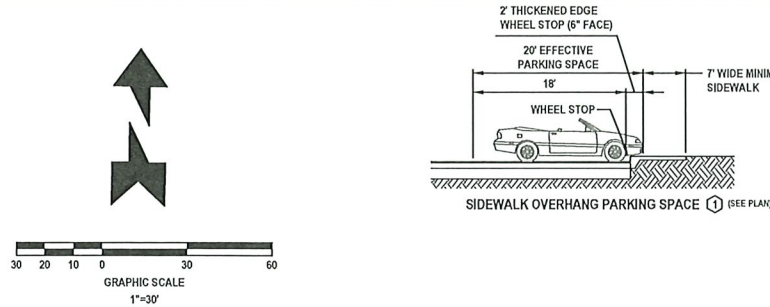


Submitted Revised



PAVING LEGEND

- ASPHALT PAVEMENT 1.5" SP-12.5 (TL-C) WITH TACK COAT PER FDOT SPECIFICATIONS
6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
12" STABILIZED SUBBASE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
- * ALTERNATE 12" STABILIZED SUBBASE: 6.5" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS) (TYPE B STABILIZATION)
- * ALTERNATE PAVEMENT TO ASPHALT IS CONCRETE PAVEMENT
- CONCRETE PAVEMENT 6" CONCRETE (4,000 P.S.I. @ 28 DAYS)
12" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS) (TYPE B STABILIZATION)
- CONCRETE SIDEWALK 4" THICK CLASS 1 CONCRETE (3,000 P.S.I. @ 28 DAYS)
PER FDOT INDEX 522-001 (SEE DETAIL, SHEET No. 21 & 25)
- ARTIFICIAL TURF ARTIFICIAL TURF (INSTALL PER MANUFACTURER SPECIFICATIONS)

LEGEND

- TYPE 'F'1' CURB
RIBBON CURB
24" DETECTABLE WARNING MAT
TRANSITION FROM 'F'1' CURB ENVIRONMENTAL CURB
SITE LIGHTING
SEE SITE LIGHTING PLAN FOR COMPLETE SPECIFICATIONS (SITE LIGHTING SHALL NOT EMIT MORE THAN 0.5 FOOT-CANDELES AT THE PROPERTY LINE. ADD GLARE GUARDS IF REQUIRED.) (SEE SHEET, No. 30-31)
- FLOATING FOUNTAIN
FOUNTAIN SPECIFICATIONS:
MANUFACTURER - EAGLE FOUNTAINS
MODEL - EFS-3000 (BIG FOUNTAIN)
MOTOR - 230V, 1 PHASE

SIDEWALK RAMP KEYNOTES:

- (A) SIDEWALK CURB RAMP C (SEE DETAIL, SHEET No. 28)
(B) SIDEWALK CURB RAMP G (SEE DETAIL, SHEET No. 28)

GENERAL NOTES:

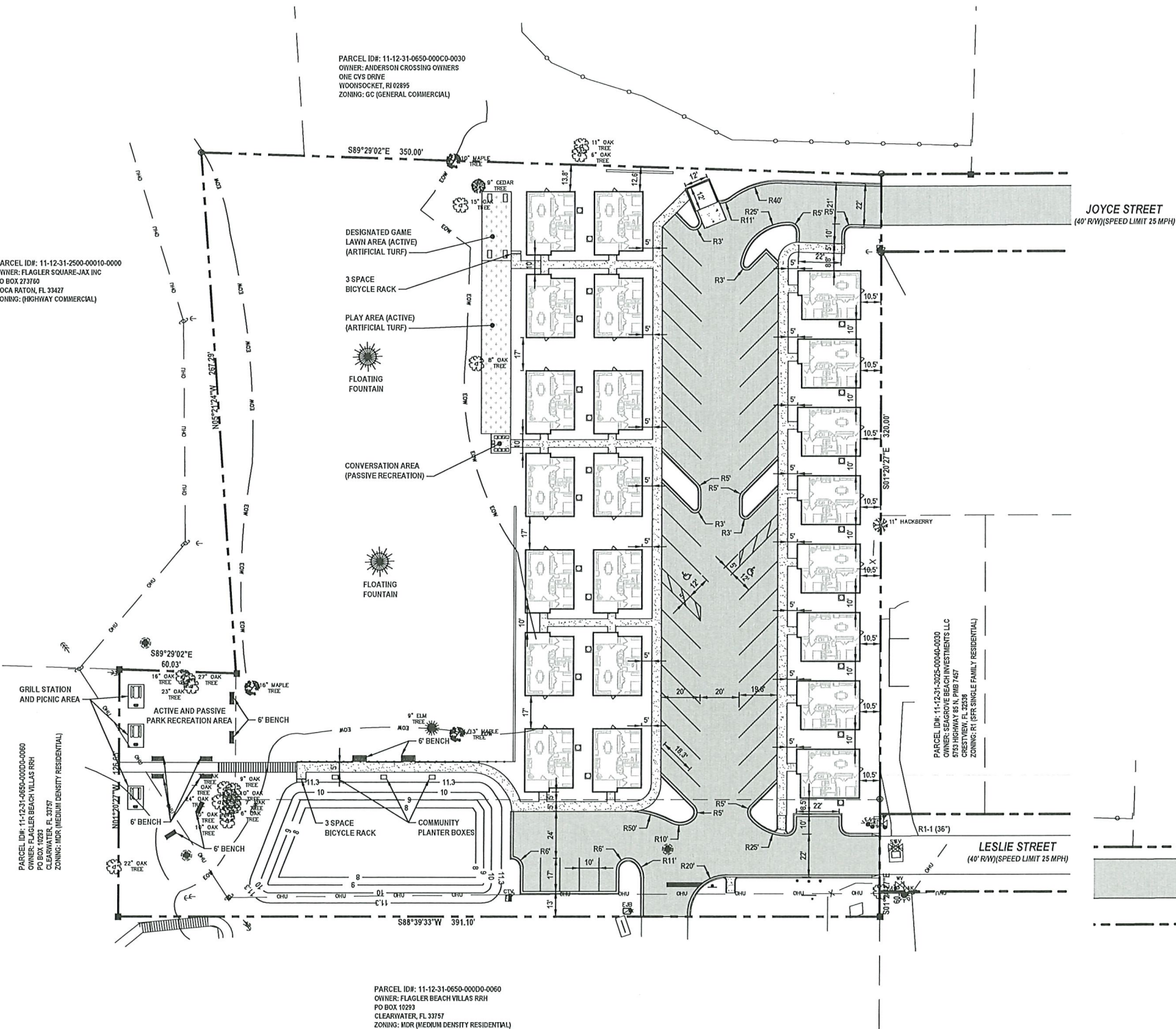
- CITY OF FLAGLER BEACH BUILDING PERMITS ARE REQUIRED FOR BUILDING, CANOPIES, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, SPECIFICATIONS, ETC.) AT TIME OF BUILDING PERMIT.
- ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFIRM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATION MANUAL.
- ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
- THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
- THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
- SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
- ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
- ALL PAVEMENT EDGE SHALL HAVE TYPE 'F-1' CURBING UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL WALL-MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.
- ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.
- COMMERCIAL IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF INITIATION OF PERMANENT ELECTRIC SERVICE.
- CONTRACTOR TO PROVIDE PREMISE IDENTIFICATION FOR BUILDING DURING CONSTRUCTION.
- THE PROPOSED FIVE FOOT SIDEWALK THAT CONNECTS TO THE EXISTING SIDEWALK ALONG SR-100 SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL PROPOSED CURBING SHALL BE TYPE 'F'1'.
- ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).
- THE USES PROPOSED AS PART OF THIS SITE PLAN DO NOT REQUIRE A SUBMITAL OF A RISK MANAGEMENT PLAN (RMP) PURSUANT TO U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS AND SHALL NOT EXCEED EPA'S RMP THRESHOLD QUANTITIES OF LISTED SUBSTANCES.
- THE SIGN PERMIT WILL BE UNDER SEPARATE APPLICATION TO BE REVIEWED BY THE CITY'S PLANNING AND ZONING DEPARTMENT.

PAVEMENT MARKING NOTES:

- PARKING STALL LINES AND LOADING ZONE PAVEMENT MARKINGS COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND MAINTAINED IN A CLEAR AND VISIBLE CONDITION.
- PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
- APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
- PAINT SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PARK PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
- ALL STOP BARS SHALL BE THERMOPLASTIC.
- ALL REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 706-101.
- LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
- FOR ADDITIONAL DETAILS SEE INDEX NO. 700-010, 700-101 AND 711-001.

STRIPING KEYNOTES: (PER FDOT INDEX NO. 711-001, ONLY THERMOPLASTIC IN R/W)

- (1) 6" SOLID WHITE LINE
(2) 24" WHITE STOP BAR
(3) WHITE DIRECTIONAL ARROW
(4) 24" DETECTABLE WARNING MAT
(5) 6" WHITE LINE @ 45" SPACED 4" ON CENTER



REVISIONS

DATE	DESCRIPTION
4/20/23	CITY COMMENTS

1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 872-7794
www.NewKirk-Engineering.com
C.A. # 30209
L.C. # 2600594
C 2013



SITE LAYOUT PLAN
LEGACY POINTE APARTMENTS

LESLIE STREET
FLAGLER BEACH, FL 32136

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY HARRY NEWKIRK, PE # 62971 ON

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT No:	2023-17
DATE:	FEBRUARY 2023
DESIGN BY:	HNH
DRAWN BY:	NWS
CHECKED BY:	HNH
SCALE:	1" = 30'
DRAWING NUMBER	7

GENERAL CONSTRUCTION NOTES

1. GOVERNING SPECIFICATIONS: CITY OF FLAGLER BEACH LAND DEVELOPMENT CODE, CITY OF FLAGLER BEACH STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, CURRENT EDITION.
2. ALL CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE FDOT DESIGN STANDARD INDEXES, THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATIONS MANUAL.
3. ALL UTILITY MATERIAL, CONSTRUCTION AND TESTING COVERED BY THESE DRAWINGS SHALL COMPLY WITH THE CITY OF FLAGLER BEACH STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION. ALL UTILITY WORK AND CONNECTIONS SHALL BE COORDINATED WITH THE CITY OF FLAGLER BEACH INSPECTOR.
4. THE CONTRACTOR SHALL PAY FOR AND OBTAIN A BUILDING PERMIT. THE ENGINEER WILL SCHEDULE THE PRECONSTRUCTION CONFERENCE BEFORE THE CONTRACTOR'S START OF WORK. THE CONTRACTOR SHALL CONTACT THE BUILDING DEPARTMENT AT (386) 517-2016 FOR INFORMATION ON ISSUANCE OF CITY PERMITS AND / OR OTHER REQUIREMENTS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES AMONG THE DIVISIONS OF THE DRAWING AND SPECIFICATIONS PRIOR TO THE BID DATE. NEITHER THE OWNER OR ENGINEER WILL BE RESPONSIBLE FOR ANY DEFICIENCIES OR DISCREPANCIES RAISED AFTER THE BID OPENING. ACCORDINGLY, IN LIGHT OF THESE OBLIGATIONS, THE ENGINEER IS OBLIGATED TO INTERPRET THE DRAWINGS AND SPECIFICATIONS IN A MANNER THAT WILL PROVIDE THE OWNER WITH A COMPLETE, FUNCTIONING FACILITY FOR THE BID PRICE.
6. THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLEMENTARY, AND ANY REQUIREMENT OF ONE SHALL BE A REQUIREMENT OF THE OTHER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND TO COMPARE THE REQUIREMENTS OF EACH DIVISION AND ENSURE THAT EACH TRADE OR SUBCONTRACTOR IS MAKING THE ALLOWANCES NECESSARY TO PROVIDE THE OWNER A COMPLETE FACILITY, OPERATIONAL IN ALL RESPECTS, UNLESS OTHERWISE SPECIFICALLY STATED IN THE DRAWINGS.
7. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INSTRUCTING THE CONTRACTOR IN THE METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE METHOD TO CONSTRUCT THE IMPROVEMENTS AS SHOWN ON THE PLANS.
8. ONLY ONE TEMPORARY CONSTRUCTION SIGN IS PERMITTED, NOT TO EXCEED 32 SQUARE FEET IN SIGN AREA, MAXIMUM HEIGHT OF 8 FEET AND NO CLOSER THAN 10 FT FROM PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR A TEMPORARY SIGN PERMIT AT THE CITY OF FLAGLER BEACH BUILDING DEPARTMENT. THE SIGN MUST BE REMOVED UPON RECEIPT OF THE CERTIFICATE OF OCCUPANCY.
9. LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION.
10. AT NO TIME SHALL EXCAVATIONS BE LEFT UNCOVERED AFTER WORKING HOURS. CONTRACTOR SHALL SECURE THE WORK AREA AT THE END OF EACH DAY'S WORK.
11. AT ALL TIMES, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT UNDERGROUND UTILITIES, STRUCTURES AND OTHER ASSOCIATED FACILITIES FROM DAMAGE DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEASURES OF PROTECTION. ANY DAMAGED FACILITIES SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY OR ENGINEER AT THE CONTRACTOR'S EXPENSE.
12. THERE SHALL BE NO DEVIATIONS FROM THESE PLANS UNLESS APPROVED IN WRITING BY THE ENGINEER AND THE OWNER.
13. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
14. CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COST.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF THE RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND BASE DENSITIES AT UTILITY CROSSINGS, MANHOLES, INLETS, STRUCTURES. TEST SHALL INCLUDE ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
16. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
17. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
18. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
19. CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,500 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.
20. CORE TESTS SHALL BE TAKEN TO VERIFY THICKNESS AND SUBSURFACE COMPACTION. PROVIDE FOR THREE SAMPLES, RANDOMLY LOCATED. TEST FOR EXTRACTION, GRADATION, LABORATORY DENSITY, AND MARSHALL'S STABILITY. PROVIDE A CERTIFICATE FROM THE TESTING AGENCY THAT MATERIALS AND INSTALLATION COMPLY WITH SPECIFICATIONS, SIGNED BY THE ASPHALTIC CONCRETE PRODUCER AND CONTRACTOR. ALL COSTS OF TESTS SHALL BE PAID BY THE CONTRACTOR. IF TESTS SHOW THE INSTALLATION DOES NOT MEET SPECIFICATIONS, THE PAVING SHALL BE REMOVED, REPLACED, AND RETESTED.
21. IF ANY MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
22. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
23. NO BURYING OF ANY ORGANIC MATERIALS ALLOWED.
24. THERE WILL BE NO PROPOSED OVERHEAD UTILITY AND SERVICE LINES ASSOCIATED WITH THIS PROJECT. ALL UTILITY LINES AND SERVICES WILL BE INSTALLED UNDERGROUND AT THE OWNER'S, DEVELOPER'S OR BUILDER'S EXPENSE.

SITE AND GENERAL INFORMATION

1. THE PROPERTY AREA BOUNDARY CONSISTS OF 137,625 SF OR 3.159 ACRES. FOR BOUNDARY AND TOPOGRAPHIC SURVEY REFER TO THE SURVEY PERFORMED BY SLIGER & ASSOCIATES, INC. (SEE SHEET No. 2 OF THESE PLANS).
2. THE EXISTING AND PROPOSED ZONING IS GC (GENERAL COMMERCIAL).
3. THE TAX PARCEL NUMBER IS 11-12-31-0650-000D0-0050.
4. FLORIDA BUILDING CODE-ACCESSIBILITY (FBCA) AS THE CONTROLLING REGULATION FOR ACCESSIBLE PARKING REQUIREMENTS.
5. THE EXISTING SITE CONDITION IS UNDEVELOPED AND PARTIALLY CLEARED AND GRADED. THE FLUCFCS LAND USE IS (191) UNDEVELOPED LAND WITHIN URBAN AREAS.
6. PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE FOR FLAGLER COUNTY, THE SCS SOILS MAP INDICATES THE SITE CONSISTS OF (11) MYAKKA-MYAKKA, WET, FINE SANDS, 0 TO 2 PERCENT SLOPES.
7. THE SITE IS LOCATED WITHIN ZONE "X" PER FEMA MAP PANEL No. 12035C0232 E, DATED JUNE 6, 2018.
8. ELECTRICAL UTILITY SERVICE WILL BE PROVIDED BY FLORIDA POWER & LIGHT. NATURAL GAS WILL BE PROVIDED BY TECO PEOPLES GAS COMPANY. TELEPHONE, CABLE AND INTERNET SERVICE WILL BE PROVIDED BY AT&T. CABLE TV AND INTERNET CAN ALSO BE PROVIDED BY SPECTRUM.
9. SOLID WASTE WILL BE COLLECTED AND DISPOSED OF BY WASTE PRO, INC.
10. THE SITE IS NOT LOCATED WITHIN THE LIMITS OF A WELLHEAD PROTECTION ZONE AND THERE IS NO ORDINARY HIGH WATER (OHW) LINE WITHIN THE SITE.
11. STORMWATER WILL BE PROVIDED BY INTERCONNECTED DRY RETENTION TO EXFILTRATION TRENCH SYSTEM.
12. POTABLE WATER AND WASTEWATER UTILITIES PROVIDED BY CITY OF FLAGLER BEACH.
13. IRRIGATION SERVICE WILL BE PROVIDED BY A PRIVATE WELL.

LEGEND

NOTE: NOT ALL SYMBOLS SHOWN HERE MAY BE APPLICABLE TO THESE DRAWINGS, ALSO THERE MAY BE ADDITIONAL SYMBOLS WITHIN PLANS NOT SHOWN HERE, SEE INDIVIDUAL DRAWING LEGEND WHERE APPLICABLE.

	BENCHMARK ID		4" BY 4" CONCRETE MONUMENT
	BORING ID		EXISTING EASEMENT
	EXISTING CABLE TV PEDESTAL		EXISTING UNDERGROUND FIBER OPTIC CABLE
	EXISTING CAP OR PLUG		EXISTING FORCE MAIN (# INDICATES SIZE)
	EXISTING CLEAN OUT		EXISTING GAS MAIN
	EXISTING CONDUIT RISER/ MARKER		EXISTING OVERHEAD ELECTRIC CABLES
	EXISTING ELECTRIC METER		EXISTING OVERHEAD TRAFFIC SIGNAL CABLE
	EXISTING ELEVATION (SOFT)		EXISTING RAW WATER MAIN (# INDICATES SIZE)
	PROPOSED ELEVATION (SOFT)		EXISTING RECLAIM WATER MAIN (# INDICATES SIZE)
	EXISTING ELEVATION (HARD)		PROPOSED SANITARY SEWER (# INDICATES SIZE)
	PROPOSED ELEVATION (HARD)		PROPOSED WATER MAIN (# INDICATES SIZE)
	EXISTING FIRE HYDRANT		EXISTING CONTOUR
	PROPOSED FIRE HYDRANT		PROPOSED CONTOUR (SOFT)
	EXISTING FLOW DIRECTION		PROPOSED CONTOUR (HARD)
	PROPOSED FLOW DIRECTION		EXISTING UNDERGROUND TELEPHONE CABLE
	EXISTING GAS METER		EXISTING UNDERGROUND TELEVISION CABLE
	EXISTING GAS VALVE		EXISTING UNDERGROUND ELECTRICAL POWER CABLE
	EXISTING GUY WIRE & ANCHOR PIN		JURISDICTIONAL WETLAND LINE
	EXISTING MAIL BOX		EXISTING SANITARY SEWER (# INDICATES SIZE)
	EXISTING MANHOLE (UNKNOWN)		EXISTING WATER MAIN (# INDICATES SIZE)
	PROPOSED MANHOLE		EXISTING PIPE OR CONDUIT (TYPE SPECIFIED)
	EXISTING SANITARY SEWER CLEANOUT		EXISTING SWALE OR CENTER OF DITCH
	EXISTING SANITARY SEWER MANHOLE		PROPOSED SWALE OR CENTER OF DITCH
	EXISTING ROAD SIGNS AND POSTS		EXISTING TOP OF DITCH BANK
	PROPOSED SIGN AND POST		EXISTING BOTTOM OF DITCH BANK
	EXISTING TEE		EXISTING WOOD FENCE
	EXISTING UTILITY POLE		EXISTING WIRE OR CHAIN LINK FENCE
	EXISTING VALVE IRRIGATION		PROPOSED WIRE OR CHAIN LINK FENCE
	EXISTING VALVE WATER		PROPOSED SILT/SEDIMENT FENCE
	PROPOSED WATER VALVE		PROPOSED COIR ROLL OR WATTLE
	EXISTING WATER METER		PROPOSED FLOATING TURBIDITY BARRIER
	EXISTING STORM SEWER WITH INLET		PROPOSED TREE PROTECTION
	PROPOSED STORM SEWER WITH INLET		
	1/2" IRON ROD (NO I.D.)		

SITE DEVELOPMENT USAGE

1. SETBACK:

FRONT (EAST)	25 FEET	
REAR (WEST)	25 FEET	
SIDE (NORTH)	15 FEET	
SIDE (SOUTH)	15 FEET	
MAXIMUM BUILDING HEIGHT	35 FEET	

ZONING GC (GENERAL COMMERCIAL)
FLUM MEDIUM DENSITY RESIDENTIAL
BUILDING HEIGHT BUILDING 1 = 34'-1/2"
BUILDING 2 = 35'-0"
DENSITY 12.35 UNITS/ACRE
MULTI-FAMILY UNITS

2 BEDROOM	22	
TOTAL UNITS	22 UNITS	

2. PROPOSED SITE COVERAGE

SITE COVERAGE - PROPOSED			
AREA TYPE	SF	ACRE	% OF SITE
BUILDING	17,248	0.396	12.5%
ASPHALT PAVEMENT/ VUA	24,905	0.572	18.1%
CONCRETE / SIDEWALKS	5,576	0.128	4.1%
GREEN SPACE	89,894	2.064	65.3%
TOTAL SITE	137,625	3.159	100.0%
TOTAL IMPERVIOUS	47,731	1.096	34.7%
TOTAL OPEN SPACE	89,894	2.064	65.3%

FLOOR AREA RATIO (FAR) 0.125

3. PARKING REQUIREMENTS

MULTI-FAMILY: 2 SPACES PER DWELLING UNIT		
2 SPACES x 22 UNITS = 44		
TOTAL REQUIRED:	44 SPACES	

4. PARKING PROVIDED

	SPACES	%
HANDICAP	2	4.5
STANDARD	42	95.5
TOTAL PARKING PROVIDED	44	100.0

5. BICYCLE PARKING REQUIRED

10% OF REQUIRED VEHICULAR PARKING	
0.1 x 44 SPACES = 4.4	
5 BICYCLE SPACES REQUIRED	

6. BICYCLE PARKING PROVIDED

6 BICYCLE SPACES PROVIDED	
---------------------------	--

7. REQUIRED RECREATIONAL AREA

200 SF PER UNIT = 200 SF x 22 UNITS =	4,400 SF
PROVIDED ACTIVE AREA = PLAY AREA AND GRILL AREA =	9,164 SF
PROVIDED PASSIVE AREA = BENCHES, FLOATING FOUNTAIN AND CONVERSATION AREA =	571 SF
TOTAL RECREATION AREA =	9,735 SF

8. COMMON OPEN SPACE

REQUIRED COMMON OPEN SPACE	
250 SF PER UNIT = 250 SF x 22 UNITS =	5,500 SF
PROVIDED COMMON OPEN SPACE =	15,313 SF
(ACTIVE AND PASSIVE RECREATION AND SIDEWALKS)	

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS - 2024 / 2025 AND QUALIFIED PRODUCTS LIST

INDEX NO.	DESCRIPTION	INDEX NO.	DESCRIPTION
102	TEMPORARY EROSION AND SEDIMENT CONTROL	514	OPTIONAL BASE GROUP AND STRUCTURAL NUMBERS
425-010	STRUCTURE BOTTOMS - TYPES J AND P	330-401	TURNOUTS
205	PIPE BACKFILL	546	SIGHT DISTANCE AT INTERSECTIONS
425-024	CURB INLET TOP - TYPE 9	102-600	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES
425-052	DITCH BOTTOM INLETS - TYPES C, D, E AND H	102-602	TWO-LANE AND MULTILANE, WORK ON SHOULDER
430-022	SIDE DRAIN MITERED END SECTION	102-603	TWO-LANE, TWO-WAY, WORK WITHIN THE TRAVEL WAY
520-001	CURB & CURB AND GUTTER	700-101	TYPICAL SECTIONS FOR PLACEMENT OF SINGLE & MULTIPLE-COLUMN SIGNS
522-002	PUBLIC SIDEWALK, CURB RAMPS		SPECIAL MARKING AREAS
350-001	CONCRETE PAVEMENT JOINTS		
522-001	CONCRETE SIDEWALK	711-001	
120-001	EMBANKMENT UTILIZATION		

ABBREVIATIONS

AWWA WORKS	AMERICAN WATER ASSOCIATION	HDPE	HIGH DENSITY POLYETHYLENE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL	INV	INVERT	REQ'D	REQUIRED
PIPE		K _H	HORIZONTAL PERMEABILITY	RPM	REFLECTIVE PAVEMENT MARKER
CPP	CORRUGATED PLASTIC PIPE	K _v	VERTICAL PERMEABILITY	R/W	RIGHT-OF-WAY
CTV	CABLE TELEVISION	KO	KNOCK OUT	SAN	SANITARY
DIP	DUCTILE IRON PIPE	LF	LINEAL FEET	SH	SEASONAL HIGH
ESMT	EASEMENT	MB	MAP BOOK	SMH	SANITARY MANHOLE
EXIST	EXISTING	MES	MITERED END SECTION	SJRWMD	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
FAC	FLORIDA ADMINISTRATIVE CODE	MJ	MECHANICAL JOINT	SS	SANITARY SEWER
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	MPD	MULTI-PRODUCT DISPENSER (FUEL PUMP)	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	N/A	NOT APPLICABLE	TSB	TEMPORARY SEDIMENT BASIN
FH	FIRE HYDRANT	NGVD	NATIONAL GEODETIC VERTICAL DATUM	TYP	TYPICAL
FOC	FIBER OPTIC CABLE	NIC	NOT IN CONTRACT	UGE	UNDERGROUND ELECTRIC
FF EL	FINISH FLOOR ELEVATION	OHE	OVERHEAD ELECTRIC	UGT	UNDERGROUND
FM	FORCE MAIN	OR	OFFICIAL RECORD		TELEPHONE
FPD	FEET PER DAY	PG	PAGE	USACOE	UNITED STATES ARMY CORP. OF ENGINEERS
G	GAS	PSI	POUNDS PER SQUARE INCH	W	WATER (POTABLE)
GPC	GULF POWER COMPANY	PVC	POLYVINYL CHLORIDE		
GW	GROUND WATER	PVMT	PAVEMENT		
H/C	HANDICAP	PROP	PROPOSED		
		R	RADIUS		

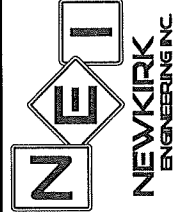
SITE GEOTECHNICAL CONSIDERATIONS

SEE GEOTECHNICAL REPORT UNIVERSAL ENGINEERING SCIENCES, (REPORT No. 134233, DATED JANUARY 14, 2019) FOR ALL SUBSURFACE CONDITIONS, GROUNDWATER, SITE PREPARATION FOR PAVEMENT AND ALL EARTHWORK REQUIREMENTS.

REVISIONS

DATE	DESCRIPTION
4/20/23	CITY COMMENTS
8/22/23	SJRWMD COMMENTS

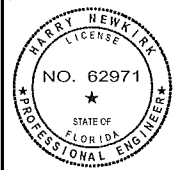
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L.C.# 26000594
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Civil Engineering,
Transportation, CEI &
Landscape Architecture



DEVELOPMENT INFORMATION
LEGACY POINTE APARTMENTS
LESLIE STREET
FLAGLER BEACH, FL 32136

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