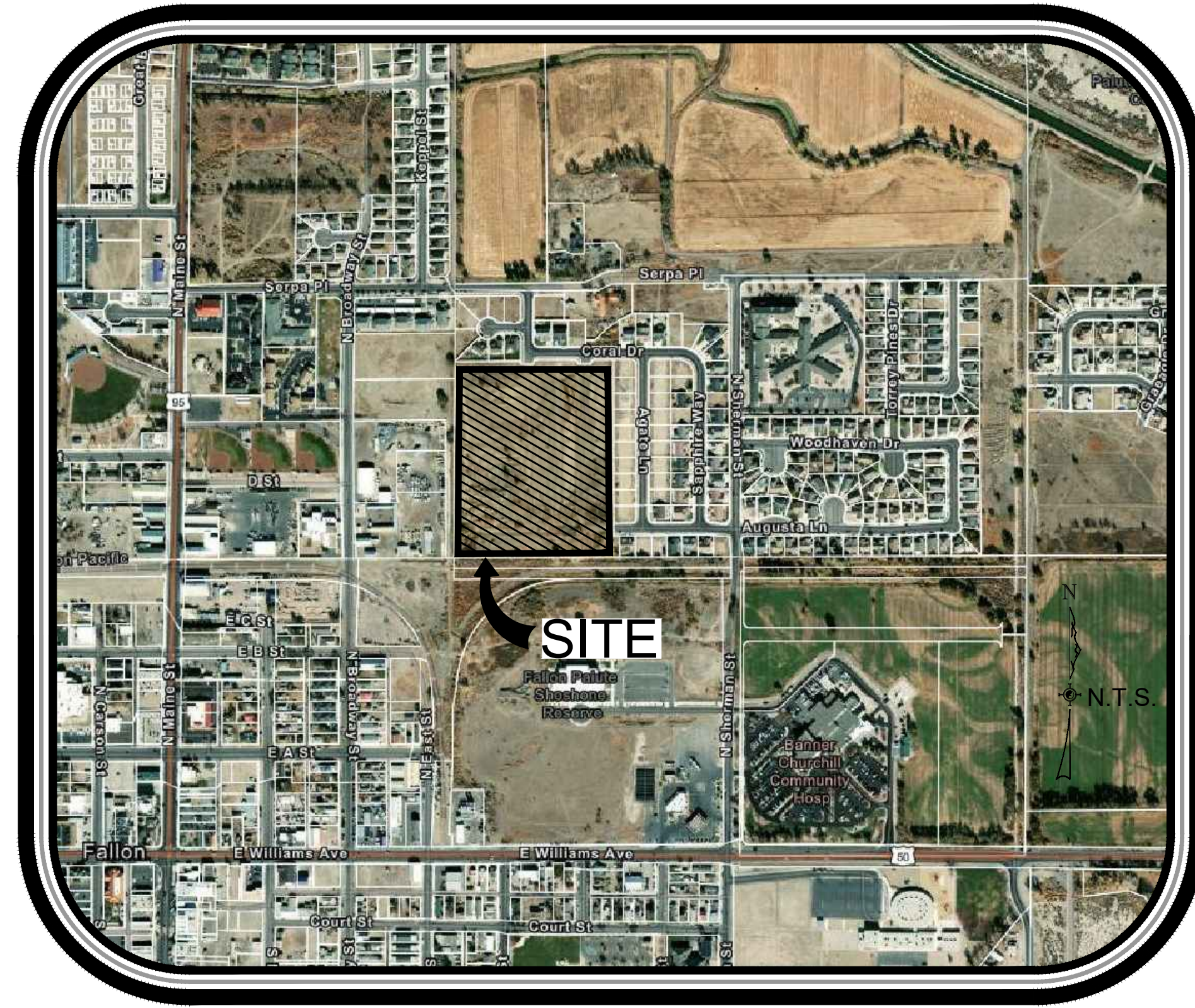


"THE DESIGN CONSULTANT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, ANY UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS."

# TENTATIVE MAP FOR DIAMOND CREEK ~ PHASE 2

CITY OF FALLON

NEVADA



**VICINITY MAP**

SITUATED WITHIN SECTION 30,  
TOWNSHIP 19 N., RANGE 29 E., M.D.M.

**OWNER**  
DIAMOND CREEK COMMON LLC  
6667 S. SAINT ANDREWS COURT  
GILBERT, AZ 85298  
REPRESENTATIVE: MR. STEVE RYCKEBOSCH  
1.775.690.7978

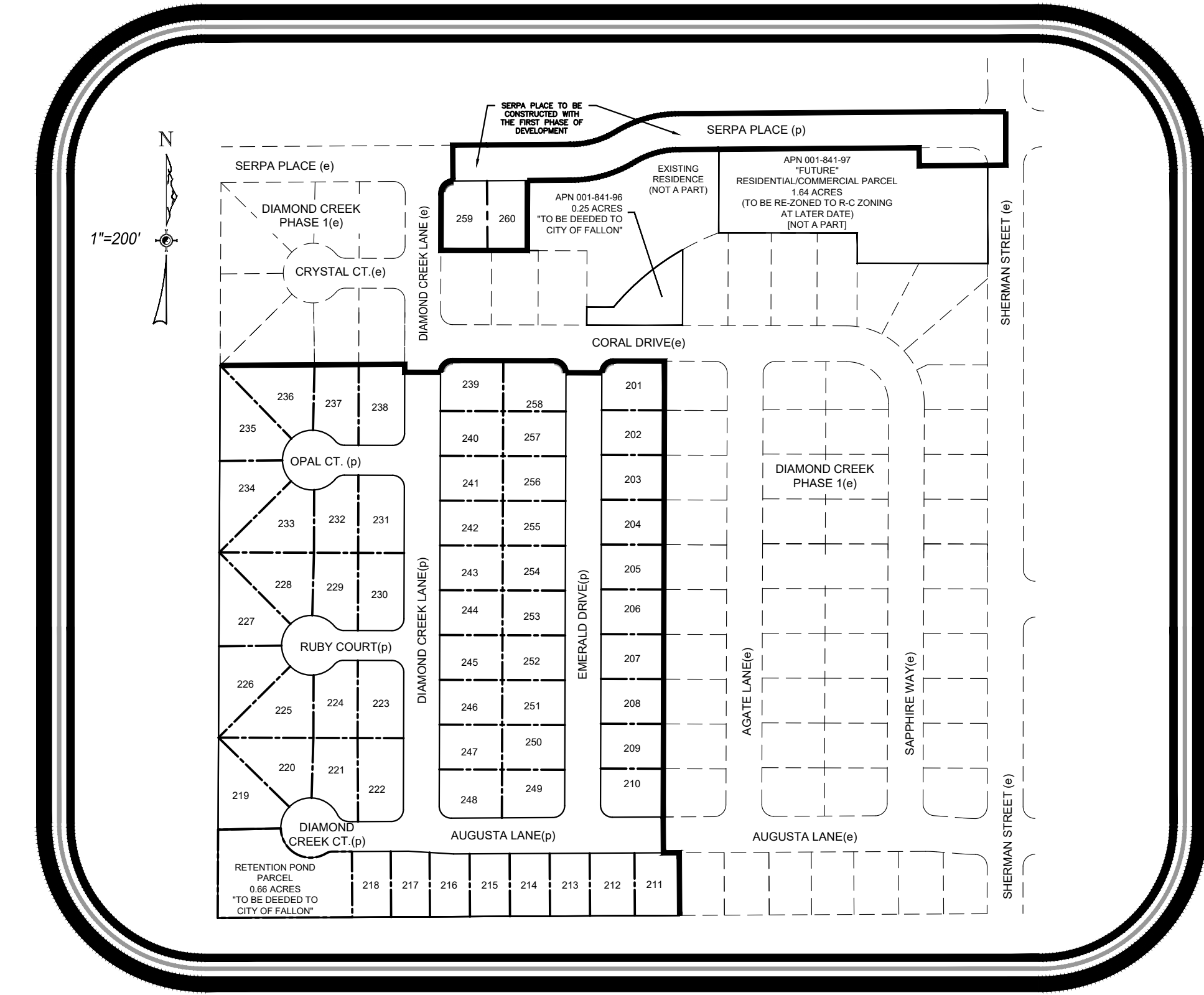
**BASIS OF BEARING:**  
N 00° 30' 26" E ALONG THE WEST LINE OF THE SOUTHWEST QUARTER  
OF SECTION 30, TOWNSHIP 19 NORTH, RANGE 29 EAST, M.D.B. & M.

**SITE INFORMATION:**

APNS: 001-841-98 & 001-841-99  
AREA: 0.38 ACRES & 15.87 ACRES  
ZONING: R1-7K  
LAND USE: SINGLE FAMILY RESIDENTIAL

**SITE DEVELOPMENT  
CALCULATIONS**

TOTAL # OF SFR LOTS = 60  
SMALLEST LOT SIZE = 7,033 S.F.  
LARGEST LOT SIZE = 11,600 S.F.  
RETENTION POND PARCELS TO BE  
DEEDED TO THE CITY OF FALLON:  
• EXISTING NORTH POND  
(APN 001-841-96) = 0.25 ACRES  
• SOUTHWEST POND = 0.66 ACRES  
TOTAL # OF PARCELS = 61



**SITE PLAN**

**UTILITIES**

- CABLE - CHARTER COMMUNICATIONS
- ELECTRICAL - CITY OF FALLON
- SEWER - CITY OF FALLON (Community System)
- SOLID WASTE - CITY OF FALLON
- TELEPHONE - CC COMMUNICATIONS
- GAS - SOUTHWEST GAS
- WATER - CITY OF FALLON (Public Water System)

**SHEET INDEX**

DRAWING	DESCRIPTION
T-1	TITLE SHEET
T-2	NOTES & SPECIFICATIONS SHEET
T-3	SITE PLAN
T-4	GRADING & DRAINAGE PLAN
T-5	UTILITY PLAN
T-6	SECTIONS SHEET

**ENGINEER'S STATEMENT**

I, ERIC P. ANDERSON, DO HEREBY CERTIFY THAT THESE TENTATIVE MAP PLANS HAVE BEEN COMPLETED BY ME, OR UNDER MY SUPERVISION AND ARE IN COMPLIANCE WITH ALL APPLICABLE PROVISIONS SET FORTH BY THE CITY OF FALLON MUNICIPAL CODE AND THE STATE OF NEVADA REVISED STATUTES.



ERIC P. ANDERSON

P.E. #17780



TENTATIVE MAP FOR  
DIAMOND CREEK ~ PHASE 2  
TITLE SHEET

Date: 5.31.2023  
Drawn By: EPA  
Designed By: EPA  
Checked By: EPA

**T-1**  
1 OF 6

5.31.2023 1:41:52 PM \\NA\BIGHORN\PROJECTS\DiamondCreek\2022-DC-BCC\2022 TentMap\Title\NOTES.dwg, Thank You for Choosing Bighorn Consulting!

GENERAL CONSTRUCTION NOTES:

- 1. THESE NOTES CONTAIN INFORMATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK CONTAINED ON THESE IMPROVEMENT PLANS. THESE NOTES APPLY TO ALL PLAN SHEETS. ADDITIONAL CONSTRUCTION NOTES MAY ALSO BE SHOWN ON INDIVIDUAL PLAN SHEETS. THE CONTRACTOR IS RESPONSIBLE TO READ AND COMPLY WITH ALL NOTES SHOWN ON THIS SET OF PLANS. THE TERM "CONTRACTOR", AS USED IN THESE NOTES AND ELSEWHERE IN THIS PLAN SET, MEANS THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND INDIVIDUALS AUTHORIZED TO PERFORM WORK SHOWN ON THESE IMPROVEMENT PLANS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL NOTES APPLICABLE TO HIS/HER WORK. ALL CONTRACTORS ARE DIRECTED TO CONTACT THIS ENGINEER FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT HIS/HER CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE ORANGE BOOK "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (LATEST EDITION) INCLUDING ANY ADDITIONAL AND MODIFICATIONS THAT ARE SET FORTH IN THE DRAWINGS AND SPECIFICATIONS AND OTHER ORDINANCES AND REGULATIONS THAT MAY APPLY.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND THE SAFETY OF ALL CONSTRUCTION PERSONNEL IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY TRAFFIC AND PEDESTRIAN CONTROL DURING CONSTRUCTION INCLUDING WARNING SIGNS AND CONSTRUCTION FENCING WHERE REQUIRED.
4. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
5. THE DESIGN CONSULTANT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST NOT BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION AND SHORING PROCEDURES AND CONFORM TO THE LATEST O.S.H.A. REQUIREMENTS.
7. THE CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO PAVEMENT, CURB & GUTTER, SIDEWALK, LANDSCAPING, SIGNAGE, STORM & SANITARY SEWER, AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING OR PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
8. THE EXISTING UTILITY LOCATIONS, SIZES, AND DESCRIPTIONS AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM VARIOUS SOURCES INCLUDING SURFACE OBSERVATIONS, AVAILABLE RECORDS, REFERENCE MAPS, DRAWINGS AND VERBAL STATEMENTS SUPPLIED BY UTILITY COMPANIES AND MAY NOT BE WHOLLY ACCURATE OR RELIABLE. ALL UTILITIES SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BE FIELD VERIFIED PRIOR TO MAKING ANY NECESSARY CONNECTIONS. THE LOCAL UTILITY COMPANY SHOULD BE CONTACTED PRIOR TO REMOVING, REPLACING, RELOCATING OR CONNECTING TO, ANY EXISTING UTILITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY UTILITY CONFLICTS DISCOVERED.
9. IT IS THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR IS DIRECTED TO CONTACT THE CONSULTING ENGINEER IMMEDIATELY.
10. NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES WITHIN PUBLIC RIGHTS-OF-WAY.
11. THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL IMPROVEMENTS ARE CONSTRUCTED ACCORDING TO THESE PLANS AND DETAILS. ANY CHANGES TO THE LOCATION (HORIZONTAL OR VERTICAL), OR ANY OTHER PLAN DESIGNATION, SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS REQUIRED TO KEEP THE NECESSARY RECORDS TO ENABLE THE ENGINEER TO PREPARE AS-BUILT DRAWINGS OF THE FINAL CONSTRUCTED IMPROVEMENTS. THESE RECORDS SHALL BE DELIVERED TO THE ENGINEER UPON COMPLETION OF WORK.
12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONFORMANCE WITH ALL PERMITS, INCLUDING GRADING PERMIT, BUILDING PERMITS, DUST CONTROL PERMIT, AND THE STORM WATER DISCHARGE PERMIT (ISSUED BY ANY AND ALL PUBLIC ENTITIES GOVERNING THE PROJECT SITE).
13. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR SHALL PROVIDE A FIRE BREAK AROUND THE LIMITS OF THE CONSTRUCTION SITE CLEARED OF ALL COMBUSTIBLE MATERIAL INCLUDING WEEDS AND BRUSH PER THE REQUIREMENTS OF THE LOCAL FIRE PROTECTION DISTRICT. THE CONTRACTOR SHALL MAINTAIN THE REQUIRED FIRE BREAK DURING ALL CONSTRUCTION OF THE CONSTRUCTION PHASE.
14. NO GRADING OR CONSTRUCTION TRAFFIC SHALL OCCUR OUTSIDE THE LIMITS OF THE PHASE OTHER THAN THE DELIVERY OF MATERIALS OR THE REMOVAL OF TRASH BY MEANS OF AN APPROVED CONSTRUCTION HAUL ROUTE. TEMPORARY DIRT ROADS MAY BE UTILIZED FROM THE PROJECT BOUNDARY TO THE CONSTRUCTION SITE. GRAVEL APRONS SHALL BE PLACED AT ANY LOCATION WHERE CONSTRUCTION TRAFFIC EXISTS TO A PAVED STREET OR OTHER PUBLIC ACCESS. GRAVEL APRONS SHALL BE OF SUFFICIENT AREA AND DEPTH TO PREVENT THE TRACKING OF SEDIMENT AND DEBRIS BEYOND THE CONSTRUCTION SITE.
15. THE OWNER IS RESPONSIBLE TO RETAIN THE SERVICES OF A TESTING AND INSPECTION FIRM TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY THE LOCAL BUILDING DEPARTMENT, STATE OF NEVADA, OR THE PUBLIC UTILITY COMPANIES. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTITY 48 HOURS ADVANCE NOTICE OF ANY REQUIRED TESTING OR INSPECTION.
16. NO GEOTECHNICAL INVESTIGATION AND FINDINGS REPORT WAS PERFORMED FOR THIS TENTATIVE MAP UPDATE PROJECT. A GEOTECHNICAL INVESTIGATION WAS PERFORMED FOR THE PREVIOUS DIAMOND CREEK PHASE 1 PROJECT BY NORTECH GEOTECHNICAL CONSULTANTS, TITLED "GEOTECHNICAL INVESTIGATION VILLAGE AT DIAMOND CREEK", DATED FEBRUARY 3, 2005. THE CONTRACTOR SHALL ATTENTIVELY RE-EVALUATE THE SITE IN SUCH A MANNER THAT HE CAN CONFIRM EXISTING SURFACE CONDITIONS. ANY CONCERNS OR ISSUES THAT BE OF PRIOR KNOWLEDGE TO THE CONTRACTOR THAT IS REVEALED THROUGH HIS INVESTIGATIONS SHALL BE MADE AVAILABLE TO THE OWNER.
17. THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER, CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS, TO INSURE A TIMELY COMPLETION OF THE PROJECT.
18. IN ORDER TO EXPEDITE THE INSPECTION AND TESTING OF MATERIALS, THE CONTRACTOR SHALL FURNISH COMPLETE STATEMENTS TO THE GEOTECHNICAL ENGINEER AS TO THE ORIGIN, COMPOSITION AND MANUFACTURER OF ALL MATERIALS TO BE USED IN THE WORK. SUCH STATEMENTS SHALL BE FURNISHED PROMPTLY AFTER EXECUTION OF THE CONTRACT, BUT IN ALL CASES PRIOR TO DELIVERY OF SUCH MATERIALS.
19. AREAS TO BE GRADED SHALL BE CLEARED OF ALL SURFACE VEGETATION AND DEBRIS TO BE DISPOSED OF IN CONFORMANCE WITH THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION AGENCY (BMAP) REGULATIONS OR PLACED IN APPROVED NON-STRUCTURAL FILL AREAS IF SHOWN ON GRADING PLANS OR APPROVED BY THE PROJECT MANAGER. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXCAVATION DEBRIS FROM ANY AND ALL PAVED SURFACES ON A DAILY BASIS.
20. ALL GRADING WITHIN PROPOSED STREET RIGHT-OF-WAYS AND OTHER STRUCTURAL AREAS SHALL BE TO SUBGRADE ELEVATIONS. REFER TO THE DETAIL SHEETS FOR SPECIFIC INFORMATION ON SUBGRADE ELEVATIONS. SOIL WITHIN TWO FEET OF SUBGRADE ELEVATIONS MUST MEET THE REQUIREMENTS FOR STRUCTURAL FILL AS DEFINED IN THE GEOTECHNICAL INVESTIGATION AND AS VERIFIED IN THE FIELD BY THE GEOTECHNICAL FIELD INSPECTOR. SOIL WITHIN THREE FEET OF PAD GRADE MUST ALSO MEET THE REQUIREMENTS FOR STRUCTURAL FILL TO BE VERIFIED BY THE FIELD INSPECTOR. GRADING WITHIN ANY RETENTION/DETENTION BASINS AND OTHER REVEGETATED AREAS SHALL BE TO FINISH GRADES.
21. THE CONTRACTOR SHALL MAINTAIN A 24-HOUR DUST CONTROL PROGRAM IN CONFORMANCE WITH THE STATE OF NEVADA AIR QUALITY DIVISION, POLLUTION REGULATIONS AND THE APPROVED DUST CONTROL PERMIT FOR THE PROJECT. DUST SHALL BE CONTROLLED AT ALL TIMES BY DIRECT WATERING OF AREAS DISTURBED BY GRADING OPERATIONS. OPEN WATERING SHALL BE DONE BY WATER TRUCK OR PRESSURE IRRIGATION SYSTEM. AREAS DESIGNATED FOR REVEGETATION SHALL BE REVEGETATED WITHIN 15 DAYS OF COMPLETION OF GRADING. IF DUST BECOMES AN ISSUE OR IF ANY COMPLAINTS ARE FILED, AREAS NOT TO RECEIVE PERMANENT REVEGETATION SHALL BE TREATED WITH AN APPROVED DUST PALLIATIVE. A LIST OF ACCEPTABLE DUST PALLIATIVES CAN BE OBTAINED FROM THE STATE OF NEVADA DIVISION OF ENVIRONMENTAL PROTECTION. LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINES.
22. ALL QUANTITIES SHOWN HEREIN ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE THE CONTRACTORS RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.
23. THE CONTRACTOR SHALL ELIMINATE ALL MOSQUITO BREEDING PLACES WITHIN THE GRADED AREAS.
24. GRADING WITHIN ANY RETENTION/DETENTION BASINS, DRAINAGE SWALES/CHANNELS, AND OTHER REVEGETATED AREAS SHALL BE TO FINISH GRADES ACCOUNTING FOR DEPTH OF ROCK RIP RAP, AS SPECIFIED. CONTOUR AND FLAG GRADE (FL TOP, BOTTOM) ELEVATIONS SHOWN WITHIN ANY RETENTION/DETENTION BASINS OR DRAINAGE SWALES/FLOWLINES ARE FINISH GRADE ELEVATIONS OF ROCK RIP RAP OR EARTHEN SURFACE.
25. DRAINAGE: THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING. NO FENCE OR OTHER OBSTRUCTION WHICH INTERFERES WITH DRAINAGE SHALL BE ALLOWED WITHIN A DRAINAGE OR STORM DRAIN EASEMENT. STORM RUNOFF FROM THE CONSTRUCTION AREA SHALL BE CONTROLLED AT ALL TIMES TO PREVENT THE TRANSPORT OF SEDIMENT.
26. THE APPROVED PLANS, PERMITS, AND INSPECTION RECORDS MUST BE IN THE JOB SITE AT ALL TIMES.
27. NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE LOCAL BUILDING DEPARTMENT INSPECTOR AT LEASE ONE (1) WORKING DAY BEFORE WORK IS COMMENCED.
28. THE ENGINEER-OF-RECORD / GEOTECHNICAL INSPECTOR SHALL PROVIDE THE CITY WITH COPIES OF ALL TEST RESULTS ON A WEEKLY BASIS AND A BOND REPORT OF THE TEST RESULTS AND INSPECTION REPORTS ARRANGED IN CHRONOLOGICAL ORDER AT THE COMPLETION OF THE PROJECT.
29. ALL PUBLIC RIGHT-OF-WAYS, PUBLIC ACCESS EASEMENTS, AND STREETS SHALL BE MAINTAINED FREE OF DUST AND MUD CAUSED BY GRADING OPERATIONS.
30. THE SOILS ENGINEER/ GEOTECHNICAL INSPECTOR SHALL APPROVE ALL GRADING INCLUDING COMPACTION REQUIREMENTS AND THE STABILITY OF SLOPES CREATED, EXISTING, OR REMAINING.

GRADING NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONFORMANCE WITH ALL PERMITS, INCLUDING GRADING PERMIT, BUILDING PERMITS, DUST CONTROL PERMIT, AND THE STORM WATER DISCHARGE PERMIT (ISSUED BY ANY AND ALL PUBLIC ENTITIES GOVERNING THE PROJECT SITE).
2. FINISH GRADE (FG) REPRESENTS THE ELEVATION OF THE FINISHED SURFACE. THIS INCLUDES LANDSCAPE AREAS, PAVED OR CONCRETE SURFACES, ROCK RIP-RAP SURFACE AND ELEVATION AT EXTERIOR OF STRUCTURE FOUNDATION, UNLESS OTHERWISE DENOTED ON DETAIL OR SPECIAL LABEL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SUBGRADE OR TOP SOIL TO ALLOW FOR FINISHED SURFACE MATERIAL DIMENSIONS. IF DETAIL IS PROVIDED FOR SPECIAL AREA, DETAIL SHALL DENOTE FINISH GRADES. PROPOSED CONTOURS REFLECT FINISH GRADE. FINISH GRADE AT CENTERLINE OF A ROAD OR RADIUS POINT OF A CUL-DE-SAC WITH A RAISED LANDSCAPE ISLAND REFLECTS THE ELEVATION AT WHICH THE ASPHALT WOULD BE PROJECTED TO; IT IS NOT THE ELEVATION OF THE SOIL FOR THE LANDSCAPE ISLAND.
3. CONTRACTOR SHALL CONSTRUCT BUILDING PADS TO THE PAD ELEVATION SHOWN. THE FINISH GRADE (FG) ELEVATION IS THE PROPOSED GRADE AT STRUCTURE CONSTRUCTION TIME (SEE NOTE ABOVE).
4. CONTRACTOR TO USE EXTREME CAUTION WHEN GRADING OR OPERATING OUTSIDE OF GRADING BOUNDARIES TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION.
5. CONTRACTOR TO USE EXTREME CAUTION WHEN GRADING AROUND EXISTING UTILITIES AND EXISTING ROADS.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY DE-WATERING TO PROPERLY CONSTRUCT ALL IMPROVEMENTS. IT SHOULD BE NOTED THAT GROUNDWATER CAN FLUCTUATE THROUGHOUT CLIMATIC CHANGES AND SEASONS WHICH CAN CAUSE DE-WATERING WHEN IT IS NOT ANTICIPATED. IT IS THE CONTRACTORS RESPONSIBILITY TO READ AND UNDERSTAND THE GEOTECHNICAL REPORT FOR THE PROJECT TO ANTICIPATE DE-WATERING ISSUES.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL AFFECTED PUBLIC AGENCIES AND SOILS TESTING AGENCIES 48 HOURS PRIOR TO COMMENCEMENT OF GRADING WORK.

EROSION CONTROL NOTES:

- 1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATE IN THE PUBLIC RIGHTS OF WAYS AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING ANY STORM WATER PIPING, RETENTION, AND DETENTION SYSTEMS.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED BY THE LOCAL JURISDICTION OR THE NDEP BUREAU OF WATER POLLUTION CONTROL.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.8.1.b.(2).
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.8.1.g.
5. ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN 7 DAYS AFTER A STORMWATER RUNOFF EVENT, AND PRIOR TO THE NEXT ANTICIPATED STORM EVENT. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN EXCEEDED BY 50 PERCENT OR MORE.
6. TOTAL DISTURBED AREA WITHIN SUBJECT PROJECT PROPERTY: ±17.00 ACRES.
7. IF REQUIRED, A COPY OF THE NOTICE OF INTENT (NOI), LETTER OF AUTHORIZATION FROM NDEP, AND SWPPP SHALL REMAIN ON-SITE AT ALL TIMES. CONTRACTOR SHALL FOLLOW REQUIREMENTS SET FORTH IN THE SWPPP AT ALL TIMES.
8. CONTRACTOR SHALL MODIFY THE SWPPP AS NEEDED TO PROVIDE CONTINUOUS PROTECTION FROM STORM WATER RUN-OFF.
9. CONTRACTOR SHALL CREATE AND MAINTAIN A LOCATION FOR HANDLING AND DISPOSING OF CONCRETE AND CEMENT AND FOR VEHICLE STORAGE AND MAINTENANCE.
10. REFER TO THE NDEP -- BUREAU OF WATER POLLUTION CONTROL FOR ALL BMP'S TO BE UTILIZED DURING CONSTRUCTION.

SLOPE STABILIZATION NOTES:

- ALL AREAS DISTURBED BY GRADING OPERATIONS ARE TO BE REVEGETATED PER THE SPECIFICATIONS INCLUDED BELOW. CONTRACTOR IS RESPONSIBLE TO PROTECT THE AREAS OF REVEGETATION DURING THE ESTABLISHMENT PERIOD OF THE PLANT GROWTH.
PLANTING:
1. THE SEED MIXTURE AND APPLICATION RATE FOR THE SLOPE STABILIZATION SHALL BE TO THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEED SHALL BE APPLIED TO THE SOIL TO A DEPTH RECOMMENDED BY THE LANDSCAPE ARCHITECT AND THE SEED SUPPLIER.
3:1 TO 5:1 SLOPES
2. CUT AND FILL SLOPES BETWEEN 3:1 AND 5:1 SHALL BE STABILIZED BY HYDROSEEDING WITH MULCH AND TACTIFIER (OR AN APPROVED EQUAL AS RECOMMENDED BY THE LANDSCAPE ARCHITECT) AND TEMPORARILY IRRIGATED (IF REQUIRED) UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY ENGINEER EXCEPT IN AREAS LOCATED WITHIN SINGLE FAMILY LOTS OR ALONG COMMON LOT LINES BETWEEN SINGLE FAMILY RESIDENCES. SATISFACTION OF GROWTH MUST OCCUR WITHIN THE FIRST YEAR OF REVEGETATION.
SLOPES STEEPER THAN 3:1
3. THE TOP 3" OF SOIL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. STABILIZE WITH EROSION CONTROL BLANKETS OR APPROVED EQUAL AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND REVEGETATED PER THE SPECIFICATIONS ABOVE.
ROCK RIP RAP
4. IF ROCK RIP RAP IS USED FOR SLOPE STABILIZATION, IT SHALL CONTAIN A MINIMUM OF FOUR FRACTURED FACES. UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER, SHALL BE PLACED TO A MINIMUM DEPTH OF 12 INCHES, AND A MINIMUM OF 75% OF THE ROCK RIP RAP SHALL BE 8-INCH DIAMETER ROCK OR GREATER.

FIRE DEPARTMENT NOTES:

- 1. FIRE HYDRANTS TO BE INSTALLED AND FIRE ACCESS SHALL MEET THE APPROVAL OF THE FIRE MARSHALL PRIOR TO COMBUSTIBLE MATERIALS ALLOWED ON SITE.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM PROPER FIRE HYDRANT INSTALLATION WITH THE FIRE MARSHALL. THIS INCLUDES FINAL COLOR OF HYDRANTS, SURROUNDING DELINEATING PAINT MARKINGS AND REFLECTORS AND VERTICAL AND HORIZONTAL CLEARANCES AROUND SAID HYDRANTS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE REQUIRED INSPECTIONS AND TESTS RELATED TO FIRE DISTRIBUTION SYSTEMS AS PART OF THESE CIVIL IMPROVEMENT PLANS WITH THE FIRE MARSHALL AND/OR LOCAL FIRE DISTRICT TO INCLUDE, BUT NOT LIMITED TO, TRUST BLOCK PRE-POUR, TRENCH, AND BACKFILL; UNDERGROUND HYDROSTATIC TEST; UNDERGROUND FLUSH; WELD INSPECTIONS; AND FINAL UNDERGROUND INSPECTIONS.
4. THE INSTALLATION OF THE FIRE DISTRIBUTION SYSTEM AS PART OF THESE CIVIL IMPROVEMENT PLANS SHALL COMPLY WITH THE FIRE DISTRICTS CURRENT ADOPTED EDITIONS OF NFPA 13 AND INTERNATIONAL FIRE CODE.
5. FIRE ACCESS LANES SHOWN ON THESE PLANS SHALL BE KEPT CLEAR AT ALL TIMES WITH NO OBSTRUCTIONS WITHIN LANE LIMITS.

CLAY MATERIAL NOTE:

SHOULD ANY EVIDENCE OF CLAY MATERIAL BE DISCOVERED AT ANY STAGE IN THE GRADING OPERATION, CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ENGINEER OF RECORD, AND PROJECT ENGINEER.

PREHISTORIC NOTE:

SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL BE TEMPORARILY HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.

FLOOD PLAIN NOTE:

ACCORDING TO FEMA'S FLOOD INSURANCE RATE MAP NUMBER 32001C1732F, EFFECTIVE DATE OF SEPTEMBER 26, 2008, THE PROJECT SITE LIES WITHIN A ZONE "X" (UN-SHADED); AREA OF MINIMAL FLOOD HAZARD.

SURVEY NOTE:

BIGHORN CONSULTING IS NOT RESPONSIBLE FOR ANY SURVEYANCES AND/OR DISCREPANCIES IN THE TOPOGRAPHY OR BOUNDARY INFORMATION. THE BASIS OF BEARING AND THE BASIS OF ELEVATION WERE PROVIDED BY SUMMIT ENGINEERING.

IRRIGATION SLEEVES NOTE:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY IRRIGATION SLEEVES EITHER ON THE LANDSCAPE PLANS OR THE UTILITY PLANS PRIOR TO PAVING OR CONSTRUCTION OF CONCRETE FLATWORK.

STRUCTURAL NOTE:

BIGHORN CONSULTING IS NOT RESPONSIBLE FOR ANY STRUCTURAL CALCULATIONS AND/OR DESIGN. THIS INCLUDES BUT IS NOT LIMITED TO SOUND OR RETAINING WALLS, BUILDING FOUNDATIONS, FENCING, MONUMENT OR OTHER SIGNS, AND SPECIAL INSPECTION REQUIREMENTS OF SAID STRUCTURAL ELEMENTS.

DE-WATERING NOTE:

CONTRACTOR SHALL PROVIDE ALL NECESSARY DE-WATERING TO PROPERLY CONSTRUCT ALL IMPROVEMENTS. IT SHOULD BE NOTED THAT GROUNDWATER CAN FLUCTUATE THROUGHOUT CLIMATIC CHANGES AND SEASONS WHICH CAN CAUSE DE-WATERING WHEN IT IS NOT ANTICIPATED. IT IS THE CONTRACTORS RESPONSIBILITY TO ANTICIPATE DE-WATERING ISSUES AND SITUATIONS LOCATED WITHIN THE PROJECT SITE.

DEMOLITION NOTE:

CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING CONCRETE, SIDEWALKS, CURBS, GUTTERS, LANDSCAPING, COLLARS, RAMPS, POSTS, EQUIPMENT, AND MISCELLANEOUS ITEMS DURING DEMOLITION OR ANY OTHER CONSTRUCTION ACTIVITIES.

TEST PITS / POTHOLES NOTE:

ANY EXPLORATION TRENCHES WERE BACKFILLED WITHOUT MECHANICAL COMPACTION; THEREFORE, WHERE THESE TEST PITS AND POTHOLES ARE LOCATED IN PLANNED BUILDING OR FLATWORK AREAS, THE BACKFILL IN THE TRENCHES MUST BE REMOVED AND REPLACED TO PREVENT LOCALIZED SETTLEMENT. CONTRACTOR IS RESPONSIBLE TO REFERENCE GEOTECHNICAL INVESTIGATION REPORT FOR ALL TRENCHES AND TEST PIT LOCATIONS.

NOXIOUS WEED MANAGEMENT GENERAL NOTES:

- 1. OWNER, ALL CONTRACTORS, SUB-CONTRACTORS, VEHICLES, EQUIPMENT, AND PERSONNEL INVOLVED WITH ALL CONSTRUCTION ACTIVITIES IN SUPPORT OF THIS PROJECT ARE RESPONSIBLE FOR COMPLYING WITH THE NEVADA DEPARTMENT OF AGRICULTURE'S (NDA) REQUIREMENTS AS SET FORTH IN THE NEVADA REVISED STATUTE 555 WITH RESPECT TO CONTROL OF INSECTS, PESTS, AND NOXIOUS WEEDS.
2. OWNER, ALL CONTRACTORS, SUB-CONTRACTORS, VEHICLES, EQUIPMENT, AND PERSONNEL INVOLVED WITH ALL CONSTRUCTION ACTIVITIES IN SUPPORT OF THIS PROJECT ARE RESPONSIBLE TO BE AWARE AND FAMILIAR WITH DISTRIBUTION MAPS (EARLY DETECTION & DISTRIBUTION MAPPING SYSTEM) OF NOXIOUS WEEDS THAT HAVE BEEN REPORTED IN THE SUBJECT PROJECT VICINITY TOGETHER WITH THE "NEVADA NOXIOUS WEED FIELD GUIDE" PRODUCED BY THE UNIVERSITY OF NEVADA COOPERATIVE EXTENSION AND THE NEVADA WEED MANAGEMENT ASSOCIATION.
3. OWNER, ALL CONTRACTORS, SUB-CONTRACTORS, VEHICLES, EQUIPMENT, AND PERSONNEL INVOLVED WITH ALL CONSTRUCTION ACTIVITIES IN SUPPORT OF THIS PROJECT ARE REQUIRED TO REPORT NOXIOUS WEEDS THAT HAVE BEEN OBSERVED.
4. PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY; OWNER, ALL CONTRACTORS, SUB-CONTRACTORS, VEHICLES, EQUIPMENT, AND PERSONNEL INVOLVED WITH ALL CONSTRUCTION ACTIVITIES IN SUPPORT OF THIS PROJECT SHALL EDUCATE THEMSELVES ABOUT STATE LISTED NOXIOUS WEEDS THAT MIGHT BE ENCOUNTERED ON THE PROJECT SITE AND ARE RESPONSIBLE TO ENSURE ALL EQUIPMENT AND VEHICLES ARE CLEAR OF POSSIBLE NOXIOUS WEEDS AND THEIR PLANT PARTS.

DEFENSIBLE SPACE AND VEGETATION MANAGEMENT GENERAL NOTES:

- 1. REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS, 50' FOR HIGH HAZARD RATINGS AND 100' FOR REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS, 50' FOR HIGH HAZARD RATINGS AND 100' FOR EXTREME HAZARD RATINGS OR AS MODIFIED BY THE FIRE MARSHALL.
2. DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE OR TO THE PROPERTY LINE, WHICHEVER IS LESS DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE OR TO THE PROPERTY LINE, WHICHEVER IS LESS MEASURED ON A HORIZONTAL PLANE FROM THE PERIMETER OR PROJECTION OF THE BUILDING OR STRUCTURE.
3. CULTIVATED GROUND COVER SUCH AS GRASS, IVY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER ARE ALLOWED CULTIVATED GROUND COVER SUCH AS GRASS, IVY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER ARE ALLOWED WITHIN THE DEFENSIBLE SPACE PROVIDED THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
4. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING NON FIRE-RESISTIVE VEGETATION AND KEEPING LEAVES, NEEDLES AND OTHER DEAD VEGETATIVE MATERIAL REGULARLY REMOVED FROM ROOFS OF BUILDINGS & STRUCTURES.
5. TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6' TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6' VERTICAL CLEARANCE BETWEEN THE GROUND AND LIMBS WITHIN THE DEFENSIBLE SPACE. DEADWOOD & LITTER SHALL BE REGULARLY REMOVED FROM TREES.
6. SPARK ARRESTORS SHALL BE INSTALLED ON CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE SPARK ARRESTORS SHALL BE INSTALLED ON CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
7. FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, ON DECKS OR UNDER EAVES, CANOPIES OR OTHER PROJECTIONS/OVERHANGS. WHEN FIREWOOD OR OTHER COMBUSTIBLE MATERIALS SHALL BE STORED A MINIMUM OF 20' FROM STRUCTURES AND SEPARATED FROM THE CROWN OF TREES BY A MINIMUM HORIZONTAL DISTANCE OF 15'.
8. TREE SPACING GUIDELINES: SLOPES 0%-20% 10'; SLOPES 20%-40% 20'; SLOPES GREATER THAN 40% 30'.
9. SHRUB SPACING GUIDELINES: SLOPES 0%-20% 2 TIMES THE HEIGHT OF THE SHRUB; SLOPES 20%-40% 4 TIMES THE HEIGHT SHRUB SPACING GUIDELINES: SLOPES 0%-20% 2 TIMES THE HEIGHT OF THE SHRUB; SLOPES 20%-40% 4 TIMES THE HEIGHT OF THE SHRUB; SLOPES GREATER THAN 40% 6 TIMES THE HEIGHT OF THE SHRUB).
10. VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 TIMES THE HEIGHT OF THE SHRUB.

ABBREVIATIONS:

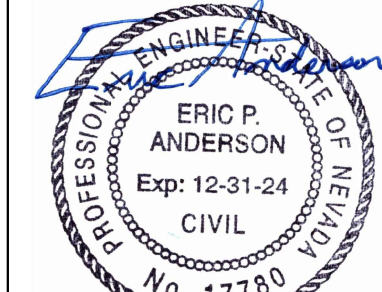
Table with 3 columns: Abbreviation, Full Name, and Symbol. Includes terms like ASPHALTIC CONCRETE, MANHOLE, FINISHED FLOOR, SANITARY SEWER, etc.

GENERAL UTILITY NOTES:

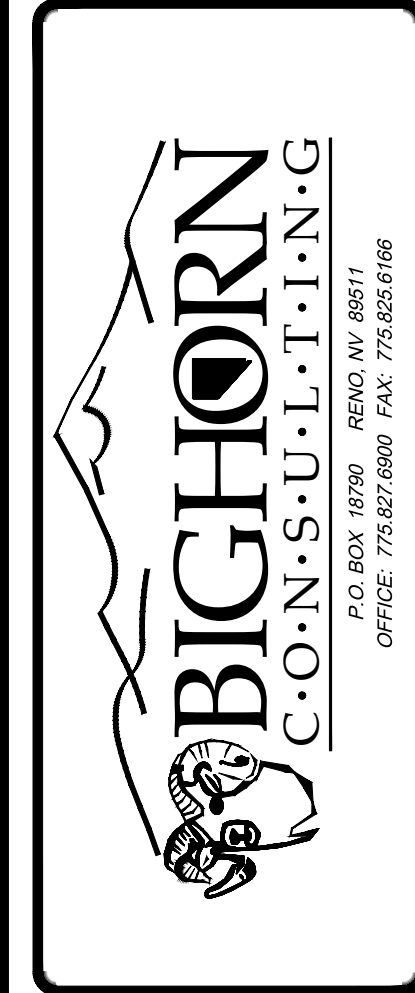
- 1. WHERE POTABLE WATER MAINS CROSS WITH ANY NON-POTABLE WATER / SANITARY SEWER / STORM DRAIN REFER TO N.D.E.P VERTICAL CROSSING CONFLICT SUMMARY. THE MINIMUM MITIGATED VERTICAL SEPARATION AT CROSSINGS SHALL NOT BE LESS THAN 6 INCHES.
2. ALL WATER AND SEWER LINES SHALL HAVE A MINIMUM OF A 10' HORIZONTAL SEPARATION UNLESS OTHERWISE APPROVED BY THE GOVERNING AGENCY'S HEALTH OR PUBLIC WORKS DEPARTMENTS.
3. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE PLANS. THIS RESPONSIBILITY INCLUDES CONTACTING UTILITY COMPANIES FOR LOCATIONS OR POTHOLES PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL STORM DRAIN LATERALS SIZES, SLOPES AND MATERIALS ARE SPECIFIED ON PLANS.
6. ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE SPECIFIED ON THE UTILITY PLAN AND/OR THE PLAN AND PROFILE PLAN.
7. ALL WATER WATER SYSTEM MATERIALS AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH ALL APPLICABLE AWWA STANDARDS.
8. ALL SANITARY SEWER PIPE MATERIALS ARE SPECIFIED ON THE UTILITY PLAN AND/OR THE PLAN AND PROFILE PLAN. INSTALLATION OF ALL SEWER PIPE SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
9. ALL SANITARY SEWER LATERALS SHALL BE 4" (MIN.) SDR-35 AND SHALL HAVE A MINIMUM SLOPE OF 2.00%. ALL LATERALS SHALL EXTEND 10' BEYOND THE STREET RIGHT-OF-WAY UNLESS OTHERWISE DENOTED ON THE PLANS. ALL LATERALS SHALL BE EQUIPPED WITH A SEWER BACKFLOW PREVENTION DEVICE SUCH AS A CAP OR PLUG.
10. ALL UTILITY PIPING INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, STORM DRAIN, RECLAIMED WATER, PHONE CONDUIT, ELECTRICAL CONDUIT, GAS MAINS AND SERVICE LINES, SHALL BE TESTED IN ACCORDANCE WITH THE ALL GOVERNING UTILITY AGENCIES REQUIREMENTS PRIOR TO ANY PAVING OVER SAID UTILITIES PER THE ENGINEER'S RECOMMENDATION.
11. ALL PVC WATER PIPE SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA C605, SECTION 7.
12. ALL WATER LINES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651.
13. ANY OPENINGS IN UNFINISHED PIPING AND APPURTENANCES MUST BE SEALED AND WATERTIGHT AT THE END OF EACH WORKING DAY.
14. PVC SOLID WALL PIPE TO BE USED FOR SANITARY SEWER, STORM DRAIN, AND IRRIGATION SLEEVES; PIPE AND FITTINGS SHALL BE MADE FROM PVC COMPOUNDS AS DEFINED AND DESCRIBED IN ASTM D 1784 FOR RIGID PVC COMPOUNDS AND CHLORINATED PVC COMPOUNDS. PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM D 3034 FOR SDR 35 AND ASTM F 679, GASKETS SHALL CONFORM TO ASTM F 477. ALL PIPE SHALL HAVE A MINIMUM PIPE STIFFNESS OF 46 PSI. PIPE AND MATERIALS SHALL BE MADE OF PVC PLASTIC HAVING A MINIMUM CELL CLASSIFICATION OF 12454-C OR 12364-C AS DEFINED IN ASTM D 1784. JOINTS MUST PROVIDE WATERIGHT SEAL AND ASSEMBLED WITH AN APPROVED BELL AND SPIGOT JOINT WITH THE RUBBER SEALING GASKET MEETING THE REQUIREMENTS OF ASTM A 3212.
15. BIGHORN CONSULTING IS NOT RESPONSIBLE FOR WATER ANALYSIS, INCLUDING PIPE SIZING AND WATER PRESSURES FOR EITHER DOMESTIC OR FIRE SUPPRESSION SYSTEMS.
16. ALL SEWER MAINS SHALL BE TV INSPECTED PRIOR TO ACCEPTANCE.
17. ALL SEWER MAINS SHALL PASS THE BALL AND MANDREL TEST PRIOR TO ACCEPTANCE.
18. ALL SEWER MAINS SHALL BE AIR TESTED PRIOR TO ACCEPTANCE.
19. ALL SEWER MANHOLES SHALL BE VACUUM TESTED PRIOR TO ACCEPTANCE
20. THESE PLANS ARE IN COMPLIANCE WITH NAC 278.440 & NAC 445A.65505 THROUGH NAC 445A.6731.

Avoid cutting underground utility lines. It's costly. Call you dig 1-800-227-2600 UNDERGROUND SERVICE (USA)

THE NOTES AND SPECIFICATIONS ON THIS SHEET ARE FOR THE PROJECT CIVIL IMPROVEMENT PLANS BY BIGHORN CONSULTING ONLY



Revision table with columns for No., Date, and Revision.



TENTATIVE MAP FOR DIAMOND CREEK ~ PHASE 2 NOTES & SPECIFICATIONS SHEET CITY OF FALLOW NEVADA

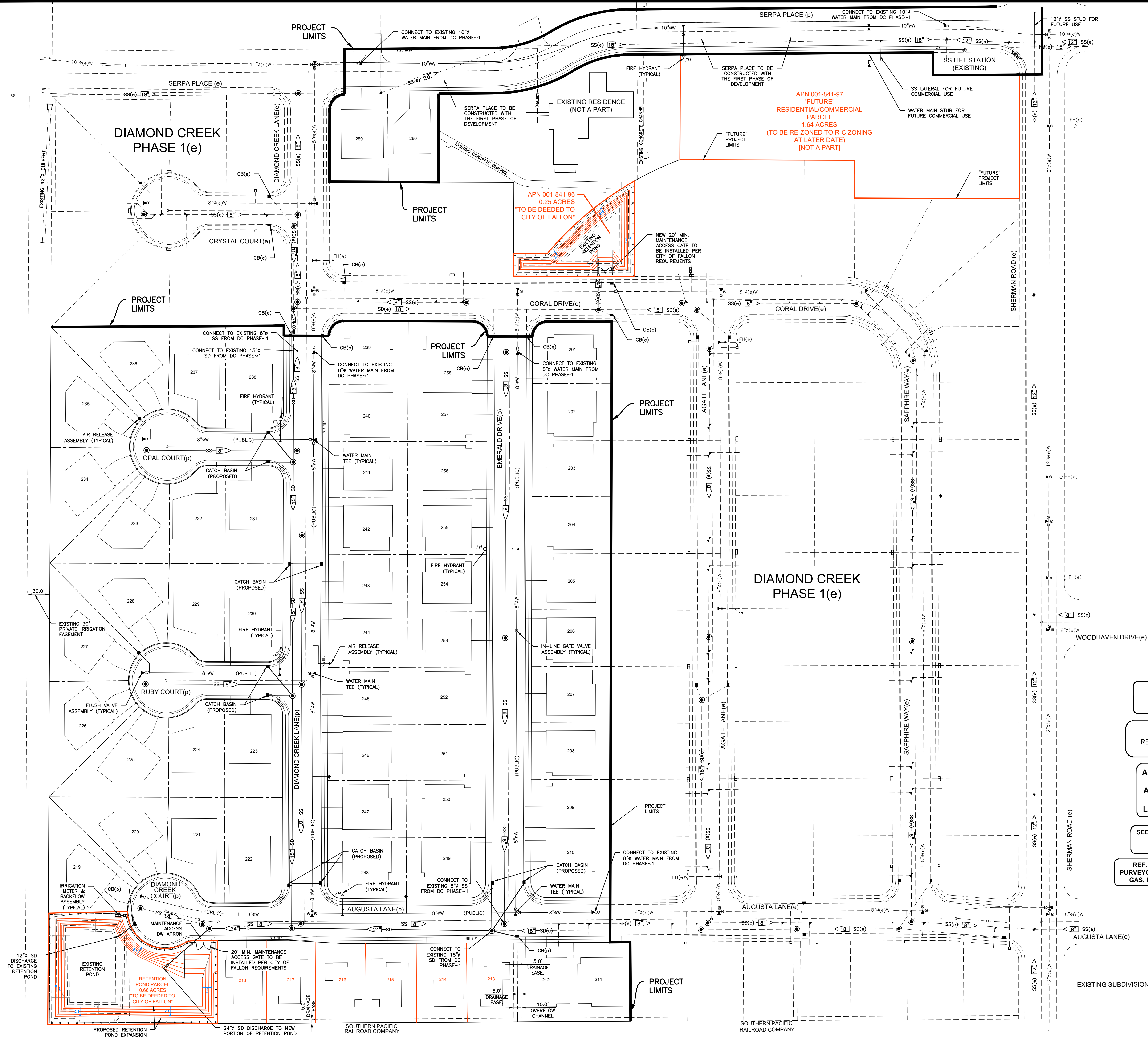
Date: 5.31.2023 Drawn By: EPA Designed By: EPA Checked By: EPA

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**SITE INFORMATION**

APNS: 001-841-98 & 001-841-99  
 AREA: 0.38 ACRES & 15.87 ACRES  
 ZONING: R1-7K  
 LAND USE: SINGLE FAMILY RESIDENTIAL

**UTILITY LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT
- FLOWLINE AND DIRECTION
- PROPOSED BACK OF CURB
- EXISTING BACK OF CURB
- PROPOSED SIDEWALK
- PROPOSED ADA RAMP
- PROPOSED FENCE
- PROPOSED WATER
- EXISTING WATER
- EXISTING FIRE HYDRANT (PUBLIC)
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED TEE W/ THRUST BLOCK
- PROPOSED GATE VALVE
- PROPOSED AIR RELEASE VALVE ASSEMBLY
- PROPOSED FLUSH VALVE ASSEMBLY
- PROPOSED SEWER SIZE & DIRECTION
- EXISTING SEWER SIZE & DIRECTION
- EXISTING SEWER LATERAL
- PROPOSED SS MANHOLE
- EXISTING SS MANHOLE
- PROPOSED STORM DRAIN SIZE & DIRECTION
- EXISTING STORM DRAIN SIZE & DIRECTION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED SD MANHOLE
- EXISTING SD MANHOLE
- PROPOSED FLARED END SECTION

**SEE SHEET T-2 FOR NOTES AND SPECIFICATIONS**

**SECTIONS NOTE**  
REF. DETAIL SHEET FOR ALL SECTIONS

**ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CONTRACTOR TO LOCATE AND VERIFY.**

**SEE ELECTRICAL PLANS BY OTHERS FOR SITE ELECTRICAL**

**REF. PLANS BY PUBLIC UTILITY PURVEYORS FOR ON-SITE ELECTRICAL, GAS, PHONE, & CABLE SERVICES.**

Call before you Dig  
1-800-227-2600  
www.callbeforeyoudig.com

**DE-WATERING NOTE:**  
CONTRACTOR SHALL PROVIDE ALL NECESSARY DE-WATERING TO PROPERLY CONSTRUCT ALL IMPROVEMENTS. IT SHOULD BE NOTED THAT GROUNDWATER CAN FLUCTUATE THROUGHOUT CLIMATIC CHANGES AND SEASONS WHICH CAN CAUSE DE-WATERING WHEN IT IS NOT ANTICIPATED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE DE-WATERING ISSUES AND SITUATIONS LOCATED WITHIN THE PROJECT SITE.

ALL WATER MAINS SHALL BE DISINFECTED AND TESTED PER AWWA C651.

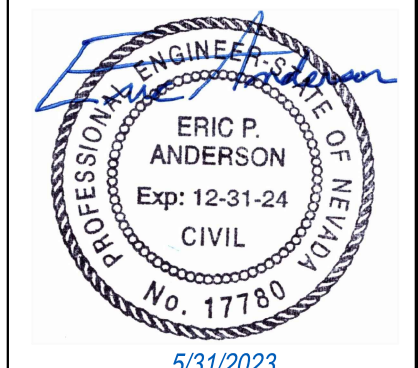
ALL WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA C605.

REFERENCE DETAIL SHEET FOR NDEP VERTICAL CROSSING CONFLICT SUMMARY FOR ALL WATER LINE CROSSINGS WITH SEWER AND STORM DRAIN. THE MINIMUM MITIGATED VERTICAL SEPARATION AT CROSSINGS SHALL NOT BE LESS THAN 6".

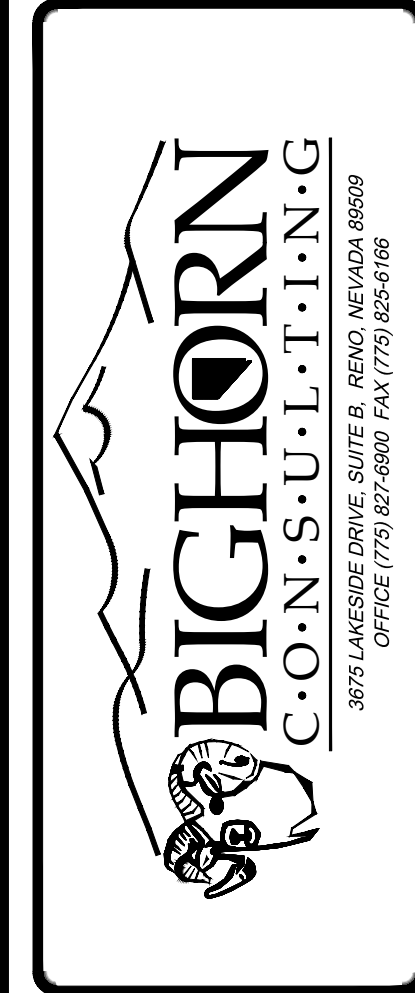
ALL POTABLE WATER PIPES, MATERIALS, & APPURTENANCES MUST BE NSF/ANSI 61 CERTIFIED AS COMPATIBLE WITH DRINKING WATER & THIRD PARTY CERTIFIED AS LEAD FREE. (CONTRACTOR IS RESPONSIBLE FOR CERTIFICATION OF RATINGS BEING SATISFIED)

MAINTAIN POTABLE WATER AND SSISS/IN-POTABLE HORIZONTAL AND VERTICAL CLEARANCES AS SPECIFIED IN NAC SECTION 445A. THE MINIMUM MITIGATED VERTICAL SEPARATION AT CROSSINGS SHALL NOT BE LESS THAN 6".

**NOTE:**  
BIGHORN CONSULTING IS NOT RESPONSIBLE FOR WATER ANALYSIS, INCLUDING PIPE SIZING AND WATER PRESSURES.

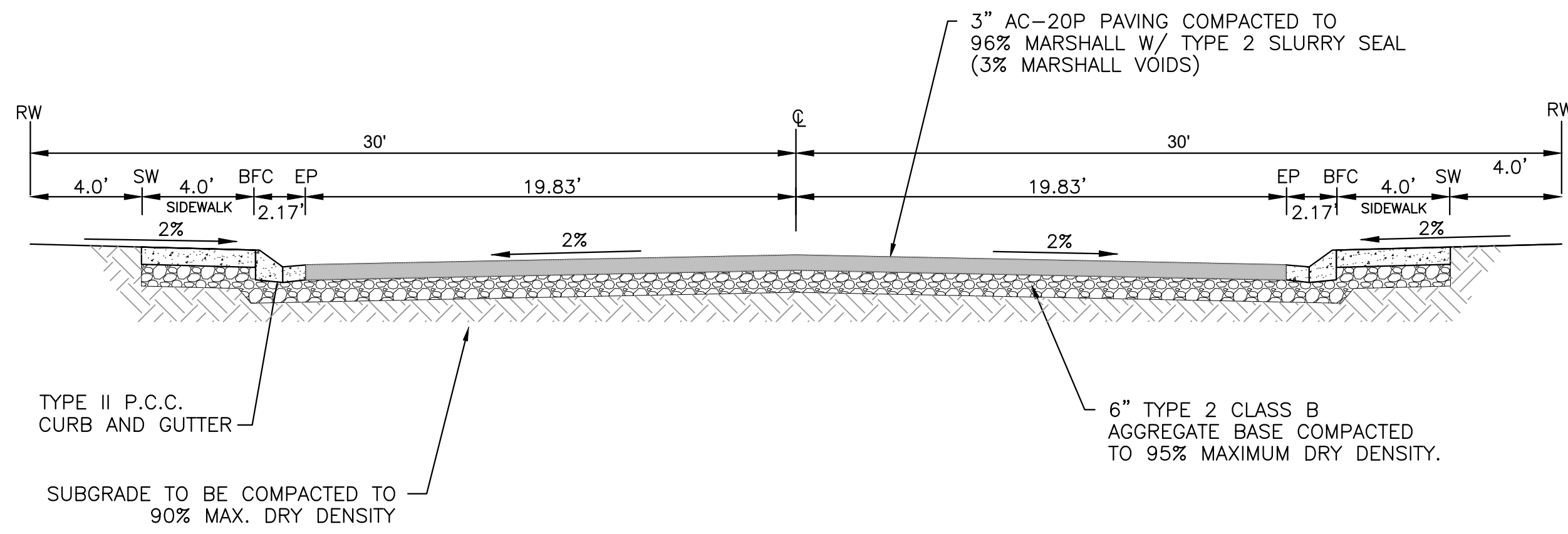


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Date:	

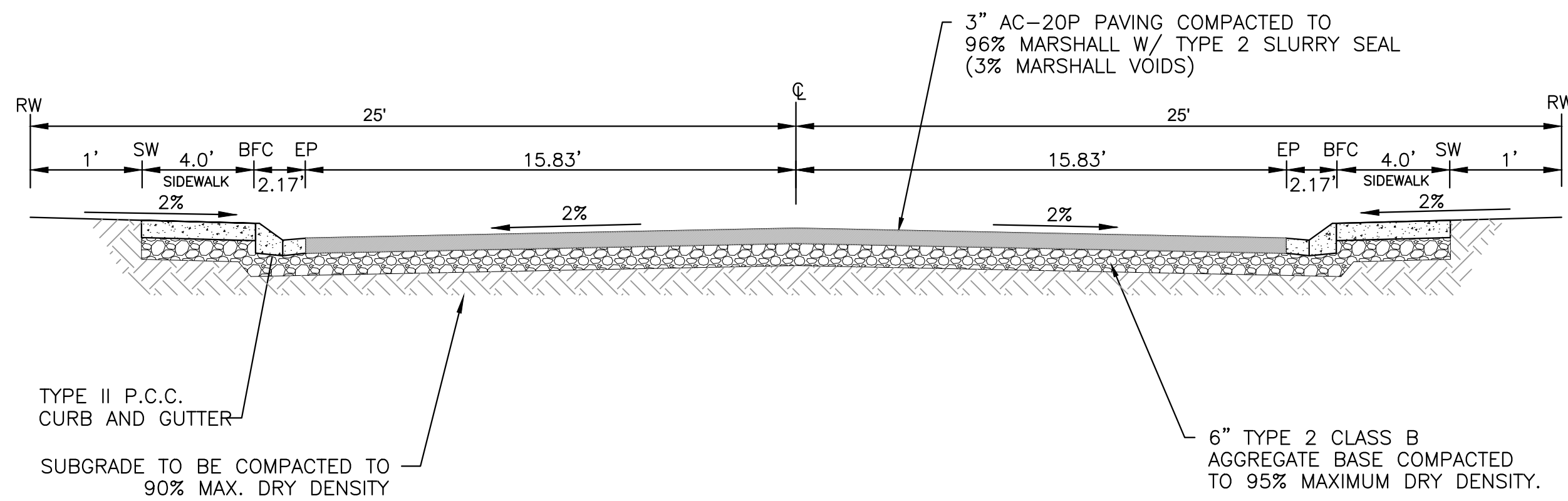


TENTATIVE MAP FOR  
DIAMOND CREEK ~ PHASE 2  
UTILITY PLAN

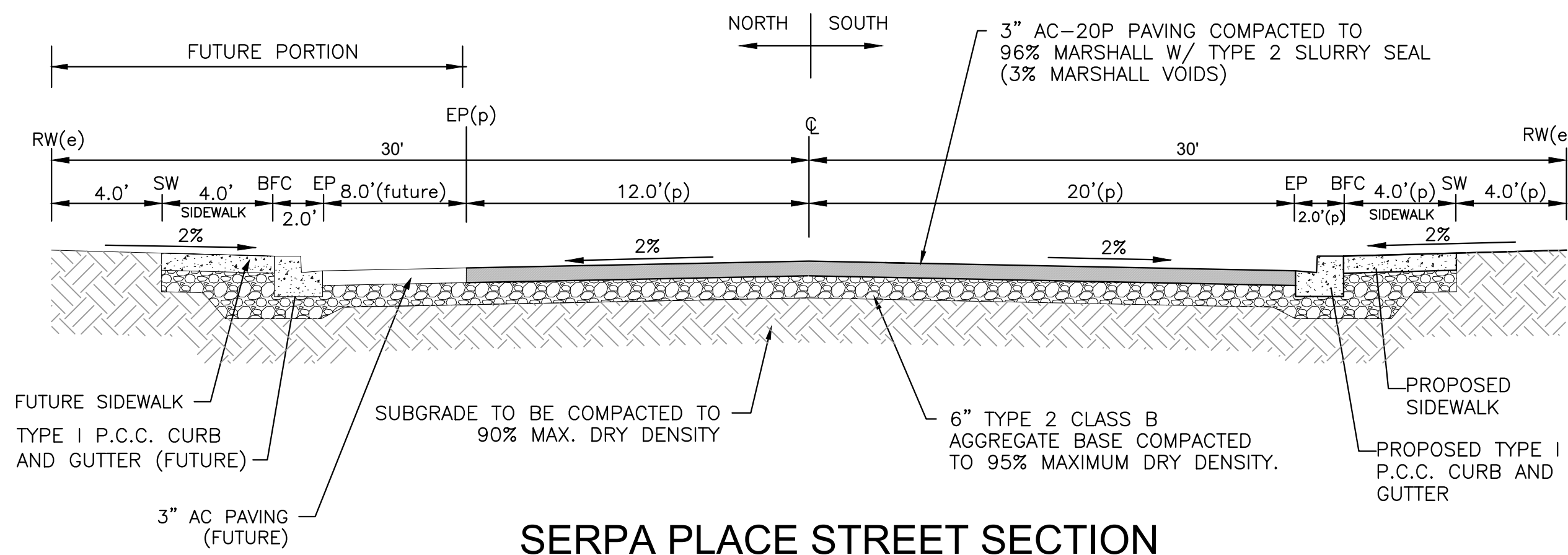
Date: 5.31.2023  
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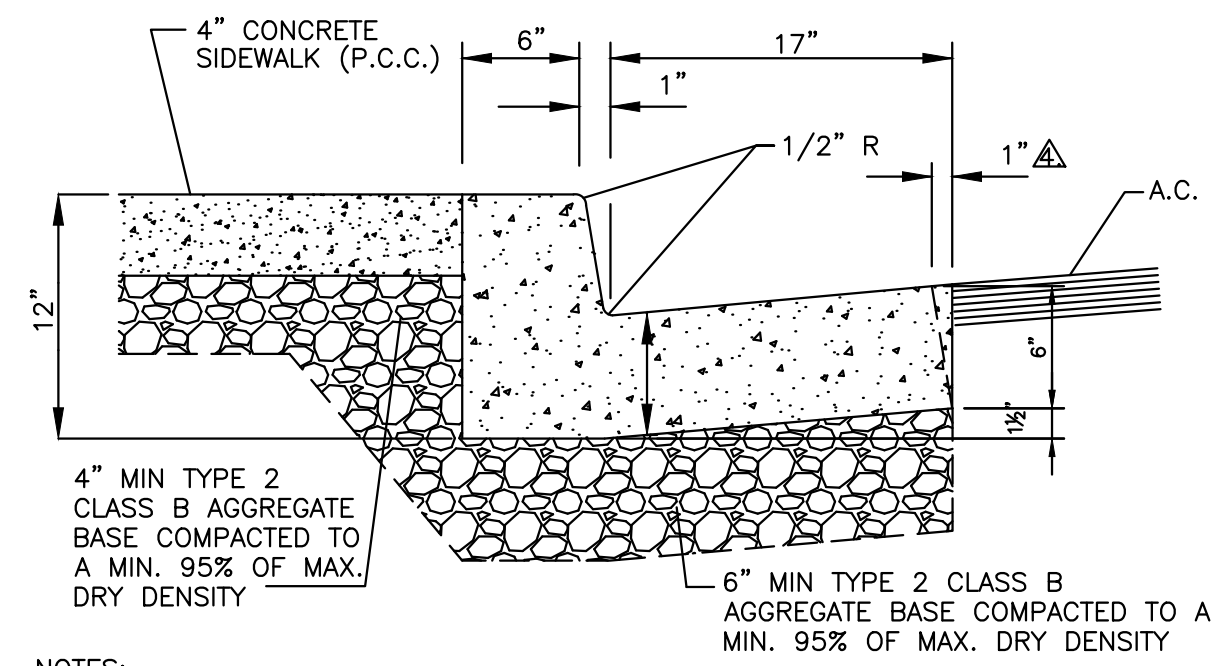
**LOCAL STREET SECTION**  
(60' RIGHT OF WAY)



**CUL-DE-SAC STREET SECTION**  
(50' RIGHT OF WAY)

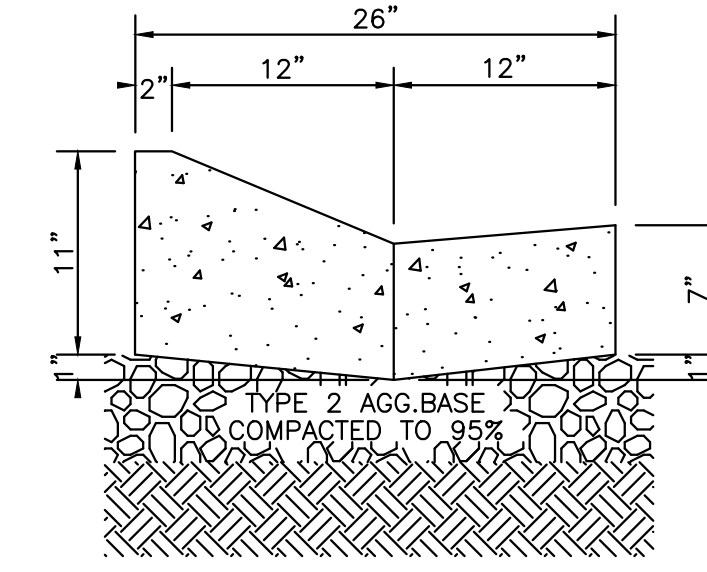


**SERPA PLACE STREET SECTION**  
(3/4 SECTION IMPROVED, 1/4 SECTION FUTURE)



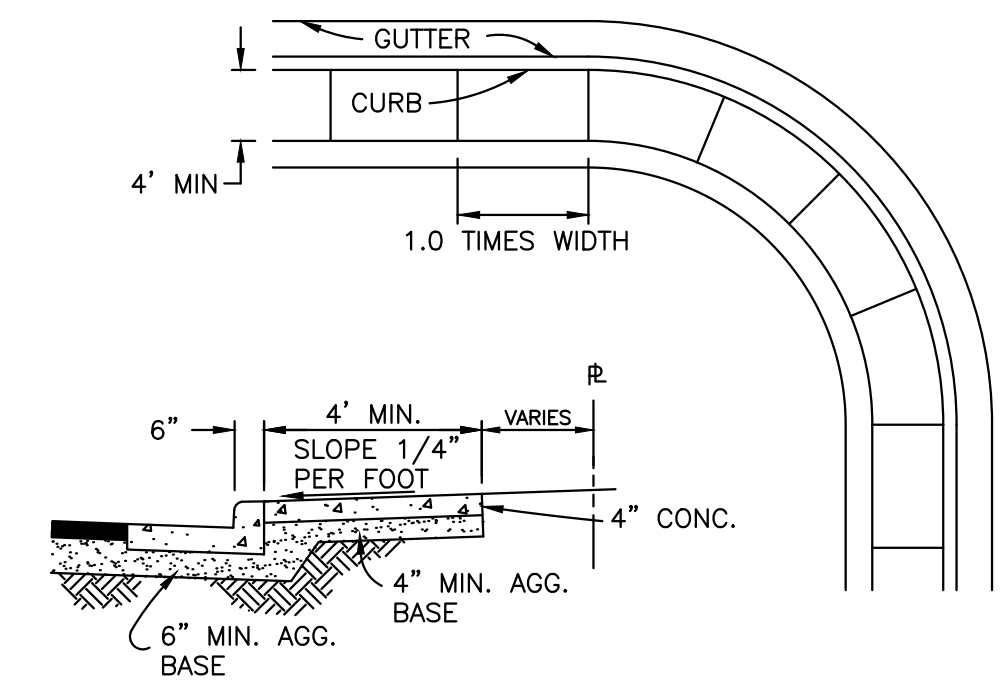
- NOTES:**
- FIBER-REINFORCED PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1-4 INCHES. ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. POLYPROPYLENE FIBERS SHALL BE ADDED TO THE P.C.C. PER THE MANUFACTURER'S RECOMMENDATIONS.
  - EXPANSION JOINTS 1/2" WIDE SHALL BE LOCATED IN CURBS AND GUTTERS AT EA. SIDE OF STRUCTURES, AT THE ENDS OF ALL CURB RETURNS, AND ABUTTING HARDENED IN-PLACE CURB AND GUTTER, EXCEPT THAT EXPANSION JOINTS SHALL NOT BE INSTALLED WITHIN 20 FEET OF AN ISLAND NOSE. EXPANSION JOINTS SHALL BE 1/2" THICK, SHAPED TO THE CROSS SECTION OF THE CURB AND GUTTER, AND CONSTRUCTED AT RIGHT ANGLES TO THE CURB AND GUTTER. JOINT FILLER MATERIAL SHALL CONFORM TO SSPWC SECTION 202.10. WEAKENED PLANE JOINTS SHALL BE EVERY 10 FEET AND LOCATED ON THE BACK, TOP AND FACE OF THE CURB AND THE TOP OF THE GUTTER PAN.
  - CURB & GUTTER SECTIONS SHALL BE PLACED SEPARATELY FROM SIDEWALK SECTIONS.
  - "BATTERED" CONSTRUCTION ALLOWED FOR NEW CONSTRUCTION, WHILE "VERTICAL CONSTRUCTION PERMITTED FOR RECONSTRUCTION.
  - WHERE ALTERNATE STANDARDS OF CURB AND GUTTER EXIST, AND THE REPLACEMENT CURB AND GUTTER IS GREATER THAN 20 CONTINUOUS FEET IN LENGTH, TYPE 1 CURB AND GUTTER SHALL BE INSTALLED WITH THE APPROPRIATE TRANSITIONS TO MATCH INTO THE EXISTING CURB AND GUTTER, IF DIRECTED BY THE CITY ENGINEER.
- WHEN SIDEWALK IS NOT REQUIRED, BACKFILL BEHIND THE CURB TO THE TOP FOR A HORIZONTAL DISTANCE OF 12" FROM BACK FACE OF CURB, WITH A MATCH TO EXISTING GRADE OF NOT EXCEEDING A 3:1 SLOPE.

**TYPE 1 P.C.C. CURB & GUTTER**



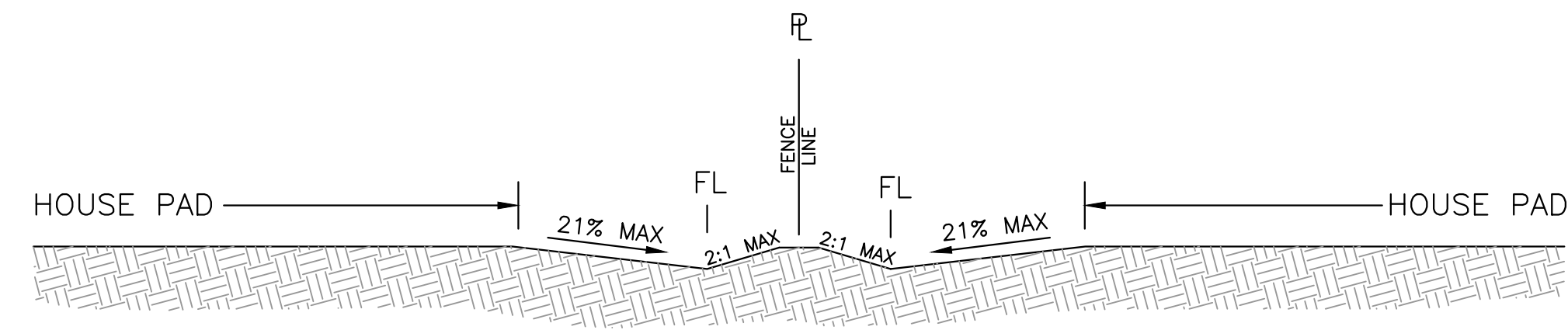
- NOTES:**
- ALL P.C.C. CURB, GUTTER AND SIDEWALK SHALL BE CLASS AA OR DA CONCRETE UNLESS OTHERWISE SPECIFIED
  - ALL CONCRETE CURB, GUTTER AND SIDEWALK SHALL HAVE 1/2" EXPANSION JOINTS EVERY 30' (UNLESS APPROVED OTHERWISE BY THE ENGINEER) AND AT ALL CURB RETURNS AND SHALL HAVE WEAKENED PLANE JOINTS EVERY 10 FEET.
  - AGGREGATE BASE MATERIAL SHALL CONFORM TO THE SPECIFICATIONS FOR TYPE 2 AGGREGATE BASE AND BE COMP. TO A MIN. 95% MAX. DRY DENSITY.

**TYPE 2 PCC CURB & GUTTER**

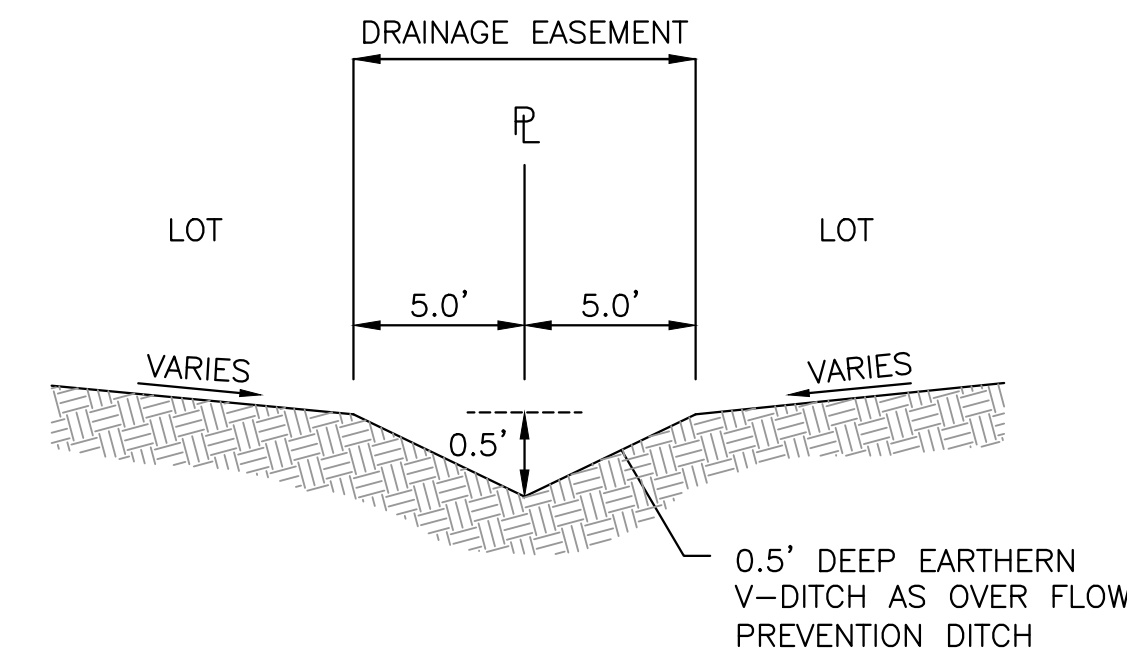


- NOTES:**
- ALL P.C.C. CURB, GUTTER, AND SIDEWALK SHALL BE CLASS AA OR DA CONCRETE UNLESS OTHERWISE SPECIFIED (4000 PSI)
  - MIN. CURB RETURN RADIUS SHALL BE 20 FEET UNLESS OTHERWISE SPECIFIED.
  - ALL CONCRETE CURB, GUTTER, AND SIDEWALK SHALL HAVE 1/2" EXPANSION JOINTS EVERY 30' (UNLESS APPROVED OTHERWISE BY THE ENGINEER) AND AT ALL CURB RETURNS AND SHALL HAVE WEAKENED PLANE JOINTS NO GREATER THAN EVERY 10 FEET.
  - ALL AGGREGATE BASE SHALL BE TYPE 2 CLASS B.
  - ALL WEAKENED PLANE JOINTS SHALL BE IN CONFORMANCE TO SECTION 312.09.02 SSPWC

**TYPICAL SIDEWALK**



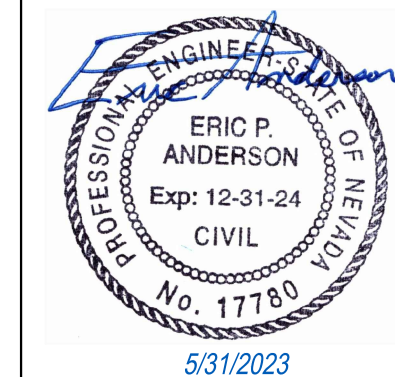
**TYPICAL LOT CROSS SECTION**



**TYPICAL OVERFLOW CHANNEL SECTION**

**NOTE:**  
ALL DETAILS  
NOT TO SCALE.

**NOTE:**  
BIGHORN CONSULTING IS NOT RESPONSIBLE FOR ANY STRUCTURAL CALCULATIONS AND/OR DESIGN. THIS INCLUDES, BUT IS NOT LIMITED TO, SOUND OR RETAINING WALLS, BUILDING FOUNDATIONS, FOOTINGS, FENCING, TRASH ENCLOSURES, MASONRY, MONUMENT OR OTHER SIGNS, AND SPECIAL INSPECTION REQUIREMENTS OF SAID STRUCTURAL ELEMENTS.



TENTATIVE MAP FOR  
DIAMOND CREEK ~ PHASE 2  
SECTIONS SHEET

Date: 5.31.2023  
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