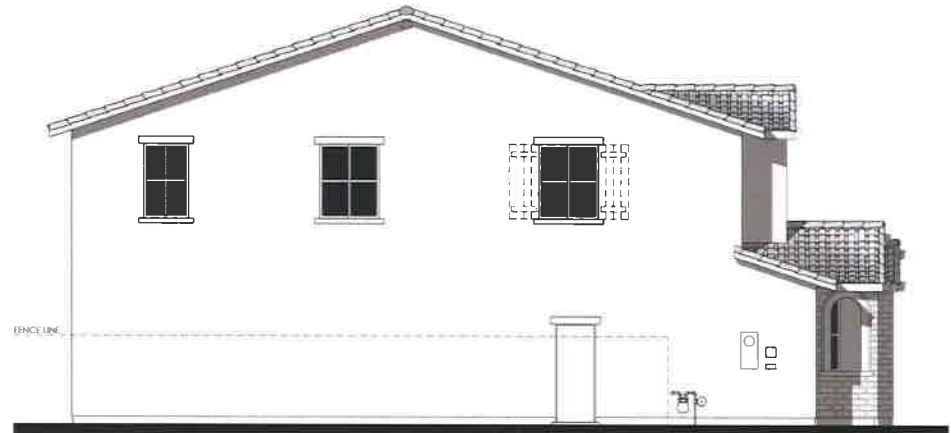
Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

PLAN 5A OPT. DECK (2968 "A")
SPANISH ECLECTIC ELEVATION

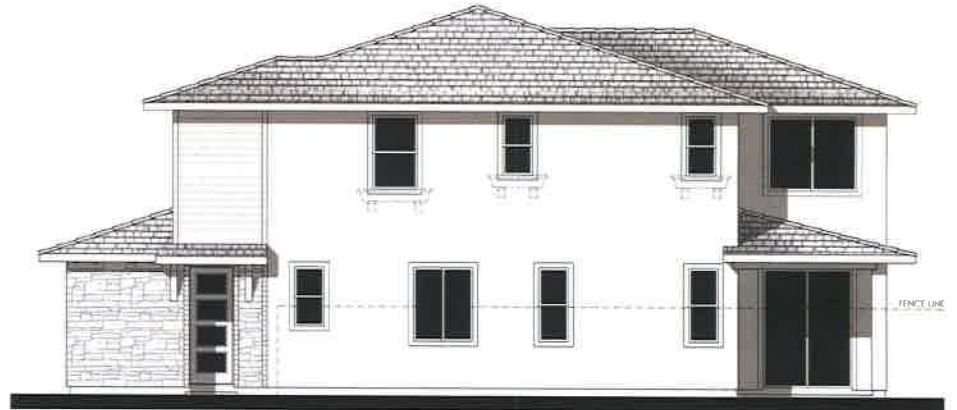




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Items shown dashed shall occur at lots requiring enhancements, see site.

Refer to landscape drawings for wall, tree, and shrub locations

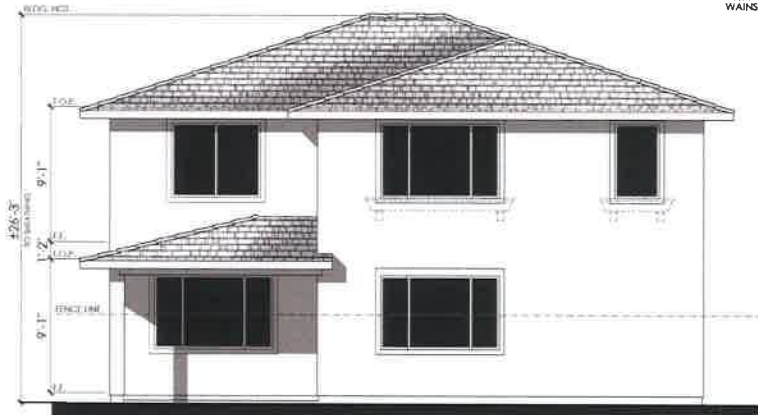
FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - WALL: STUCCO / LAP SIDING / STONE VENEER
 - WINDOWS: VINYL
 - TRIM: STUCCO OVER RIGID FOAM
 - WAINSCOT: STONE VENEER



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME 5
PLAN 5B (2968 "B")
CALIFORNIA PRAIRIE ELEVATION



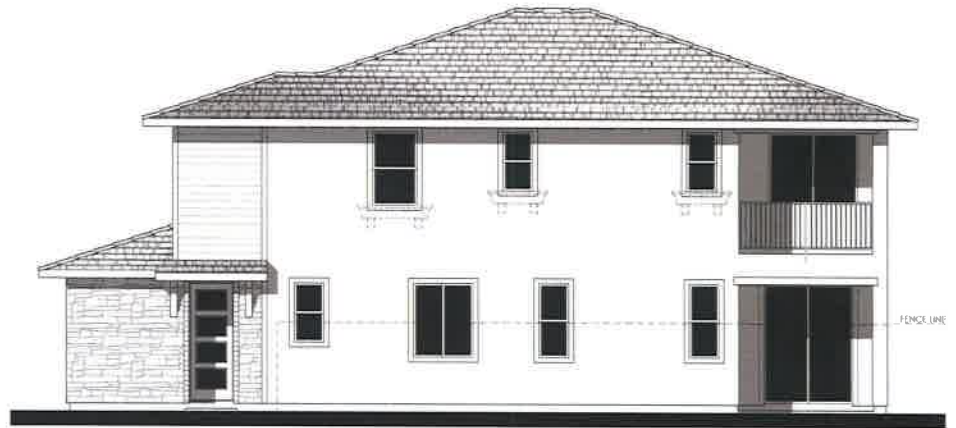
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-48

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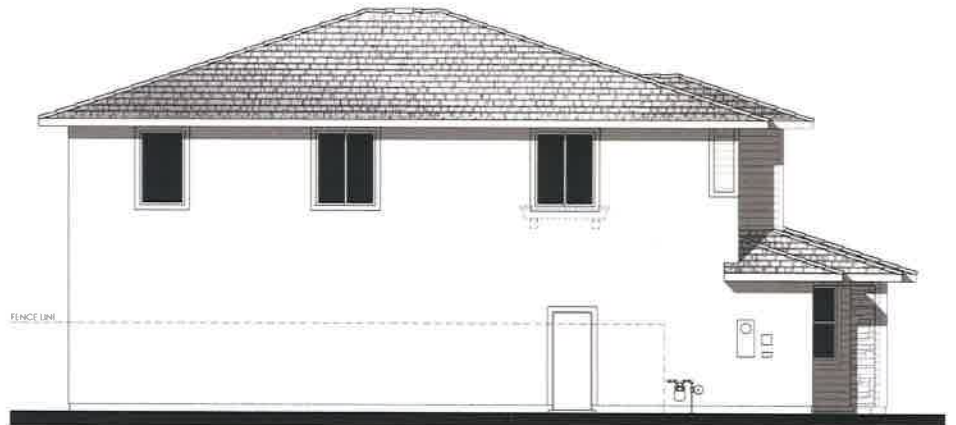
Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

PLAN 5B OPT. DECK (2968 "B")
MODERN FARMHOUSE ELEVATION



LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

50' x 90'
20119A

11/16/2021
A-49

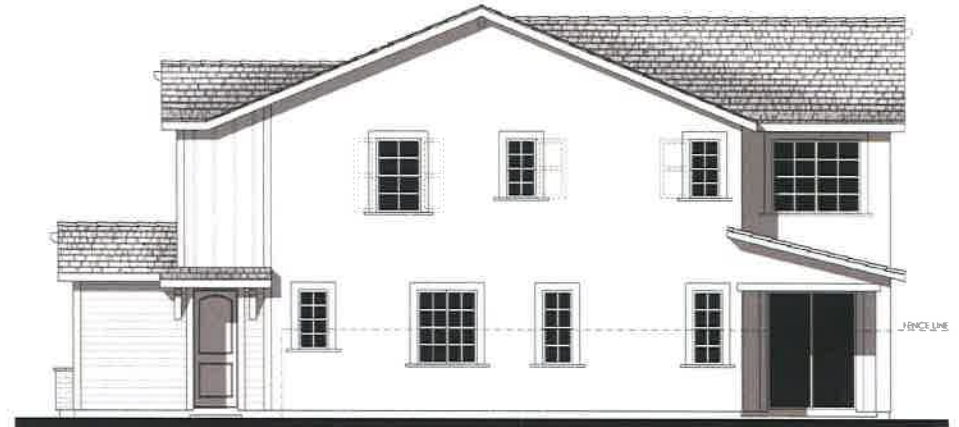
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Architect
Inc
#20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

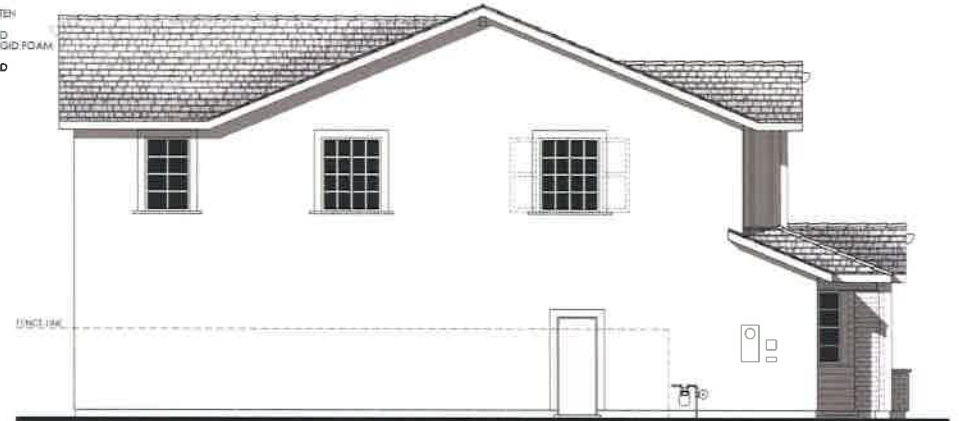
MATERIALS LEGEND

- (WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE FLAT TILE
- FASCIA: CUTTER
- BARGE: 2x6 WOOD
- GABLE END: WOOD GRAIN FOAM OUTLOOKER
- WALL: BOARD AND BATTEN
STUCCO / BRICK
- LAP SIDING
- BOARD AND BATTEN
- VINYL W/ GRILL
- SHUTTERS: SIMULATED WOOD
- TRIM: STUCCO OVER RIGID FOAM
- WAINSCOT: BRICK VENEER
- POT SHELF: SIMULATED WOOD



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME B
PLAN 5C (2968 "C")
 CALIFORNIA COTTAGE ELEVATION



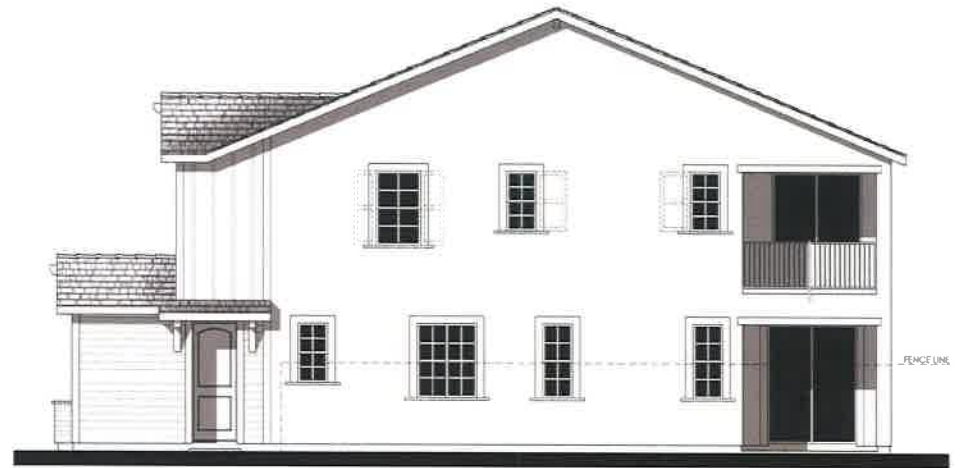
LENNAR

Silver Knoll at **RUSSELL RANCH**
 FOLSOM, CA

50' x 90'
 20119A

11/16/2021
 A-50

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 Inc. #20119



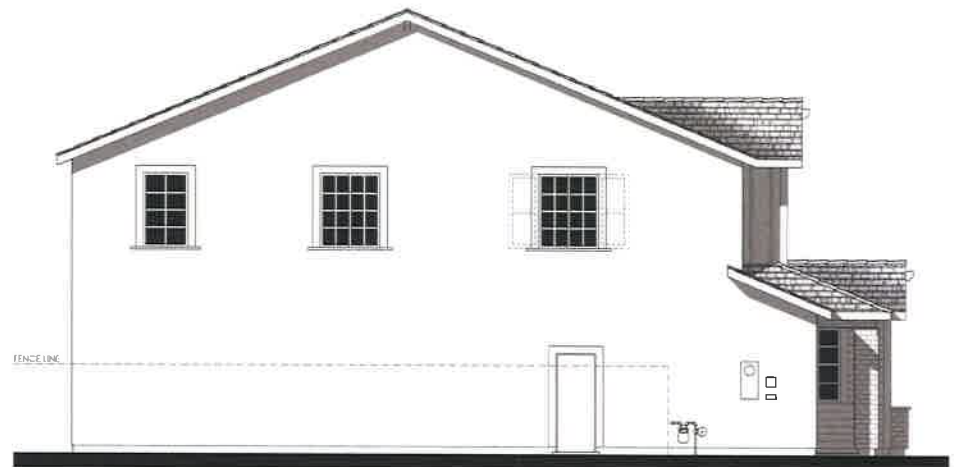
Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

PLAN 5C OPT. DECK (2968 "C")
PROGRESSIVE TRADITIONAL ELEVATION



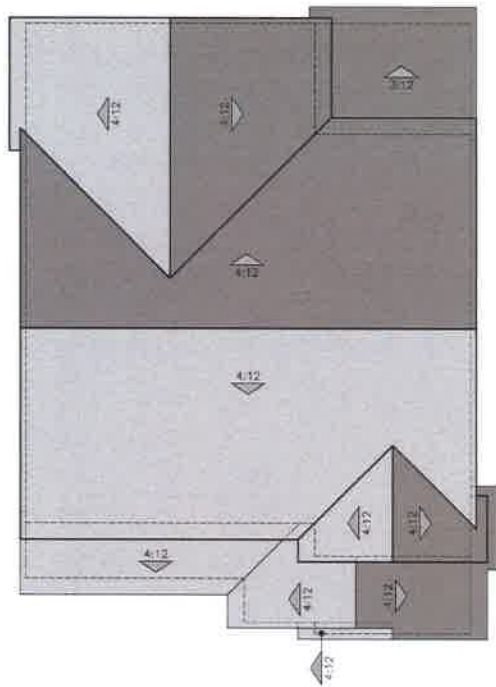
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

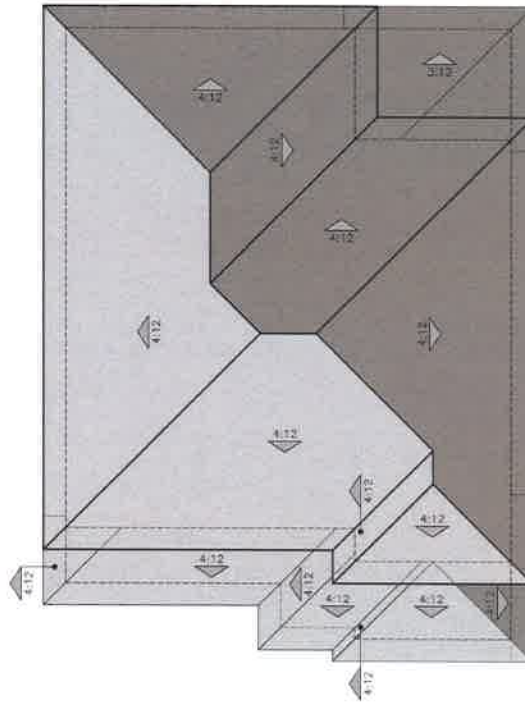
30' x 90'
20119A

11/16/2021
A-51

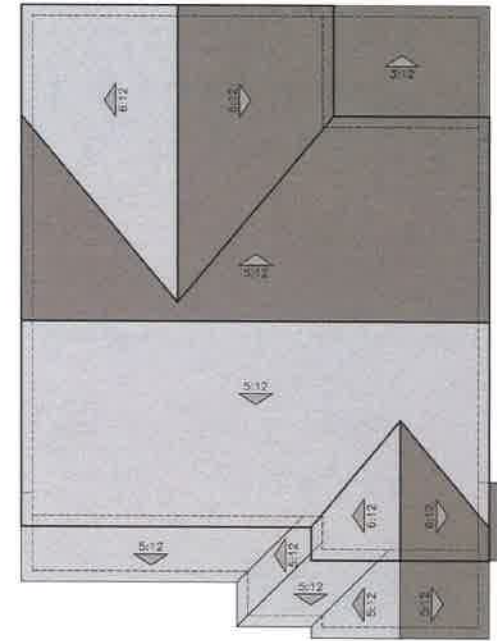
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#20119



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

ROOF PLANS
PLAN 5 (2968)



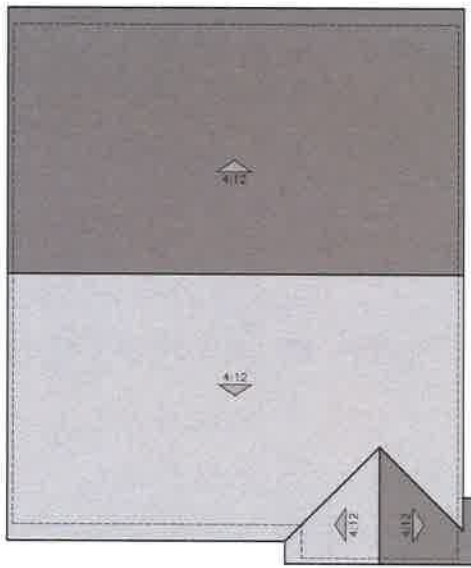
LENNAR

Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA

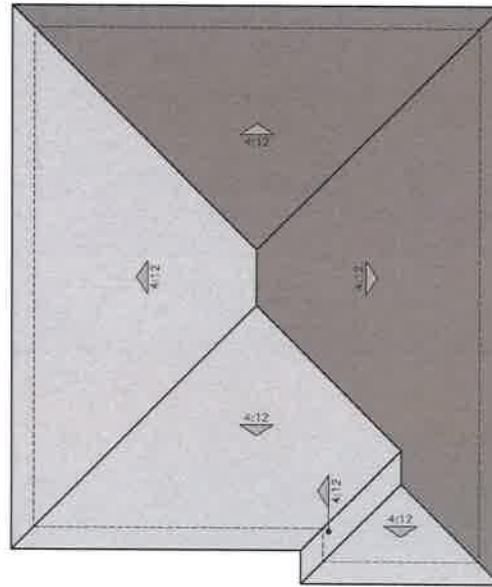
50' x 90'
20119A

11/16/2021
A-52

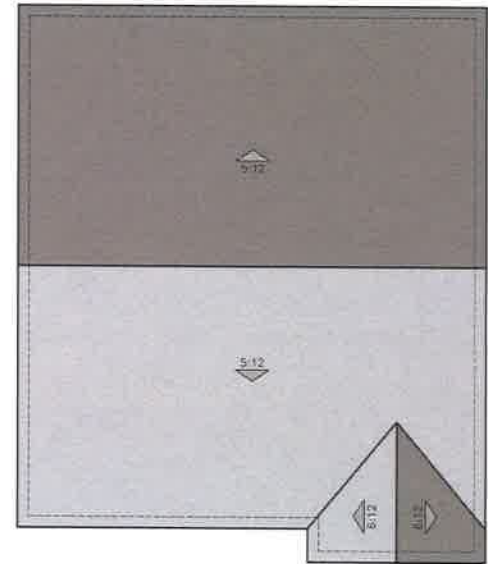
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Inc #20119



"A" SPANISH ECLECTIC



"B" CALIFORNIA PRAIRIE



"C" CALIFORNIA COTTAGE

ROOF PLANS
 PLAN 5 OPTIONAL DECK (2968)



SILVER KNOLL AT RUSSELL RANCH
FOLSOM, CA

JOB # 20119A / 50'x90'
CREATED 3/22/2021
Planning Dept
Revisions 8/18/2021

A ELEVATIONS			
SPANISH ECLECTIC	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO PAINT BODY	SW2835	SW8917	SW6080
	CRAFTSMAN BROWN	SHELL WHITE	UTTERLY BEIGE
FASCIA / TRIM / GARAGE DOOR	SW2836	SW7033	SW6081
	QUARTERSAWN OAK	BRAINSTORM BRONZE	DOWN HOME
FRONT DOOR / SHUTTERS	SW2837	SW7068	SW7515
	AURORA BROWN	GRIZZLE GRAY	HOMESTEAD BROWN
ROOF: LOW PROFILE	1VICS3233	1VICSS537	1VICS6464
"S" VILLA	BROWN BLEND	PUEBLO SIENNA BLD	CA MISSION BLEND
BRICK:	CARAMELO	CARAMELO	CARAMELO
CAPISTRANO ADOBE	PAINT OVER WITH SW2835	PAINT OVER WITH SW8917	PAINT OVER WITH SW6080
GROUT	GRAY	GRAY	GRAY
FLUSH MORTAR JOINT	GRAY	GRAY	GRAY
PAVERS:	SAT-SQ1	SAT-SQ1	SAT-SQ1
SALTILLO TILES	UNSEALED	UNSEALED	UNSEALED

PAINT: SHERWIN WILLIAMS
STONE / BRICK: CULTURED STONE / ELDORADO

ROOF: BORAL

GROUT: ORCO or EQUAL

PAVERS: CASA CASTILLO

B ELEVATIONS			
CALIFORNIA PRAIRIE	SCHEME 4	SCHEME 5	SCHEME 6
STUCCO PAINT BODY	SW2844	SW7004	SW7676
	RYCRFT MIST GRAY	SNOWBOUND	PAPER LANTERN
FASCIA / TRIM / GARAGE DOOR	SW7047	SW7069	SW2820
	PORPOISE	IRON ORE	DOWNING EARTH
LAP SIDING	SW9171	SW2849	SW7695
	FELTED WOOL	WESTCHESTER GRAY	MESA TAN
FRONT DOOR	SW2812	SW0020	SW7707
	ROOKWOOD JADE	PEACOCK PLUME	COPPER WIRE
ROOF: FLAT SLATE	1FECY4070	1FACS1430	1FECY0300
	SEA PEARL BLEND	CHARCOAL BLEND	BRONZE PEARL BLD
STONE:			
EUROPEAN LEDGE +	COTTONWOOD	SIDEWALK	IRON MILL

C ELEVATIONS			
CALIFORNIA COTTAGE	SCHEME 7	SCHEME 8	SCHEME 9
STUCCO PAINT BODY	SW7661	SW7547	SW7738
	REFLECTION	SANDBAR	CARGO PANTS
FASCIA / TRIM	SW7757	SW7004	SW7008
	HIGH REFLECTIVE WT	SNOWBOUND	ALABASTER
ALL SIDING / GARAGE DOOR	SW7624	SW7550	SW7748
	SLATE TILE	RESORT TAN	GREEN EARTH
FRONT DOOR / SHUTTERS	SW0033	SW2854	SW0044
	REMBRANDT RUBY	CARIBBEAN CORAL	HUBBARD SQUASH
ROOF: FLAT SHAKE	1FBCF1430	1FBCF0007	1FBCF3726
	CHARCOAL BLEND	TOFFEE	HICKORY
BRICK:	CARBON	HIGH DESERT	MOROCCAN SAND
	HANDMADE	USED	HANDMADE
GROUT	GRAY	GRAY	GRAY

LENNAR
Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

ALL FLASHING, GUTTERS, DOWNSPOUTS ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE. ALL PAINT BREAKS TO BE CUT AT INSIDE CORNERS.
* FOR PHOTOSHOP & RENDERING PURPOSES ONLY. DO NOT USE IN THE FIELD.
+ DRYSTACK INSTALLATION
TODAS LAS TAPAJUNTAS, CAALERAS, CAALONES, ETC SERAN PINTADOS PARA IGUALAR A LA SUPERFICIE DE JUNTO
TODAS LAS RESTAURAS DE PINTURA SE CORTARAN EN LAS ESQUINAS INTERIORES
*SOLO PARA FINE'S DE PHOTOSHOP Y REPRESENTACIONES. NO USAR EN EL CAMPO

WRITTEN COLOR SCHEMES

LENNAR

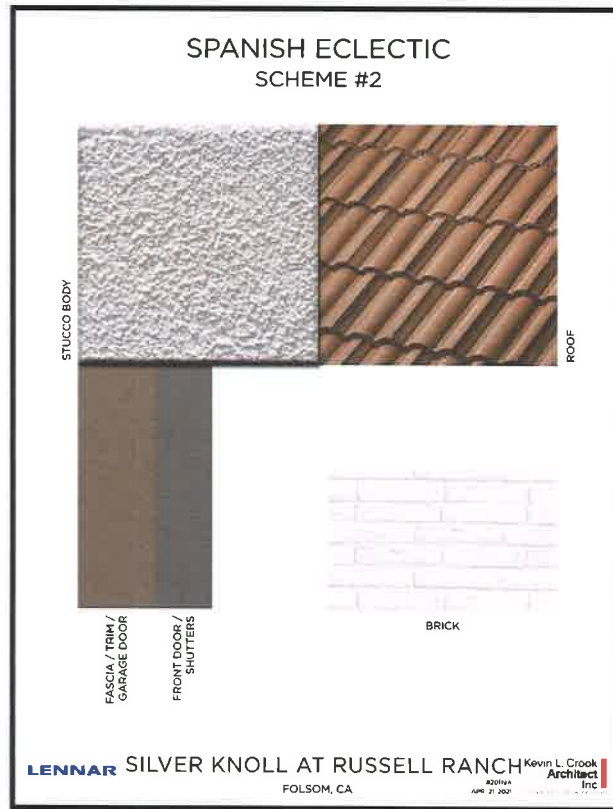
Silver Knoll at **RUSSELL RANCH**
FOLSOM, CA



50' x 90'
20119A

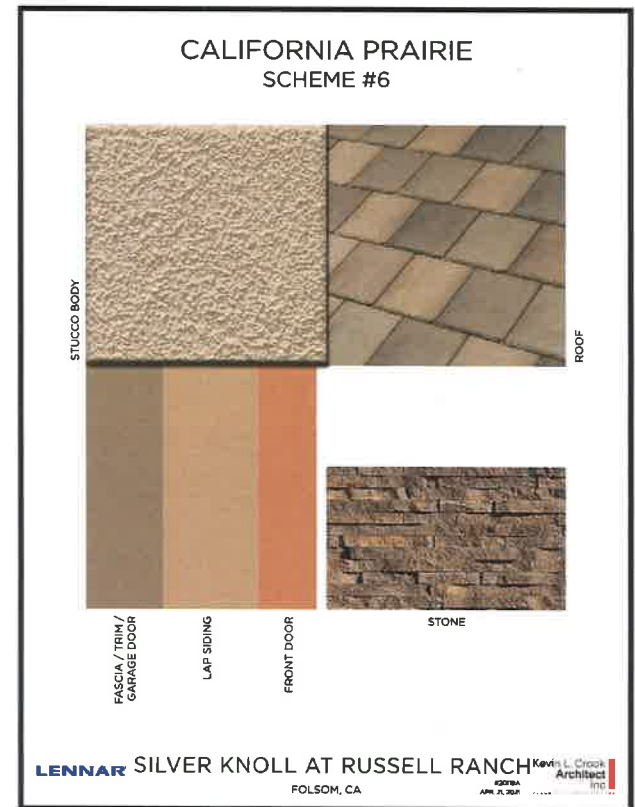
11/16/2021
A-54

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Architect
Inc
#20119



COLOR BOARDS - "A" SPANISH ECLECTIC

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.



COLOR BOARDS - "B" CALIFORNIA PRAIRIE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.



COLOR BOARDS - "C" CALIFORNIA COTTAGE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.



Sterling Hills at

RUSSELL



RANCH

FOLSOM, CA



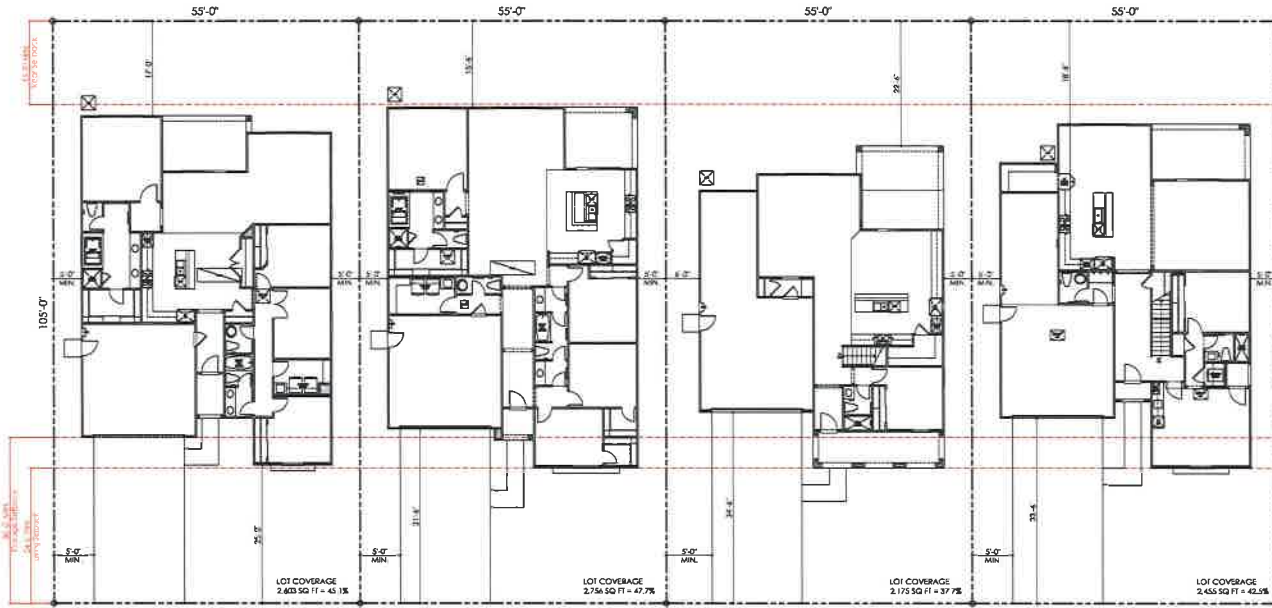
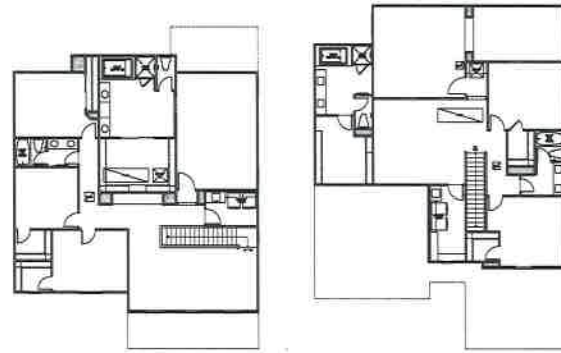
55' x 105'
20119F



LENNAR

11/16/2021
A-58

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Architect
Inc. #20119



PLAN 1 (1991)

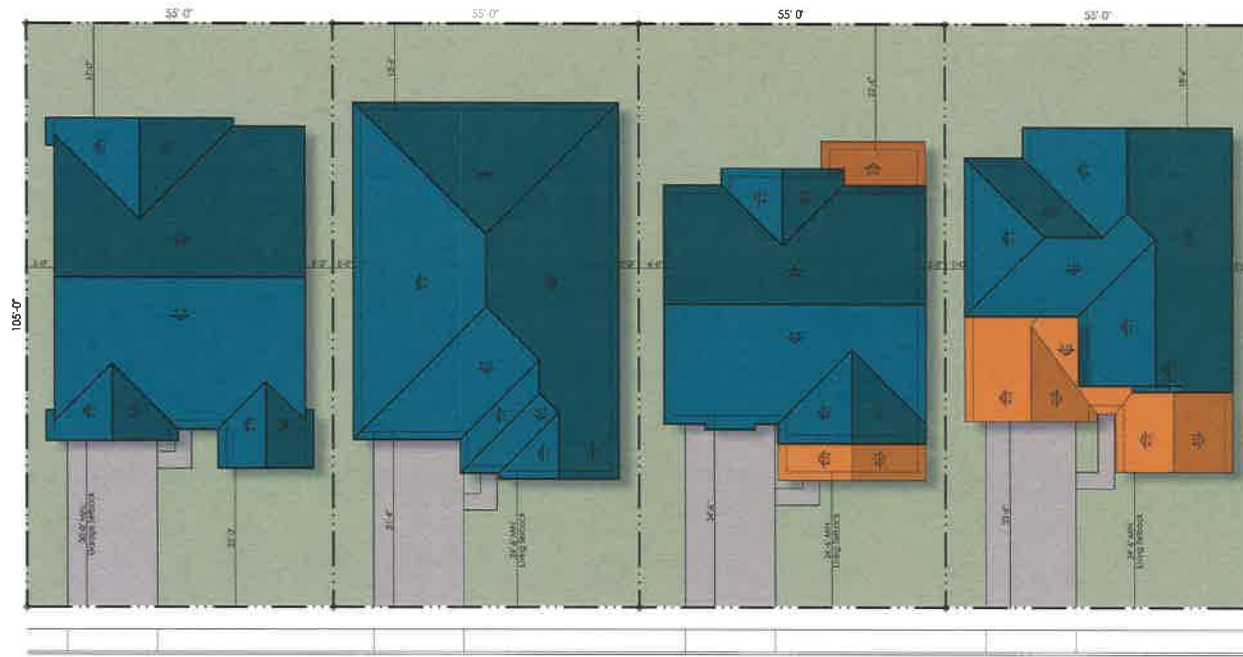
PLAN 2 (2162)

PLAN 3 (3028)

PLAN 4 (3312)

TYPICAL PLOTTING





PLAN 1 | SPANISH COLONIAL REVIVAL

PLAN 2 | CALIFORNIA WINE

PLAN 3 | TRANSITIONAL BUNGALOW

PLAN 4 | SPANISH COLONIAL REVIVAL

LEGEND

- FIRST FLOOR MASSING
- SECOND FLOOR MASSING
- COVERED FRONT PORCH (ONE STORY)
- DRIVEWAY / SIDEWALK

ARTICULATION PLAN

LENNAR

Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA



55' x 105'
20119F

11/16/2021
A-60

Kevin L. Crook
Architect
Inc.

F20119



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"A" SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS



"A" SPANISH COLONIAL REVIVAL



"B" CALIFORNIA WINE



"C" TRADITIONAL BUNGALOW



© 2021 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

"B" CALIFORNIA WINE

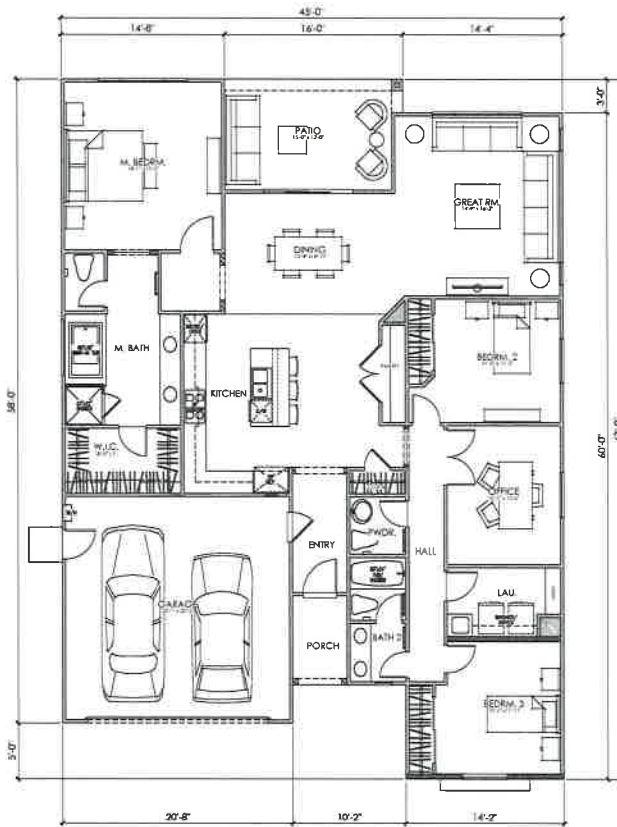


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"C" TRANSITIONAL BUNGALOW

PLAN 1 (1,991)
FRONT ELEVATIONS





FLOOR PLAN
 PLAN 1 (1991 "A")
 3 BEDROOM, 2.5 BATH, OFFICE

PLAN 1
 AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1,991 SQ. FT.
TOTAL DWELLING	1,991 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	419 SQ. FT.
PORCH "A"	38 SQ. FT.
PORCH "B"	38 SQ. FT.
PORCH "C"	38 SQ. FT.
PATIO	153 SQ. FT.



LENNAR

Sterling Hills at RUSSELL RANCH
 FOLSOM, CA

55' x 105'
 20112F

11/16/2021
 A-62

Kevin L. Crick
 Architect
 Inc.

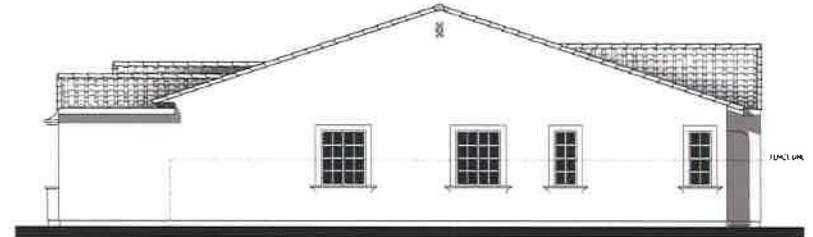
#201119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

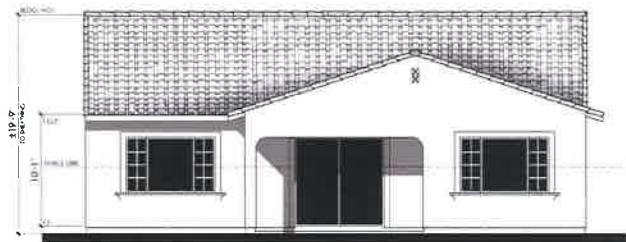


Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT

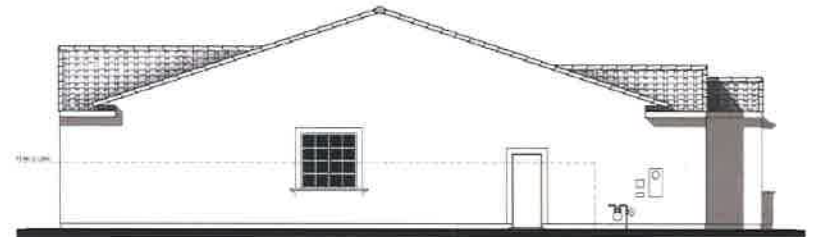
MATERIALS LEGEND

- | | |
|-----------------|-------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE LOW PROFILE "S" TILE |
| ROOF EXTENSION: | WOOD CORBEL & KNEE BRACE |
| FASCIA: | GUTTER |
| BARGE: | 2x4 WOOD |
| GABLE END: | WOOD GRAIN FOAM OUTLOOKER |
| WALL: | STUCCO / BRICK |
| WINDOWS: | BOARD AND BATTEN |
| SHUTTERS: | VINYL W/ GRIDS |
| TRIM: | SIMULATED WOOD |
| PORCH: | STUCCO OVER RIGID FOAM |
| | WOOD POST AND BEAM |
| | DECORATIVE WOOD CORBEL |
| | WOOD RAILING |
| CANTILEVER: | POLYURETHANE CORBEL |



Items shown dashed shall occur at lots requiring enhancements, see site

REAR



LEFT

COLOR SCHEME 1
PLAN 1A (1991)
 SPANISH COLONIAL REVIVAL ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations.

FRONT



RIGHT

MATERIALS LEGEND

- (MARKED ON ELEVATIONS)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - WALL: STUCCO / LAP SIDING / STONE VENEER
 - WINDOWS: VINYL
 - TRIM: STUCCO OVER RIGID FOAM
 - ROOF EXTENSION: CONCRETE FIBER TRIM
 - WOOD CORBEL & KNEE BRACE



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



LEFT

COLOR SCHEME 4
PLAN 1B (1991)
 CALIFORNIA WINE ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

11/16/2021
 A-64

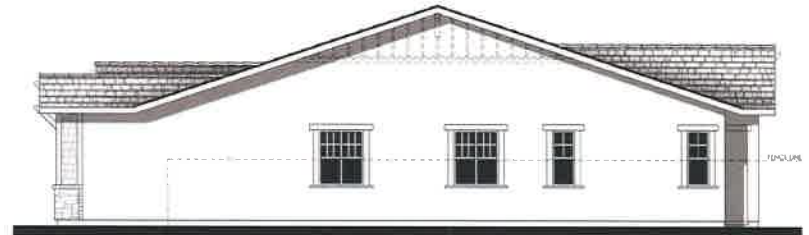
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 Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT

MATERIALS LEGEND

- (WHERE SHOWN)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - BARGE: 2x4 WOOD
 - ROOF EXTENSION: WOOD CORBEL AND KNEE BRACE
 - GABLE END: WOOD CORBEL AND KNEE BRACE
 - WALL: BOARD AND BATTEN
 - WINDOWS: STUCCO / LAP SIDING
 - TRIM: VINYL W/ GRIDS
 - PORCH: STUCCO OVER RIGID FOAM
 - CANTILEVER: CEMENTITIOUS FIBER TRIM
 - WAINSCOT: DOUBLE WOOD POST W/ BRICK
 - : PICKET RAIL
 - : POLYURETHANE CORBEL
 - : BRICK



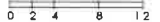
Items shown dashed shall occur at lots requiring enhancements, see site

REAR



LEFT

COLOR SCHEME 7
PLAN 1C (1991)
 TRANSITIONAL BUNGALOW ELEVATION



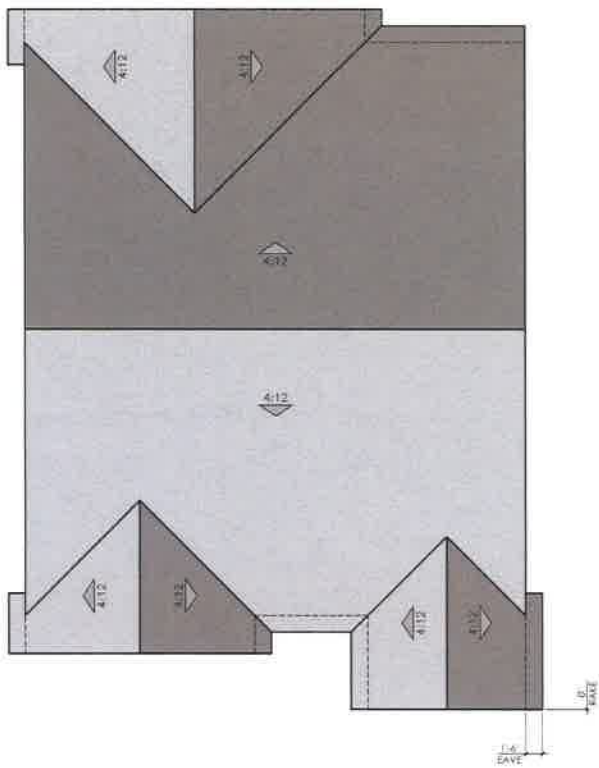
LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

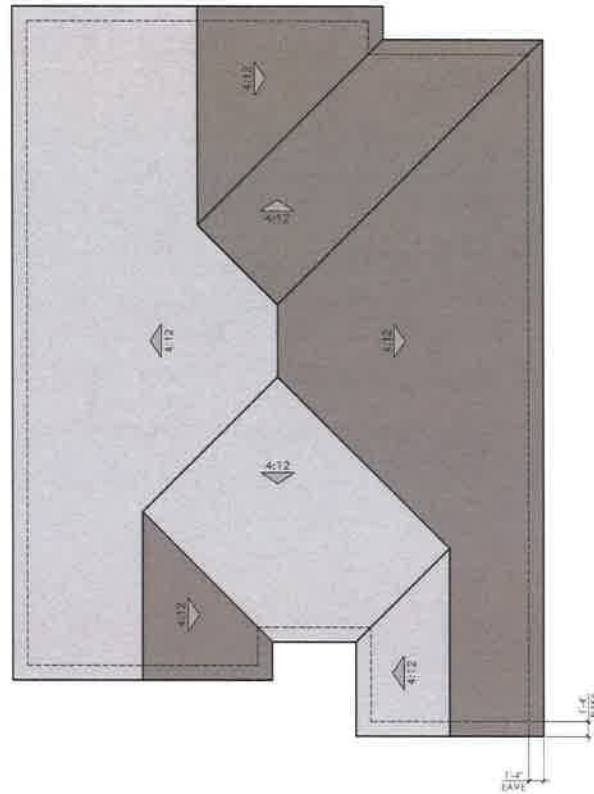
55' x 105'
 20119F

11/16/2021
 A-65

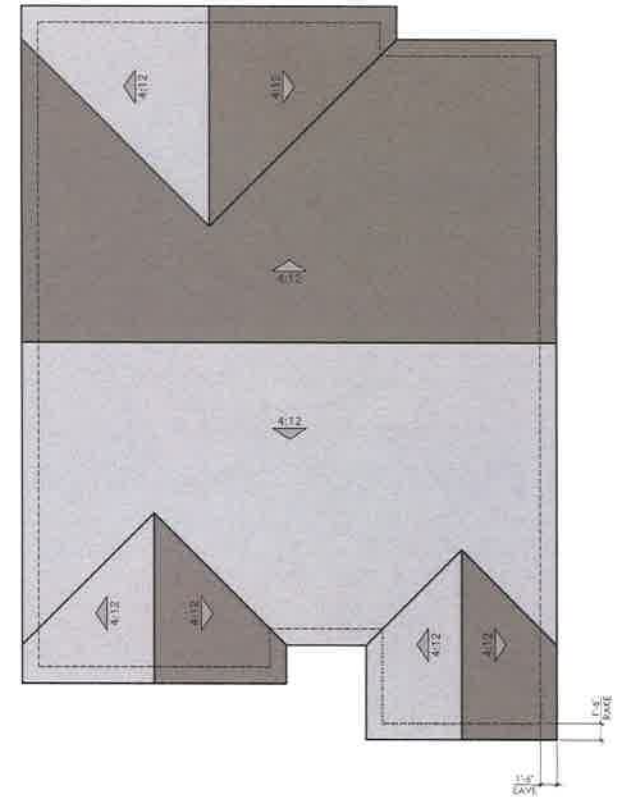
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 Inc. #20119



"A" - SPANISH COLONIAL REVIVAL



"B" - CALIFORNIA WINE



"C" - TRANSITIONAL BUNGALOW

ROOF PLANS
PLAN 1 (1991)

0 2 4 8 12

LENNAR

Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA

55' x 105'
20119F

11/16/2021
A-66

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"A" SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS



"A" SPANISH COLONIAL REVIVAL



"B" CALIFORNIA WINE



"C" TRADITIONAL BUNGALOW



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"B" CALIFORNIA WINE

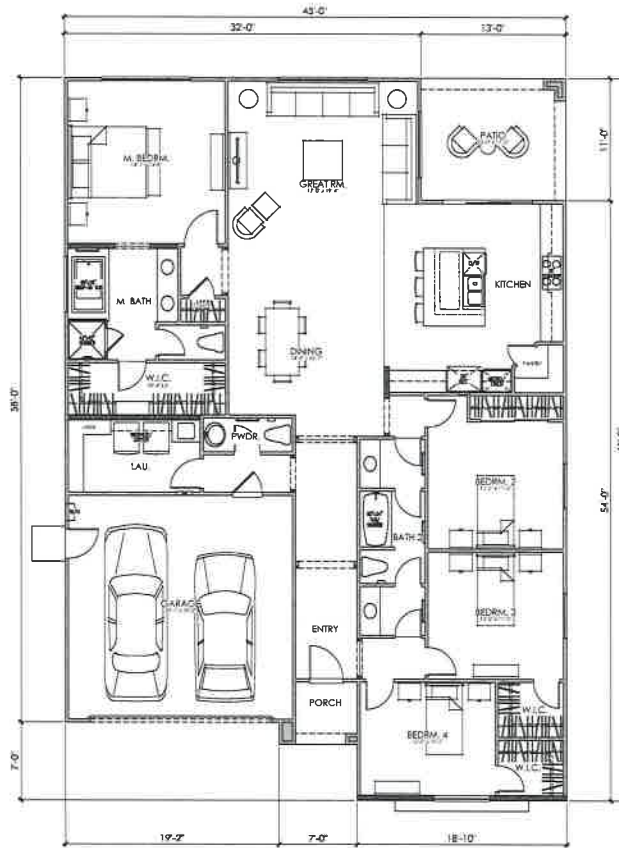


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"C" TRANSITIONAL BUNGALOW

PLAN 2 (2162)
FRONT ELEVATIONS





FLOOR PLAN
 PLAN 2 (2162 "A")
 4 BEDROOM, 2.5 BATH

PLAN 2
 AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	2,162 SQ. FT.
TOTAL DWELLING	2,162 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	417 SQ. FT.
PORCH "A"	34 SQ. FT.
PORCH "B" & "C"	59 SQ. FT.
PATIO	143 SQ. FT.

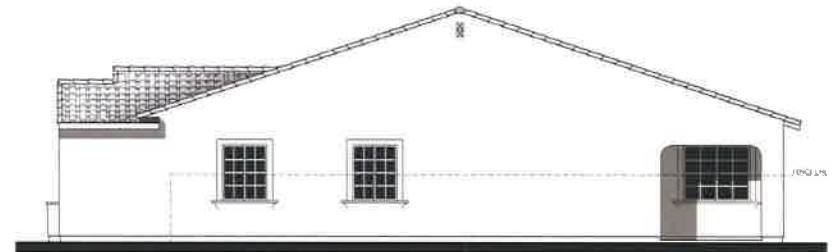




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

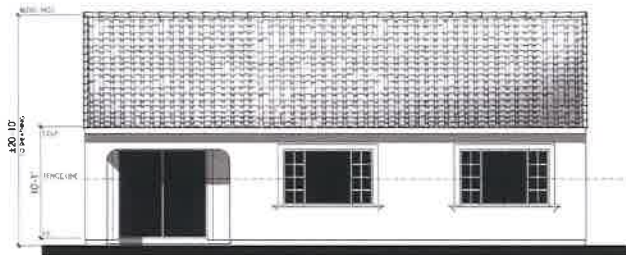


Items shown dashed shall occur at lots requiring enhancements see site

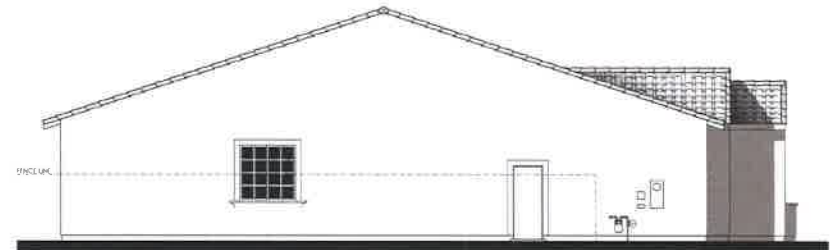
RIGHT

MATERIALS LEGEND

- (WHERE APPLICABLE)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE LOW PROFILE "S" TILE
 - ROOF EXTENSION: WOOD CORBEL & KNEE BRACE
 - FASCIA: GUTTER
 - BARGE: 2x4 WOOD
 - GABLE END: WOOD GRAIN FOAM OUTLOOKER
 - WALL: STUCCO / BRICK
 - WINDOWS: BOARD AND BATTEN
 - SHUTTERS: VINYL W/ GRIDS
 - TRIM: SIMULATED WOOD
 - PORCH: STUCCO OVER RICH FOAM
 - CANTILEVER: WOOD POST AND BEAM
 - WOOD RAILING
 - POLYURETHANE CORBEL



REAR



LEFT

COLOR SCHEME 2
PLAN 2A (2162)
 SPANISH COLONIAL REVIVAL ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

11/16/2021
 A-69

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 Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



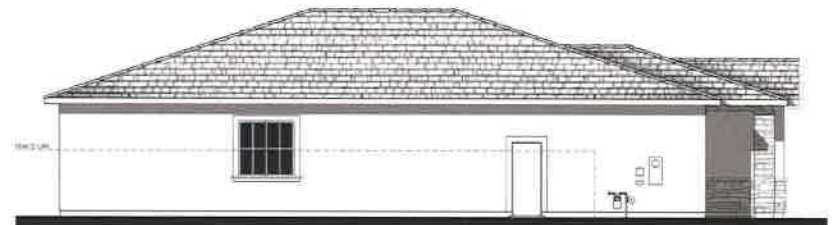
RIGHT

MATERIALS LEGEND

- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE FLAT TILE
- FASCIA: GUTTER
- WALL: STUCCO / LAP SIDING / STONE VENEER
- WINDOWS: VINYL
- TRIM: STUCCO OVER RIGID FOAM
- CEMENTITIOUS FIBER TRIM
- ROOF EXTENSION: WOOD CORBEL & KNEE BRACE



REAR



LEFT

COLOR SCHEME 5
PLAN 2B (2162)
 CALIFORNIA WINE ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

11/16/2021
 A-70

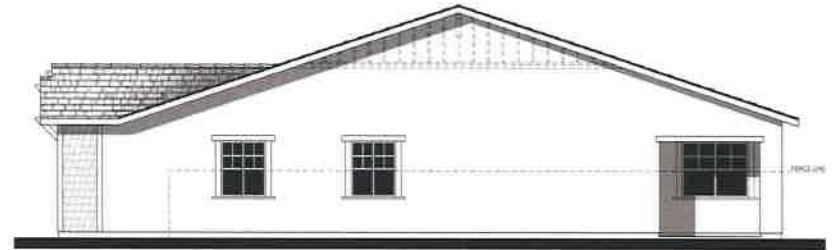
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Refer to landscape drawings for wall, tree, and shrub locations

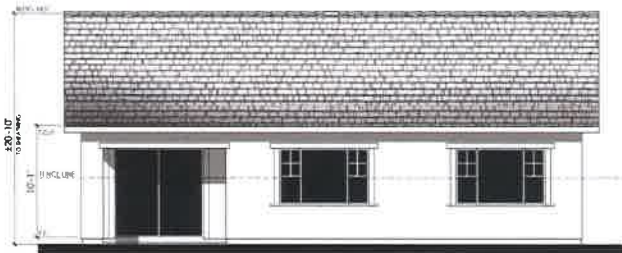
FRONT



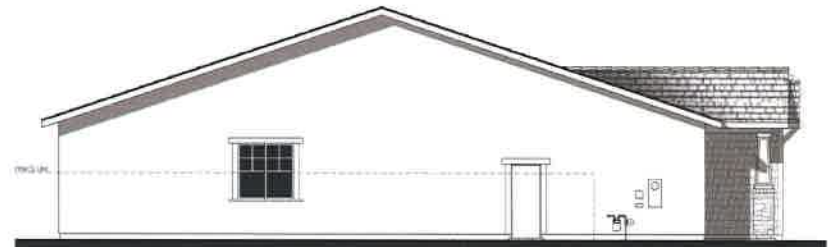
RIGHT

MATERIALS LEGEND

- (WHERE NOT SHOWN)
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- ROOF: CONCRETE FLAT TILE
- FASCIA: GUTTER
- BARGE: 2x6 WOOD
- ROOF EXTENSION: WOOD CORBEL AND KNEE BRACE
- GABLE END: WOOD CORBEL AND KNEE BRACE BOARD AND BATTEN
- WALL: STUCCO / LAP SIDING
- WINDOWS: VINYL W/ GRIDS
- TRIM: STUCCO OVER RIGID FOAM CEMENTITIOUS FIBER TRIM
- PORCH: DOUBLE WOOD POST W/ BRICK PICKET RAIL
- CANTILEVER: POLYURETHANE CORBEL
- WAINSCOT: BRICK



REAR



LEFT

COLOR SCHEME 8
PLAN 2C (2162)
 TRANSITIONAL BUNGALOW ELEVATION



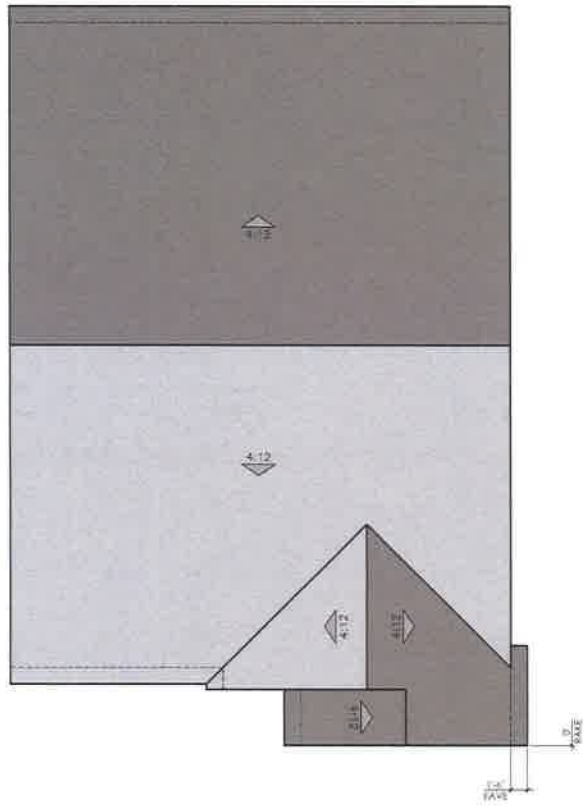
LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

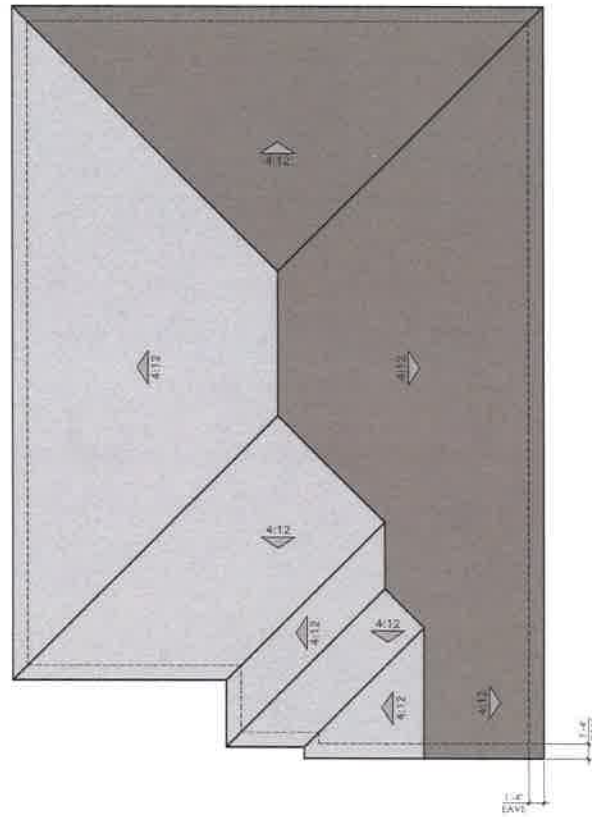
55' x 105'
 20119F

11/16/2021
 A-71

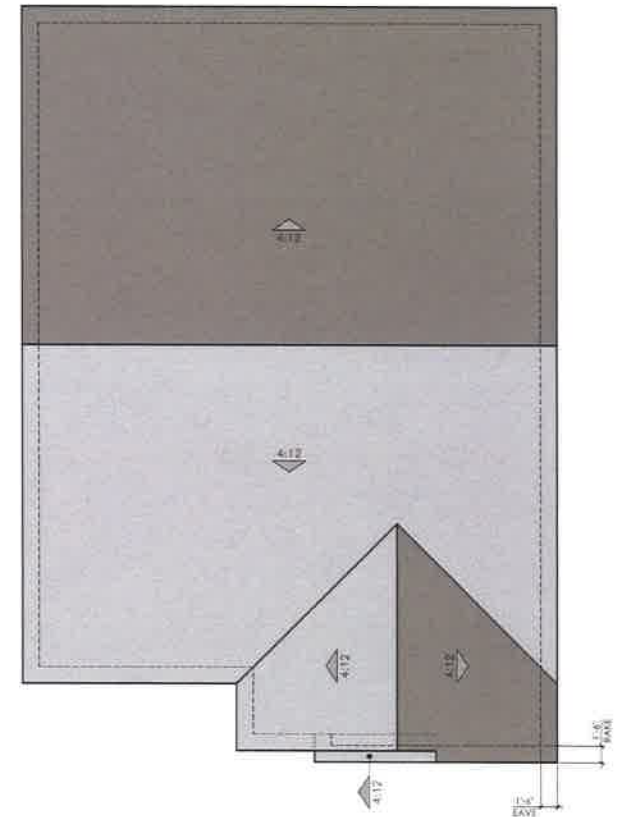
Kevin L. Crook
Architect
 Inc. #20119



"A" - SPANISH COLONIAL REVIVAL



"B" - CALIFORNIA WINE



"C" - TRANSITIONAL BUNGALOW

ROOF PLANS
PLAN 2 (2162)



EXTERIOR LIGHTS



"A" SPANISH COLONIAL REVIVAL



"B" CALIFORNIA WINE



"C" TRADITIONAL BUNGALOW



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"A" SPANISH COLONIAL REVIVAL



© 2021 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

"B" CALIFORNIA WINE



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"C" TRANSITIONAL BUNGALOW

PLAN 3 (3028)
FRONT ELEVATIONS

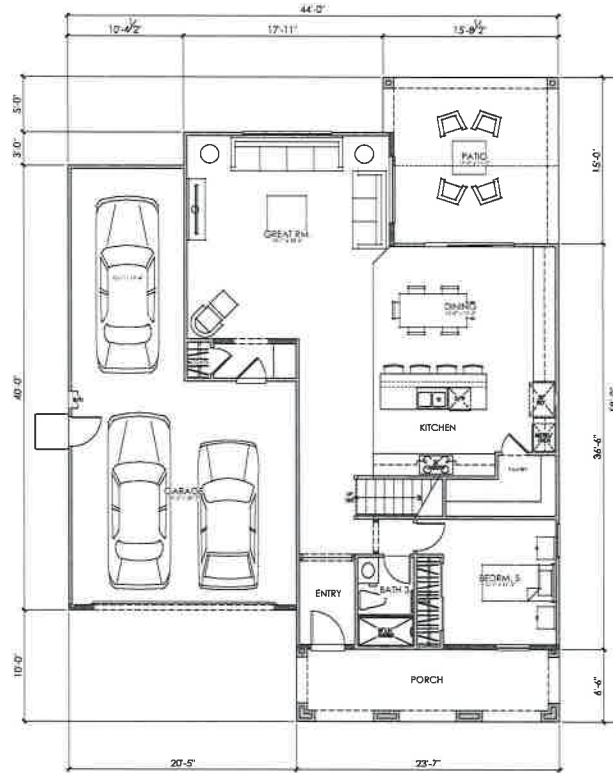




OPT. DECK



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 3 (3028 "A")
5 BEDROOM, 3 BATH, LOFT, OPT. DECK

**PLAN 3
AREA TABULATION**

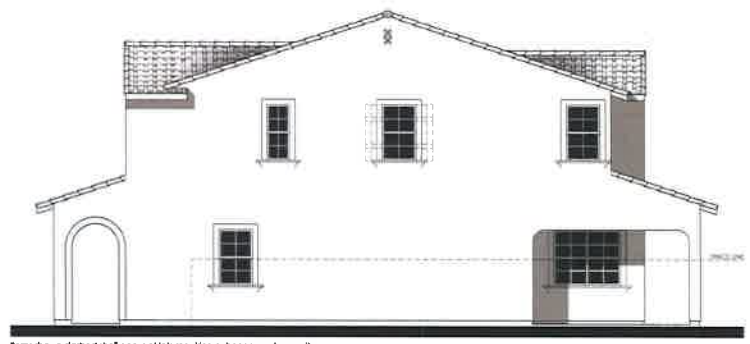
CONDITIONED SPACE	
FIRST FLOOR AREA	1,173 SQ. FT.
SECOND FLOOR AREA	1,855 SQ. FT.
TOTAL DWELLING	3,028 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	620 SQ. FT.
PORCH "A"	153 SQ. FT.
PORCH "B"	153 SQ. FT.
PORCH "C"	153 SQ. FT.
PATIO	230 SQ. FT.
OPT. DECK	124 SQ. FT.





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FRONT



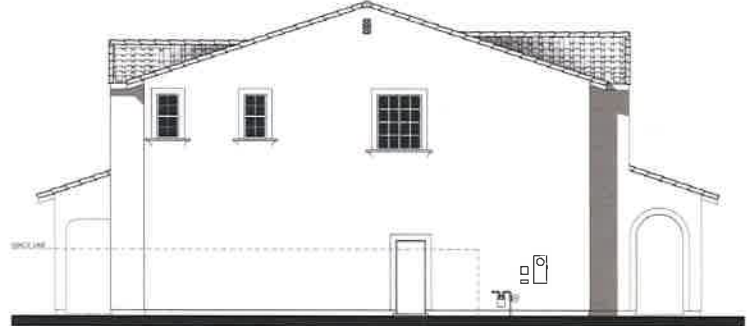
Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site

REAR

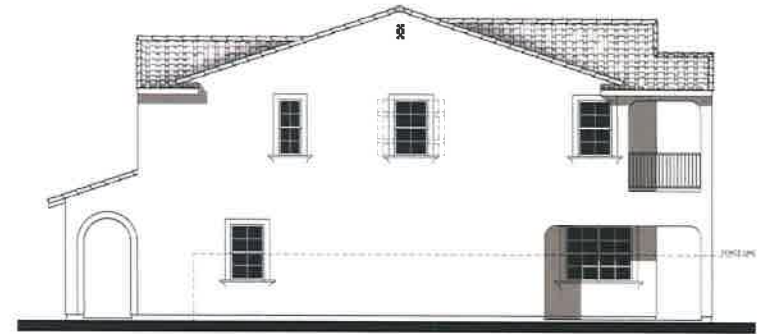


LEFT

- MATERIALS LEGEND**
(WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE LOW PROFILE "S" TILE
 - ROOF EXTENSION: WOOD CORBEL & KNEE BRACE
 - FASCIA: GUTTER
 - BARGE: 2x6 WOOD
 - GABLE END: WOOD GRAIN FOAM OUTLOOKER
 - WALL: STUCCO / BRICK
 - WINDOWS: SQUARE AND BATTEN
 - SHUTTERS: VINYL W/ GRIDS
 - TRIM: SIMULATED WOOD
 - PORCH: STUCCO OVER RIGID FOAM
 - CANTILEVER: WOOD POST AND BEAM
 - WOOD RAILING
 - POLYURETHANE CORBEL

COLOR SCHEME 3
PLAN 3A (3028)
 SPANISH COLONIAL REVIVAL ELEVATION





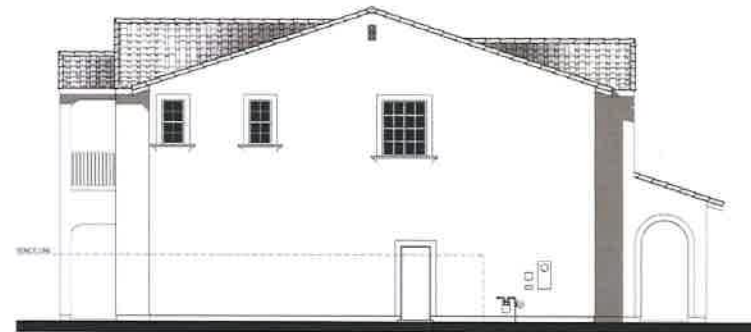
Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



LEFT

PLAN 3 (3028 "A" OPTIONAL DECK)
SPANISH COLONIAL REVIVAL ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA

55' x 105'
20119F

11/16/2021
A-76

Kevin L. Crook
Architect
Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations.

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

MATERIALS LEGEND

- (WHERE APPLICABLE)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - WALL: STUCCO / LAP SIDING / STONE VENEER
 - WINDOWS: VINYL
 - TRIM: STUCCO OVER RIGID FOAM
 - ROOF EXTENSION: CERAMIC TILE TRIM
 - WOOD CORBEL & KNEE BRACE



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



LEFT

COLOR SCHEME 6
PLAN 3B (3028)
 CALIFORNIA WINE ELEVATION



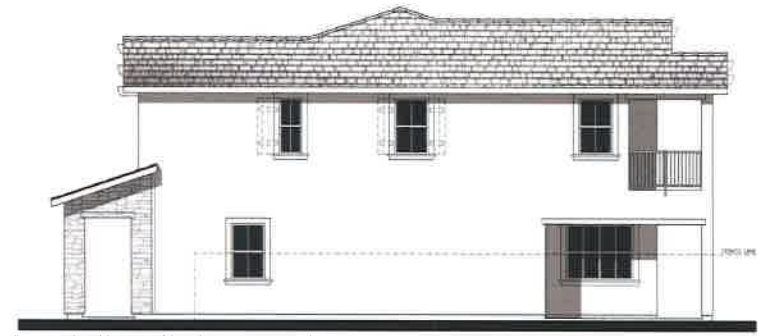
LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

11/16/2021
 A-77

Kevin L. Crook
Architect
 Inc. #20119



RIGHT



REAR



LEFT

COLOR SCHEME 6
 PLAN 3 (3028 "B" OPTIONAL DECK)
 CALIFORNIA WINE ELEVATION

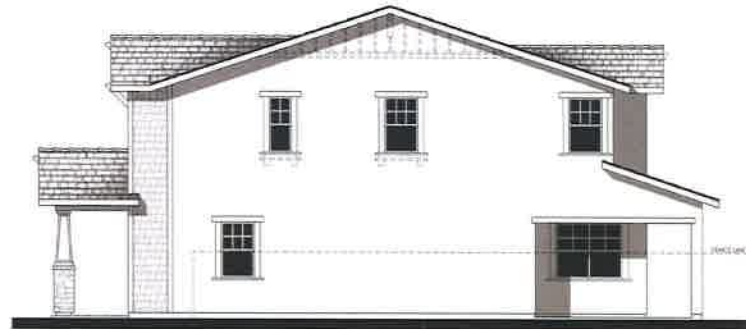




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Refer to landscape drawings for wall, tree, and shrub locations.

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

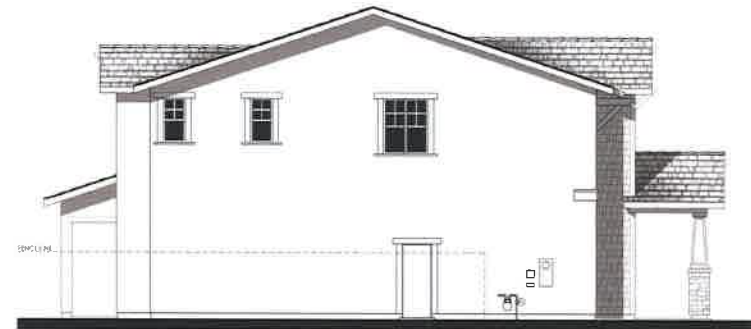
MATERIALS LEGEND

- (WHERE APPLICABLE)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - BARGE: 2x4 WOOD
 - ROOF EXTENSION: WOOD CORBEL AND KNEE BRACE
 - GABLE END: WOOD CORBEL AND KNEE BRACE
 - BOARD AND BATTEN
 - WALL: STUCCO / LAP SIDING
 - WINDOWS: VINYL W/ GRIDS
 - TRIM: STUCCO OVER RIGID FOAM
 - PORCH: CEMENTITIOUS FIBER TRIM
 - CANTILEVER: DOUBLE WOOD POST W/ BRICK
 - WAINSCOT: PICKET RAIL
 - BRICK



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



Items shown dashed shall occur at lots requiring enhancements, see site.

LEFT

COLOR SCHEME 9
PLAN 3C (3028)
 TRANSITIONAL BUNGALOW ELEVATION



LENNAR

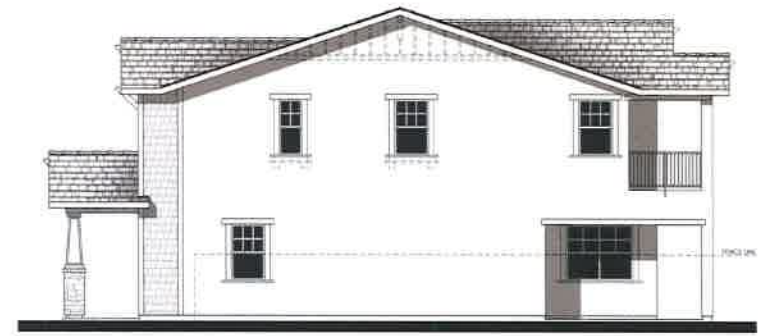
Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

11/16/2021
 A-79

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11/20/21



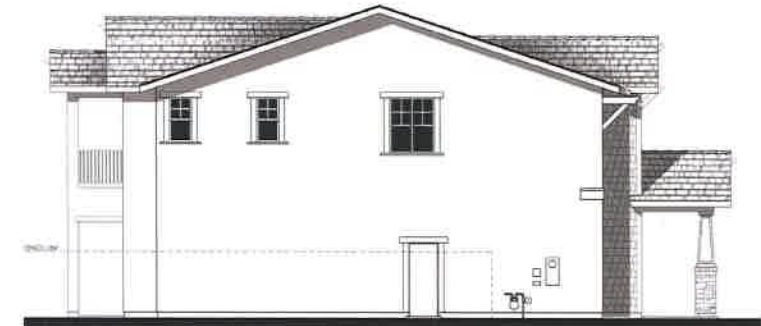
Items shown dashed shall occur on lots requiring enhancements, see site

RIGHT



Items shown dashed shall occur on lots requiring enhancements, see site

REAR



LEFT

PLAN 3 (3028 "C" OPTIONAL DECK)
TRANSITIONAL BUNGALOW ELEVATION



LENNAR

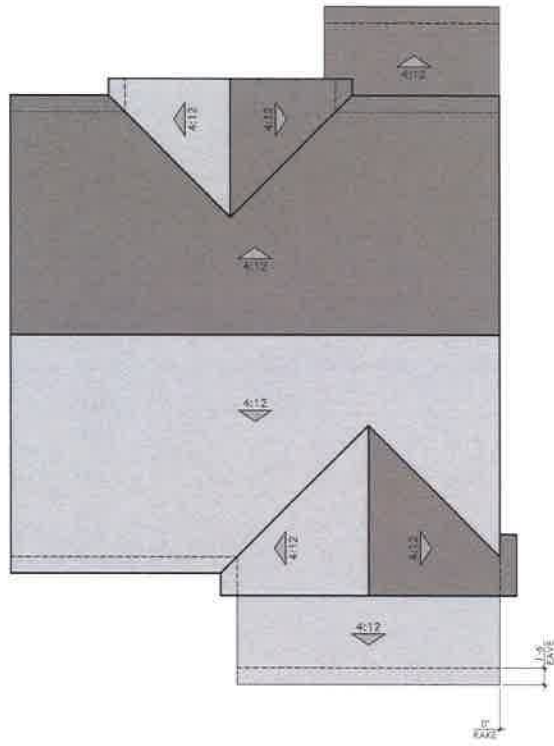
Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA

55' x 105'
20119F

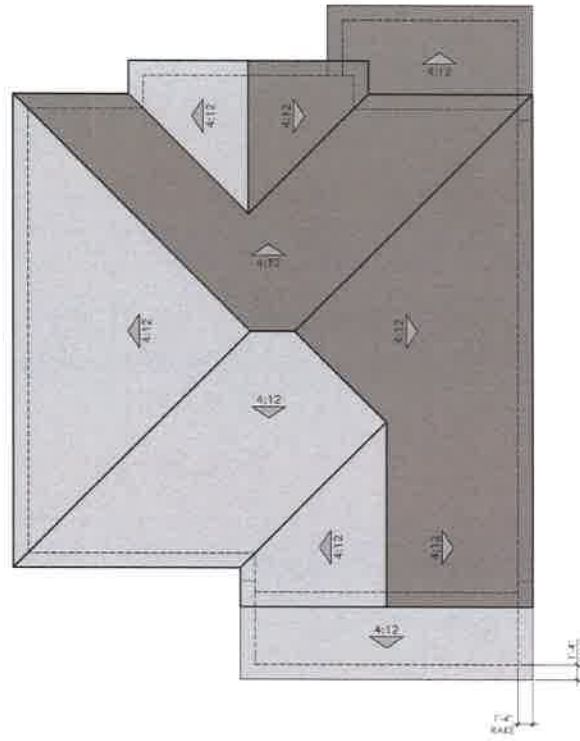
11/16/2021
A-80

Kevin L. Crook
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Inc.

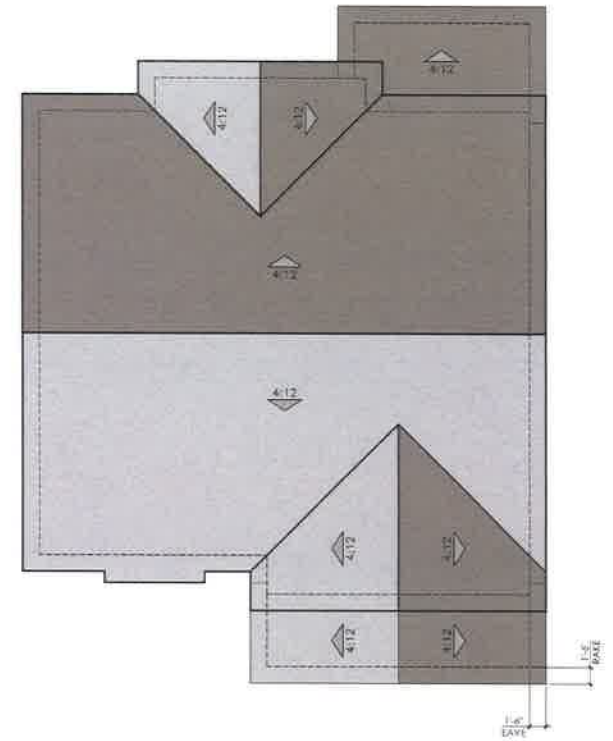
#20119



"A" - SPANISH COLONIAL REVIVAL



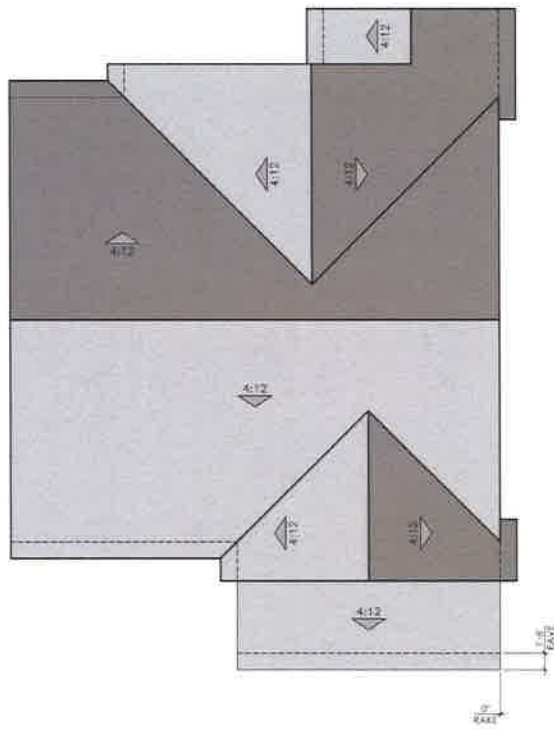
"B" - CALIFORNIA WINE



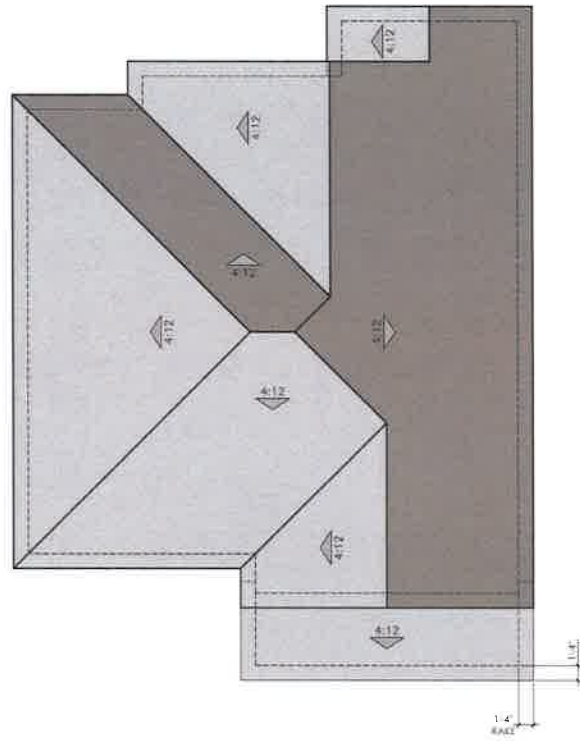
"C" - TRANSITIONAL BUNGALOW

ROOF PLANS
PLAN 3 (3028)

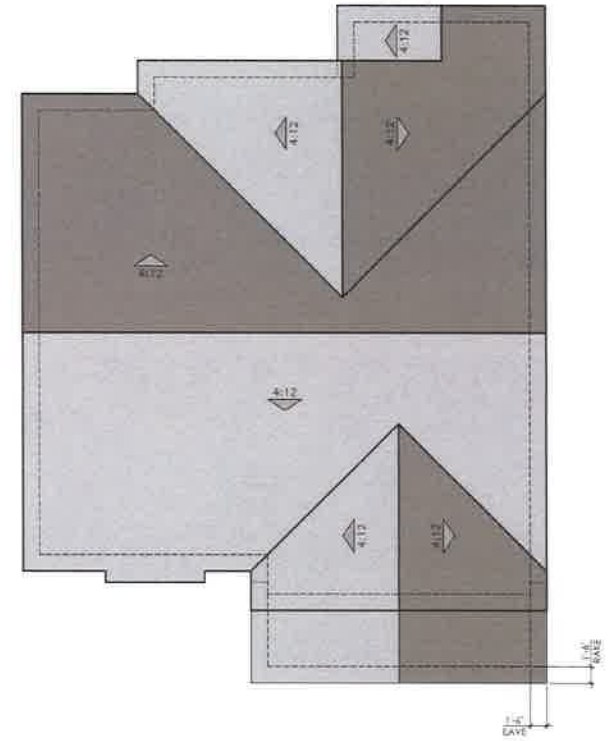




"A" - SPANISH COLONIAL REVIVAL



"B" - CALIFORNIA WINE



"C" - TRANSITIONAL BUNGALOW

OPT. DECK ROOF PLANS
PLAN 3 (3028)





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"A" SPANISH COLONIAL REVIVAL

EXTERIOR LIGHTS



"A" SPANISH COLONIAL REVIVAL



"B" CALIFORNIA WINE



"C" TRADITIONAL BUNGALOW



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"B" CALIFORNIA WINE

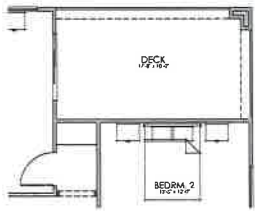


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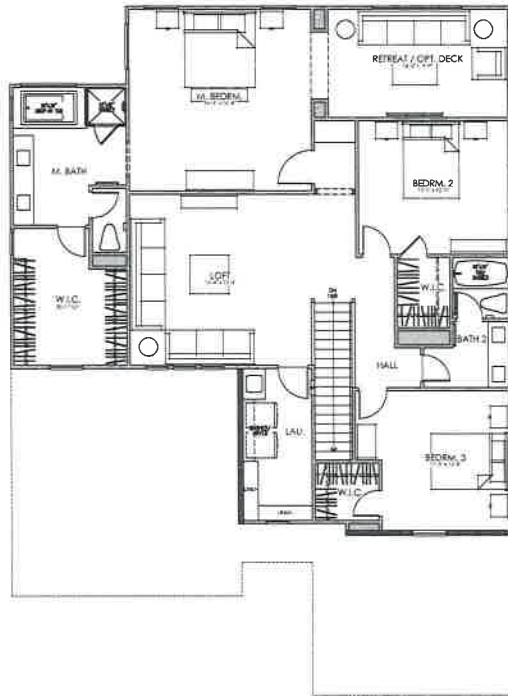
"C" TRANSITIONAL BUNGALOW

PLAN 4 (3312)
FRONT ELEVATIONS

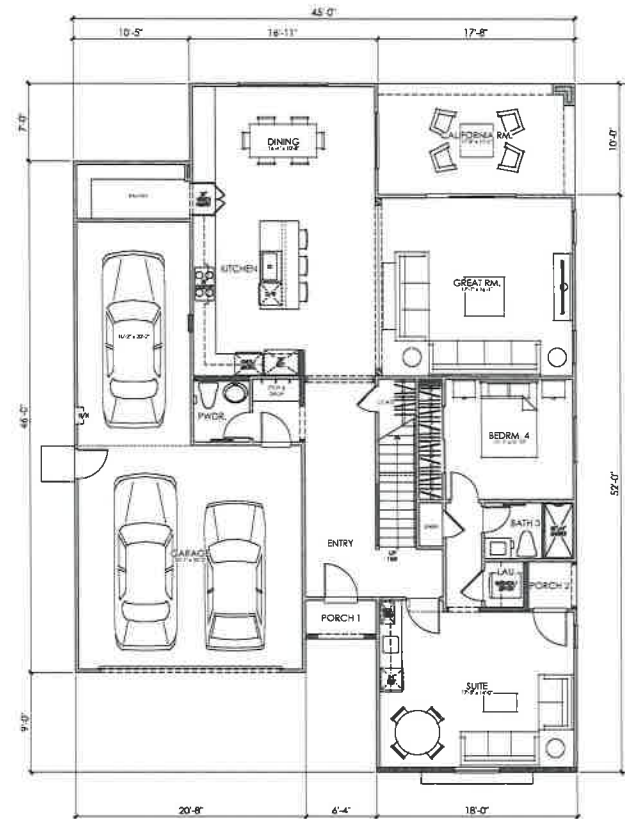




OPT. DECK



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 4 (3312 "A")
4 BEDROOM, 3.5 BATH, LOFT, SUITE, OPT. DECK

PLAN 4
AREA TABULATION

	MAIN RESIDENCE	SUITE	TOTAL
FIRST FLOOR AREA	1,081	+ 529	= 1,610 SQ. FT.
SECOND FLOOR AREA	1,702	+ 0	= 1,702 SQ. FT.
TOTAL DWELLING	2,783	+ 529	= 3,312 SQ. FT.

UNCONDITIONED SPACE

GARAGE	627	SQ. FT.
PORCH 1	22	SQ. FT.
PORCH 2	18	SQ. FT.
CALIFORNIA RM.	177	SQ. FT.
OPT. DECK	177	SQ. FT.

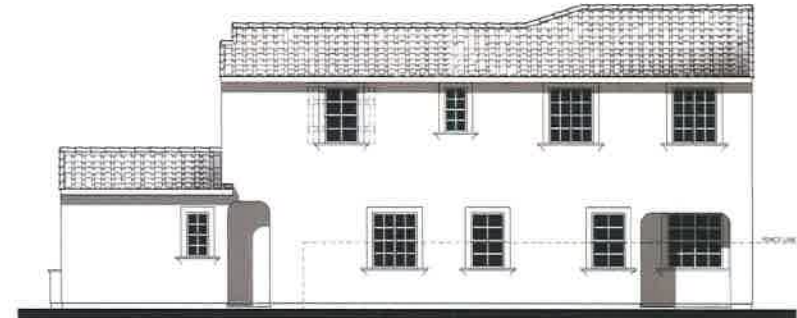




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Refer to landscape drawings for wall, tree, and shrub locations.

FRONT

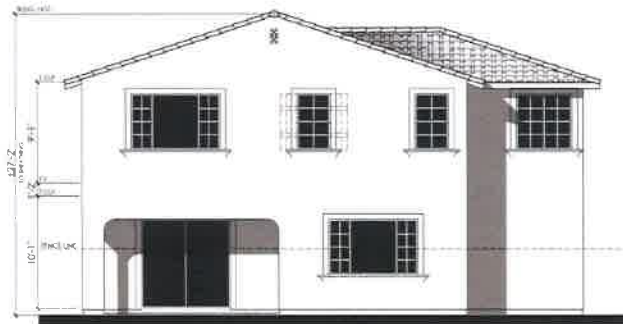


Items shown dashed shall occur at lots requiring enhancements, see site.

RIGHT

MATERIALS LEGEND

- (WHERE SPEC'D)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE LOW PROFILE 'S' TILE
 - ROOF EXTENSION: WOOD CORBEL & KNEE BRACE
 - FASCIA: GUTTER
 - BASE: 2x4 WOOD
 - GABLE END: WOOD GRAIN FOAM OUTLOOKER
 - WALL: STUCCO / BRICK
 - BOARD AND BATTEN
 - WINDOWS: VINYL W/ GRIDS
 - SHUTTERS: SIMULATED WOOD
 - TRIM: STUCCO OVER RIGID FOAM
 - PORCH: WOOD POST AND BEAM
 - CANTILEVER: DECORATIVE WOOD CORBEL
 - POLYURETHANE CORBEL



Items shown dashed shall occur at lots requiring enhancements, see site.

REAR



LEFT

COLOR SCHEME 1
PLAN 4A (3312)
 SPANISH COLONIAL REVIVAL ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

11/16/2021
 A-85

Kevin L. Crook
Architect
 Inc. #20119



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site

REAR

PLAN 4 (3312 "A" OPTIONAL DECK)
SPANISH COLONIAL REVIVAL ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA

55' x 105'
20119F

11/16/2021
A-86

Kevin L. Crook
Architect
Inc. #20119



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT

MATERIALS LEGEND

- (WHERE OCCURS):
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - WALL: STUCCO / LAP SIDING / STONE VENEER
 - WINDOWS: VINYL
 - TRIM: STUCCO OVER RIGID FOAM
 - ROOF EXTENSION: CEMENTITIOUS FIBER TRIM
 - WOOD CORBEL & KNEE BRACE



Items shown dashed shall occur at lots requiring enhancements, see site

REAR



LEFT

COLOR SCHEME 4
PLAN 4B (3312)
 CALIFORNIA WINE ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

11/16/2021
 A-87

Kevin L. Crook
Architect
 Inc. #20119



Items shown, dashed shall occur at lots requiring enhancements, see site

RIGHT



Items shown, dashed shall occur at lots requiring enhancements, see site

REAR

PLAN 4 (3312 "B" OPTIONAL DECK)
CALIFORNIA WINE ELEVATION



LENNAR

Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA

55' x 105'
20119F

11/16/2021
A-88

Kevin L. Crook
Architect
Inc.

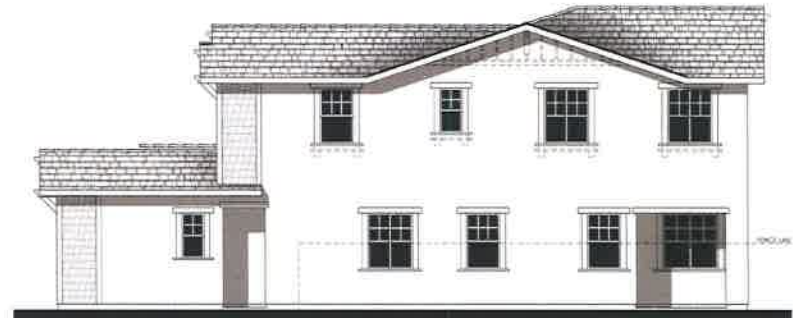
#20119



© 2021 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT

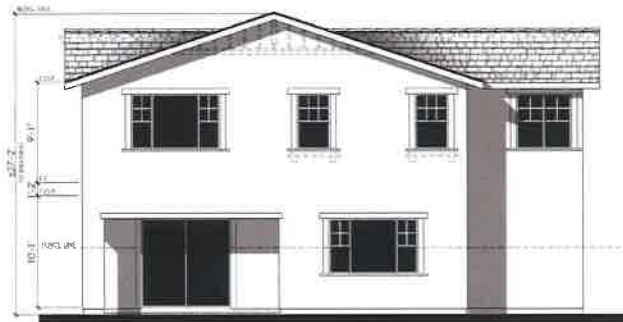


Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT

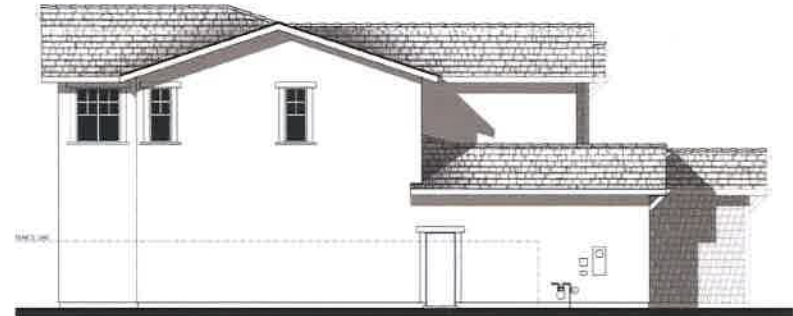
MATERIALS LEGEND

- (WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - FASCIA: GUTTER
 - BARGE: 2x4 WOOD
 - ROOF EXTENSION: WOOD CORBEL AND KNEE BRACE
 - GABLE END: WOOD CORBEL AND KNEE BRACE
 - BOARD AND BATTEN
 - WALL: STUCCO / LAP SIDING
 - WINDOWS: VINYL W/ GRIDS
 - TRIM: STUCCO OVER RIGID FOAM
 - PORCH: CEMENTITIOUS FIBER TRIM
 - CANTILEVER: DOUBLE WOOD POST W/ BRICK
 - WAINSCOT: PICKET RAIL
 - BRICK: POLYURETHANE CORBEL BRICK



Items shown dashed shall occur at lots requiring enhancements, see site

REAR



LEFT

COLOR SCHEME 7
PLAN 4C (3312)
 TRANSITIONAL BUNGALOW ELEVATION



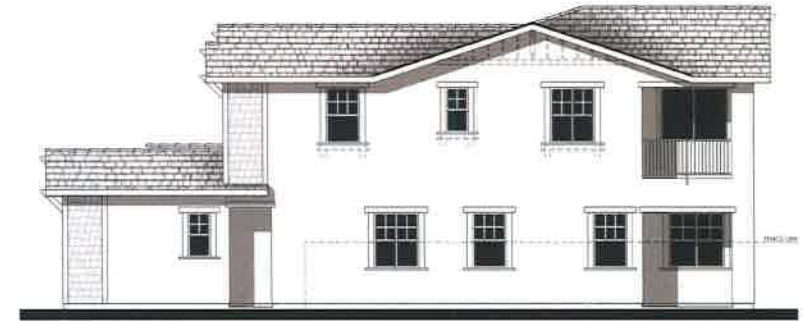
LENNAR

Sterling Hills at **RUSSELL RANCH**
 FOLSOM, CA

55' x 105'
 20119F

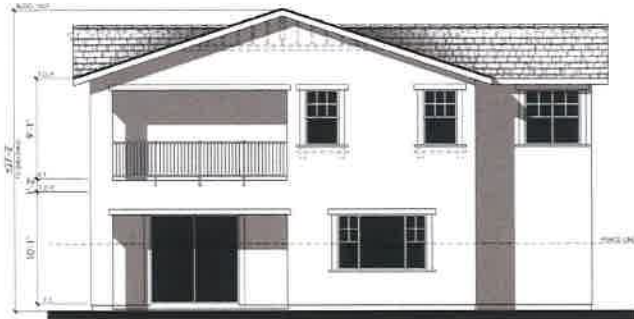
11/16/2021
 A-89

Kevin L. Crook
Architect
 Inc. #20119



Items shown dashed shall occur at lots requiring enhancements, see site

RIGHT



Items shown dashed shall occur at lots requiring enhancements, see site

REAR

PLAN 4 (3312 "C" OPTIONAL DECK)
TRANSITIONAL BUNGALOW ELEVATION



LENNAR

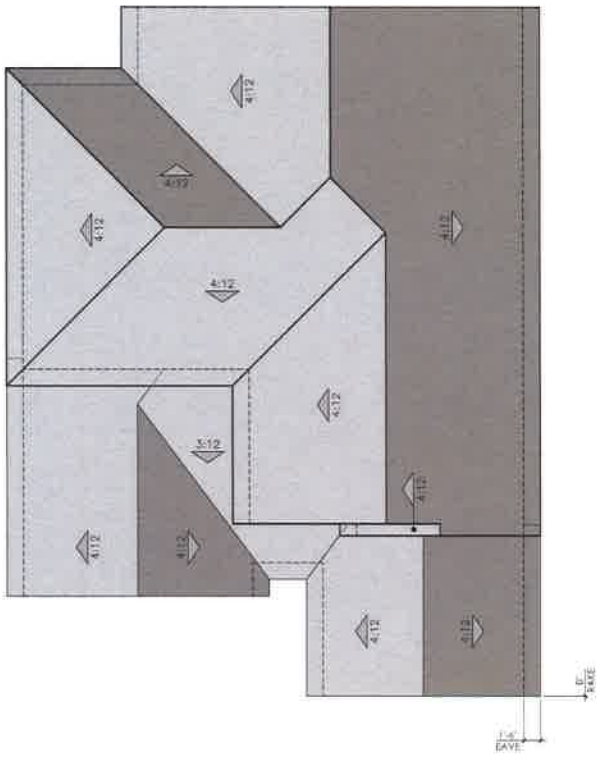
Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA

55' x 105'
20112F

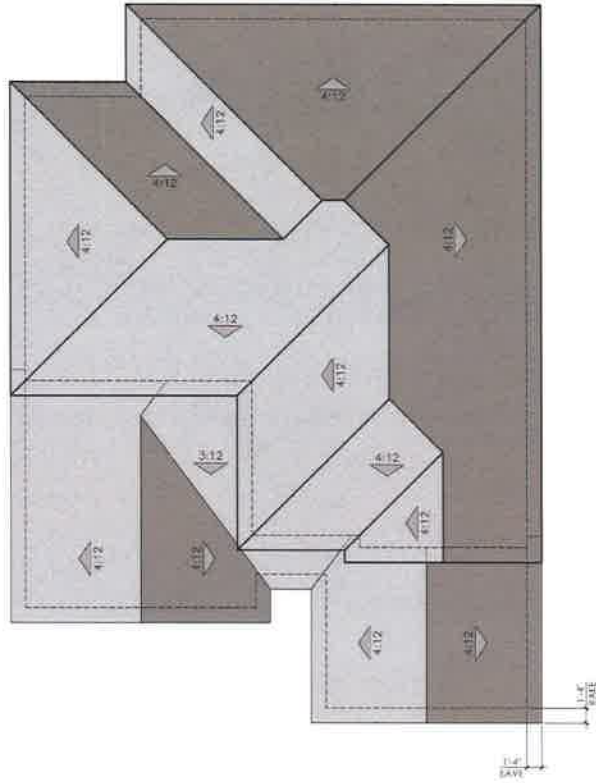
11/16/2021
A-90

Kevin L. Cook
Architect
Inc.

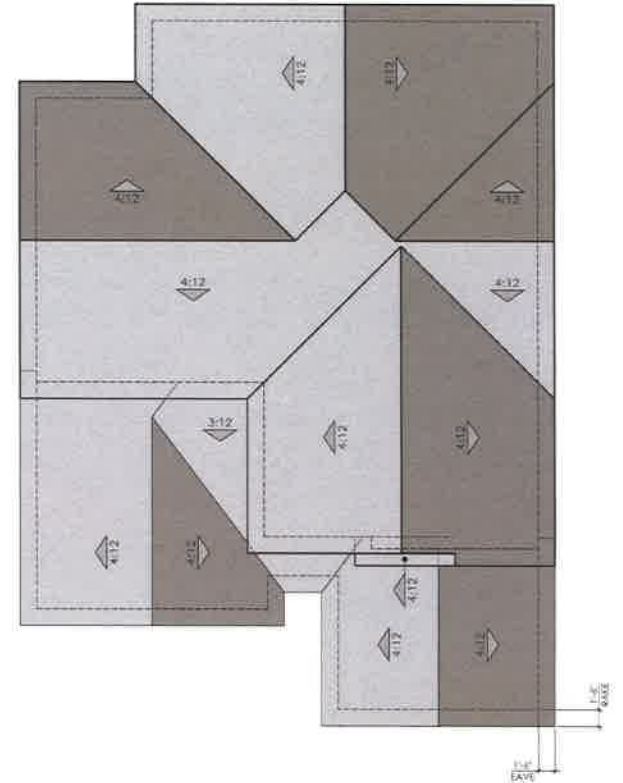
11/20/19



"A" - SPANISH COLONIAL REVIVAL



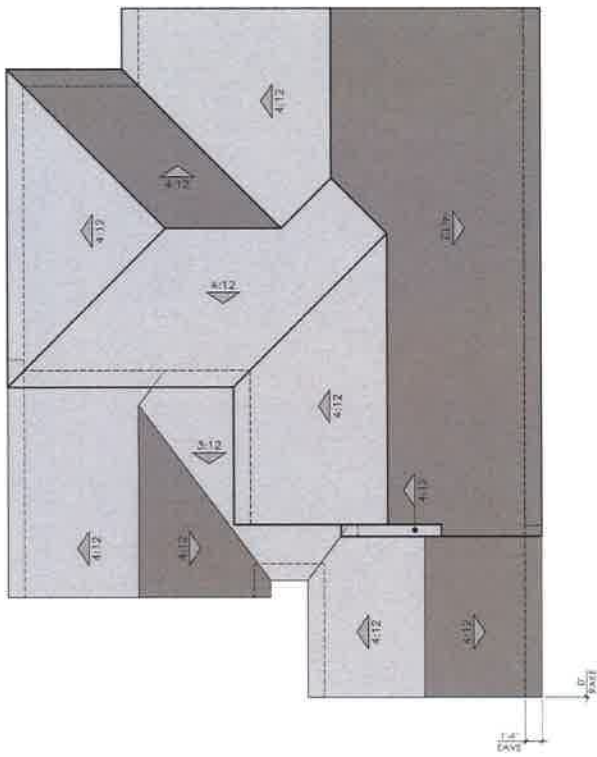
"B" - CALIFORNIA WINE



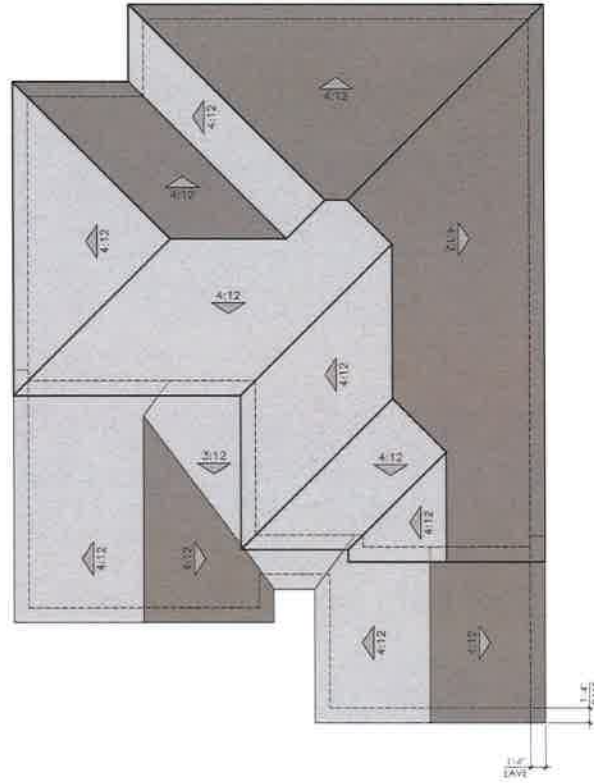
"C" - TRANSITIONAL BUNGALOW

ROOF PLANS
PLAN 4 (3312)

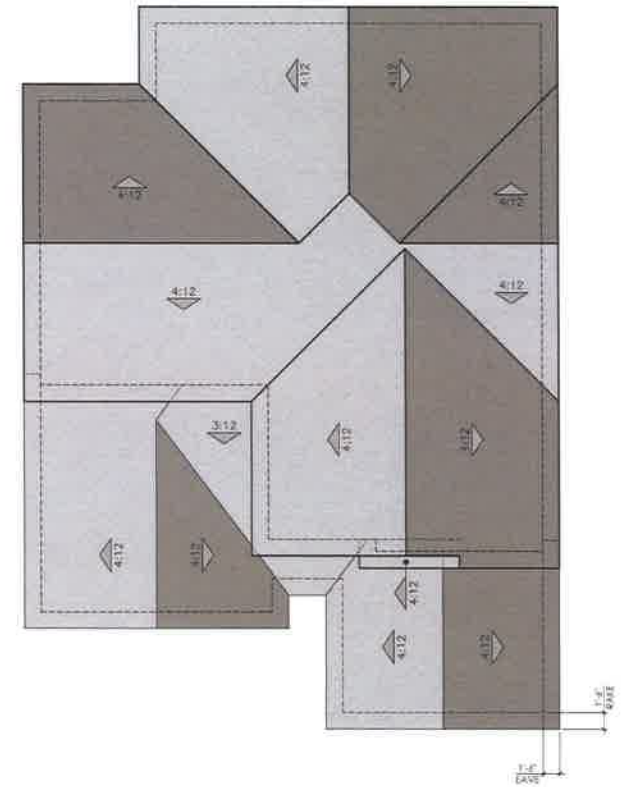




"A" - SPANISH COLONIAL REVIVAL



"B" - CALIFORNIA WINE



"C" - TRANSITIONAL BUNGALOW

OPT. DECK ROOF PLANS
PLAN 4 (3312)



STERLING HILLS AT RUSSELL RANCH
FOLSOM, CA

JOB # 20119F / 55'x105'
CREATED 3/22/2021

"A" ELEVATIONS			
SPANISH COLONIAL REVIVAL			
	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO PAINT BODY	SW6126 NAVAJO WHITE	SW7573 EAGLET BEIGE	SW7530 BARCELONA BEIGE
FASCIA / TRIM / GARAGE DOOR	SW6068 BREVITY BROWN	SW7034 STATUS BRONZE	SW2807 RKWD MEDIUM BRWN
FRONT DOOR / SHUTTERS	SW2803 RKWD TERRA COTTA SW6061	SW9140 BLUSTERY SKY	SW6192 COASTAL PLAIN SW6061
GABLE END DETAIL	TANBARK	TANBARK	TANBARK
ROOF: FULL "S" TILE	1HBCS6464	1HBCS3182	1HBCS3181
BARCELONA TERRACOTTA	CA MISSION BLEND SALTILLO TILES SQ	GARNET BLEND SALTILLO TILES SQ	SMOKEY TOPAZ BLD SALTILLO TILES SQ
PAVERS 12" X 12"	UNSEALED SAT-SQ1	UNSEALED SAT-SQ1	UNSEALED SAT-SQ1

PAINT:	SHERWIN WILLIAMS
STONE / BRICK:	CULTURED STONE / ELDORADO
ROOF:	BORAL
GROUT:	ORCO or EQUAL
PAVERS:	CASA CASTILLO

"B" ELEVATIONS			
CALIFORNIA WINE			
	SCHEME 4	SCHEME 5	SCHEME 6
STUCCO PAINT BODY	SW9084 COCOA WHIP	SW7504 KEYSTONE GRAY	SW9108 DOUBLE LATTE
FASCIA / TRIM / GARAGE DOOR	SW6078 REALIST BEIGE	SW7036 ACCESSIBLE BEIGE	SW6106 KILIM BEIGE
FRONT DOOR / SHUTTERS	SW2819 DOWNING SLATE	SW6167 GARDEN GATE	SW7020 BLACK FOX
ROOF: FLAT SLATE	1FACS7002 CHERRYWOOD	1FACS1132 CHARCOAL BRWN BLD	1FACS3280 MONTE SERENO BLD
METAL ROOF:	PARCHMENT	ZINC GREY	DARK BRONZE
STONE:	FIELDLEDGE MESETA	HILLSTONE VERONA	FIELDLEDGE VENETO
GROUT:	GRAY	GRAY	GRAY

"C" ELEVATIONS			
TRANSITIONAL BUNGALOW			
	SCHEME 7	SCHEME 8	SCHEME 9
STUCCO PAINT BODY	SW7538 TAMARIND	SW7051 ANALYTICAL GRAY	SW7540 ARTISAN TAN
FASCIA / TRIM	SW6103 TEA CHEST	SW6385 DOVER WHITE	SW6111 COCONUT HUSK
GARAGE DOOR / SHINGLE SIDING	SW6095 TOASTY	SW6172 HARDWARE	SW2823 ROOKWOOD CLAY
BOARD & BATTEN SIDING	SW7538 TAMARIND	SW7051 ANALYTICAL GRAY	SW7540 ARTISAN TAN
FRONT DOOR	SW2856 FAIRFAX BROWN	SW6202 CAST IRON	SW7822 HOMBURG GRAY
ROOF: FLAT SHAKE	1FBFCJ3181 SMOKEY TOPAZ BLD	1FBFCJ4071 OCEAN JASPER BLD	1FBFC0007 TOFFEE
STONE:	MT LEDGE PANELS SILVERTON	MT LEDGE PANELS WHISKEY CREEK	MOUNTAIN LEDGE DURANGO

ALL FLASHING, GUTTERS, DOWNSPOUTS ETC TO BE PAINTED TO MATCH ADJACENT SURFACE. ALL PAINT BREAKS TO BE CUT AT INSIDE CORNERS.
 *FOR FINISHING & PAINTING PURPOSES ONLY. DO NOT USE IN THE FIELD.
 TODAS LAS TAPAJUNTAS, CANALERAS, CAÑALONES, ETC. SERAN PINTADOS PARA IGUALAR A LA SUPERFICIE DE JUNTO.
 TODAS LAS RESTAURAS DE PINTURA SE CORTARAN EN LAS ESQUINAS INTERIORES.
 *SOLO PARA FINES DE FOTOGRAFIA Y REPRESENTACIONES. NO USAR EN EL CAMPO.



WRITTEN COLOR SCHEMES



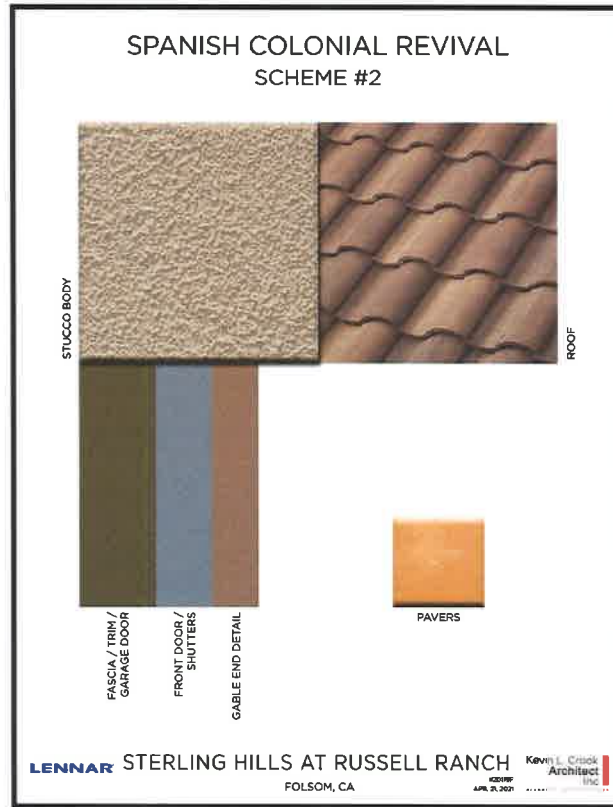
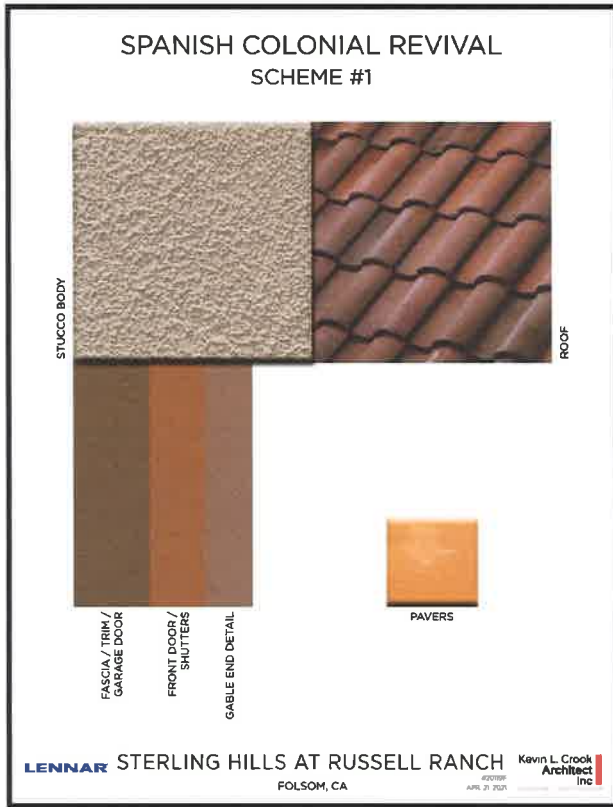
Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA

55' x 105'
20119F

11/16/2021
A-93

Kevin L. Crook
Architect
Inc

#20119



COLOR BOARDS - "A" SPANISH COLONIAL

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

**CALIFORNIA WINE
SCHEME #4**

STUCCO BODY

CONCRETE ROOF

METAL ROOF

STONE

FASCIA / TRIM / GARAGE DOOR

FRONT DOOR / SHUTTERS

LENNAR STERLING HILLS AT RUSSELL RANCH Kevin L. Crook Architect Inc
FOLSOM, CA

**CALIFORNIA WINE
SCHEME #5**

STUCCO BODY

CONCRETE ROOF

METAL ROOF

STONE

FASCIA / TRIM / GARAGE DOOR

FRONT DOOR / SHUTTERS

LENNAR STERLING HILLS AT RUSSELL RANCH Kevin L. Crook Architect Inc
FOLSOM, CA

**CALIFORNIA WINE
SCHEME #6**

STUCCO BODY

CONCRETE ROOF

METAL ROOF

STONE

FASCIA / TRIM / GARAGE DOOR

FRONT DOOR / SHUTTERS

LENNAR STERLING HILLS AT RUSSELL RANCH Kevin L. Crook Architect Inc
FOLSOM, CA

COLOR BOARDS - "B" CALIFORNIA WINE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

LENNAR

Sterling Hills at **RUSSELL RANCH**
FOLSOM, CA



55' x 105'
20119F

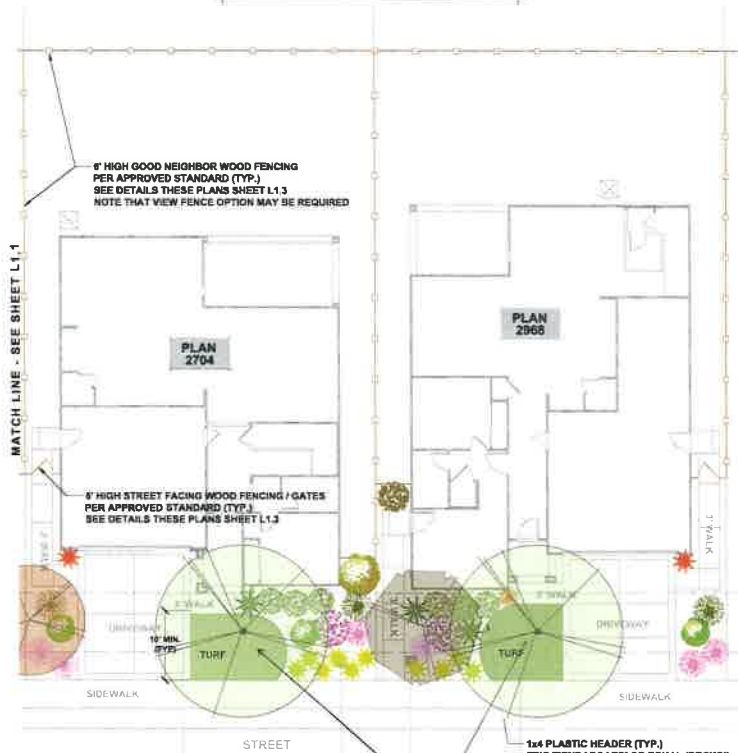
11/16/2021
A-95

Kevin L. Crook
Architect
Inc #20119

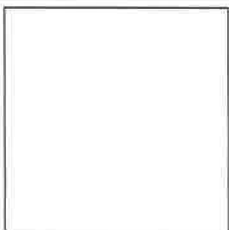


COLOR BOARDS - "C" TRANSITIONAL BUNGALOW

SEE SHEET L1.3 FOR
PLANT PALETTE LISTS



Optional - Ground Cover
to replace Turf area.



FOLSOM APPROVAL



RUSSELL RANCH - PHASE 2
CITY OF FOLSOM, CALIFORNIA
LENNAR
1025 CREEKSIDE RIDGE DR. - #240 / ROSEVILLE, CA



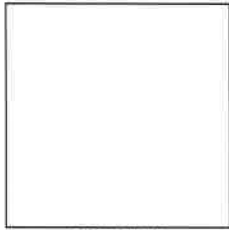
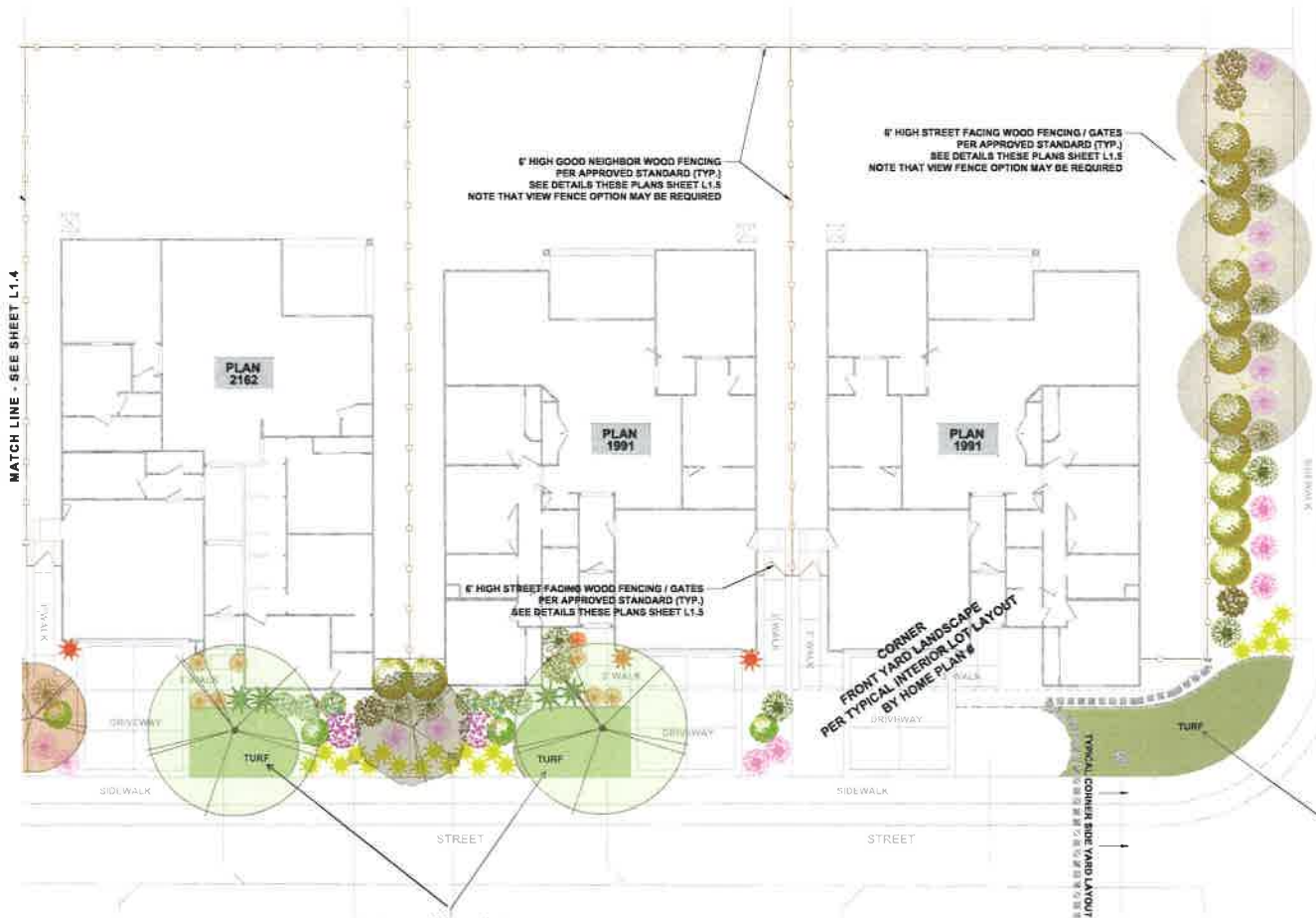
Rev.	Number	Date

Drawing Title
**PLANTING LAYOUTS
50x90 LOTS**

Date
MAY 13, 2021
Drawn By
JL
Note
NOTED

Sheet
XXX L1.2

SEE SHEET L1.5 FOR
PLANT PALETTE LISTS



FOLSOM APPROVAL



RUSSELL RANCH - PHASE 2
CITY OF FOLSOM, CALIFORNIA
LENNAR
1025 CREEKSIDE RIDGE DR. #240 / ROSEVILLE, CA



Typ.	Number	Date

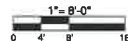
Showing the
PLANTING LAYOUTS
55x105 LOTS
VILLAGES 1 & 2

Date: MAY 12, 2021

Drawn By: JL

Note: NOTED

Sheet:
XXX L1.3



SEE SHEET L1.5 FOR
PLANT PALETTE LISTS



6' HIGH GOOD NEIGHBOR WOOD FENCING
PER APPROVED STANDARD (TYP.)
SEE DETAILS THESE PLANS SHEET L1.5
NOTE THAT VIEW FENCE OPTION MAY BE REQUIRED

6' HIGH STREET FACING WOOD FENCING / GATES
PER APPROVED STANDARD (TYP.)
SEE DETAILS THESE PLANS SHEET L1.5

Optional - Ground Cover
to replace Turf area.

FOLSOM APPROVAL



RUSSELL RANCH - PHASE 2
CITY OF FOLSOM, CALIFORNIA
LENNAR
1035 CREEKSIDE RIDGE DR. - #240 / ROBEVILLE, CA



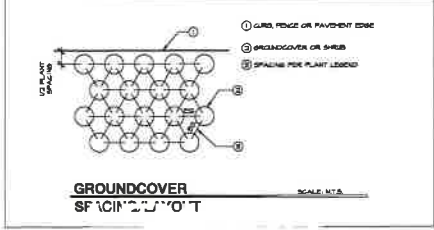
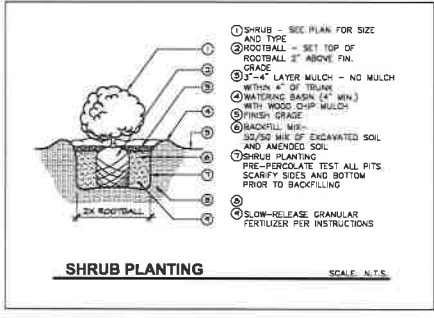
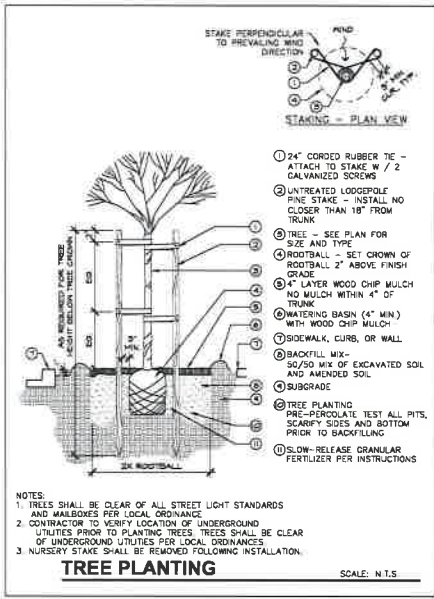
Date	Revised	By

Drawing Title
**PLANTING
LAYOUTS
55x105 LOTS
VILLAGES 1 & 2**

Date **MAY 12, 2021**
Drawn By **JL**
Scale **NOTED**

Sheet
XXX L1.4





DESIGN REVIEW LANDSCAPE NOTES:

The Landscape Construction Documents for Typical Front yard areas shall adhere to the requirements contained in:

- Russell Ranch Planned Development Design Guidelines (current edition)
- Folsom Plan Area Specific Plan
- City of Folsom Zoning Code

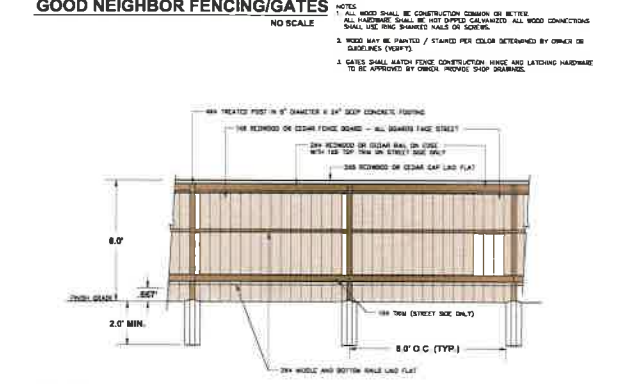
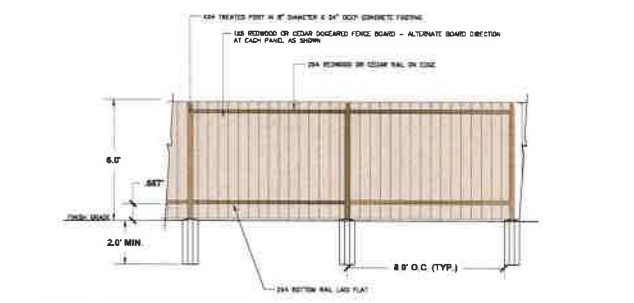
Prior to final acceptance, final landscape and irrigation construction documents shall be approved by the City of Folsom using the Full Documentation Landscape Package Requirement. These plans are for Design Review purposes only.

Landscape Notes:

- Installer shall reference Civil Improvement Plans and Plot Plans by Mackay & Combs for additional information, including easements, underground drainage, vehicle yield, utility setbacks, etc. If discrepancies exist between plot plans and landscape plans, only Landscape Architect is responsible.
- Installer shall verify location of all on site utilities prior to start of work. Any damage to utilities shall be the responsibility of the installer.
- All work within public right-of-way shall be performed in compliance with the City of Folsom codes and ordinances. Clearance minimums to all utilities shall be maintained.
- All shrub and groundcover areas shown on plan shall be topsoiled with a 3" minimum layer of recycled, dyed bark ("Yolina") recycled bark as supplied by Recology or equal.
- Final plant palette, size and tree structure shall be provided in final Construction Documents. Note that all trees in this community must abide by height and spread restrictions so as not to obstruct rooftop solar collection. Root barriers shall be installed in locations as required by the City of Folsom.
- Installer shall follow recommendations described in Soil Management Report (to be provided in Construction Documents).
- Apply pre-emergent herbicide (Rogue or equal) to all shrub and groundcover areas per manufacturer's application rate.
- Installer shall make every effort to maintain smooth and even grades throughout contract areas, with no abrupt changes in grade unless possible.
- All plant material shall conform to the guidelines established by the current American Standard of Nursery Stock, published by The American Association of Nurserymen and the Cactus Specimens for Nursery Tree Quality, published by the Urban Tree Foundation. Landscape Architect reserves the right to request substitute, unacceptable plant material.

Fencing / Wall Note:

- For specific additional fencing and wall requirements, see Russell Ranch Design Guidelines 1 fence and Wall section 2.1 / on page 24. Fence type and location shall be as determined on approved plot plans.



CONCEPTUAL PLANT LIST

The landscape design plan includes the use of shrub, turf, lawn, groundcover and water-planting plant material in order to display a well-landscaped and completed residential landscape. The following list of plants is provided for reference only. The final plant list shall be selected from the following list.

SHRUBS: (List of shrub plants)

TREES: (List of tree plants)

GROUNDCOVER: (List of groundcover plants)

TURF: (List of turf plants)

WATER-PLANTING: (List of water-planting plants)

PLANTING NOTES:

- PLANTING DATE: MAY 12, 2021
- DESIGNER: JL
- STATUS: NOTED

XXX L1.5

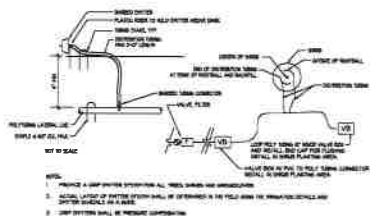
FOLSOM APPROVAL

RUSSELL RANCH - PHASE 2
CITY OF FOLSOM, CALIFORNIA

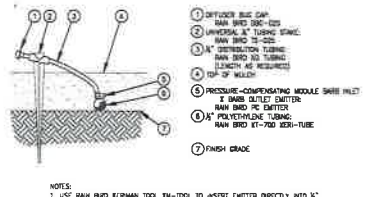
LENNAR
1025 CREEKSIDE RIDGE DR. #240 / ROSEVILLE, CA

PLANTING NOTES

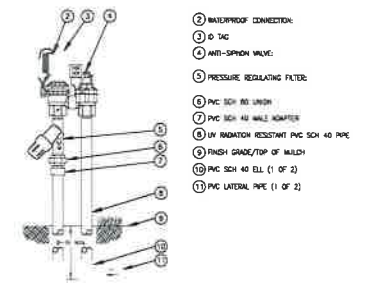
Date: MAY 12, 2021
Drawn By: JL
Status: NOTED



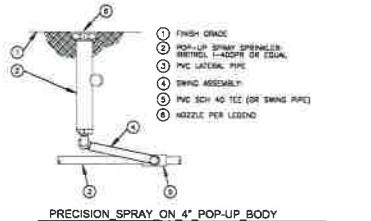
DRIP DETAILS



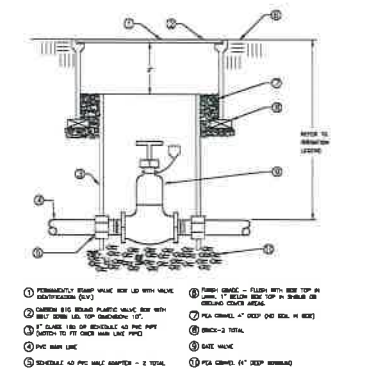
PRESSURE COMPENSATING EMITTER INTO 1/4" TUBING-STAKE



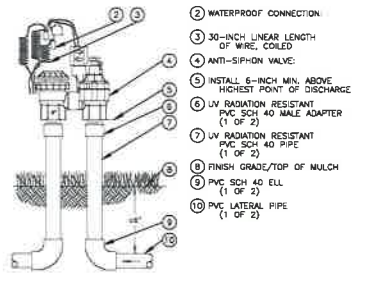
2711APRDK-LF_REMOTE_CONTROL_DRIP_VALVE



PRECISION SPRAY ON 4" POP-UP BODY



GATE VALVE



2711APR_REMOTE_CONTROL_ZONE_KIT

IRRIGATION AUDIT REQUIREMENTS PER WELO 14 19.02E

A. All landscape irrigation audits shall be conducted by a PE or a duly certified landscape irrigation auditor. Landscape audits shall not be conducted by the person who designed the landscape or installed the irrigation.

B. For large projects or projects with multiple landscape installations (i.e., production home developments) an auditing fee of 1 to 3 hours or approximately 10% of the project irrigation system total hourly fee requirement.

C. For new construction and rehabilitated landscape projects installed after December 1, 2013, as described in section 14 19.02E.

The project applicant shall submit an irrigation audit report with the Certificate of Completion to the local agency that may include, but is not limited to, inspection, system turn-up, system test, distribution uniformity, recording operation or run-off the causes overruns flow, and preparation of an irrigation schedule, including configuring irrigation controllers with application rates, soil types, plant factors, slope, response and any other factors necessary for accurate programming of environmental (Landscape-WELO).

CERTIFICATE OF COMPLETION

I, _____, Contractor shall include a WELO Certificate of Completion, including Irrigation Schedule establishment and maintenance, maintenance schedule, Water Audit, as well as all other requirements herein.

FOLSOM APPROVAL



Item	Revision	Date

Drinking Title

IRRIGATION DETAILS

Date MAY 12, 2021

Drawn By JL

Scale NOTED

Sheet

XXX L2.2

**IRRIGATION CALCS
ATTACHED SIDEWALK LOTS
(55X105 LOTS SHOWN)**

55X105 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

55X105 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

55X105 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

55X105 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

60X110 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

60X110 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

60X110 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

60X110 LOTS - IRRIGATION SCHEDULES - TYPICAL LOT (PLAN 2307 SHOWN)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

**IRRIGATION CALCS
DETACHED SIDEWALK
LOTS
(60X110 LOTS SHOWN)**



IRRIGATION SCHEDULES - RUSSELL RANCH PHASE 2 - TYPICAL LOT (PLAN 2307 SHOWN)

WATER USE (GPM)	WATER USE (MGD)	WATER USE (MGD)	WATER USE (MGD)	WATER USE (MGD)	WATER USE (MGD)	WATER USE (MGD)	WATER USE (MGD)	WATER USE (MGD)	WATER USE (MGD)
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100
TOTAL									

ESTIMATED IRRIGATION SCHEDULE (GPM)

Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant	Plant
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100
TOTAL									

MONTHLY IRRIGATION SCHEDULE (MGD)

Month	Month	Month	Month	Month	Month	Month	Month	Month	Month
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100
TOTAL									

NOTES:

- 1. All irrigation systems shall be designed to meet the water requirements of the plants listed in the schedule.
- 2. The irrigation system shall be designed to provide a minimum of 1.0 inch of water per week to the plants listed in the schedule.
- 3. The irrigation system shall be designed to provide a minimum of 1.0 inch of water per week to the plants listed in the schedule.
- 4. The irrigation system shall be designed to provide a minimum of 1.0 inch of water per week to the plants listed in the schedule.
- 5. The irrigation system shall be designed to provide a minimum of 1.0 inch of water per week to the plants listed in the schedule.



RUSSELL RANCH - PHASES 2 & 3
CITY OF FOLSOM, CALIFORNIA

LENNAR
1025 CREEKSIDE RIDGE DR. - #240 / ROSEVILLE, CA

LANDSCAPE ARCHITECTURE & SITE DESIGN
10000 N. CENTRAL EXPRESSWAY, SUITE 100, DALLAS, TEXAS 75243
972.416.1111 | earthline.com

IRRIGATION CALCS

Drawn By: JL

Noted: NOTED

Project: XXX L2.3

Attachment 8

**Russell Ranch Phase 2 CEQA Addendum to the Folsom Plan Area Specific Plan
EIR/EIS dated November 13, 2021**

Memo



455 Capitol Mall, Suite 300
Sacramento, CA 95814
916.444.7301

Date: November 15, 2021

To: Rachael Corona, Project Manager, Lennar

From: Pat Angell and Kim Untermoser, Ascent Environmental, Inc.

Subject: **Russell Ranch Phase 2 Tentative Map Modification (PN 21-118), Environmental Information Supporting Addendum to the Folsom Plan Area Specific Plan EIR/EIS**

At the request of the City of Folsom (City) and Lennar, Ascent has prepared this evaluation of the potential environmental impacts that may be associated with the Russell Ranch Phase 2 Tentative Map Modification (hereinafter referred to as the "project"). This evaluation assesses whether the potential impacts are within the scope of analysis of and adequately addressed by the Environmental Impact Report/Environmental Impact Statement for the Folsom South of U.S. Highway 50 Specific Plan Project (FPASP EIR/EIS) (State Clearinghouse No. 2008092051) and the Russell Ranch Project Environmental Impact Report (Russell Ranch EIR) (State Clearinghouse No. 2014062018). This analysis determines whether new or different impacts associated with the project would occur because of changes in circumstances (i.e., the length of time since the prior EIRs' analysis), pursuant to Section 15162 of the California Environmental Quality Act (CEQA) Guidelines. Based on the analysis contained in this memorandum, the City has determined that an addendum is the appropriate environmental document for the project consistent with Section 15164 of the CEQA Guidelines.

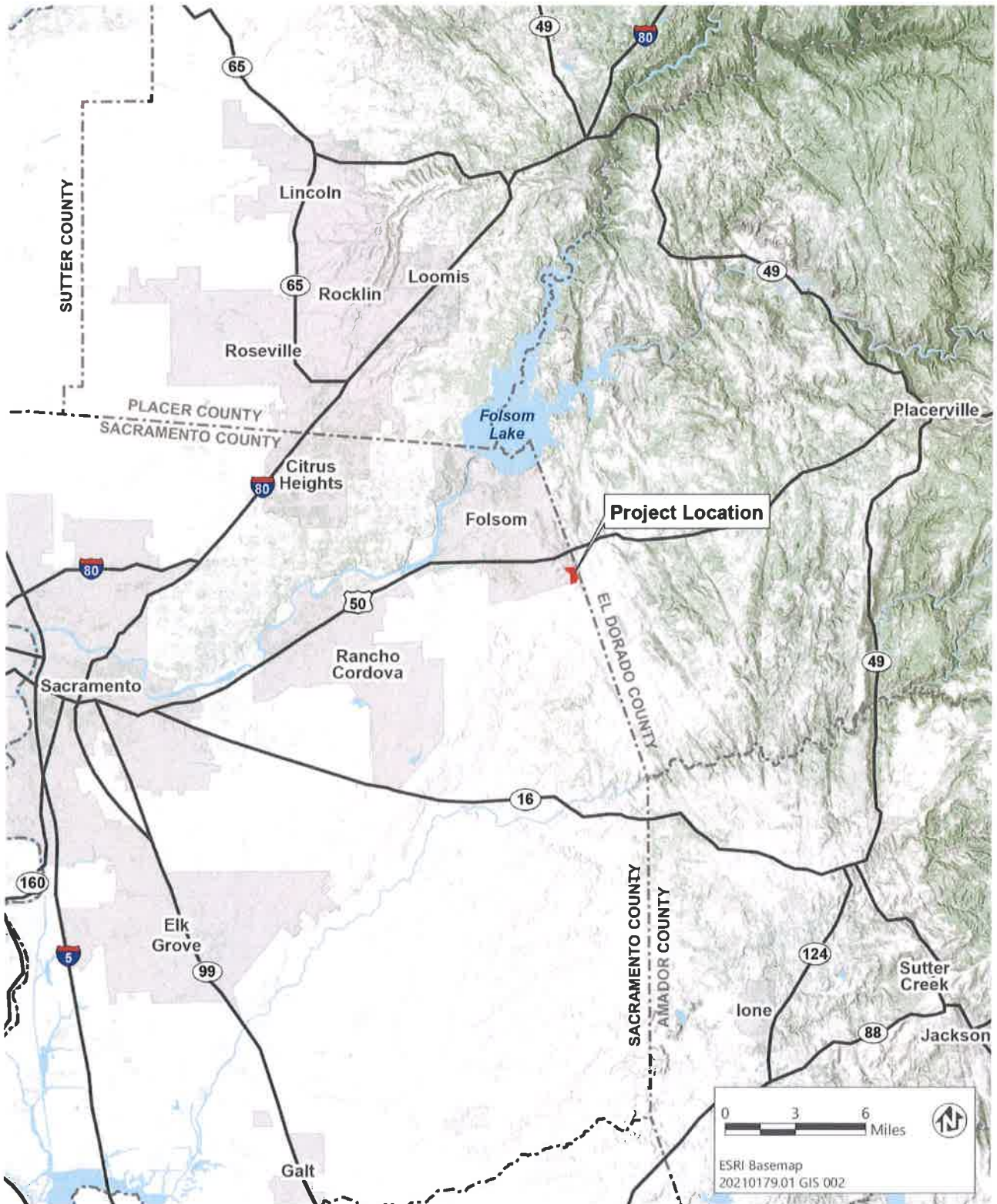
Project Location

The 134.6-acre project site is within the Folsom Plan Area Specific Plan (FPASP). The FPASP encompasses a total of 3,585 acres and is located within Folsom, south of U.S. Highway 50 and north of White Rock Road, between Prairie City Road and the El Dorado County line (see Figure 1). The project site, Phase 2 of the Russell Ranch development (Lots 24 – 32), is in the southeastern portion of the Russell Ranch development area, along Empire Ranch Road, just north of White Rock Road (see Figure 2).

Project Background

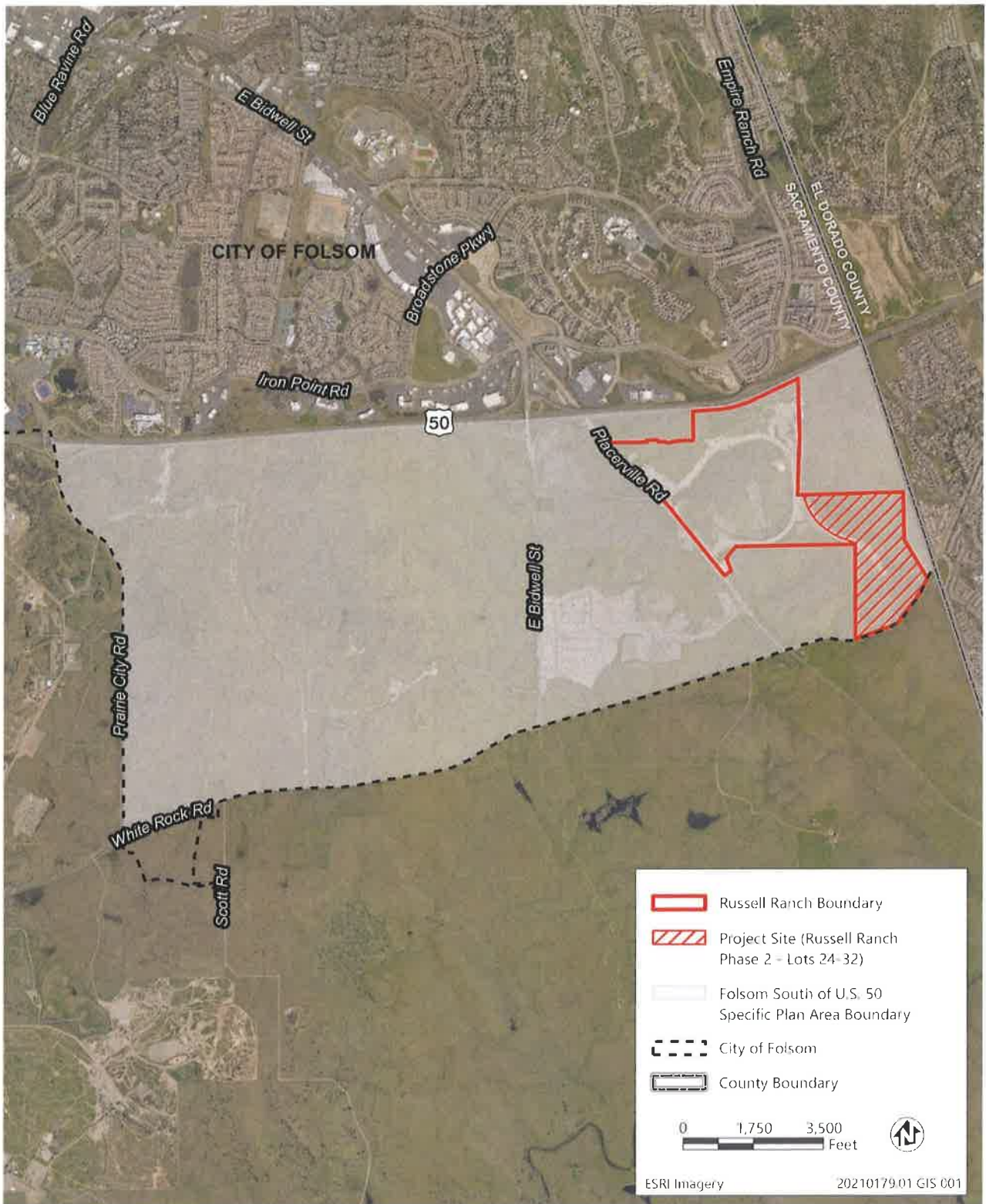
On June 28, 2011, the Folsom City Council approved (Resolution No. 8863) the Folsom Plan Area Specific Plan (FPASP) for development of up to 10,210 residential housing units in a range of housing types, styles, and densities along with commercial, industrial/office park, and mixed-use land uses, open space, public schools, parks and infrastructure projected to occur on the approximate 3,585-acre site (City of Folsom 2010; City of Folsom 2011). The FPASP EIR/EIS (June 2011) included an allocation of 1,119 residential units, 380,061 square feet of commercial, an elementary school, and approximately 105 acres of open space and parks to the Russell Ranch development.

The FPASP was updated in 2018 to include all the various approved plan amendments and mapping modifications made since the first approval in 2011. As amended, the FPASP provides for additional residential development, up to a total of 11,461 housing units.



Source: Adapted by Ascent in 2021

Figure 1 Project Vicinity



Source: Adapted by Ascent in 2021

Figure 2 Regional Location

In May 2015, the City certified the Russell Ranch EIR. The Russell Ranch development consisted of a 429.7-acre planned development, including 879 mapped residential units, 164 acres of parks and open space, 14.3 acres of public/quasi-public uses (including a 9.7-acre elementary school site), and 34.5 acres of associated off-site backbone infrastructure and roadway improvements (City of Folsom 2014). The Russell Ranch EIR included a project-level analysis, including aesthetics (emphasizing impacts to the view shed), air quality modeling, biological resources impact assessment, tree survey, cultural resources impact assessment, noise analysis, water usage and availability, and transportation impact analysis. For each topic area, the EIR reviewed the potential impacts associated with the Russell Ranch development and considered whether the existing mitigation that was adopted with the FPASP EIR/EIS needed to be updated. In most cases, project-level mitigation was provided but, in some cases, the Russell Ranch EIR incorporated by reference the mitigation from the FPASP EIR/EIS.

In 2016, the amendments to the vesting large lot and small lot tentative subdivision maps increased the units for the approved entitlements to 903 units (through a density transfer of 24 units from a portion of the Carr Trust property that was acquired by Russell Ranch). This approval acknowledged the allocation of 51 units to Phase 4.

In 2018, an approval of a small-lot vesting tentative subdivision map for the prior Phase 4 and an amendment of a portion of the approved small-lot vesting tentative subdivision map for the prior Phase 3, collectively known as Phase 2 - Lots 24 through 32 of the Russell Ranch development, increased the unit count by 124 dwelling units within this area, removing 92 single family (SF) units and constructing an additional 98 single family high density (SFHD) units and 118 multifamily low density (MLD) units. This included the designation of 208 lots as "Single Family Density Active Adult." An Environmental Checklist and Addendum for Lots 24 through 32 of the Russell Ranch Project was prepared in January 2018 (hereinafter referred to as the "RR Lots 24-32 Environmental Checklist and Addendum"). The RR Lots 24-32 Environmental Checklist and Addendum concluded that changes to the project would not result in new or substantially more severe impacts than previously evaluated (City of Folsom 2018).

Project Description

The project would amend entitlements for Russell Ranch Lots 24 through 32 (hereinafter referred to as "RR Lots 24 through 32") by removing the "active adult" designation from 208 lots previously mapped and designated as Single Family High Density (SFHD) Active Adult in 2018. The project would not result in any changes to the number of dwelling units proposed. However, the project would result in an increase in projected population. SFHD Active Adult population is estimated at 2 persons per household, whereas SFHD population for traditional lots is estimated at 2.92 persons per household. Therefore, the project would result in a population increase of 191 persons beyond that approved in 2018. No other changes from the previously approved development are proposed.

The Russell Ranch Lots 24 through 32 entitlements, approved in 2018, designated active adult units in response to a lack of this housing product type in the FPASP at the time. However, the Toll Brothers at Folsom Ranch Phase 1 tentative subdivision map has since been approved and includes 590 active-adult homesites. In addition, the proposed Toll Brothers at Folsom Ranch Phase 2 tentative subdivision map is currently under review and identifies another 329 active-adult homesites. If the Phase 2 tentative subdivision map is approved, a total of 919 active-adult units would be included in the Toll Brothers project. The Toll Brothers gated community, private recreation amenities, and dog parks, presents market challenges for the Russell Ranch active-adult development that result in an over-saturated active-adult housing market. As a result, the project proposes to remove the active-adult restrictions and amend the entitlements to provide for traditional lots.

The FPASP and Russell Ranch Project originally envisioned the project site as a residential subdivision and did not specify active-adult units at the site. The project would be consistent with the FPASP and the Folsom 2035 General Plan.

Grading activities for the project began in August 2021. Subdivision improvements are anticipated to begin in April 2022 and would progress intermittently through October 2022, conditional on market demands and weather. Construction of the project site would occur between 7 a.m. and 6 p.m. Monday through Friday, and if necessary,

between 8 a.m. and 5 p.m., Saturday through Sunday. Construction equipment would be consistent with the equipment used in for the approved Russell Ranch development.

Consideration of Changed Circumstances

The City certified the FPASP EIR/EIS on June 28, 2011. Several addendums and subsequent environmental documents have been approved since 2011. The FPASP was updated in 2018 to include all the various approved plan amendments and mapping modifications made since the first approval in 2011. As amended, the FPASP provides for additional residential development, up to a total of 11,461 housing units.

Table 1 shows the number of units approved for the Russell Ranch development overall from when the FPASP was adopted, and when entitlements the Russell Ranch development were amended in 2015, 2016, and 2018. The table also shows the number of units proposed by the project to provide an overview of what was approved previously in comparison to what is requested now. Table 2 shows the number of units previously approved and proposed for Russell Ranch Lots 24 through 32. Although the project would result in a population increase from what was approved in 2018, the population for the Russell Ranch development overall would remain less than what was originally approved when the FPASP was adopted.

Due to the additional discretionary review required for the requested entitlements; and the change in residential unit types and population from the previously approved development, the project was evaluated for potential new or different impacts in compliance with Section 15162 of the State CEQA Guidelines. Per State CEQA Guidelines Section 15162(b), if changes to a project or its circumstances occur or new information becomes available after adoption of a negative declaration, the lead agency shall prepare a subsequent EIR if required due to new information, new significant effects, or substantially more adverse impacts. Otherwise, the lead agency shall determine whether to prepare a subsequent negative declaration, an addendum, or no further documentation.

Based on the analysis presented below, the impacts of the project are determined to be adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and an addendum is sufficient to document environmental impacts of the project.

Table 1 Land Use Comparison for Russell Ranch Development (2011 to 2021)

Land Use	Adopted 2011 ¹			Amended May 2015 ²			Amended June 2016 ³			Amended January 2018 ⁴			Proposed Project (2021) ⁵			Change from 2011 to 2021		
	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶
Residential																		
Single Family (SF)	191.5	574	1,676	104.8	297	867	98.5	316	923	64.6	224	654	64.6	224	654	-126.9	-350	-1,022
Single Family High Density (SFHD)	0	0	0	97.5	468	1367	102.4	473	1381	81.7	363	1060	122.9	571	1,667	122.9	571	1,667
Single Family High Density (SFHD) – Private Recreation	0	0	0	0	0	0	0	0	0	2.2	0	0	2.2	0	0	2.2	0	0
Single Family High Density (SFHD) – Active Adult	0	0	0	0	0	0	0	0	0	41.7	208	416	0	0	0	0	0	0
Multi-Family Low Density (MLD)	17.5	163	316	11.4	138	268	11.4	114	221	23.8	232	450	23.8	232	450	6.3	69	134
Multi-Family Medium Density (MMD)	22.2	406	788	0	0	0	0	0	0	0	0	0	0	0	0	-22.2	-406	-788
Subtotal Residential	231.2	1143	2780	213.7	903	2502	212.3	903	2525	214	1027	2580	213.5	1027	2771	-17.7	-116	-9
General Commercial (GC)	59.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-59.5	0	0
Park (P)- Public	6.5	0	0	5.2	0	0	5.2	0	0	5.2	0	0	5.2	0	0	-1.3	0	0
Park (P)- Private	0	0	0	7.1	0	0	7.1	0	0	7.1	0	0	7.1	0	0	7.1	0	0

Land Use	Adopted 2011 ¹			Amended May 2015 ²			Amended June 2016 ³			Amended January 2018 ⁴			Proposed Project (2021) ⁵			Change from 2011 to 2021		
	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶
Open Space (OS)-Slope	0	0	0	49.9	0	0	57.3	0	0	49.9	0	0	49.9	0	0	49.9	0	0
Open Space (OS)-Measure "W"	103.2	0	0	112.8	0	0	106.8	0	0	106.8	0	0	106.8	0	0	3.6	0	0
Public/Quasi-Public (PQP)-Lift Station	11.8	0	0	13.1	0	0	13.8	0	0	13.8	0	0	13.8	0	0	2	0	0
Major Circulation	25.4	0	0	35.8	0	0	35.1	0	0	40.8	0	0	40.8	0	0	15.4	0	0
Total Russell Ranch	437.6	1143	2780	437.6	903	2502	437.6	903	2525	437.6	1027	2580	437.1	1027	2771	-0.5	-116	-9

Notes: ¹ Folsom South of U.S. Highway 50 Specific Plan Project, certified in 2011. 2011 total units includes 1,119 units allocated to Russell Ranch plus 24 allocated Carr Trust units from approved BLA/TDR.

² Russell Ranch Project EIR, certified in 2015. 2015 total units includes 828 units mapped Russell Ranch units plus 51 unmapped units Russell Ranch Phase 4 units plus 24 unmapped Carr Trust BLA/TDR units.

³ Amendments to the vesting large lot and small lot tentative subdivision maps adopted in 2016. 2016 total units includes 852 units mapped Russell Ranch units (including 24 Carr Trust BLA/TDR units) plus 51 unmapped units Russell Ranch Phase 4.

⁴ Russell Ranch Project Lots 24 through 32 Environmental Checklist and Addendum, certified in 2018.

⁵ 2021 Proposed Project gross area includes boundary change and reduced SFHD acreage associated with Minor Administrative Modification approved on August 5, 2021 (PN 21-175)

⁶ Population calculated using 2.92 persons per single family unit, 1.94 persons per multi-family unit, and 2.0 persons per age-restricted unit (Abbas Metzker, pers. comm., 2018).

Table 2 Land Use Comparison for Russell Ranch Lots 24 through 32 (2011 to 2021)

Land Use	Adopted 2011 ¹			Amended May 2015 ²			Amended June 2016 ³			Amended January 2018 ⁴			Proposed Project (2021) ⁵			Change from 2018 to 2021		
	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶	Gross Area (Acres)	Dwelling Units	Projected Population ⁶
Residential																		
Single Family (SF)	91.9	270	788	23.4	92	269	33.9	92	269	0	0	0	0	0	0	0	0	0
Single Family High Density (SFHD)	0	0	0	25.5	173	505	38.2	173	505	17.4	63	184	58.7	271	791	41.3	208	607.32
Single Family High Density (SFHD) – Private Recreation	0	0	0	0	0	0	0	0	0	2.2	0	0	2.2	0	0	0	0	0
Single Family High Density (SFHD) – Active Adult	0	0	0	0	0	0	0	0	0	41.8	208	416	0	0	0	-41.8	-208	-416
Multi-Family Low Density (MLD)	0	0	0	0	0	0	0	0	0	12.4	118	229	12.4	118	229	0	0	0
Subtotal Residential	91.9	270	788	48.9	265	774	72.1	265	774	73.8	389	829	73.3	389	1020	-0.5	0	+191
Open Space (OS)- Slope	0	-	-	16.4	-	-	11.3	-	-	3.9	-	-	3.9	-	-	0	-	-
Open Space (OS)- Measure "W"	32.6	-	-	41	-	-	40.9	-	-	40.9	-	-	40.9	-	-	0	-	-
Public/Quasi-Public (PQP)-Lift Station	0	-	-	0.1	-	-	0.1	-	-	0.1	-	-	0.1	-	-	0	-	-
Major Circulation	10.7	-	-	28.7	-	-	10.7	-	-	16.4	-	-	16.4	-	-	0	-	-
Total Russell Ranch	135.2	270	788	135.1	265	774	135.1	265	774	135.1	389	829	134.6	389	1020	-0.5	0	+191

Notes: ¹ Folsom South of U.S. Highway 50 Specific Plan Project, certified in 2011. 2011 total units includes 1,119 units allocated to Russell Ranch plus 24 allocated Carr Trust units from approved BLA/TDR.

² Russell Ranch Project EIR, certified in 2015. 2015 total units includes 828 units mapped Russell Ranch units plus 51 unmapped units Russell Ranch Phase 4 units plus 24 unmapped Carr Trust BLA/TDR units.

³ Amendments to the vesting large lot and small lot tentative subdivision maps adopted in 2016. 2016 total units includes 852 units mapped Russell Ranch units (including 24 Carr Trust BLA/TDR units) plus 51 unmapped units Russell Ranch Phase 4.

⁴ Russell Ranch Project Lots 24 through 32 Environmental Checklist and Addendum, certified in 2018.

⁵ 2021 Proposed Project gross area includes boundary change and reduced SFHD acreage associated with Minor Administrative Modification approved on August 5, 2021 (PN 21-175)

⁶ Population calculated using 2.92 persons per single family unit, 1.94 persons per multi-family unit, and 2.0 persons per age-restricted unit (Abbas Metzker, pers. comm., 2018).

Environmental Analysis

Using Appendix G, Environmental Checklist, of the State CEQA Guidelines as an analytical tool, the following discussion evaluates the potential environmental impacts of implementation of the project in the context of the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum to determine if those impacts are sufficiently covered, or if additional analysis is necessary. All mitigation measures referenced in this section are included in Attachment A Mitigation Monitoring and Reporting Program.

Aesthetics

Implementation of the project would involve the development of a residential subdivision within the approved Russell Ranch development. The project would result in the same number of dwelling units, would affect the same area already analyzed and would not alter the development type, building height, or density at the site such that different or more severe aesthetic impacts would result. The following mitigation measures were referenced in the FPASP EIR/EIS analysis and incorporated by reference into the Russell Ranch EIR and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 3A.1-4: Screen construction staging areas.

The following project-specific mitigation measures were included in the Russell Ranch EIR and would continue to remain applicable if the project were approved:

- ▶ Mitigation Measure 4.1-1. Screening and locating staging and material storage to reduce visual impacts
- ▶ Mitigation Measure 4.1-2. Lighting Plan

The potential environmental impacts related to aesthetics and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Agricultural and Forestry Resources

Implementation of the project would involve the development of a residential subdivision within the approved Russell Ranch development. The project would affect the same area already analyzed and the site is not designated as or currently in agricultural production, is not designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, and is not under Williamson Act contract. There were no mitigation measures included in the FPASP EIR/EIS or Russell Ranch EIR for this topic and no additional mitigation measures are required for the project for this issue.

The potential environmental impacts related to agricultural resources and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Air Quality

The project would result in similar construction activity, development area, and same type of construction-generated emissions as previously evaluated in the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum. The project would result in the same number of dwelling units as the previously approved development and although the project would increase population from previously analyzed in the RR Lots 24-32 Environmental Checklist and Addendum, overall population would not exceed that analyzed in the FPASP EIR/EIS. Operational emissions were modeled in both the Russell Ranch EIR and the FPASP EIR/EIS. As shown in Attachment B, the project would result in 921 more vehicle trips than analyzed in the Russell Ranch EIR and 1,076 more vehicle trips

than analyzed in the RR Lots 24-32 Environmental Checklist and Addendum. This increase in vehicle trips is due to the change from age-restricted active adult units to traditional units. However, the Toll Brothers at Folsom Ranch project, approved in 2020, included the conversion of traditional single family homes to age-restricted active-adult units and resulted in an estimated daily trip reduction of 3,433 trips for the entire FPASP area (City of Folsom 2020). As such, total daily trip generation for the entire FPASP area would not exceed the amount previously evaluated in the FPASP EIR/EIS if the project is approved and no change in operational sources of criteria air pollutants would occur. The following mitigation measures were referenced in the FPASP EIR/EIS analysis and incorporated by reference into the Russell Ranch EIR and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 3A.2-1a: Implement Measures to Control Air Pollutant Emissions Generated by Construction of On-Site Elements.
- ▶ Mitigation Measure 3A.2-1b: Pay Off-site Mitigation Fee to SMAQMD to Off-Set NOX Emissions Generated by Construction of On-Site Elements.
- ▶ Mitigation Measure 3A.2-1d: Implement SMAQMD's Basic Construction Emission Control Practices during Construction of all Off- site Elements located in Sacramento County.
- ▶ Mitigation Measure 3A.2-1f: Implement SMAQMD's Enhanced Exhaust Control Practices during Construction of all Off-site Elements.
- ▶ Mitigation Measure 3A.2-1g: Pay Off-site Mitigation Fee to SMAQMD to Off-Set NOX Emissions Generated by Construction of Off-site Elements.
- ▶ Mitigation Measure 3A.2-1h: Analyze and Disclose Projected PM10 Emission Concentrations at Nearby Sensitive Receptors Resulting from Construction of Off-site Elements.
- ▶ Mitigation Measure 3A.2-2: Implement All Measures Prescribed by the Air Quality Mitigation Plan to Reduce Operational Air Pollutant Emissions.

The following project-specific mitigation measures were referenced in the Russell Ranch EIR and would continue to remain applicable if the project were approved:

- ▶ Mitigation Measure 4.2-3: Conduct a field survey of the project site to demonstrate that NOA does not exist on the project site to the satisfaction of SMAQMD. In the case that NOA is found, all soil containing NOA, replace all contaminated areas with clean soils or materials.

Potential environmental impacts related to air quality and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Biological Resources

A project-level analysis was conducted for the RR Lots 24-32 Environmental Checklist and Addendum and refinements to the mitigation program were approved to further reduce impacts to special-status plants (ECORP 2017a). Implementation of the project would involve the development of a residential subdivision within the approved Russell Ranch development. The project would affect the same area already analyzed and would not substantially alter the development type or density at the site such that different or more severe biological impacts would result. Like what was discussed in the Russell Ranch EIR, the project could have a significant impact on biological resources; however, the project would continue to be subject to the mitigation measures identified and/or refined in the Russell Ranch EIR and the ECORP analysis, which are presented below. As described in the Russell Ranch EIR, with implementation of these measures, biological impacts would be reduced to a less-than-significant level. The

conclusions of the Russell Ranch EIR remain valid, and approval of the project would not result in new or substantially more severe significant impacts to biological resources.

The following project-level mitigation measures were referenced in the Russell Ranch EIR analysis and would continue to remain applicable if the project were approved. These mitigation measures include project-specific refinements to the plan-level mitigation program included in the FPASP EIR/EIS. This information is consistent with the activities recommended in the mitigation adopted for the FPASP.

- ▶ Mitigation Measure 4.3-1: Federally-listed vernal pool invertebrates.
- ▶ Mitigation Measure 4.3-3(a) Conduct environmental awareness training for construction employees.
- ▶ Mitigation Measure 4.3-3(b): Conduct Preconstruction Western Spadefoot Toad Survey.
- ▶ Mitigation Measure 4.3-4 Northwestern Pond Turtle.
- ▶ Mitigation Measure 4.3-5(a): Conduct preconstruction Swainson's hawk and other raptor surveys.
- ▶ Mitigation Measure 4.3-5(b): Prepare and implement Swainson's hawk mitigation plan.
- ▶ Mitigation Measure 4.3-6(a & b): Conduct preconstruction burrowing owl survey.
- ▶ Mitigation Measure 4.3-7: Conduct a preconstruction tricolored blackbird survey.
- ▶ Mitigation Measure 4.3-8(a & b): Preconstruction nesting bird survey.
- ▶ Mitigation Measure 4.3-10: Conduct preconstruction American badger burrow survey.
- ▶ Mitigation Measure 4.3-11(a) Clean Water Act Sections 401 and 404.
- ▶ Mitigation Measure 4.3-11(b) Master Streambed Alteration Agreement.
- ▶ Mitigation Measure 4.3-11(c) Valley Needlegrass.

In addition, following project-specific analysis completed for the RR Lots 24-32 Environmental Checklist and Addendum, the below refinements to the mitigation program are applicable to the project (ECORP 2017a).

- ▶ **Mitigation Measure 4.3-1: Special-status plant species.** Prior to initiation of construction activities, a qualified biologist/botanist shall consult with the appropriate regulatory agencies (CDFW and USFWS) to determine if additional plant surveys are required. If additional surveys are required, protocol-level preconstruction special-status plant surveys will be conducted for all potentially occurring species in areas that have not previously been surveyed. If special-status plant populations are found, the Project Applicant shall consult with CDFW and USFWS, as appropriate, to determine appropriate mitigation measures. If impacts are likely, a mitigation and monitoring plan shall be developed before approval of grading plans or ground-breaking activity within 250 feet of special-status plant populations.

Upon approval of final proposed development plans by the USACE, a qualified biologist/botanist will consult with CDFW and USFWS to determine if additional surveys are required.

The potential environmental impacts related to biological resources and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Cultural Resources

Implementation of the project would involve development of a residential subdivision and would require construction and ground disturbance within the approved Russell Ranch development. A report was prepared summarizing the

project-specific information related to historic and cultural resources for the Russell Ranch development, including the project area (Lots 24 through 32) (ECORP 2017b). The FPASP applicants entered into a programmatic agreement with U.S. Army Corps of Engineers and subsequent review of historic resources pertaining to the FPASP area was conducted. All pre-construction mitigation measures, as required by the applicable Historic Property Treatment Plans (HPTPs), have been completed to the satisfaction of the USACE, in consultation with SHPO, the City, and the other parties to the first amended programmatic agreement. The measures required to mitigate for significant impacts to historical resources are twofold. First, as part of the FPASP, the Russell Ranch development is subject to compliance with four mitigation measures in the FPASP EIR/EIS, from which the Russell Ranch EIR incorporates by reference. Second, the project is also subject to compliance with the treatment measures to resolve adverse effect to historic properties, as specified in the respective HPTPs that were prepared under the FAPA, which was required by the FPASP EIR/EIS and Russell Ranch EIR. A reconciliation of these requirements and a list of amended mitigation measures for the project were provided in the RR Lots 24-32 Environmental Checklist and Addendum and are presented below.

► **Mitigation Measure 4.4-1:** Comply with the First Amended Programmatic Agreement and Carry Out mitigation.

The FAPA provides a management framework for identifying historic properties and Historical Resources through inventories and evaluations, determining adverse effects, and resolving those adverse effects with appropriate mitigation. Proof of compliance with the applicable procedures in the FAPA and implementation of applicable HPTP (Westwood and Knapp 2013b and 2013c, cited in ECORP 2017b) with regard to mitigation for the Keefe-McDerby Mine Ditch and Brooks Hotel Site is to be provided to the City's Community Development Department prior to authorization of any ground-disturbing activities. Proof of compliance is defined as written approval from the USACE of all applicable mitigation documentation generated from implementation of an approved HPTP and includes the following mitigation actions:

- Historic American Engineering Record (HAER) Documentation of the Keefe-McDerby Mine Ditch (P-34-1475): in consultation with the National Park Service, the USACE shall require the completion of Historic American Engineering Record program documentation.
- Data Recovery Excavations of the Brooks Hotel Site (P-34-2166): Data recovery shall follow the standards and guidelines in the HPTP. The results of excavation, laboratory analysis, artifact analysis, and archival research, shall be documented in a confidential data recovery technical report, which shall be submitted to the City's Community Development Department.
- Geoarchaeological Monitoring: Due to a potential for deeply buried archaeological resources down to a depth of 1.5m (approximately five feet) below soil formations known as the T-2 terrace, where colluvial deposits grade onto the T-2 terrace, and along the distal edge of tributary alluvial fans, all ground-disturbing activity in those areas shall be monitored by a qualified professional archaeologist with a specialization in geoarchaeology. Monitoring is no longer needed once subsurface disturbance extends beyond 1.5m below surface.

► **Mitigation Measure 4.4-2(a):** Conduct construction worker awareness training, on-site monitoring if required, stop work if cultural resources are discovered, assess the significance of the find, and perform treatment or avoidance as required.

To reduce potential impacts to previously undiscovered cultural resources, the Project applicant(s) shall retain a qualified archaeologist to conduct training for construction supervisors. Construction supervisors shall inform the workers about the possibility of encountering buried cultural resources and inform the workers of the proper procedures should cultural resources be encountered. Proof of the contractor awareness training shall be submitted to the City's Community Development Department in the form of a copy of training materials and the completed training attendance roster.

Should any cultural resources, such as structural features, bone or shell, artifacts, or architectural remains be encountered during any construction activities, work shall be suspended within 200 feet of the find and the City

of Folsom and USACE shall be notified immediately. The City shall retain a qualified archaeologist who shall conduct a field investigation of the specific site and shall evaluate the significance of the find by evaluating the resource for eligibility for listing on the CRHR and the NRHP. If the resource is eligible for listing on the CRHR or NRHP and would be subject to disturbance or destruction, the actions required by the FAPA and subsequent documentation shall be implemented. The City of Folsom Community Development Department and USACE shall be responsible for approval of recommended mitigation if it is determined to be feasible in light of the approved land uses, and shall implement the approved mitigation and seek written approval on mitigation documentation before resuming construction activities at the archaeological site.

- ▶ **Mitigation Measure 4.4-2(b):** Suspend ground-disturbing activities if human remains are encountered and comply with California Health and Safety Code procedures.

In the event that human remains are discovered, construction activities within 150 feet of the discovery shall be halted or diverted and the requirements for managing unanticipated discoveries in Mitigation Measure 3A.5-3 shall be implemented. In addition, the provisions of § 7050.5 of the California Health and Safety Code, § 5097.98 of the California PRC, and Assembly Bill (AB) 2641 shall be implemented. When human remains are discovered, state law requires that the discovery be reported to the County Coroner (§ 7050.5 of the Health and Safety Code) and that reasonable protection measures be taken during construction to protect the discovery from disturbance (AB 2641). If the Coroner determines the remains are Native American, the Coroner shall notify the NAHC, which then designates a Native American Most Likely Descendant (MLD) for the Project (§ 5097.98 of the PRC). The designated MLD then has 48 hours from the time access to the property is granted to make recommendations concerning treatment of the remains (AB 2641). If the landowner does not agree with the recommendations of the MLD, the NAHC can mediate (§ 5097.94 of the PRC). If no agreement is reached, the landowner must rebury the remains where they will not be further disturbed (§ 5097.98 of the PRC). This will also include either recording the site with the NAHC or the appropriate information center; using an open space or conservation zoning designation or easement; or recording a deed restriction with the county in which the property is located (AB 2641).

The potential environmental impacts related to cultural resources and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Energy

Although energy was not previously identified as a specific environmental topic, the FPASP EIR, Russell Ranch EIR, and RR Lots 24-32 Environmental Checklist and Addendum all addressed energy use as part of the air quality, greenhouse gas, and utility impact discussions. The project would result in the conversion of previously planned age-restricted homes to traditional homes resulting in a higher population and a potential for higher energy use than previously anticipated. However, the project would not result in an increase in the number of planned dwelling units. In addition, the conversion of age-restricted homes to traditional homes and resulting population increase is offset by the previously approved conversion of traditional homes to age-restricted homes included in the Toll Brothers at Folsom Ranch Master Planned Community. In addition, the project would be subject to more stringent regulations related to Title 24 requirements, which were updated in 2019 and include renewable energy and energy efficiency requirements to reduce energy consumption in new residences by 53 percent. The project would comply with general plan policies related to renewable energy or energy efficiency and would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency. The project would not alter the development type or density at the site such that different or more severe impacts to energy would result. No mitigation measures are required for the project for this issue.

Potential environmental impacts related to energy use and associated with implementation of the project are addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Geology and Soils

Implementation of the project would involve development of a residential subdivision within the previously approved Russell Ranch development. The project would affect the same area analyzed for development in the FPASP EIR/EIS and proposed changes would not substantially alter the development type or density at the site. No changes related to seismic activity, ground shaking, ground failure, landslides have occurred. No changes in soils at the site have occurred and the project would not require septic systems. Because the development footprint of the project would be the same as the approved FPASP and Russell Ranch development, the impact conclusions pertaining to paleontological resources remain unchanged. The following mitigation measures were referenced in the FPASP EIR/EIS analysis and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 3A.7-1a: Prepare Site-Specific Geotechnical Report per CBC Requirements and Implement Appropriate Recommendations
- ▶ Mitigation Measure 3A.7-1b: Monitor Earthwork during Earthmoving Activities
- ▶ Mitigation Measure 3A.7-3: Prepare and Implement the Appropriate Grading and Erosion Control Plan
- ▶ Mitigation Measure 3A.7-5: Divert Seasonal Water Flows Away from Building Foundations
- ▶ Mitigation Measure 3A.7-10: Conduct Construction Personnel Education, Stop Work if Archeological or Paleontological Resources Are Discovered, Assess the Significance of the Find, and Prepare and Implement a Recovery Plan as Required

The potential environmental impacts related to geology and soils and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Greenhouse Gas Emissions

The types of emissions-generating construction activity would generally be similar under the project as evaluated in the FPASP EIR/EIS and the Russell Ranch EIR. Development would be similar in area, size, and intensity to what was approved under the FPASP and in the Russell Ranch development. For these reasons, the project would not result in any new circumstances involving new significant impacts or substantially more severe impacts pertaining to construction-generated GHG emissions than were identified in the FPASP EIR/EIS and the Russell Ranch EIR.

The project would convert age-restricted active adult units to traditional units but would preserve the same number of dwelling units as previously approved and analyzed. The conversion of age-restricted active adult units would result in a population increase beyond that previously analyzed in the RR Lots 24-32 Environmental Checklist and Addendum. However, overall population in the Russell Ranch development would not exceed that analyzed in the FPASP EIR/EIS. Construction and operational emissions were modeled in both the Russell Ranch EIR and the FPASP EIR/EIS. As shown in Attachment B, the project would result in 921 more vehicle trips than analyzed in the Russell Ranch EIR and 1,076 more vehicle trips than analyzed in the RR Lots 24-32 Environmental Checklist and Addendum. This increase in vehicle trips is due to the change from age-restricted active adult units to traditional units and would result in higher greenhouse gas emissions from the project than previously analyzed. However, the Toll Brothers at Folsom Ranch project, approved in 2020, included the conversion of traditional single family homes to age-restricted

active-adult units and resulted in an estimated daily trip reduction of 3,433 trips for the entire FPASP area (City of Folsom 2020). As such, total daily trip generation for the entire FPASP area would not exceed the amount previously evaluated in the FPASP EIR/EIS if the project is approved.

The project would not result in substantial changes to the type and intensity of development and would comply with more stringent regulations related to GHG reductions than previously evaluated in the FPASP EIR/EIS. The following mitigation measures were referenced in the FPASP EIR/EIS analysis and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 3A.4-1: Implement Additional Measures to Control Construction-Generated GHG Emissions
- ▶ Mitigation Measure 3A.4-2a: Implement Additional Measures to Reduce Operational GHG Emissions.
- ▶ Mitigation Measure 3A.4-2b: Participate in and Implement an Urban and Community Forestry Program and/or Off-Site Tree Program to Off-Set Loss of On-Site Trees

Potential environmental impacts related to GHG emissions and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Hazards and Hazardous Materials

The project would not change the overall pattern of development or the types of hazardous materials that would be used, handled, or transported to the site than previously evaluated in the FPASP EIR/EIS and the Russell Ranch EIR. No changes to the conditions of the site or the presence of hazardous materials has occurred since approval of the FPASP. The project site is located outside of Area 40 and the carve-out area and would not be located on Cortese-listed site. No new airports have been developed near the project site and implementation of the project would not conflict with any adopted emergency response or evacuation plans. No changes to the location of the project have occurred and no changes to the risks from wildfires has occurred since approval of the FPASP. The following mitigation measures were referenced in the FPASP EIR/EIS analysis and incorporated by reference into the Russell Ranch EIR and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 3A.7-4: Prepare a Seismic Refraction Survey and Obtain Appropriate Permits for all On-Site and Off-site Elements East of Old Placerville Road.
- ▶ Mitigation Measure 3A.8-7: Prepare and Implement a Vector Control Plan in Consultation with the Sacramento-Yolo Mosquito and Vector Control District.

The potential environmental impacts related to hazards and hazardous materials and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Hydrology and Water Quality

The project would require grading and construction and could result in significant impacts to water quality because of soil disturbance during construction and alteration of water flows over the site, consistent with the findings of the FPASP EIR/EIS. The project would include the same number of units and would not change the development footprint. The project would not result in substantial changes to the drainage patterns or flood flows beyond those anticipated in the FPASP. The following plan-level mitigation measures were referenced in the FPASP EIR/EIS analysis and incorporated by reference into the Russell Ranch EIR and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 3A.9-1: Acquire appropriate regulatory permits and prepare and implement SWPPP and BMPs.
- ▶ Mitigation Measure 3A.9-2: Prepare and submit final drainage plans and implement requirements contained in those plans.
- ▶ Mitigation Measure 3A.9-3: Develop and implement a BMP and water quality maintenance plan.
- ▶ Mitigation Measure 3A.9-4: Inspect and evaluate existing dams within and upstream of the project site and make improvements if necessary.

The potential environmental impacts related to hydrology and water quality and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Land Use and Planning

Implementation of the project would result in a residential subdivision consistent with the previously approved Russell Ranch development. The project would not result in the physical division of established communities, nor conflict with FPASP land use policies and regulations that protect the environment. There were no mitigation measures included in the FPASP EIR/EIS or the Russell Ranch EIR for this topic and no additional mitigation measures are required for the project for this issue.

The potential environmental impacts related to land use and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Mineral Resources

The project would be located within the Russell Ranch development and would not change the development footprint. As described in the Russell Ranch EIR and the RR Lots 24-32 Environmental Checklist and Addendum, the project area is not identified as containing locally important mineral resources that would be considered to have local, regional, or statewide importance by either the City of Folsom or Sacramento County General Plans. The only source of minerals is around the Alder Creek drainage area which would not be developed as part of this project. The project would be located on the same area of land as that examined in the Russell Ranch EIR and would not impact the mineral resources. There were no mitigation measures included in the Russell Ranch EIR for this topic and no additional mitigation measures are required for the project for this issue.

The potential environmental impacts related to mineral resources and associated with implementation of the project are consistent with the conclusions of the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Noise and Vibration

Construction of the project would result in short-term increases in noise related to construction vehicles and equipment. However, construction activities would require similar types and numbers of equipment operating at similar levels of intensity as previously evaluated in the FPASP EIR/EIS and the Russell Ranch EIR.

In compliance with FPASP EIR/EIS Mitigation Measure 3A.11-4, a site-specific environmental noise assessment was conducted by j.c. brennan & associates, inc., in October 2014, to evaluate noise impacts for the Russell Ranch development. In September 2017, a noise mitigation analysis memo was prepared to determine if further mitigation would be required for the RR Lots 24-32 Environmental Checklist and Addendum. The noise analysis found that with refinements to the FPASP EIR/EIS mitigation measures, including the construction of noise barriers, potential impacts related to noise would be less than significant (j.c. brennan & associates, inc. 2014).

The project would result in the same development footprint and number of dwelling units as previously analyzed. However, the conversion of age-restricted active adult units to traditional units is projected to increase population and traffic volumes within the project site. As shown in Attachment B the project would generate 921 more daily trips than that analyzed in the Russell Ranch EIR. These trips would be distributed throughout the project site. However, to conservatively estimate any potential increase in traffic noise, potential increases in noise were evaluated assuming all 921 daily trips would occur on each roadway segment. Generally, a doubling of traffic volumes results in a 3 dBA increase in noise. The project would not result in a doubling of traffic volumes on roadways within the project site. The largest potential increase in traffic volumes would be a 3.8 percent increase on Empire Ranch Road, where traffic volumes could increase from 24,200 trips under approved entitlements to 25,121 trips under the proposed project. Traffic volumes on White Rock Road could increase from 30,600 trips to 31,521 trips, representing a 3 percent increase. As such, the project would not substantially increase traffic noise levels and the mitigation measures (e.g., noise barriers) identified in the RR Lots 24-32 Environmental Checklist and Addendum would be sufficient.

The project would result in the same land use, development types and intensity as previously evaluated and would not result in impacts related to long-term exposure of sensitive receptors to increased stationary-source noise levels from project operation beyond those identified in the FPASP EIR/EIS. The following plan-level mitigation measures were referenced in the FPASP EIR/EIS analysis and incorporated by reference into the Russell Ranch EIR and would continue to remain applicable if the project were approved. Where clarifying text was provided during the review by j.c. brennan & associates, inc., the full mitigation measure is included below.

- ▶ Mitigation Measure 3A.11-1: Implement Noise-Reducing Construction Practices, Prepare and Implement a Noise Control Plan, and Monitor and Record Construction Noise near Sensitive Receptors.
- ▶ Mitigation Measure 3A.11-3: Implement Measures to Prevent Exposure of Sensitive Receptors to Groundborne Noise or Vibration from Project Generated Construction Activities.
 - To the extent feasible, blasting activities shall not be conducted within 275 feet of existing or future sensitive receptors.
 - To the extent feasible, bulldozing activities shall not be conducted within 50 feet of existing or future sensitive receptors.
 - All blasting shall be performed by a blast contractor and blasting personnel licensed to operate in the State of California.
 - A blasting plan, including estimates of vibration levels at the residence closest to the blast, shall be submitted to the enforcement agency for review and approval prior to the commencement of the first blast.
 - Each blast shall be monitored and documented for groundbourne noise and vibration levels at the nearest sensitive land use and associated recorded submitted to the enforcement agency.
 - To reduce the potential for annoyance because of blasting and blast-induced air overpressures, the peak value overpressures should not exceed 0.01 psi (equivalent to 110 dB Linear) at the nearest property line, which prevents damage or undue annoyance at neighboring properties. To the extent possible, blasting contractors will design blasts so that a worst-case blast would not exceed 0.01 psi. This generally is done through blast charge and interval delays.

- ▶ Mitigation Measure 3A.11-5: Implement Measures to Reduce Noise from Project-Generated Stationary Sources.

The following project-specific mitigation measures were referenced in the Russell Ranch EIR and would continue to remain applicable if the project were approved. In addition, the map related to Mitigation Measure 4.6-3(a) was updated to show where noise barriers are required for this project (see Figure 3):

- ▶ Mitigation Measure 4.6-3(a): Construct noise barriers along U.S. 50, White Rock Road, and Empire Ranch Road, and conduct site-specific acoustical analysis to confirm that the development would meet the adopted City noise standard.
- ▶ Mitigation Measure 4.6-3(c): Implement mechanical ventilation in all residential land uses to promote acoustical isolation.

The potential environmental impacts related to noise and vibration associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Population and Housing

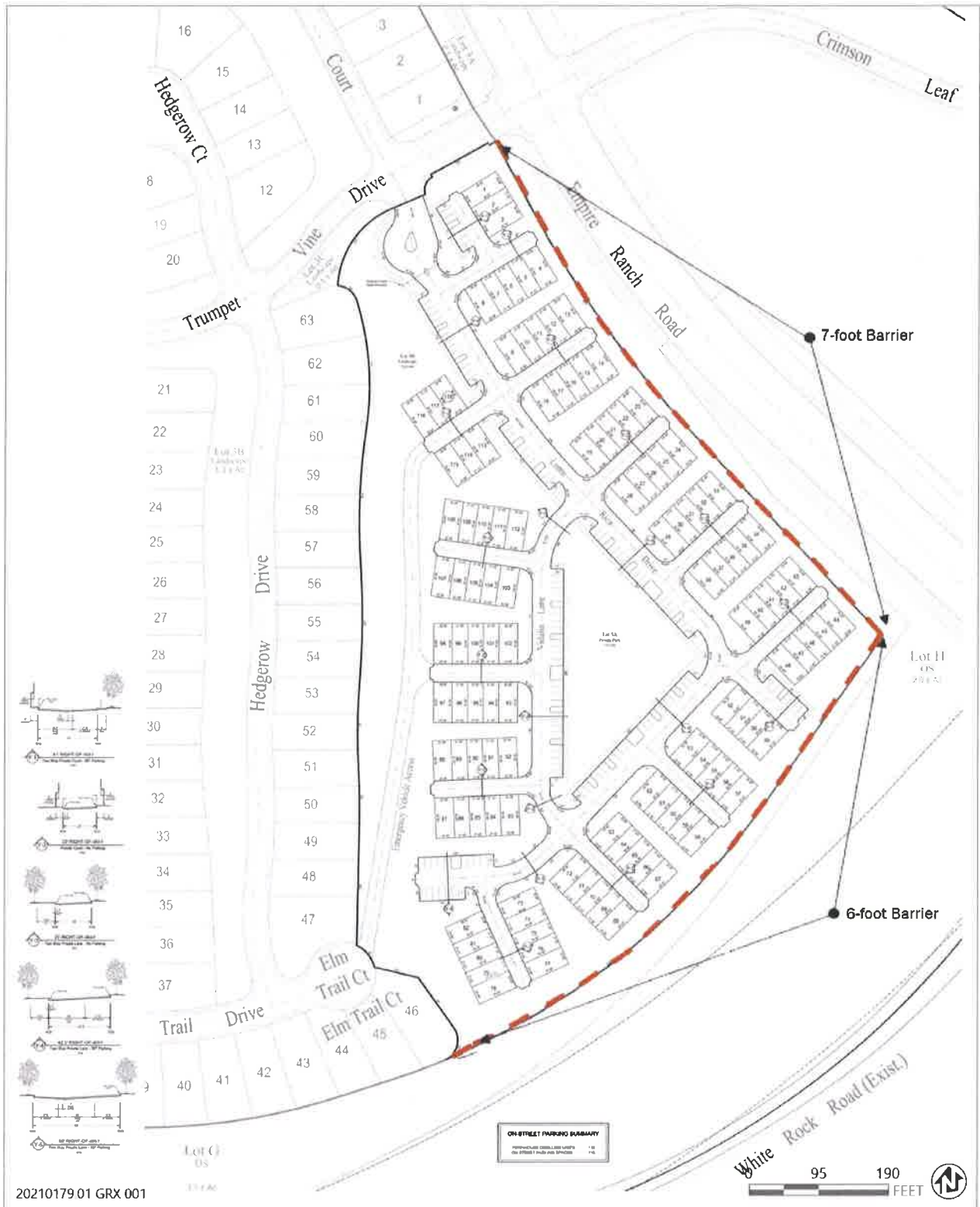
Implementation of the project would result in a residential subdivision consistent with the previously approved Russell Ranch development. The project would convert age-restricted active adult units to traditional units resulting in a population increase of 191. However, this change is offset by the introduction of age-restricted active adult units in the Toll Brothers at Folsom Ranch Master Planned Community. The total projected population for the total Russell Ranch development would not exceed that evaluated in the FPASP EIR/EIS. The project would not displace existing people or housing. No mitigation measures were needed for the certified FPASP EIR/EIS regarding population and housing. No additional mitigation measures are required for the project for this issue.

The potential environmental impacts related to population and housing and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Public Services

Implementation of the project would increase the population within Lots 24-32 of the Russell Ranch development but the population of the entire Russell Ranch development and FPASP would not increase beyond that previously evaluated in the FPASP EIR/EIS. The project would not change the number of residential units, would be within the previously approved Russell Ranch development, and would not result in a larger service area than was previously evaluated. The project would continue to be required to pay its fair share for facilities and services. As such, the project would not increase demand for fire protection, police protection, schools, or other public services or facilities beyond that anticipated in the FPASP EIR/EIS and the Russell Ranch EIR. The following mitigation measures were referenced in the FPASP EIR/EIS analysis and would continue to remain applicable if the project was approved.

- ▶ Mitigation Measure 3A.14-2: Incorporate California Fire Code; City of Folsom Fire Code Requirements; and EDHFD Requirements, if Necessary, into Project Design and Submit Project Design to the City of Folsom Fire Department for Review and Approval
- ▶ Mitigation Measure 3A.14-3: Incorporate Fire Flow Requirements into Project Designs



Source: Prepared by J.C. Brennan & Associates in 2017 and MacKay & Soms in 2018

Figure 3 Barrier Locations

The potential environmental impacts related to public services and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Recreation

Implementation of the project would include development of a residential subdivision along with a 2-acre private recreation site and approximately 45-acres of open space. These open spaces could be used as recreation areas and were included in previous analyses in the Russell Ranch EIR and FPASP EIR/EIS. As discussed in the project description, Quimby park dedication requirements are satisfied by parks located throughout the entire FPASP area, with the Russell Ranch development contributing its fair share through dedication of 5 acres of neighborhood parkland and payment of an in-lieu fee pursuant to the Public Facilities Financing Plan (PFFP) for the FPASP area. Overall parkland within the FPASP area would remain unchanged and the total FPASP area would continue to meet the City's parkland standard. The project would not result in any further changes to parks within the FPASP. The FPASP EIR/EIS concluded that the impact to existing parks and facilities would be less than significant, and no mitigation was required. The proposed project would not change this conclusion.

The potential environmental impacts related to recreational facilities and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Transportation

Senate Bill 743, passed in 2013, required the Governor's Office of Planning and Research to develop new CEQA Guidelines that address traffic metrics under CEQA. As stated in the legislation (and Section 21099[b][2] of CEQA), upon adoption of the new CEQA guidelines, "automobile delay, as described solely by LOS or similar measures of vehicular capacity or traffic congestion shall not be considered a significant impact on the environment pursuant to this division, except in locations specifically identified in the CEQA guidelines, if any."

The Office of Administrative Law approved the updated CEQA Guidelines on December 28, 2018, and the changes are reflected in new CEQA Guidelines (Section 15064.3). State CEQA Guidelines Section 15064.3 was added December 28, 2018, to address the determination of significance for transportation impacts. Pursuant to the new CEQA Guidelines, vehicle miles traveled (VMT) will replace congestion as the metric for determining transportation impacts. The CEQA Guidelines state that "lead agencies may elect to be governed by these provisions of this section immediately. Beginning July 1, 2020, the provisions of this section shall apply statewide."

As described above, the updated CEQA Guidelines were not adopted until December 28, 2018, and as stated in the CEQA Guidelines Section 15064.3(c), beginning on July 1, 2020, the provisions of this section shall apply statewide. Thus, local agencies had an opt-in period until July 1, 2020, to implement the updated guidelines after they were formally adopted. Thus, the effective date of the changes to the CEQA Guidelines occurred subsequent to certification of the FPASP EIR/EIS in June 2011, subsequent to the certification of the Russell Ranch EIR in May 2015, and subsequent to the certification of the RR Lots 24-32 Environmental Checklist and Addendum in March 2018. Section 15007 of the CEQA Guidelines addresses amendments to the CEQA Guidelines and states: "If a document meets the content requirements in effect when the document is sent out for public review, the document shall not need to be revised to conform to any new content requirements in Guideline amendments taking effect before the document is finally approved" (CEQA Guidelines Section 15007[c]). Stated another way, because the FPASP EIR/EIS and Russell Ranch EIR were circulated for public review (and completed) before this change in the CEQA Guidelines, the new provisions regarding VMT do not apply to this project. Therefore, the shift from automobile delay to VMT as the primary metric

used to analyze transportation impacts under CEQA, as dictated by CEQA Guidelines Section 15064.3, does not constitute "new information" as defined in CEQA Guidelines Section 15162 and, even if it was "new information," CEQA Guidelines Section 15007 directs that the document "shall not need to be revised" to reflect this information.

The project would be in the same area, would not change circulation patterns, and would result in the same number of residential dwelling units as previously analyzed. However, implementation of the project would convert planned age-restricted active adult units to traditional units, thereby increasing the projected population at the project site and daily vehicle trips. As shown in Attachment B, the project would result in 921 more trips per day than evaluated in the Russell Ranch EIR and 1,076 more trips per day than evaluated in the RR Lots 24-32 Environmental Checklist and Addendum. However, the Toll Brothers at Folsom Ranch project, approved in 2020, included the conversion of traditional single family homes to age-restricted active-adult units and resulted in an estimated daily trip reduction of 3,433 trips for the entire FPASP area (City of Folsom 2020). This reduction of daily trips would offset trips generated by the project and total daily trip generation for the entire FPASP area would not exceed the amount previously evaluated in the FPASP EIR/EIS if the project is approved. Because the project is located within the same development footprint analyzed, would result in the same development types and intensities as previously analyzed, and would not result in an increase in total FPASP vehicle trips beyond that previously analyzed, no new or substantially more severe impacts related to VMT would occur.

The project-specific traffic evaluation, included in Attachment B, also found that under cumulative conditions the Empire Ranch Road/White Rock Road intersection, located on the southern boundary of the project site, would require increased vehicle queuing storage than previously designed. The estimated vehicle queue for the westbound right-turn movements at the intersection would exceed the designed storage with or without the proposed project. The traffic evaluation recommends that the 250-foot right-turn pocket on the westbound approach should be increased to a 400-foot right-turn pocket. This change is not considered as part of the project and would be required regardless of the project. The City would address this change as a design feature of a later project. In addition, the change is consistent with the findings of the FPASP EIR/EIS and the Russell Ranch EIR and would not result in new or substantially more severe impacts.

The Russell Ranch EIR included an evaluation of cumulative traffic impacts under Year 2035 traffic conditions. Cumulative impacts refer to the combined effect of project impacts with the impacts of other past, present, and reasonably foreseeable future projects. This cumulative impact analysis does not rely on a list of specific pending, reasonably foreseeable development proposals in the vicinity of the project; rather, it relies on existing and future development accommodated under the City of Folsom General Plan, which is included in regional travel demand modeling. The SACOG regional traffic model was used to forecast cumulative year 2035 traffic volumes both within and outside of the FPASP area. The resulting cumulative scenario included buildout of the Russell Ranch development as well as the surrounding FPASP. The model also included land use growth in other portions of Folsom as well as the surrounding six-county region. The year 2035 traffic model assumed a substantial increase in land use development north of US 50 as anticipated by the Folsom General Plan. Since the Russell Ranch EIR had assumed a substantial amount of development under Year 2035, the proposed land use change would not result in any new significant traffic impacts under cumulative conditions.

No other changes to circulation patterns would occur. Thus, the project would not result in new significant impacts or substantially more severe transportation impacts. The following mitigation measures were referenced in the Russell Ranch EIR analysis and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 4.8-1 Construction traffic and parking management plan.
- ▶ Mitigation Measure 4.8-2(a) Fair share costs towards the modification to the westbound approach to the East Bidwell Street/Iron Point Road intersection.
- ▶ Mitigation Measure 4.8-2(b) Fair share through the PFFP fee towards a westbound right-turn lane to the White Rock Road/Placerville Road intersection.

- ▶ Mitigation Measure 4.8-3 Pay CIP fee, towards the construction of auxiliary lanes on US 50 from Sunrise Boulevard to East Bidwell Street/Scott Road.
- ▶ Mitigation Measure 4.8-6 Fair share fee towards the addition of right of way and add a channelized westbound right-turn lane to the Scott Road/Easton Valley Parkway intersection.

The potential environmental impacts related to transportation/traffic and associated with implementation of the project are consistent with the conclusions of the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Tribal Cultural Resources

Assembly Bill (AB) 52, signed by the California governor in September of 2014, establishes a new class of resources under CEQA: "tribal cultural resources." It requires that lead agencies undertaking CEQA review must, upon written request of a California Native American tribe, begin consultation after the lead agency determines that the application for the project is complete, before a notice of preparation (NOP) of an EIR or notice of intent to adopt a negative declaration or mitigated negative declaration is issued. AB 52 also requires revision to CEQA Appendix G, the environmental checklist. This revision has created a new category for tribal cultural resources (TCRs).

An addendum to a previously certified EIR was prepared for the Russell Ranch Lots 24 – 32 Project, in accordance with Section 15164 of the CEQA Guidelines. An addendum was determined to be the most appropriate document because none of the conditions described in Section 15162, calling for preparation of a subsequent EIR, occurred. The addendum addresses minor technical changes or additions and confirms that the project is consistent with what was previously analyzed under the certified EIR. As such, the addendum did not result in an additional certification; therefore, the AB 52 procedures specified in PRC Sections 21080.3. 1(d) and 21080.3.2 did not apply and no tribal consultation under AB 52 was required. Further, because the project is adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, this analysis is also not required to address TCRs. Mitigation measures discussed above under Cultural Resources that would reduce impacts to previously unknown cultural resources would also reduce potential impacts to TCRs should they be present.

The potential environmental impacts related to TCRs and associated with implementation of the project are consistent with the conclusions of the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Utilities and Service Systems

Domestic water, sanitary sewer, and storm drainage services would be provided by the City of Folsom. Electricity would be provided by the Sacramento Municipal Utility District, gas would be provided by Pacific Gas & Electric, telephone would be provided by AT&T, and cable would be provided by Comcast.

Although the project would not result in changes to the type of development or number of residential dwelling units, implementation of the project would convert planned age-restricted active adult units to traditional units, thereby increasing the projected population at the project site from 829 persons to 1,020 persons. As shown in Table 3 the increase in population would result in an increase in water demand at the site from the amount previously analyzed in the Russell Ranch EIR and the RR Lots 24-32 Environmental Checklist and Addendum. The water supply agreement for the FPASP area provides an overall cap of 5,600 acre-feet per year. As of May 2021, total water demand for the entire FPASP is 5,485 acre-feet per year. As such, the 83 acre-feet per year increase in water demand would not exceed water supply for the FPASP, and thus, would not result in any new or substantially more severe impacts.

Table 3 Russell Ranch Phase 2 (Lots 24 – 32) Water Demand

Project Approval	2015 Russell Ranch EIR	2018 Russell Ranch Lots 24-32 Addendum	Proposed Project
Acres	135.1	135.1	135.1
Dwelling Units	265	389	389
Total Normal Demand (ac-ft/yr)	185	185	268
Total Dry-Year Demand (ac-ft/yr)	191	191	276

Notes: ac-ft/yr = acre feet per year

Source: McKay & Somps 2021a, McKay & Somps 2018a.

Similarly, increase in population at the project site would result in an increase in wastewater generation and sewer flow. Table 4 shows that wastewater generation from the project is estimated at 0.1425 million gallons per day (mgd), a 0.026 mgd increase from the amount analyzed in the RR Lots 24-32 Environmental Checklist and Addendum and a 0.0365 mgd increase from the amount analyzed in the Russell Ranch EIR. Wastewater collection and conveyance services are provided by the City of Folsom and wastewater treatment is provided by Regional San at the Sacramento Regional Wastewater Treatment Plant. The treatment plant has a permitted capacity of 181 mgd, with a remaining capacity of approximately 40 mgd. A sewer master plan was prepared for the entire FPASP area which assumed 1,119 units would be developed in the Russell Ranch area (as shown in Table 1). The analysis conducted as part of the sewer master plan showed that the total flow of sewer and wastewater into the Sacramento Regional County Sanitation District (Regional San) system would be 6.23 mgd in average day flow conditions and 11.1 mgd in peak wet weather flow (PWWF) conditions. The Regional San Interceptor Master Plan prepared in 2000 provided for a flow excess of this demand. All the pipelines conveying the flow from the site to the regional Folsom South Lift Station have been planned and constructed to date at a capacity (maximum depth of flow to diameter of pipe) of not to exceed 70 percent full. The Regional San Interceptor Master Plan analyzed all the pipelines within the FPASP area and determined that flow in all pipelines would be substantially less than 70 percent full. Thus, the minor increase can be accommodated from the project site to the connection with Regional San. The increase in sewer flow caused by this project, if approved, would be accommodated without need to change the wastewater and sewer transmission facilities.

Table 4 Russell Ranch Phase 2 (Lots 24 – 32) Wastewater Treatment Demand

Project Approval	2015 Russell Ranch EIR	2018 Russell Ranch Lots 24-32 Addendum	Proposed Project
Acres	135.1	135.1	135.0
Equivalent Single Family Dwelling	265	393	393
Average Daily Sewer Flow (mgd)	0.1060	0.1165	0.1425

Notes: mgd = million gallons per day

Source: McKay & Somps 2021b, McKay & Somps 2018b.

The project would not change the development footprint or the intensity of development. Therefore, stormwater drainage patterns would not be changed by the project. In addition, demand for electricity, gas, telephone, and cable services would not exceed the amount previously analyzed.

The project would include the same type of development and would not exceed the number of units or population evaluated in the FPASP EIR/EIS. The FPASP EIR/EIS determined that the Sacramento County Kiefer Landfill, which serves the FPASP area, has adequate capacity, and no substantial changes to landfill capacity or landfill closures have occurred. The appropriate landfills have enough capacity to serve the project during construction and operation.

The following mitigation measures were referenced in the FPASP EIR/EIS analysis and incorporated by reference into the Russell Ranch EIR and would continue to remain applicable if the project were approved.

- ▶ Mitigation Measure 3A.16-1: Submit Proof of Adequate On- and Off-Site Wastewater Conveyance Facilities and Implement On- and Off-Site Infrastructure Service Systems or Ensure That Adequate Financing Is Secured.
- ▶ Mitigation Measure 3A.16-3: Demonstrate Adequate SRWTP Wastewater Treatment Capacity.
- ▶ Mitigation Measure 3A.18-1: Submit Proof of Surface Water Supply Availability.
- ▶ Mitigation Measure 3A.18-2a: Submit Proof of Adequate Off-Site Water Conveyance Facilities and Implement Off-Site Infrastructure Service System or Ensure That Adequate Financing Is Secured.
- ▶ Mitigation Measure 3A.3-1a: Design stormwater drainage plans and erosion and sediment control plans to avoid and minimize erosion and runoff to all wetlands and other waters that are to remain on the SPA and use low impact development features.

The potential environmental impacts related to utilities and service systems and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Wildfire

Implementation of the project would involve the development of a residential subdivision within the approved Russell Ranch development. The project would affect the same area already analyzed and would not substantially alter the development type or density at the site. The site is identified as a moderate fire hazard severity zone and is not near an area of high or very high fire hazard severity, as identified by CAL FIRE. The project would comply with Wildland-Urban Interface building code regulations, California Fire Code, Folsom 2035 General Plan Polices and FPASP Polices. The project would not result in an increase in slope or prevailing wind that may exacerbate wildfire risks. There were no mitigation measures included in the FPASP EIR/EIS or the Russell Ranch EIR for this topic and no additional mitigation measures are required for the project for this issue.

The potential environmental impacts related to wildfire and associated with implementation of the project are adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum (see "Public Services" discussion above), and no additional CEQA documentation is required. Further, pursuant to Section 15162 of the State CEQA Guidelines, no new information of substantial importance has been identified that would otherwise necessitate subsequent/supplemental environmental analysis.

Cumulative Impacts

The project would result in the development of a residential subdivision within the approved Russell Ranch development. The project would not result in a change in the number of units or population beyond that previously analyzed in the FPASP EIR/EIS. Mitigation measures identified in the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum would remain applicable to the project. Therefore, the project would not result in cumulative impacts beyond those previously analyzed.

Conclusion

Based on the analysis presented above, implementation of the project is adequately addressed by the FPASP EIR/EIS, the Russell Ranch EIR, and the RR Lots 24-32 Environmental Checklist and Addendum, and no new or substantially more adverse impacts would occur through implementation of the project. As a result, no new environmental document is required, consistent with State CEQA Guidelines Section 15162(b).

REFERENCES

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Attachment A

Mitigation Monitoring and Reporting Program

Attachment B

Traffic Memo

Attachment 9

Access and Circulation Analysis dated November 12, 2021

Memorandum

Date: November 12, 2021
 To: Rachel Corona, Lennar Homes
 From: David B. Robinson, Fehr & Peers
 Subject: **Russell Ranch Phase 2 (Villages 1, 2, and 4) Evaluation**

RS21-4021

Fehr & Peers has completed a trip generation evaluation of the proposed modifications to Russell Ranch Phase 2 (Villages 1, 2, and 4). The purpose of the evaluation is to document how this shift in units would affect the transportation analysis findings of the Russell Ranch Project EIR (May 2015) and the Russell Ranch Development (Lots 24 through 32) Environmental Checklist and Addendum (January 2018).

Land Use Modifications

As proposed, modifications to Russell Ranch Phase 2 (Villages 1, 2, and 4) include converting 208 age-restricted dwelling units to single family dwelling units while maintaining the overall unit count of single family and multi-family residential land use. **Table 1** compares the residential land use changes being proposed to the number of dwelling units analyzed in the DEIR and Addendum.

Table 1: Summary of Residential Land Use Changes

Residential Land Use	DEIR (May 2015)	Addendum (January 2018)	Proposed ¹
Single Family	789	587	795
Age-Restricted	0	208	0
Multi-Family	114	232	232
Total	903	1,027	1,027

Source: ¹MacKay & Soms, Russell Ranch Phase 2 Villages 1, 2, and 4 (March 2019).



Trip Generation

We estimated trip generation for the land use scenarios documented in **Table 1** based on trip rates and methodologies published in the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10th Edition (2017).

Table 2 summarizes the residential trip generation rates used to estimate the trip generation for the proposed land use changes.

Table 2: Trip Generation Rates by Residential Type

Residential Land Use	ITE Land Use Code	Trip Rate ¹		
		Daily	Peak Hour	
			AM	PM
Single-Family Residential	210	9.44	0.74	0.99
Age-Restricted Residential	251	4.27	0.24	0.30
Multi-Family Residential	220	7.32	0.46	0.56

Notes: ¹Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10th Edition (2017).
 Source: Fehr & Peers, 2021

Table 3 compares gross trip generation for the proposed changes to Russell Ranch Phase 2 (Villages 1, 2, and 4) to the trip generation based on the land use analyzed in the DEIR and Addendum. Attachment A includes the detailed trip generation categories and rates used to estimate the trip generation.

As shown, compared to the DEIR the proposed changes to Russell Ranch Phase 2 (Villages 1, 2, and 4) would generate 1,076 more trips per day, 59 trips during the AM peak hour, 72 trips during PM peak hour.



Table 3: Trip Generation Comparison

Residential Land Use	DEIR (December 2014)	Addendum (January 2018)	Proposed (Russell Ranch Phase 2 - Villages 1, 2, and 4)
Daily			
Single Family	7,448	5,541	7,505
Age-Restricted	-	888	-
Multi-Family	834	1,698	1,698
Total	8,282	8,127	9,203
	Change from DEIR	-155	921
		Change from Addendum	1,076
AM Peak Hour			
Single Family	584	434	588
Age-Restricted	-	50	-
Multi-Family	52	107	107
Total	636	591	695
	Change from DEIR	-45	59
		Change from Addendum	104
PM Peak Hour			
Single Family	781	581	787
Age-Restricted	-	62	-
Multi-Family	64	130	130
Total	845	773	917
	Change from DEIR	-72	72
		Change from Addendum	144

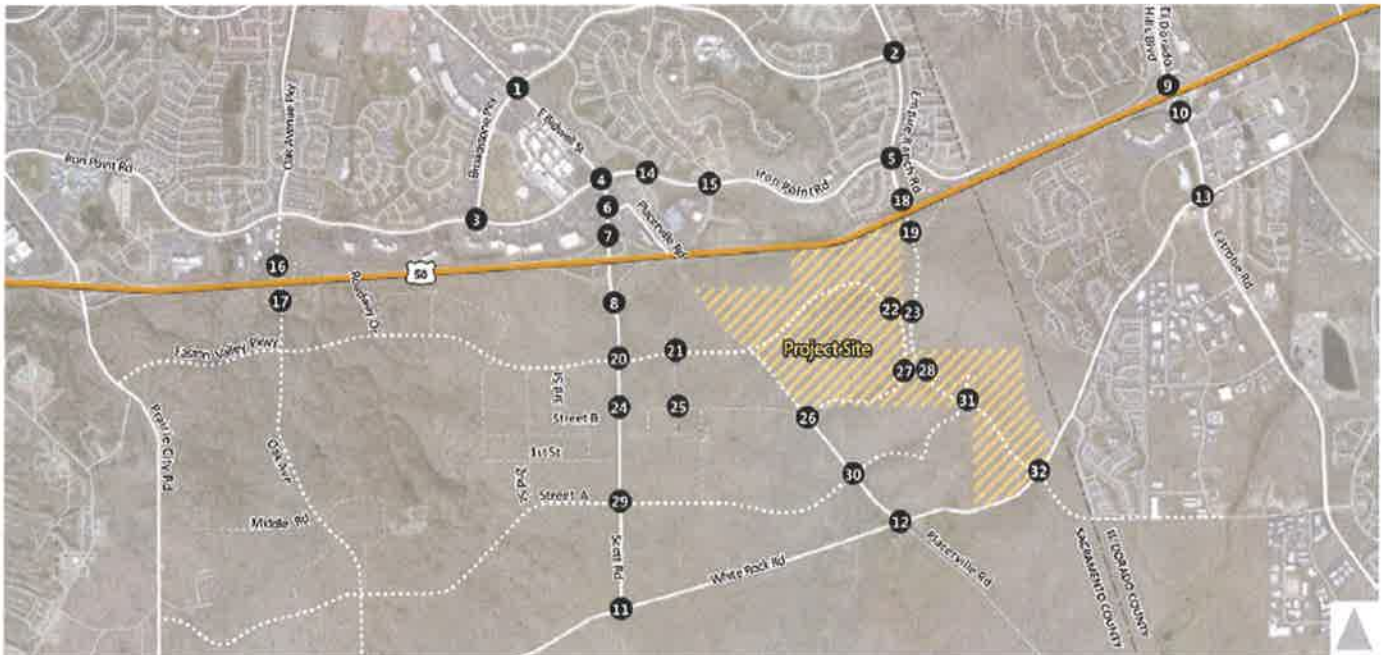
Source: Fehr & Peers, 2021

Vehicle Queuing

As shown in Table 3, compared to the DEIR the changes proposed to Russell Ranch Phase 2 (Villages 1, 2, and 4) would generate 59 more trips during the AM peak hour and 72 more trips during PM peak hour. Since the proposed changes would increase in peak hour trip generation, we analyzed the sensitivity of the DEIR intersection analysis (i.e., under cumulative conditions) to determine if the proposed changes would result in increased vehicle queuing.



The DEIR study area is shown on the image below. Under cumulative conditions, the DEIR include the analysis of 32 study intersections, including 6 on-site intersections (Intersections 22, 26, 27, 28, 31, and 32) and 26 off-site intersections in the area bounded by Broadstone Parkway to the north, Oak Avenue Parkway to the west, El Dorado Hills Boulevard/Latrobe Road to the east, and White Rock Road to the south, including several on-site intersections.



Given the area covered by the study area, the affect of the increased trip generation will diminish as the trips are distributed through the study area. Therefore, we applied the following steps to identify intersections for more detailed vehicle queuing analysis.

Step 1 (Trip Distribution) – We reviewed the Cumulative Plus Project scenario intersection turning movement forecasts at Intersections 28 and 29, to determine the share of traffic distributed to the north and south on Empire Ranch Road. Based on this review, about 60% of traffic is distributed to the north and 40% is distributed to the south.

Step 2 (New Trip Assignment) – Using the distribution identified in Step 1, we assigned the project trips through the study intersections, based on the inbound/outbound peak hour trip generation and the Cumulative Plus Project scenario intersection turning movement forecasts.

Step 3 (Intersection Screening) – Reviewing the project trip distribution from Step 2, we reviewed the peak hour assignment and selected intersections where the increase in peak hour trips to an individual movement was 10 or more. Intersections 18, 19, 23, 28, 31, and 32 satisfied the criteria and were selected for more detailed vehicle queuing analysis.



For the intersection selected in Step 3 above, we added the increased project traffic to the Cumulative Plus Project forecast from the DEIR to develop the traffic volume forecasts for the detailed vehicle queuing analysis.

We analyzed the selected study intersections using the procedures described in the *Highway Capacity Manual (HCM) 6th Edition* (Transportation Research Board, 2016), using the Synchro software program. The intersection operations analysis was conducted using the updated Cumulative Plus Project intersection turning movement forecasts (outlined above), traffic control, and lane configurations from the DEIR. **Table 4** identifies the increase in turn movement vehicle queues due to the addition of trips from the proposed modifications to Russell Ranch Phase 2 (Villages 1, 2, and 4).

Table 4: Study Intersection Vehicle Queues – Cumulative With Proposed Russell Ranch Phase 2 – Villages 1, 2, and 4

Intersection	Increase in Vehicle Queue by Turn Lane (feet) ¹								
	Northbound (NB)		Southbound (SB)		Eastbound (EB)		Westbound (WB)		
	Left	Right	Left	Right	Left	Right	Left	Right	
18. Empire Ranch Road/ US 50 WB Ramps	0	0	0	0	0	0	0	0	0
19. Empire Ranch Road/US 50 EB Ramps	0	0	0	0	0	0	0	0	0
23. Empire Ranch Road/Internal Roadway 1	0	0	0	0	0	0	0	0	0
28. Empire Ranch Road/Rough Horse Way	0	0	0	0	0	0	0	0	0
31. Empire Ranch Road/Mangini Parkway	0	25	0	25	0	25	0	0	0
32. Empire Ranch Road/White Rock Road	0	0	0	25	0	25	25	25	25

Note: ¹Queued vehicles are assumed to occupy 25 feet of space. Therefore, an increase in one queued vehicle would result in an increased queue length of 25 feet. The maximum of the AM and PM peak hour queue increase is reported.

Source: Fehr & Peers, 2021

As shown in **Table 4**, most vehicles queues would not increase with the addition of trips from the proposed modifications to Russell Ranch Phase 2 (Villages 1, 2, and 4), except for Intersections 31 and Intersection 32.

At Intersection 31 (Empire Ranch Road/Mangini Parkway), the turn movements that would experience an increase in vehicle queue length (i.e., the northbound right-turn, southbound right-turn, and eastbound right-turn) are shared movements; therefore, the addition of trips from the proposed modifications to Russell Ranch Phase 2 (Villages 1, 2, and 4) would not change the turn pocket storage requirements.



At Intersection 32 (Empire Ranch Road/White Rock Road), four turn movements would experience a vehicle queue increase (i.e., the southbound right-turn, eastbound right turn, westbound left-turn, and westbound right-turn). The northbound right-turn and southbound right-turn are shared movements and the vehicle queue for the left-turn would not exceed the assumed pocket length of 250 feet; therefore, the addition of trips from the proposed modifications to Russell Ranch Phase 2 (Villages 1, 2, and 4) would not change the turn pocket storage requirements.

The analysis conducted for the DEIR assumed a 250-foot right-turn pocket on the westbound approach. The estimated vehicle queue for this turn movement would exceed the assumed storage with or without the proposed modifications to Russell Ranch Phase 2 (Villages 1, 2, and 4). A 400-foot right-turn pocket should be provided for this movement to accommodate the forecasted vehicle queue. This estimated vehicle queue is based on analysis of the Cumulative Plus Project scenario, which includes regional planned population and employment growth and programmed roadway improvements like the US 50/Empire Ranch Road interchange and the White Rock Road widening. **Exhibit A** (attached) shows the Empire Ranch Road/White Rock Road intersection and the westbound right-turn lane.

The findings of the focused vehicle queuing analysis should be considered for the future design the planned improvements at Intersection 32. However, the results of the analysis would not change the findings of the DEIR.

Cumulative Impact Discussion

The Russell Ranch DEIR was completed in 2015. The transportation/circulation chapter of the DEIR evaluated cumulative traffic impacts under Year 2035 traffic conditions. Cumulative impacts refer to the combined effect of project impacts with the impacts of other past, present, and reasonably foreseeable future projects. This cumulative impact analysis does not rely on a list of specific pending, reasonably foreseeable development proposals near the project; rather, it relies on existing and future development accommodated under the City's General Plan, which is included in regional travel demand modeling.

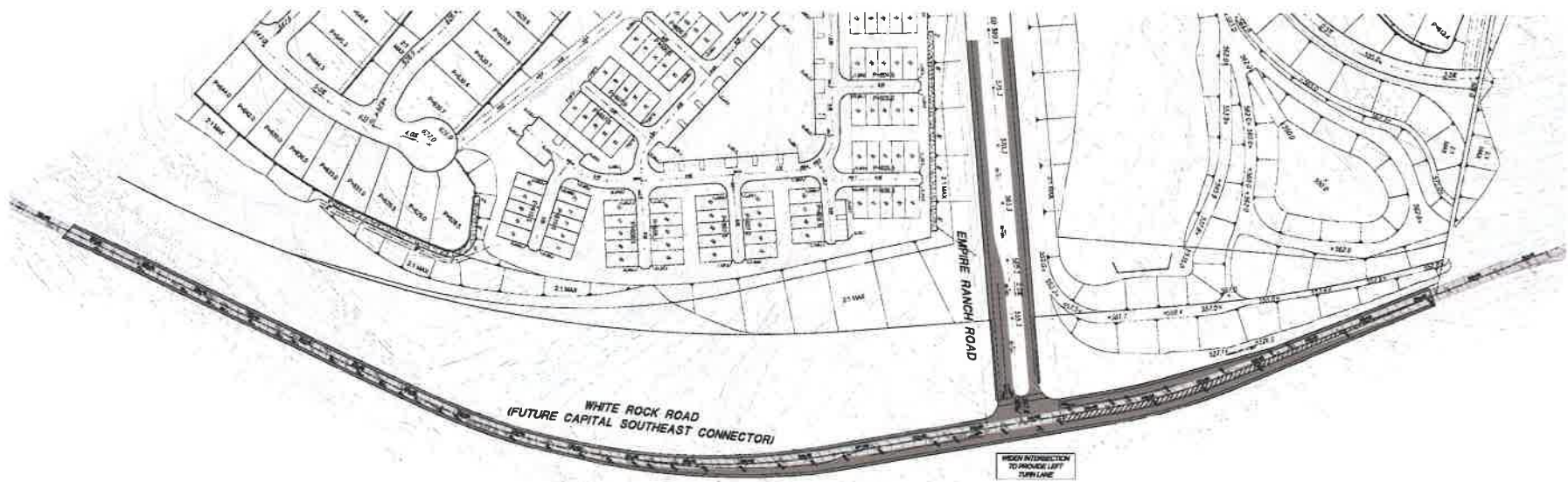
The SACOG regional traffic model was used to forecast cumulative year 2035 traffic volumes both within and outside of the Specific Plan area. The resulting cumulative scenario included buildout of the Russell Ranch project as well as the surrounding Folsom Plan Area Specific Plan. The model also included land use growth in the other portions of Folsom as well as the surrounding six-county region.

The year 2035 traffic model assumed a substantial increase in land use development north of US 50 as anticipated by the Folsom General Plan. **Table 5** shows the increase in households, retail employees, and non-retail employees that was assumed in the traffic model used to develop the cumulative traffic volume forecasts.





Table 5: Cumulative Scenario Land Use Growth

Land Use	Base Year	Cumulative Year	Growth
Households	20,900	23,540	2,640 (13%)
Retail Employees	9,801	14,712	4,911 (50%)
Non-Retail Employees	15,545	20,208	4,663 (30%)



LEGEND

-  EXISTING PAVEMENT
-  NEW PROPOSED PAVEMENT AND SHOULDER



Attachment 10

Applicant's Inclusionary Housing Letter dated November 4, 2021

LENNAR®

November 4, 2021

Kathy Pease
Contract Planner
City of Folsom

Re: Inclusionary Housing Agreement
Russell Ranch Lot 24-32 (PN21-118)

Dear Kathy,

Attached is a copy of the recorded inclusionary housing agreement for Russell Ranch dated June 30, 2015. This agreement encompasses our Russell Ranch Phase 2 project. Lennar homes will conform requirements of the Russell Ranch Inclusionary Housing Agreement.

If you have any questions please feel free to contact me at 916-886-0265.

Thank you,



Rachel Corona
Lennar Homes of California

Attachment 11

Amenity Narrative for Lot A

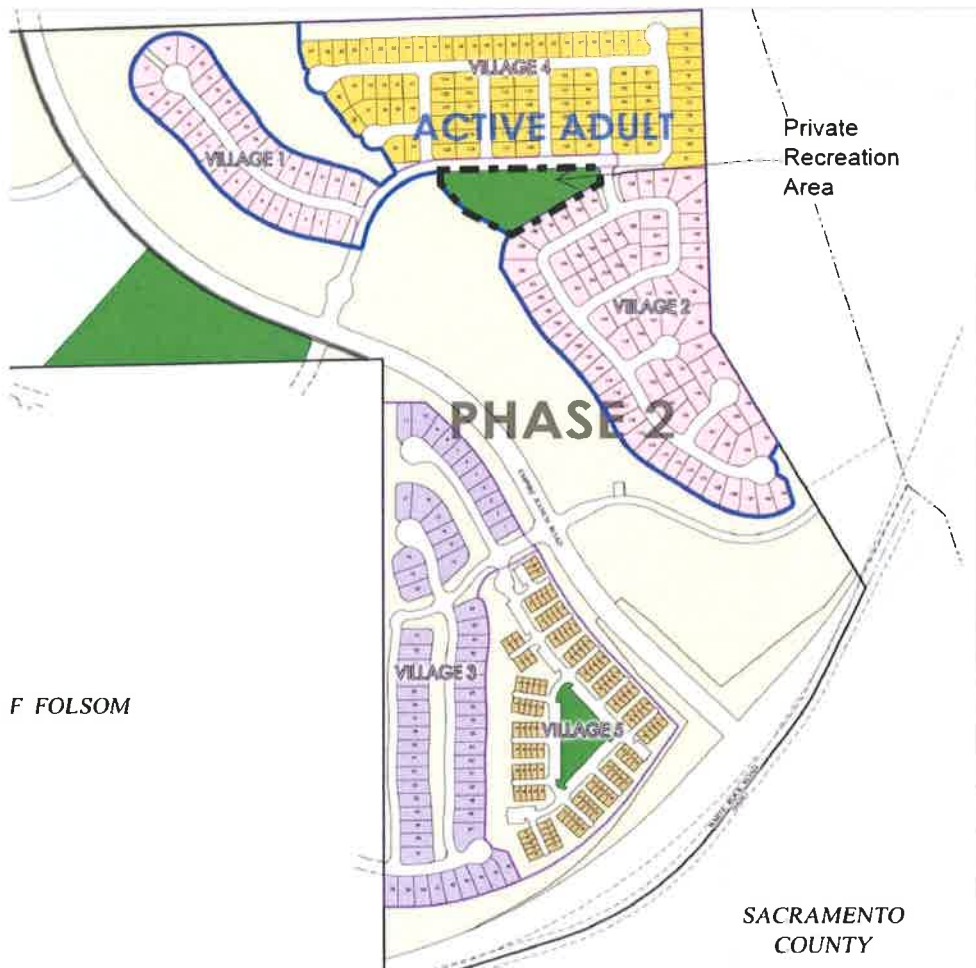
Russell Ranch Phase 2 Neighborhood Amenity Area – Lot A

This 2.08 acre parcel located in Russell Ranch Phase 2, Private Recreation Area (Lot A), is nestled between three single family residential villages to the north, east and northwest, with an open space and trail to the west. Lot A fronts on Silent Grove Lane feeding the three villages with a stretch of easy vehicular and pedestrian access. Its current condition of open gently rolling hillside grasses is currently planned to be developed into a private recreation area for active adult use.

With the proposed removal of the active adult designation in Phase 2, the Lot A amenity area will be focused to accommodate a wider range of passive recreational uses and be designed to provide a safe, pedestrian accessible gathering and play area for residents of all ages.

This amenity area will be owned and maintained by the Russell Ranch homeowners association who currently operates the Russell House which is a community clubhouse accessible to all Russell Ranch residents. The Russell House amenities include a pool and spa and indoor / outdoor lounge areas for comfortable gathering as well as a sports room for children.

The amenities for Lot A would include covered shade picnic structure(s), bench seating, bike rack(s), large open turf area for passive play like kite flying, picnics, and small group field games. The addition of large shade trees, and support facilities of tables and barbecue for dining, drinking fountain, and possible game tables. Landscape will need to meet State requirements for water conservation with the incorporation of state of the art irrigation systems, and drought tolerant plant material.



Attachment 12

Development Agreement Amendment No. 3

FOR THE BENEFIT OF THE CITY OF FOLSOM
PURSUANT TO GOVERNMENT CODE §6103

RECORDING REQUESTED BY CITY CLERK

WHEN RECORDED MAIL TO:

City Clerk
City of Folsom
50 Natoma Street
Folsom, CA 95630

(SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE)

**AMENDMENT NO. 3 TO FIRST AMENDED AND RESTATED TIER 1 DEVELOPMENT
AGREEMENT BY AND BETWEEN
THE CITY OF FOLSOM AND AG ESSENTIAL HOUSING CA 4, L.P.**

This Amendment No. 3 to First Amended and Restated Tier 1 Development Agreement ("Amendment No. 3") is entered into this day of __, 2021, by and between the City of Folsom ("City") and AG Essential Housing CA 4, L.P., a Delaware limited partnership ("Landowner"), pursuant to the authority of Sections 65864 through 65869.5 of the Government Code of California.

RECITALS

A. ARDA. City and TNHC Russell Ranch LLC, a California limited liability company ("TNHC") entered into that certain First Amended and Restated Tier 1 Development Agreement Relative to the Folsom South Specific Plan recorded on July 15, 2014, in the Official Records of the County Recorder of Sacramento County in Book 20140715 on Page 0405 (the "ARDA").

B. Amendment No. 1 to ARDA. City and TNHC entered into that certain Amendment No. 1 to the ARDA recorded on July 10, 2015, in the Official Records of the County Recorder of Sacramento County in Book 20150710 on Page 0642 ("Amendment No. 1").

C. Amendment No. 2 to ARDA. City and TNHC entered into that certain Amendment No. 2 to the ARDA recorded on July 6, 2018, in the Official Records of the County Recorder of Sacramento County in Book 20180706 on Page 0265 ("Amendment No. 2," and hereinafter referred to collectively with the ARDA and Amendment No. 1 as the "Development Agreement").

D. Assignment to and Assumption by Landowner. TNHC assigned its interest in the Development Agreement to Landowner pursuant to that certain Assignment and Assumption Agreement recorded on December 21, 2020 in the Official Records of the County Recorder of Sacramento County as Document No. 202012212182.

E. Property. This Amendment No. 3 affects certain of the Property (as defined in the ARDA), which portions of the Property are described in Exhibit "A" to this Amendment No. 3 ("Amendment No. 3 Property").

F. Purpose of Amendment No. 3. The purpose of this Amendment No. 3 is to include certain additional entitlements within the scope and definition of Entitlements (as defined in the ARDA).

G. Hearings. On December 1, 2021, the City Planning Commission, designated as the planning agency for purposes of development agreement review pursuant to Government Code Section 65867, in a duly

noticed and conducted public hearing, considered this Amendment No. 3 and recommended that the City Council approve the same.

H. Consistency with General Plan and Specific Plan. Having duly examined and considered this Amendment No. 3, the City finds and declares that this Amendment No. 3 is consistent with the General Plan and the Specific Plan, as amended.

NOW, THEREFORE, the parties hereto, in consideration of the mutual covenants, promises, and agreements herein contained, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged and agreed, the parties hereto do hereby agree to amend the Development Agreement as follows:

1. AMENDMENT OF DEVELOPMENT AGREEMENT. The term Entitlements (as defined in the ARDA) is hereby revised to add the following:
 - a. The Design Guidelines Modification approved by the Planning Commission on October 6, 2021;
 - b. The Design Review as approved by the Planning Commission on October 6, 2021
 - c. The large lot tentative map as amended by City Council Resolution No. [number];
 - d. The small lot tentative map as amended by City Council Resolution No. [number];
 - e. Amendments to the Design Guidelines as approved by City Council Resolution No. [number];
 - f. The Design Review as approved by City Council Resolution No. [number]; and
 - g. This Amendment No. 3 as approved by Ordinance No. [number]
2. Effect of Amendment. This Amendment No. 3 amends, but does not replace or supersede, the Development Agreement. Except as modified hereby, all other terms and provisions of the Development Agreement shall remain in full force and effect.
3. Form of Amendment; Execution in Counterparts. This Amendment No. 3 is executed in duplicate originals, each of which is deemed to be an original, and may be executed in counterparts.

[Remainder of Page Intentionally Left Blank; Signatures Follow on Next Page]

IN WITNESS WHEREOF, the City of Folsom has authorized the execution of this Amendment No. 3 in duplicate by its Mayor and attested to by the City Clerk under the authority of Ordinance No. **[number]** adopted by the City Council on **[date]**.

CITY:

CITY OF FOLSOM
a municipal corporation

By: _____
Mike Kozlowski
Mayor

APPROVED AS TO CONTENT;

By: _____
Elaine Anderson
City Manager

APPROVED AS TO FORM;

By: _____
Steven Wang
City Attorney

ATTEST:

By: _____
Christa Freemantle
City Clerk

LANDOWNER:

AG ESSENTIAL HOUSING CA 4, L.P.,
a Delaware limited partnership

By: AGWIP Asset Management, LLC,
an Arizona limited liability company,
its Authorized Agent

By: _____
Steven S. Benson, its Manager

EXHIBIT A

Legal Description of Amendment No. 3 Property

Real property in the City of Folsom , County of Sacramento, State of California, described as follows:

PARCEL 1:

LOTS 1, 3, 5 THROUGH 15, INCLUSIVE, EMPIRE RANCH PLACE, FOLSOM HEIGHTS DRIVE, TRUMPET VINE DRIVE, SILENT GROVE LANE AND WHITE ROCK ROAD, AS SHOWN ON THAT CERTAIN MAP ENTITLED "RUSSELL RANCH PHASE 2 LARGE LOT", FILED FOR RECORD OCTOBER 30, 2018 IN BOOK 407 OF MAPS, AT PAGE 1, FILED IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA.

EXCEPTING THEREFROM ALL THAT PORTION OF ABOVE DESCRIBED PARCEL LYING WITHIN THE NORTHEAST ONE-QUARTER OF THE OUTHEAST ONE-QUARTER OF SECTION 15, TOWNSHIP 9 NORTH, RANGE 8 EAST, M.D.B. & M., ALL THE GOLD OR SILVER BENEATH SURFACE OF THE LAND AND THE RIGHT TO WORK SAID GOLD AND SILVER MINES IN ANY MANNER WITHOUT DISTURBING SAID SURFACE, AS RESERVED IN DEED DATED SEPTEMBER 24, 1891, RECORDED FEBRUARY 21, 1899, IN BOOK 166 OF DEEDS, PAGE 115 EXECUTED BY C.T.H. PALMER, ETC. TO WILLIAM CARPENTER.

ALSO EXCEPTING THEREFROM, ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, INERT GASES, MINERALS, AND METALS, LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND AND REAL PROPERTY, WHETHER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED, INCLUDING BUT NOT LIMITED TO, THE RIGHTS TO EXPLORE FOR, DEVELOP, AND REMOVE SUCH OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES, INERT GASES, MINERALS, AND METALS WITHOUT, HOWEVER, ANY RIGHT TO USE THE SURFACE OF SUCH LAND AND REAL PROPERTY OR ANY OTHER PORTION THEREOF ABOVE A DEPTH OF 500 FEET FROM THE SURFACE OF SUCH LAND AND REAL PROPERTY FOR ANY PURPOSE WHATSOEVER TO THE BENEFIT OF RUSSELL-PROMONTORY, L.L.C. AS DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON MAY 23, 2013 IN BOOK 20130523, AT PAGE 1119, OFFICIAL RECORDS OF SACRAMENTO COUNTY.

PARCEL 2:

ALL THAT REAL PROPERTY SITUATED IN THE CITY OF FOLSOM, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA LOCATED WITHIN SECTION 15, TOWNSHIP 9 NORTH, RANGE 8 EAST, MOUNT DIABLO MERIDIAN AND BEING A PORTION OF LOT 2 AND LOT 4 OF FINAL MAP (PN 17-288) RUSSELL RANCH PHASE 2 LARGE LOT FILED FOR RECORD ON OCTOBER 30, 2018 IN BOOK 407 OF MAPS AT PAGE 1, SACRAMENTO COUNTY RECORDS, FURTHER DESCRIBED AS FOLLOWS:

RESULTANT LOT 2A

LOT 2, EXCEPT FROM SAID LOT 2 THE FOLLOWING DESCRIBED REAL PROPERTY:

BEGINNING AT A 5/8" REBAR WITH PLASTIC CAP STAMPED "LS 5760" MARKING THE NORTHEAST CORNER OF SAID LOT 2; THENCE ALONG THE EAST LINE OF SAID LOT 2, SOUTH 01°44'35" EAST A DISTANCE OF 66.28 FEET; THENCE LEAVING SAID EAST LINE, NORTH 29°33'26" WEST A DISTANCE OF 75.01 FEET TO THE NORTH LINE OF SAID LOT 2; THENCE ALONG SAID NORTH LINE, NORTH 88°22'04" EAST A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING.

RESULTANT LOT 4A

LOT 4, EXCEPT FROM SAID LOT 4 THE FOLLOWING DESCRIBED REAL PROPERTY:

BEGINNING AT A 1-1/2' IRON PIPE WITH A CAP STAMPED "RE 53" AT THE NORTHEAST CORNER OF SAID LOT 4; THENCE ALONG THE EAST LINE OF SAID LOT 4; SOUTH 01°44'35" EAST A DISTANCE OF 585.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT 4; THENCE ALONG THE SOUTH LINE OF SAID LOT 4, SOUTH 88°22'04" WEST A DISTANCE OF 35.00 FEET; THENCE ALONG A LINE 35 FEET WESTERLY AND PARALLEL TO SAID EAST LINE OF LOT 4, NORTH 01°44'35" WEST A DISTANCE OF 585.00 FEET TO THE NORTH LINE OF SAID LOT 4; THENCE NORTH 88°22'04" EAST A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING.

THIS LEGAL DESCRIPTION IS MADE PURSUANT TO THAT CERTAIN CERTIFICATE APPROVING EXHIBIT "C" IN A CERTIFICATE OF COMPLIANCE - LOT LINE ADJUSTMENT, RECORDED JUNE 10, 2019 AS BOOK 20190610, PAGE 0486 OF OFFICIAL RECORDS.

EXCEPTING THEREFROM ALL THAT PORTION OF ABOVE DESCRIBED PARCEL LYING WITHIN THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 15, TOWNSHIP 9 NORTH, RANGE 8 EAST, M.D.B. & M., ALL THE GOLD OR SILVER BENEATH SURFACE OF THE LAND AND THE RIGHT TO WORK SAID GOLD AND SILVER MINES IN ANY MANNER WITHOUT DISTURBING SAID SURFACE, AS RESERVED IN DEED DATED SEPTEMBER 24, 1891, RECORDED FEBRUARY 21, 1899, IN BOOK 166 OF DEEDS, PAGE 115 EXECUTED BY C.T.H. PALMER, ETC. TO WILLIAM CARPENTER.

ALSO EXCEPTING THEREFROM, ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, INERT GASES, MINERALS, AND METALS, LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND AND REAL PROPERTY, WHETHER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED, INCLUDING, BUT NOT LIMITED TO, THE RIGHTS TO EXPLORE FOR, DEVELOP, AND REMOVE SUCH OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES, INERT GASES, MINERALS, AND METALS WITHOUT, HOWEVER, ANY RIGHT TO USE THE SURFACE OF SUCH LAND AND REAL PROPERTY OR ANY OTHER PORTION THEREOF ABOVE A DEPTH OF 500 FEET FROM THE SURFACE OF SUCH LAND AND REAL PROPERTY FOR ANY PURPOSE WHATSOEVER TO THE BENEFIT OF RUSSELL-PROMONTORY, L.L.C. AS DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON MAY 23, 2013 IN BOOK 20130523, AT PAGE 1119, OFFICIAL RECORDS OF SACRAMENTO COUNTY.

PARCEL 3:

LOTS 8 THROUGH 11, INCLUSIVE, 14, 15, 17, 20 THROUGH 23, INCLUSIVE, PURPLE SAGE DRIVE, ALDER CREEK PARKWAY, SCENIC VISTA COURT, RUSSELL RANCH ROAD, WHITE ROCK ROAD, EMPIRE RANCH ROAD, CRIMSON LEAF STREET, SILENT GROVE DRIVE, MANGINI PARKWAY, ROSE TRELIS LANE, OF FINAL MAP (PN 16-122) RUSSELL RANCH LARGE LOT RECORDED SEPTEMBER 21, 2017 IN BOOK 398 OF MAPS AT PAGE 1, OFFICIAL RECORDS OF SACRAMENTO COUNTY, AMENDED PURSUANT TO THAT CERTAIN CERTIFICATE OF CORRECTION RECORDED OCTOBER 15, 2018 AS BOOK 20181015, PAGE 0286 OF OFFICIAL RECORDS.

EXCEPTING FROM A PORTION OF LOT 9:

ALL OIL, OIL RIGHTS, MINERALS, MINERAL RIGHTS, NATURAL GAS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS, BELOW A DEPTH OF 500 FEET, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN A DEED RECORDED OCTOBER 12, 1984, IN BOOK 841012, PAGE 983, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM, ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, INERT GASES, MINERALS, AND METALS, LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND AND REAL PROPERTY, WHETHER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED, INCLUDING, BUT NOT LIMITED TO, THE RIGHTS TO EXPLORE FOR, DEVELOP, AND REMOVE SUCH OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES, INERT GASES, MINERALS, AND METALS WITHOUT, HOWEVER, ANY RIGHT TO USE THE SURFACE OF SUCH LAND AND REAL PROPERTY OR ANY OTHER PORTION THEREOF ABOVE A DEPTH OF 500 FEET FROM THE SURFACE OF SUCH LAND AND REAL PROPERTY FOR ANY PURPOSE WHATSOEVER, AS RESERVED BY

RUSSELL-PROMONTORY, L.L.C., AN ILLINOIS LIMITED LIABILITY COMPANY IN THAT CERTAIN GRANT DEED RECORDED ON MAY 23, 2013 IN BOOK 20130523, AT PAGE 1119, OFFICIAL RECORDS OF SACRAMENTO COUNTY.

APN: 072-3510-001-0000 (Lot 1), 072-3510-003-0000 (Lot 3), 072-3510-005-0000 (Lot 5) and 072-3510-006-0000 (Lot 6), all of Parcel 1;

072-3510-007-0000 through 072-3510-015-0000 (Lots 7 through 15), all of Parcel 1, New APN's, not yet assessed;

072-3430-008-0000 through 072-3430-011-0000 (Lots 8 through 11 of Parcel 3);

072-3430-014-0000, 072-3430-015-000 and 072-3430-017-0000 (Lots 14, 15 and 17 of Parcel 3);

072-3430-020-0000 through 072-3430-023-0000 (Lots 20 through 23 of Parcel 3)

072-3510-019-0000 (Resultant Lot 2A) and 072-3510-020-0000 (Resultant Lot 4A), all of Parcel 2