



Adam Finestone, AICP
City Planner
Planning Division
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July 28, 2022

Scott Maas
FieldXStudio
2033 San Elijo Ave., #643
Cardiff by the Sea, CA 92007

Subject: Plot Plan and Density Bonus for 48 apartment units (City Project No. PL22-0032)
Location: 1600 S. Escondido Boulevard (APN 236-460-16-00)

Dear Mr. Maas:

This letter serves to inform you that the City of Escondido has completed its review, and does hereby conditionally approve Planning Case No. PL22-0032, which is a Major Plot Plan and Density Bonus to develop 48 apartment units (two, 3-story buildings) and 58 surface parking spaces located at 1600 S. Escondido Boulevard ("Project") based on the Findings of Fact contained in Exhibit "A" attached hereto. The Project includes a 50 percent density bonus to include 17 density bonus units (five very low-income units) for a total of 48 units per the provisions of the State of California Density Bonus Law and Article 67 of the Escondido Zoning Code. The Density Bonus also includes approval of certain concession/incentives. The Project will include 18 one-bedroom and 30 two-bedroom units. The existing commercial office building will be demolished. The subject property is located within the South Centre City Specific Plan (SPA 15) and Escondido Boulevard District that allows multi-family residential development.

This approval is subject to the Conditions of Approval attached as Exhibit "B" hereto. Compliance with the Conditions of Approval must be demonstrated on subsequently submitted plans for the project (building plans, grading/improvement plans, landscape plans, etc.). Said plans shall be in substantial conformance with those attached as Exhibit "C" hereto and on file with the Planning Division, except as modified by the Conditions of Approval in Exhibit "B."

Please note that the Plot Plan was reviewed for consistency with current City ordinances and policies and in no way vests any rights to the developer to construct to these standards in the future if the City ordinances and policies change. Additionally, please be aware that the Plot Plan was reviewed based on the assumption that the legal description for the subject property furnished by you, the applicant, and attached as Exhibit "D" hereto, is accurate, and that all easements, covenants, conditions, and other encumbrances and restrictions relating to the property have been completely and accurately depicted, described, and disclosed. Neither the City of Escondido nor any of its officers or employees assumes responsibility for the accuracy of said information.

PLAN PROCESSING REQUIREMENTS:

One revised hard-copy and one electronic copy of the Plot Plan reflecting conformance with the Conditions of Approval shall be submitted for review by the Planning Division. Said Plot Plan must be certified by the Planning Division prior to submittal of other plans (e.g., building, grading, landscape) for the Project.

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Pursuant to Government Code section 66020(d)(1), NOTICE IS HEREBY GIVEN that the project is subject to certain fees described in the City's Development Fee Inventory on file in both the Planning Division and Engineering Services Division (Development Services Department). Said fees shall be paid prior to or concurrent with the issuance of building permits, in accordance with the prevailing fee schedule in effect at the time of building permit issuance. The project may also be subject to dedications, reservations, and exactions as specified in the conditions of approval. NOTICE IS FURTHER GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction described in this letter begins on the date of this letter and any such protest must be in a manner that complies with Government Code section 66020.

ENVIRONMENTAL DETERMINATION

This project has been determined to be exempt from further environmental review, pursuant to California Environmental Quality Act (CEQA) Guidelines section 15332 (In-fill Development Projects). A Notice of Exemption has been prepared for the Project, a copy of which is attached to this letter as Exhibit "E." Approval of the subject project includes approval of the CEQA exemption.

The City of Escondido hereby notifies the applicant that the San Diego County Clerk's Office requires a documentary handling fee of \$50 in order to file a Notice of Exemption for the Project. The applicant shall remit to the City of Escondido Planning Division a check payable to the "San Diego County Clerk" in the amount of \$50 within two working days of the date of this letter. Per CEQA Guidelines section 15062, the filing of a Notice of Exemption and the posting with the San Diego County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's determination that the project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations period will apply.

CONCLUSION

The owner, or authorized agent, shall sign the Acknowledgement and Acceptance of Conditions of Approval form included with this letter and return it within 10 days of receipt of this letter. Approval of this Plot Plan, including the Conditions of Approval applied to it, may be appealed as prescribed in Section 33-1303 of the Escondido Zoning Code. If no appeal is filed, the approval shall become final on the 11th day following the date of this letter.

This Plot Plan approval will expire two years from the date of this letter. If no building permit is obtained during this period, the approval shall be considered null and void. A one-year extension of the conditional approval may be granted, after consideration of the Director of Development Services, upon written request and submittal of the required fee prior to the expiration date.

Please be advised that if you seek judicial review of the final decision in this matter pursuant to Code of Civil Procedure section 1094.5, the time within which judicial review must be sought is governed by California Code of Civil Procedure section 1094.6.

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Please feel free to contact me at (760)-839-4537, or via email at Jpaul@escondido.org , if you have any questions.

Sincerely,

JPaul

Jay Paul
Senior Planner

Exhibits:

- A. Findings of Fact
- B. Conditions of Approval
- C. Project Plans
- D. Legal Description
- E. CEQA Notice of Exemption

cc: Adam Finestone, City Planner

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EXHIBIT A

FINDINGS OF FACT

Environmental Determinations:

1. Pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et. seq.) ("CEQA"), and its implementing regulations (14 C.C.R. § 15000 et seq.) ("CEQA Guidelines"), the City of Escondido ("City") is the Lead Agency for the project ("Project"), as the public agency with the principal responsibility for approving the Project.
2. The proposed project qualifies for an exemption from the California Environmental Quality Act (CEQA) under Section 15332, Class 32 In-fill Development Project.
3. The City Planner, or their designee, has independently considered the full administrative record before it, which includes but is not limited to materials and evidence submitted by the applicant and other interested parties, and input provided by other City departments and public agencies. No substantial evidence has been submitted that would support a finding that any above-described exemption is not applicable to the Project. The Project will not have a significant effect on the environment, and all of the requirements of CEQA have been met.

Plot Plan Findings

The City Planner, or their designee, has reviewed the record, including applicable CEQA findings, and makes the following findings for a Plot Plan Permit:

1. The proposed multi-family residential project is an allowed use within the Escondido Boulevard District of the South Centre City Specific Plan (SPA 15). The Project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Specific Planning Area provisions, and improvement standards adopted by the City.
2. The Plot Plan is granted subject to such conditions as deemed necessary to meet the standards of the use and zone in which it is located and to comply with applicable design standards.
3. The Plot Plan is granted subject to such additional conditions as deemed necessary and desirable to preserve the public health, safety and general welfare.

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EXHIBIT B

CONDITIONS OF APPROVAL

This project is conditionally approved as set forth on the application received by the City of Escondido on January 19, 2022, and the Project drawings consisting of Site Plans, Floor Plans, Sections, Architectural Elevations, Civil Sheets/Grading, Concept Landscape Plans and Colored Elevations and Perspectives; all designated as approved on July 28, 2022, and shall not be altered without express authorization by the Development Services Department.

For the purpose of these conditions, the term "Applicant" shall also include the Project proponent, owner, permittee, and the Applicant's successors in interest, as may be applicable.

A. General:

- 1. Acceptance of Permit.** If the Applicant fails to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the Applicant shall be deemed to constitute all of the following on behalf of the Applicant:
 - a.** Acceptance of the Permit by the Applicant; and
 - b.** Agreement by the Applicant to be bound by, to comply with, and to do all things required of or by the Applicant pursuant to all of the terms, provisions, and conditions of this Project Permit or other approval and the provisions of the Escondido Municipal Code or Zoning Code applicable to such Permit.
- 2. Permit Expiration.** The Permit shall be deemed expired if a building permit has not been obtained or work has been discontinued in the reliance of that building permit within two years of this approval. If no building permits are required, the City may require a noticed hearing to be scheduled before the authorized agency to determine if there has been demonstrated a good faith intent to proceed, pursuant to and in accordance with the provision of this Permit.
- 3. Certification.** The City Planner, or his/her designee, is authorized and directed to make, or require the Applicant to make, all corrections and modifications to the Project drawings and any other relevant document comprising the Project in its entirety, as necessary to make them internally consistent and in conformity with the final action on the Project. This includes amending the Project drawings as necessary to incorporate revisions made by the decision-making body and/or reflecting any modifications identified in these conditions of approval. One hard copy and one electronic copy of the final Approved Plan set demonstrating conformance with the Conditions of Approval, shall be submitted to the Planning Division for certification. Said plans must be certified by the Planning Division

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prior to submittal of any post-entitlement permit, including grading, public improvement, landscape, or building plans for the Project.

4. Conformance to Approved Plans.

- a. The operation and use of the subject property shall be consistent with the Project Description and Details of Request, designated with the Approved Plan set.
- b. Nothing in this Permit shall authorize the Applicant to intensify the authorized activity beyond that which is specifically described in this Permit.
- c. Once a permit has been issued, the Applicant may request Permit modifications. "Minor" modifications may be granted if found by the City Planner to be in substantial conformity with the Approved Plan set, including all exhibits and Permit conditions attached hereto. Modifications beyond the scope described in the Approved Plan set may require submittal of an amendment to the Permit and approval by the authorized agency.

5. Limitations on Use. Prior to any use of the Project site pursuant to this Permit, all Conditions of Approval contained herein shall be completed or secured to the satisfaction of the Development Services Department.

6. Certificate of Occupancy.

- a. No change in the character of occupancy or change to a different group of occupancies as described by the Building Code shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required, and any such change in occupancy must comply with all other applicable local and state laws.
- b. Prior to final occupancy, a Planning Final Inspection shall be completed to ensure that the property is in full compliance with the Permit terms and conditions. The findings of the inspection shall be documented on a form and content satisfactory to the City Planner.

7. Availability of Permit Conditions.

- a. Prior to grading permit issuance, the Applicant shall cause a covenant regarding real property to be recorded that sets forth the terms and conditions of this Permit approval and shall be of a form and content satisfactory to the City Planner.
- b. The Applicant shall make a copy of the terms/conditions of this Permit readily available to any member of the public or City staff upon request. Said terms and

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conditions shall be printed on any construction plans that are submitted to the Building Division for plan check processing.

- 8. Right to Entry.** The holder of this Permit shall make the premises available for inspection by City staff during construction or operating hours and allow the investigations of property necessary to ensure that minimum codes, regulations, local ordinances and safety requirements are properly followed. The Applicant shall provide such business records, licenses, and other materials necessary upon request to provide evidence of compliance with the conditions of approval, as well as federal, state, or laws.
- 9. Compliance with Federal, State, and Local Laws.** Nothing in this Permit shall relieve the Applicant from complying with conditions, performance standards, and regulations generally imposed upon activities similar in nature to the activity authorized by this permit. (Permits from other agencies may be required as specified in the Permit's Details of Request.) This Permit does not relieve the Applicant of the obligation to comply with all applicable statutes, regulations, and procedures in effect at the time that any engineering permits or building permits are issued unless specifically waived herein.

No part of this Permit's approval shall be construed to permit a violation of any part of the Escondido Municipal or Zoning Code. During Project construction and after Project completion, the Applicant shall ensure the subject land use activities covered by this Permit is conducted in full compliance with all local and state laws.

- 10. Fees.** The appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Community Development. Through plan check processing, the Applicant shall pay development fees at the established rate. Such fees may include, but not be limited to: Permit and Plan Checking Fees, Water and Sewer Service Fees, School Fees, Traffic Mitigation Fees, Flood Control Mitigation Fees, Park Mitigation Fees, Fire Mitigation/Cost Recovery Fees, and other fees listed in the Fee Schedule, which may be amended. Arrangements to pay these fees shall be made prior to building permit issuance to the satisfaction of the Development Services Department.
- 11. Community Facility District or Funding Mechanism.** The Applicant shall fund all on-going operational costs of providing municipal services required for the Project, the amount of such funding to be determined by the City Council at the time of Project approval. Such funding shall occur through either an agreement to form or annex into a Community Facilities District ("CFD") or the establishment of another lawful funding mechanism reasonably acceptable to the City ("Public Services Funding Agreement"). The provisions of the Public Services Funding Agreement shall specify any terms and limitations necessary to implement the CFD or other funding mechanism to offset the impacts to public services associated with the project. The City Manager, or

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City Manager's designee, shall be authorized to approve and execute the Public Services Funding Agreement, and the Public Services Funding Agreement shall be finalized prior to the City's issuance of any permit for the Project.

12. Public Art Partnership Program. All requirements of the Public Art Partnership Program, Ordinance No. 86-70 shall be satisfied prior to any building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.

13. Clerk Recording.

- a. Exemption.** If the environmental determination prepared for the Project is a categorical exemption, the City of Escondido hereby notifies the Applicant that the County Clerk's Office requires a documentary handling fee of \$50 in order to file a Notice of Exemption. In order to file the Notice of Exemption with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Guidelines section 15062, the Applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the Project (the final approval being the date of this letter) a certified check payable to the "County Clerk" in the amount of \$50. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the Project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations period will apply.
- b.** For more information on filing fees, please refer to the County Clerk's Office and/or the California Code of Regulations, Title 14, Section 753.5.

14. Legal Description Adequacy. The legal description attached to the application has been provided by the Applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.

15. Application Accuracy. The information contained in the application and all attached materials are assumed to be correct, true, and complete. The City of Escondido is relying on the accuracy of this information and Project-related representations in order to process this application. Any permits issued by the City may be rescinded if it is determined that the information and materials submitted are not true and correct. The Applicant may be liable for any costs associated with rescission of such permits.

16. Enforcement. If any of the terms, covenants, or conditions contained herein shall fail to occur or if they are, by their terms, to be implemented and maintained over time, the City

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of Escondido shall have the right to deny or withhold subsequent permit approvals or permit inspections that are derived from the application entitlements herein granted; issue stop work orders; pursue abatement orders, penalties, or other administrative remedies as set forth in state and local laws; or institute and prosecute litigation to compel compliance with such terms, covenants, or conditions or seek damages for their violation. The Applicant shall be notified in advance prior to any of the above actions being taken by the City and shall be given the opportunity to remedy any deficiencies identified by the City.

17. Indemnification, Hold Harmless, Duty to Defend.

- a. The Applicant shall indemnify, hold harmless, and defend (with counsel reasonably acceptable to the City) the City, its Councilmembers, Planning Commissioners, boards, commissions, departments, officials, officers, agents, employees, and volunteers (collectively, "Indemnified Parties") from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, at law or in equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with (i) any business, work, conduct, act, omission, or negligence of the Applicant or the owner of the Property (including the Applicant's or the owner of the Property's contractors, subcontractors, licensees, sublessees, invitees, agents, consultants, employees, or volunteers), or such activity of any other person that is permitted by the Applicant or owner of the Property, occurring in, on, about, or adjacent to the Property; (ii) any use of the Property, or any accident, injury, death, or damage to any person or property occurring in, on, or about the Property; or (iii) any default in the performance of any obligation of the Applicant or the owner of the Property to be performed pursuant to any condition of approval for the Project or agreement related to the Project, or any such claim, action, or proceeding brought thereon. Provided, however, that the Applicant shall have no obligation to indemnify, hold harmless, or defend the City as to any Claims that arise from the sole negligence or willful misconduct of the City. In the event any such Claims are brought against the City, the Applicant, upon receiving notice from the City, shall defend the same at its sole expense by counsel reasonably acceptable to the City and shall indemnify the City for any and all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City).

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- b. The Applicant further and separately agrees to and shall indemnify, hold harmless, and defend the City (including all Indemnified Parties) from and against any and all Claims brought by any third party to challenge the Project or its approval by the City, including but not limited to any Claims related to the Project's environmental determinations or environmental review documents, or any other action taken by the City regarding environmental clearance for the Project or any of the Project approvals. Such indemnification shall include the Applicant's payment for any and all administrative and litigation costs and expenses incurred by the City in defending against any such Claims, including payment for all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City and the Project).
- c. The City, in its sole discretion and upon providing notice to the Applicant, may require the Applicant to deposit with the City an amount estimated to cover costs, expenses, and fees (including attorney's fees) required to be paid by the Applicant in relation to any Claims referenced herein, which shall be placed into a deposit account from which the City may draw as such costs, expenses, and fees are incurred. Within 14 days after receiving written notice from the City, the Applicant shall replenish the deposit account in the amount the City determines is necessary in the context of the further defense of such Claims. To the extent such deposit is required by the City, the amount of such deposit and related terms and obligations shall be expressed in a written Deposit Account Agreement, subject to the City Attorney's approval as to form. The City, in its sole and reasonable discretion, shall determine the amount of any initial deposits or subsequent deposits of funds, and the Applicant may provide documentation or information for the City to consider in making its determinations. Nothing within this subsection shall be construed as to relieve the Applicant's obligations to indemnify, hold harmless, or defend the City as otherwise stated herein.

B. Construction, Maintenance, and Operation Obligations:

1. **Code Requirements.** All construction shall comply with the applicable requirements of the Escondido Municipal Code, Escondido Zoning Code, California Building Code; and the requirements of the Planning Division, Engineering Services Division, Director of Development Services, Building Official, City Engineer, and the Fire Chief in carrying out the administration of said codes. Approval of this Permit request shall not waive compliance with any City regulations in effect at the time of Building Permit issuance unless specifically waived herein.

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As a condition of receiving the land use approvals specified herein, Applicant shall maintain the property subject to the approvals in compliance with all applicable city codes governing the condition or appearance of property. In addition to compliance with such basic standards, the property subject to these approvals shall also be maintained free of trash, plant debris, weeds, and concrete (other than existing foundations and permanent structures). Any signs placed on the property advertising such property for sale or rent shall be in accordance with applicable laws, and be kept clean, in like-new condition, and free from fading and graffiti at all times. This condition shall be applicable from the date the land use is approved. The failure to comply with this condition shall subject the approvals specified herein to revocation for failure to comply.

2. **Agency License and Permitting.** In order to make certain on- or off-site improvements associated with the Approved Plan set, the Permit request may require review and clearance from other agencies. Nothing in these Conditions of Approval shall be construed as to waive compliance with other government agency regulations or to obtain permits from other agencies to make certain on- or off-site improvements prior to Final Map recordation, grading permit issuance, building permit issuance, or certificate of occupancy as required. This review may result in conditions determined by the reviewing agency.

At all times during the effective period of this Permit, the Applicant and any affiliated responsible party shall obtain and maintain in valid force and effect, each and every license and permit required by a governmental agency for the construction, maintenance, and operation of the authorized activity.

3. **Utilities.** All new utilities and utility runs shall be underground, or fee payment in-lieu subject to the satisfaction of the City Engineer.
4. **Signage.** All proposed signage associated with the Project must comply with Article 66 (Sign Ordinance) of the Escondido Zoning Code and the South Centre City Specific Plan. Separate sign permits will be required for Project signage. All non-conforming signs shall be removed. The Applicant shall submit with any sign permit graphic/list of all signs to be removed and retained, along with any new signage proposed.
5. **Noise.** All Project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
6. **Lighting.** All exterior lighting shall conform to the requirements of Article 35 (Outdoor Lighting Ordinance) of the Escondido Zoning Code.
7. **General Property Maintenance.** The property owner or Management Company shall maintain the property in good visual and functional condition. This shall include, but not

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be limited to, all exterior elements of the buildings such as paint, roof, paving, signs, lighting and landscaping. The Applicant shall paint and re-paint all building exteriors, accessory equipment, and utility boxes servicing the Project, as necessary to maintain clean, safe, and efficient appearances.

8. **Anti-Graffiti.** The Applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement, including all areas of the job site for when the Project is under construction.
9. **Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris. Cleaning shall include keeping all publicly used areas free of litter, trash, and garbage.
10. **Roof, Wall, and Ground Level Equipment.** All mechanical equipment shall be screened and concealed from view in accordance with Section 33-1085 of the Escondido Zoning Code.
11. **Trash Enclosures.** All appropriate trash enclosures or other approved trash systems shall be approved by the Planning and Engineering Division. The property owner or management company shall be responsible for ensuring that enclosures are easily assessable for garbage and recyclables collection; and that the area is managed in a clean, safe, and efficient manner. Trash enclosure covers shall be closed when not in use. Trash enclosures shall be regularly emptied. There shall be the prompt removal of visible signs of overflow of garbage, smells emanating from enclosure, graffiti, pests, and vermin.
12. **Staging Construction Areas.** All staging areas shall be conducted on the subject property, subject to approval of the Engineering Department. Off-site staging areas, if any, shall be approved through the issuance of an off-site staging area permit/agreement.
13. **Disturbance Coordinator.** The Applicant shall designate and provide a point-of-contact whose responsibilities shall include overseeing the implementation of Project, compliance with Permit terms and conditions, and responding to neighborhood concerns.
14. **Construction Waste Reduction, Disposal, and Recycling.** Applicant shall recycle or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste for residential projects or portions thereof in accordance with either Section 4.408.2, 4.408.3, or 4.408.4 of the California Green Building Standards Code; and/or for non-residential projects or portions thereof in accordance with either Section 5.408.1.1, 5.408.1.2, or 5.408.1.3 of the California Green Building Standards Code. In order to ensure compliance with the waste diversion goals for all residential and non-residential construction projects, the Applicant must submit appropriate documentation as described

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in Section 4.408.5 of the California Green Building Standards Code for residential projects or portions thereof, or Section 5.408.1.4 for non-residential projects or portions thereof, demonstrating compliance with the California Green Building Standards Code sections cited above.

15. **Construction Equipment Emissions.** Applicant shall incorporate measures that reduce construction and operational emissions. Prior to the City's issuance of the demolition and grading permits for the Project, the Applicant shall demonstrate to the satisfaction of the Planning Division that its construction contractor will use a construction fleet wherein all 50-horsepower or greater diesel-powered equipment is powered with California Air Resources Board ("CARB") certified Tier 4 Interim engines or equipment outfitted with CARB-verified diesel particulate filters. An exemption from this requirement may be granted if (i) the Applicant provides documentation demonstrating that equipment with Tier 4 Interim engines are not reasonably available, and (ii) functionally equivalent diesel PM emission totals can be achieved for the Project from other combinations of construction equipment. Before an exemption may be granted, the Applicant's construction contractor shall demonstrate to the satisfaction of the Director of Community Development that (i) at least two construction fleet owners/operators in San Diego County were contacted and those owners/operators confirmed Tier 4 Interim equipment could not be located within San Diego County during the desired construction schedule, and (ii) the proposed replacement equipment has been evaluated using the California Emissions Estimator Model ("CalEEMod") or other industry standard emission estimation method, and documentation provided to the Planning Division confirms that necessary Project-generated functional equivalencies in the diesel PM emissions level are achieved.
16. **Phasing.** A phasing plan shall be submitted for all projects which include more than one building. The phasing plan shall identify the order in which all on- and off-site improvements will be installed, including triggers for improvements resulting from mitigation measures placed on the project through the environmental review process or required for General Plan conformance. The plan shall also identify the order in which structures will be built and occupied, the location of construction fencing at each phase of construction, and any other means necessary to prevent conflicts between construction traffic and users of the occupied buildings. The phasing plan shall be approved by the City Planner, Building Official, City Engineer and Fire Marshal prior to the issuance of a grading permit for the project. The phasing plan shall not be modified without written consent from the City of Escondido.

C. Parking and Loading/Unloading.

1. A shown on the site plan, a minimum of 58 surface parking spaces (which includes up to 20 tandem spaces) shall be provided at all times. Covered spaces are not required for this project as allowed per Density Bonus concessions/incentives. Said parking spaces

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provided by the applicant, and any additional parking spaces provided above the required, minimum amount, shall be dimensioned per City standards and be maintained in a clean, well-marked condition. The stripping shall be drawn on the plans or a note shall be included indicating double-stripping per City standards. Each set of tandem spaces shall be specifically designated to a single unit.

2. Prior to issuance of building permits, a parking management plan shall be submitted to the Planning Division for review and approval. Said plan shall address space assignment(s), gate hours (if left open), general maintenance, signage and striping, delivery and other short-term parking allowances/requirements, guest parking, and any other issues which affect the use and maintenance of the parking areas/spaces.
 3. Parking for disabled persons shall be provided (including "Van Accessible" spaces) in full compliance with the State Building Code.
 4. In accordance with the California Green Building Standard Code, at least eight (8%) percent of the total number of required spaces shall be designated for clean air vehicles (CAV), and shall be shown on the revised site plan to the satisfaction of the Planning and Building divisions.
 5. For multi-family residential and commercial (i.e. office and retail commercial) projects, at least 10 percent of the total parking spaces provided shall be for electric vehicles, and shall be shown on the revised site plan to the satisfaction of the Planning and Building Divisions.
 6. No contractor or employee may store, or permit to be stored, a commercial or construction vehicle/truck; or personal vehicle, truck, or other personal property on public-right-of-way or other public property without permission of the City Engineer.
 7. The gated access to the Project shall be electric. All residents shall be provided with remote access for entrance to the site. An electric/magnetic loop or other appropriate device shall be installed on the interior of the site so that the gate automatically opens for exiting vehicles. The final design of the gate shall be approved by the Fire Department and include appropriate Knox and opticon devices as may be required.
- D. Landscaping:** The property owner or management company assumes all responsibility for maintaining all on-site landscaping; any landscaping in the public right-of-way adjacent to the property, including potted plants; and any retaining and freestanding walls in a manner that satisfies the conditions contained herein.
1. Landscaped areas shall be maintained in a flourishing manner. Appropriate irrigation shall be provided for all landscape areas and be maintained in a fully operational condition.

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2. All existing planting and planter areas, including areas within the public right-of-way, shall be repaired and landscaping brought into compliance with current standards. All dead plant material shall be removed and replaced by the property owner or Management Company.
3. If at the time of planning final inspection that it is determined that sufficient screening is not provided, the Applicant shall be required to provide additional landscaping improvements to the satisfaction of the Planning Division.
4. The landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
5. Failure to maintain landscaping and the site in general may result in the setting of a public hearing to revoke or modify the Permit approval.
6. **Landscaping Plans.** Applicant shall install all required improvements including screening walls, retaining walls, storm improvements, and landscaping in substantial conformance to the planting and irrigation schedule as shown on the final Approved Plan set.
 - a. A final landscape and irrigation plan shall be submitted to the Engineering Services Division for review and approval, if meeting any of the criteria listed under Section 33-1323 of the Zoning Code and the Downtown Specific Plan. Five copies of detailed landscape and irrigation plans shall be submitted to the Engineering Services Department with the second submittal of the grading plan. The initial submittal of the landscape plans shall include the required plan check fees, paid in accordance with the prevailing fee schedule in effect at the time of submittal. Details of Project fencing and walls, including materials and colors, shall be provided on the landscape plans. (Building permits may also be required.) The landscape and irrigation plans shall be reviewed and approved by the Planning Division and Engineering Services Division prior to issuance of grading permits, and shall be equivalent or superior to the conceptual landscape plans included as part of the Approved Plan set, to the satisfaction of the Planning Division. The required landscape and irrigation plans(s) shall comply with the provisions, requirements and standards outlined in Article 62 (Landscape Standards) of the Escondido Zoning Code, except where stricter requirements are imposed by the State of California.
 - b. Screening walls, retaining walls, storm improvements, and landscaping (i.e. planting and irrigation) is to be provided prior to final occupancy.
 - c. The installation of the landscaping and irrigation shall be inspected by the Project landscape architect upon completion. He/she shall complete a Certificate of

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Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The Applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.

- d. Any new freestanding walls and/or retaining walls shall incorporate decorative materials or finishes (stucco-finished, decorative/split-face blocks, etc.), and shall be indicated on the landscaping plans. (Building permits may also be required.) All freestanding walls visible from points beyond the Project site shall be treated with a protective sealant coating to facilitate graffiti removal. The sealant shall be a type satisfactory to the City Planner.
- e. New or retrofitted trash enclosures shall accommodate vertical climbing plants, vines with support trellis panels, clinging non-deciduous or fast-growing shrubbery that will screen the enclosures' wall surface. The City Planner shall find that the proposed landscaping design, material, or method provides approximate equivalence to the specific requirements of this condition or is otherwise satisfactory and complies with the intent of these provisions.
- f. Any landscaping that is damaged or destroyed as a result of the Project shall be repaired and/or replaced, to the satisfaction of the Planning Division.
- g. Any trees removed as part of the Project shall be replaced elsewhere on the Project site, and shall be shown on the revised site plan.
- h. Appropriate screening landscaping shall be required around any transformers and shall be shown on the site plan and to the satisfaction of the Planning Division.
- i. Landscaping within the street/public right-of-way shall be installed and maintained by the adjacent property owner.

E. Specific Planning Division Conditions:

1. No utilities shall be released for any purpose or Certificate of Occupancy issued until all requirements of the Planning and Building Divisions, Fire Department and Engineering Services Division have been completed.
2. Building plans, prepared by a licensed design professional, must be submitted for the Project and must comply with the building and fire codes in effect at the time of building plan submittal.
3. The plans submitted for building permit shall include notes or details containing the necessary work involved in complying with these Project conditions.

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4. 5 residential units shall be deed restricted to households qualifying as very-low income rents per state policy.
5. The screening of roof-mounted, ground-mounted, or wall-mounted mechanical equipment and devices is required in accordance with Section 33-1085 of the Escondido Zoning Code.
6. The building, architecture, colors and materials, and conceptual landscaping shall be in substantial conformance with the Plot Plan exhibits attached as Exhibit "D" and on-file with the Planning Division, except as modified by these conditions of approval. Minor modifications may be approved by the City Planner. Major modification will require a modification to the Plot Plan in accordance with Article 61. The final design of the western screen wall, pedestrian entry gate/trellis, street frontage landscape design, vehicular access gate and western building elevation and stairs shall be approved by the Planning Division prior to the submittal of grading and building plans for the Project.
7. Permitted animals/pets shall be allowed in conformance with those identified in the Escondido Zoning Code for R-4 zoned properties (pursuant to Article 57), unless more restrictive standards are applied by the property owner.
8. Balconies and patios shall be kept in a neat and orderly manner. Items stored on balconies should be kept out of view or properly screened. Items shall not be hung over, across or on balconies or patios (such a towels, clothing, etc.).

F. Housing and Neighborhood Services Conditions:

1. The Project shall provide a minimum of 5 dwelling units for very-low income households (those earning less than 50 percent of the Area Median Income for the San Diego-Carlsbad-San Marcos MSA). Prior to issuance of a building permit, the developer shall sign a binding affordable housing agreement with the City, which will set forth the conditions and guidelines to be met in the implementation of Density Bonus Law requirements and any other applicable requirements (Within the affordable housing agreement, the developer will be responsible for annual recertification of household income qualifications and compliance with rent limits). The agreement will also establish specific compliance standards and remedies available to the City upon failure by the developer to restrict units to target households for the prescribed time period (55 years for all target units as described in Government Code section 65915(c)). Income qualified households will be monitored by the City of Escondido Housing and Neighborhood Services Division for the duration of the affordability period. Monitoring fees will be applied per the affordable housing agreement.
2. All affordability agreements shall run with the land and be binding on the applicant and its heirs, transferees, assigns, successors, administrators, executors, and other representatives, and recorded on the applicable property for the requisite period of time.

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G. General Building Division Conditions: Building plans must be submitted for the Project. These comments are preliminary only. A comprehensive plan check will be completed prior to permit issuance and additional technical code requirements may be identified and changes to the originally submitted plans may be required.

1. The applicant shall submit a complete set of construction plans to the Development Services Department for building permit plan check processing. The submittal shall include a Soils/Geotechnical Report, structural calculations, and State Energy compliance documentation (Title 24). Construction plans shall include a site plan, a foundation plan, floor and roof framing plans, floor plan(s), section details, exterior elevations, and materials specifications. Submitted plans must show compliance with the latest adopted editions of the California Building Code (The International Building Code with California Amendments, the California Mechanical, Electrical and Plumbing Codes). Commercial and Multi-residential construction must also contain details and notes to show compliance with State disabled accessibility mandates. These comments are preliminary only. A comprehensive plan check will be completed prior to permit issuance, additional technical code requirements may be identified, and changes to the originally submitted plans may be required.

H. General Fire Division Conditions:

1. Fire underground line, fire sprinkler, and fire alarm plans shall be a deferred submittal to the Escondido Fire Department. An approved paved access and adequate water supply shall be provided prior to any combustible being brought to the site. FDC and hydrant placement shall be approved by the Escondido Fire Department.

I. General Engineering Division Conditions:

1. The applicant shall provide the City Engineer with a Title Report covering subject property.
2. The location of all existing on-site and adjacent utilities and storm drain facilities shall be determined by the Developer's engineer. If a conflict occurs with the proposed Project or improvements, arrangements for relocation of the conflicting utilities/facilities shall be made with the owner of the utility/facility prior to approval of the Grading Plans. This utility/facility relocation work shall be completed prior to issuance of Building Permits.
3. Improvement plans prepared by a Civil Engineer, required for all public street, utility, and storm drain improvements, and Grading/Private Improvement plans prepared by Civil Engineer, required for all grading, drainage and private onsite improvement design, shall be submitted for review through the City's virtual plan review portal as a single package containing all items on the Engineering Initial Submittal Checklists. Landscaping Plans shall be prepared by a Landscape Architect.
4. The Developer shall post securities in accordance with the City prepared Bond and Fee Letter based on a final Engineer's Estimate of Grading and Improvements Cost prepared by the project engineer. The Developer is required to provide a Cash Clean Up deposit for all grading, landscaping, private Improvements and onsite drainage improvements prior to approval of Grading Plans and issuance of Grading Permit. This Cash Clean Up Deposit

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amount shall be 10 percent of the total cost of the Project private improvements, drainage and landscaping. The Developer is required to provide Performance (100 percent of total public improvement cost estimate), Labor and Material (50 percent of total public improvement cost estimate) and Guarantee and Warranty (10 percent of total public improvement cost estimate) bonds for all public improvements prior to approval of the Improvement Plans and issuance of Building Permits. All improvements shall be completed prior to issuance of a Certificate of Occupancy.

5. As surety for the construction of required off-site and/or on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the Developer with the City of Escondido prior to the approval of any Grading Plan, Improvement Plan, or Building Permit.
6. If site conditions change adjacent to the proposed development prior to completion of the Project, the developer will be responsible to modify the improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
7. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.

Street Improvements and Traffic

1. The project's access drive shall be constructed as an alley-type driveway apron with a minimum throat width of 24-feet and a driveway apron with a 4-foot minimum ADA path of travel maintained near the R/W line to the satisfaction of the City Engineer.
2. All on-site driveways, and parking areas will be private. Typical sections and design details shall be to the satisfaction of the City Engineer and Community Development Director.
3. All unused driveways shall be removed and replaced with full height curb and gutter and sidewalk in accordance with City standards.
4. The Developer shall be responsible for an overlay of South Escondido Blvd. due to the many utility trenches necessary to serve this project. The determination of the extent of the overlay shall be to the satisfaction of the City Engineer.
5. The Developer shall remove and replace all damaged sidewalk, curb and gutter, along all project frontages to the satisfaction of the City Engineer prior to issuance of a Certificate of Occupancy.
6. The Developer's engineer shall prepare and submit for approval by the City Engineer a complete final Signing and Striping plan for all improved and modified roadways. The Developer will be responsible for removal of all existing and the construction of all new signing and striping in compliance with the current CA MUTCD standards and to the satisfaction of the City Engineer.

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7. The Developer shall repaint all pavement striping and markings adjacent to the project that have been damaged and prematurely faded due to project construction traffic to the satisfaction of the City Engineer.
8. Adequate horizontal sight distance shall be provided at all driveways. Increased parkway widths, open space easements, and restrictions on landscaping may be required at the discretion of the City Engineer.
9. Pedestrian access routes meeting current ADA requirements shall be provided into the project to the satisfaction of the City Engineer and City Building Official.
10. All gated entrances shall be approved by the City Engineer, Building Official, and the Fire Marshal.
11. The Developer will be required to provide a detailed detour and traffic control plan, for all construction and staging activities, and any requested materials placement within existing rights-of-way to the satisfaction of the City Engineer. This plan shall include any proposed sidewalk closures and provide for alternate pedestrian access around the project site. This plan shall be approved prior to the issuance of an Encroachment Permit for construction or other project activities within the public right-of-way.
12. The Developer shall install trash capture devices on existing storm drain inlets along the project's frontage to the satisfaction of the City Engineer.
13. The installation of all utilities and facilities (green street tree wells, fire hydrant, transformers, etc.) shall be constructed at the ultimate location and to the satisfaction of the City Engineer.

Grading and Site Improvements

1. A site grading and erosion control plan prepared by a registered Civil Engineer shall be approved by the Engineering Department prior to issuance of building permits. The first submittal of the grading plan shall be accompanied with a copy of the preliminary soils and geotechnical report. The Soils Engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
2. All private driveways and parking areas shall be paved with a minimum of 3-inch asphalt concrete (AC) over 6-inch of asphalt Base (AB) or 7-inch Portland Concrete Cement (PCC) over 6-inch AB. All paved areas exceeding 15 percent slope or less than 1.0 percent shall be paved with PCC.
3. Any proposed retaining walls not a part of the building foundations or stem walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils Engineer shall state on the plans that the proposed retaining wall design is in conformance with the recommendations and specifications as outlined in the Geotechnical report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by Regional or City Standard Drawings. Stem walls, foundation structures, or deepened footings that are to be

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constructed as part of a building structure will be permitted as part of the Building Dept. plan review and permit process.

4. The Developer will be required to obtain permission from adjoining property owners for any off-site grading or work necessary to construct the project and/or the required improvements.
5. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The Developer shall be responsible for maintaining all erosion control facilities throughout the project.
6. The Developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
7. A Construction General Permit is required from the State Water Resources Control Board for all storm water discharges associated with a construction activity where clearing, grading, and excavation results in a land disturbance of one or more acres.
8. All existing foundations, structures, trees not otherwise noted to remain or be relocated shall be removed or demolished from the site.
9. All driveway grades shall conform to current Escondido Design Standards and Escondido Standard Drawings.

Drainage

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on a drainage study to be prepared by the Engineer of Work. The drainage study shall be in conformance with the City of Escondido Design Standards.
2. All on-site storm drains not in public easements are private. The responsibility for maintenance of these storm drains shall be that of the property owner.
3. The Project shall limit drainage flows to their pre-construction rates. Details and calculations for the detention basin or on-site storage shall be submitted and approved as part of the grading plan check.
4. A Storm Water Quality Management Plan (SWQMP) in compliance with the City's latest adopted Storm Water Design Manual shall be prepared for all newly created or replaced onsite impervious areas, impervious frontage, and required offsite improvements. The SWQMP shall be submitted for approval with the final improvement and grading plans. The SWQMP shall include treatment calculations, post-construction storm water treatment measures, and maintenance requirements and responsibilities both for onsite treatment and also any "Green Street" facilities located in the public right-of-way. The SWQMP shall demonstrate how proposed proprietary best management practices meet bio-filtration treatment requirements in accordance with the City's Storm Water Design Manual.

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5. All site drainage with emphasis on the roadway, parking, and driveway areas shall be treated to remove expected contaminants using a high efficiency non-mechanical method of treatment. The City highly encourages the use of bio-retention areas as the primary method of storm water retention and treatment. The landscape plans will need to reflect these areas of storm water treatment.
6. The Developer will be required to have the current owner of the property sign, notarize, and record a Storm Water Control Facility Maintenance Agreement.
7. All storm water treatment and retention facilities and their drains including the bio-retention basins and planters, any permeable paver areas shall be considered private. The responsibility for maintenance of these post construction storm water treatment facilities shall be that of the property owner.
8. The Developer's engineer shall design and the Developer shall construct any permeable surfaces proposed for the Project to the specifications of the County of San Diego Green Streets manual in effect at the time the grading permits are issued. All permeable surfaces within the Project footprint that are subject to vehicular traffic shall be designed for H20 loading.
9. The project owner shall perpetually maintain all permeable surfaces in accordance to the standards established by the County of San Diego Green Streets manual in effect at the time the grading permits are issued. City shall have the right to inspect all permeable surfaces as needed to ensure they function as designed. City shall have the right to require qualified third-party testing at the property owner's expense when surface failure is suspected. Contractor qualifications are outlined in the County of SD Green Streets manual. The project owner will be required to repair or reinstall the permeable surface for all failing surfaces to County of SD Green Streets manual standards in place at the time of the grading permit. In the event of failure to maintain the permeable pavers system that result in not functioning as designed, the project owner will be responsible to replace the pervious pavers system with an alternate method of storm water treatment system or will be required to transition the project to a priority storm water development project by complying with the applicable requirements, including development of a Storm Water Quality Management Plan and the installation of structural best management practices.

Water Supply

1. All water main locations and sizing shall be to the satisfaction of the City Engineer and Utilities Engineer. The developer is required at their sole expense to design and construct an 8-inch waterline extension in the driveway. The water main extension shall connect to the existing 12-inch AC water main located in S. Escondido Blvd. Construction of the water main and related appurtenances shall be in accordance with the Standards and Specifications of the City of Escondido. A minimum 20-foot public utility easement shall be provided for all proposed water mains. There shall be no permanent structures located within the public utility easement.
2. All water services, detector check assemblies, and other water appurtenances shall be designed and installed at locations required and approved by the Director of Utilities. All new

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water main locations and sizing shall be to the satisfaction of the City Engineer and, in accordance with the current City of Escondido Design Standards and Standard Drawings and to the satisfaction of the Utilities Engineer.

3. Fire hydrants and/or fire protection together with an adequate water supply shall be installed at locations approved by the Fire Marshal. On-site fire hydrants located by the Fire Marshal may require water main looping.
4. A fire suppression sprinkler system shall be designed and constructed per current City of Escondido Design Standards and Standard Drawings and per the requirements of the Fire Marshal.
5. Water meters and back flow prevention devices shall not be installed within a driveway apron or private drive areas.
6. A minimum 1-inch water meter, 1-inch water service and backflow prevention device shall be required for domestic water supply per City of Escondido Design Standards and Standard Drawings. All on-site water lines and backflow prevention devices not in public easements or the City's Right of Way shall be considered a private water system. The Property Owner will be solely responsible for all maintenance of these water lines and facilities.
7. The Developer shall disconnect at the public main, all water services and fire hydrant laterals to be abandoned, to the satisfaction of the Utilities Engineer and Water Distribution Department.
8. Any water meter and fire hydrant services to be replaced, reconnected or relocated as a part of this project shall be replaced in entirety from the public water main to the public water meter and/or fire hydrant per the satisfaction of the Utilities Engineer and Water Distribution.
9. There shall be no permanent structures located within the City's Public Utilities Easements.
10. No trees or deep-rooted plants shall be planted within 10-feet of any water service.

Sewer

1. A private 6-inch minimum (PVC) sewer lateral with a standard clean-out within 18-inches of the Public Utilities Easement or right-of-way shall be constructed for the project and shown on the Improvement and Grading plans. Sewer laterals less than 8-inches in diameter shall connect to the sewer main with a wye fitting or Inserta-Tee. 8-inches in diameter sewer laterals shall be connected to the public sewer at a manhole.
2. All sewer laterals shall be constructed per current City of Escondido Design Standards and Standard Drawings and per the current Uniform Plumbing Code.
3. No trees or deep-rooted bushes shall be planted within 15-feet of any sewer main or within 10-feet of any sewer lateral. Sewer laterals shall be 5-feet horizontally clear from other utilities.

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4. All abandoned sewer laterals shall be removed or capped at the property line and so noted on the improvement plans to the satisfaction of the Utilities Engineer.
5. All sewer lateral(s) and grease traps shall be considered a private sewer system. The Property Owner will be responsible for all maintenance of the sewer lateral(s) and system to the sewer main.

Landscape

1. A site landscaping and irrigation plan shall be submitted to the Engineering Department with the second submittal of the grading plan for review and approval by Engineering Services Division and Planning Division. The initial submittal of the landscape plans shall include the required plan check fees.

Easement and Dedications

1. All easements, both private and public, affecting subject property shall be shown and delineated on the Grading and Improvement Plans.
2. Public waterline easements for water which are deemed necessary by the City Engineer shall be granted to the City. The initial submittal of the plat and legal shall include the required Public Waterline Easement fee in effect at the time of the submittal.
3. The Developer is responsible for making the arrangements quitclaim all easements of record which conflict with the proposed development prior to approval of the Grading plans and Building Permits. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to approval of the Grading plans and Building Permits. Building permits will not be issued for lots in which construction will conflict with existing easements or utilities, nor will any securities be released until the existing easements are quitclaimed.

Material necessary for processing a dedication or easement shall include: a current grant deed or title report, a legal description and plat of the dedication or easement signed and sealed by a person authorized to practice land surveying (document size) and traverse closure tapes. The City will prepare all final public documents. The initial submittal of the plat and legal shall include the required Dedication fee in effect at the time of the submittal.

Citywide Community Facilities District (CFD)

1. In accordance with the General Plan, the applicant shall offset the cost of public services through an approved funding mechanism. The applicant has indicated their intent to meet this requirement through annexation to the Citywide Community Facilities District (CFD). The applicant shall submit a complete Annexation Application, Unanimous Approval signed by the property owner, a title report issued within the last 30-days, and processing fees to the Engineering Department prior to the first submittal of the Building Permit. The Annexation

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Application and the Unanimous Approval forms are available on the following webpage:
<https://www.escondido.org/community-facilities-districts>

Fees

1. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading, drainage, landscaping, and best management practices items of work with a minimum of \$5,000 up to a maximum of \$50,000, unless a higher amount is deemed necessary by the City Engineer.
2. The developer shall be required to pay all development fees of the City then in effect at the time, and in such amounts as may prevail when building permits are issued.

Utility and Undergrounding and Relocation

1. The Developer shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.

Surveying and Monumentation

1. All property corners shall be monumented by a person authorized to practice land surveying and a Record of Survey (or Corner Record if appropriate) shall be recorded.

EXHIBIT C

Project Plans

SOUTH ESCONDIDO APARTMENTS

CITY OF ESCONDIDO PLOT PLAN REVIEW & DENSITY BONUS APPLICATION

1600 S. ESCONDIDO BLVD, ESCONDIDO, CA 92025

fieldstudio
ARCHITECTS & PLANNERS

SOUTH ESCONDIDO Apartments

1600 S. ESCONDIDO BLVD, ESCONDIDO CA 92025

PROJECT NAME:

SPRINKLE EQUITY PARTNERS, LLC
1600 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

PROJECT TIME:

ARCHITECT:
FIELDSTUDIO
1600 S. ESCONDIDO BLVD #405
ESCONDIDO, CA 92025
SPRINKLE EQUITY PARTNERS, LLC
1600 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025
GENERAL ENGINEER:
QUALLS ENGINEERING
4403 MANCHESTER AVE, SUITE 200
ESCONDIDO, CA 92024
CIVIL ENGINEER:
K&S ENGINEERING, INC.
10150 MEANLEY DRIVE, SUITE 100
SAN DIEGO, CA 92131
LANDSCAPE ARCHITECT:
NEW LANDSCAPE ARCHITECTURE
428 HORNBLAND ST., SUITE 3
SAN DIEGO, CA 92109
MEP ENGINEER:
STRUTTS & WALL
1810 BALDWIN WAY #207
EL CAJON, CA 92020
GEOTECHNICAL ENGINEER:
CHRISTIAN WHEELER ENGINEERING
2800 JOSE AVENUE
SAN DIEGO, CA 92105
MECHANICAL & PLUMBING ENGINEER:
SPRINKLE EQUITY PARTNERS, LLC
10150 MEANLEY DRIVE, SUITE 100
SAN DIEGO, CA 92131

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PROJECT TEAM:	PROPERTY INFO:	DEVELOPMENT SUMMARY:	SHEET INDEX:	GENERAL NOTES:
<p>OWNER/APPLICANT: SPRINKLE EQUITY PARTNERS, LLC 1600 S. ESCONDIDO BLVD ESCONDIDO, CA 92025 ASSessor'S PARCEL NO. (APN): 236-465-16-00 kam@sprinkleco.com (651) 331-6669</p> <p>ARCHITECT: FIELDSTUDIO 2033 SAN ELIJO AVE #403 ESCONDIDO, CA 92027 ATTN: SCOTT WAAS, ARCHITECT scott@fieldstudio.com (651) 755-9212</p> <p>LEGAL DESCRIPTION: LOT 1, BLOCK 258, CITY OF ESCONDIDO, RANCHO RINCON DEL DABLO SUBDIVISION, TRACT #725, MAP 725</p> <p>ZONE: S-P SOUTH CENTRE CITY SPECIFIC PLAN ESCONDIDO BLVD DISTRICT OVERLAY ZONES: ESCONDIDO MIXED-USE OVERLAY REQUIRED ENTITLEMENTS: PLOT PLAN REVIEW DENSITY BONUS APPLICATION</p> <p>STRUCTURAL ENGINEERING: 4403 MANCHESTER AVE #203 ENCINITAS, CA 92024 (760) 655-9257</p> <p>LANDSCAPE ARCHITECT: NER LANDSCAPE ARCHITECTURE 525 HORNBLAND SUITE #3 SAN DIEGO, CA 92109 (619) 354-0701</p> <p>MECHANICAL & PLUMBING ENGINEER: SPRINKLE EQUITY PARTNERS, LLC 10150 MEANLEY DRIVE SUITE 300 SAN DIEGO, CA 92131 (619) 755-2157</p> <p>DRY UTILITIES: ENGINEERING PARTNERS INC. 4500 MEANLEY DRIVE SUITE 300 SAN DIEGO, CA 92131</p> <p>GEOTECHNICAL: CHRISTIAN WHEELER ENGINEERING 2800 JOSE AVENUE SAN DIEGO, CA 92105 (619) 550-1741</p>	<p>SITE ADDRESS: 1600 S. ESCONDIDO BLVD ESCONDIDO, CA 92025 ASSessor'S PARCEL NO. (APN): 236-465-16-00</p> <p>LOT AREA: 46,857 sf (1.07-acre) GROSS/NET</p> <p>LEGAL DESCRIPTION: LOT 1, BLOCK 258, CITY OF ESCONDIDO, RANCHO RINCON DEL DABLO SUBDIVISION, TRACT #725, MAP 725</p> <p>ZONE: S-P SOUTH CENTRE CITY SPECIFIC PLAN ESCONDIDO BLVD DISTRICT OVERLAY ZONES: ESCONDIDO MIXED-USE OVERLAY REQUIRED ENTITLEMENTS: PLOT PLAN REVIEW DENSITY BONUS APPLICATION</p>	<p>PROJECT DESCRIPTION: CONSTRUCTION OF 48-UNIT APARTMENT BUILDINGS AND A SURFACE PARKING LOT PROVIDING 58 PARKING STALLS. THIS PROJECT INCLUDES AN APPLICATION FOR DENSITY BONUS.</p> <p>EXISTING LAND USE: COMMERCIAL/RETAIL</p> <p>PROPOSED LAND USE: RESIDENTIAL</p> <p>BUILDING HEIGHTS/STORIES: ALLOWABLE: 45'</p> <p>SETBACKS: FRONT SETBACK: 15' MIN. FROM CURB LINE, OR 5' FROM PL. WHICHEVER IS GREATER. 8' STEP BACK AT 3RD STORY AND ABOVE</p> <p>INTERIOR SIDE SETBACK: 15' AT FIRST STORY, 8' STEP BACK AT 2ND STORY AND ABOVE</p> <p>DENSITY CALCULATION: BASE DENSITY: 12.6 TO 30.0 UNITS/AC 30 X 1.07 = 32.1, ROUND UP TO 33 15% VERY LOW INCOME: .15 X 33 = 4.95, ROUND UP TO 5 50% DENSITY BONUS 33 X .50 = 16.5, ROUND UP TO 17 50 UNITS TOTAL ALLOWED INCLUDING 5 VERY LOW INCOME 48 UNITS PROPOSED (INCLUDING 5 VERY LOW INCOME) "REFER TO DENSITY BONUS APPLICATION FOR 3 INCENTIVES"</p> <p>REQUESTED DEVELOPMENT INCENTIVES & WARRANTY OF DEVELOPMENT STANDARDS: DEVELOPMENT INCENTIVES: 1. RESERVED 2. RESERVED 3. RESERVED WARRANTY OF STANDARDS: 1. REDUCE REQUIRED OPEN SPACE 2. REDUCE STORAGE REQUIREMENTS 3. REDUCE REAR YARD SETBACK TO 13.5' 4. NO 3RD FLOOR STEP BACK AT REAR YARD</p> <p>AREA CALCULATIONS: EXISTING COMMERCIAL BUILDING AREA: 5,588 sf PROPOSED FLOOR AREA: 38,334 sf REFER TO SHEET A0.01 FOR DETAILED AREA CALCULATIONS</p> <p>FLOOR AREA RATIO: N/A</p> <p>BUILDING LOT COVERAGE: N/A</p> <p>OCCUPANCY GROUPS: R-2 RESIDENTIAL</p> <p>PROPOSED CONSTRUCTION TYPE: TYPE V-A. WOOD FRAMED</p> <p>FIRE SPRINKLER: NFPA 13</p>	<p>PARKING ANALYSIS: REQUIRED PARKING SPACES: AFFORDABLE HOUSING: PER 33-1415 (MAY BE TANDEM OR UNCOVERED) 1 SPACE PER UNIT ONE-BEDROOM: 15, 1 + 1 = 15 TWO-BEDROOM: 30, 1 + 1 = 30 TOTAL = 48 SPACES TANDEM, WHICH WILL BE ASSIGNED TO 2-BEDROOM UNITS)</p> <p>EV PARKING: 10% X 58 = 6 SPACES</p> <p>BICYCLE PARKING: TOTAL PROVIDED: 58 SPACES (INCLUDING 10 TANDEM, WHICH WILL BE ASSIGNED TO 2-BEDROOM UNITS)</p> <p>TRIP GENERATION: 12 BICYCLE SPACES PROVIDED</p> <p>TRIP GENERATION: PROPOSED: APARTMENT: 388 ADT EXISTING: 15 AT FIRST STORY, 8' STEP BACK AT 2ND STORY AND ABOVE STANDARD COMMERCIAL OFFICE: 111.8 ADT TOTAL NEW TRIPS: 176.2 ADT "REFER TO TRIP GENERATION TABLE"</p>	<p>AL00 TITLE SHEET AL01 PLAN CALCULATIONS S001 CONCEPTUAL GRADING PLAN S002 CONCEPTUAL GRADING PLAN S003 BMP PLAN S004 TOPOGRAPHIC SURVEY L001 SCHEMATIC LANDSCAPE PLAN L002 SCHEMATIC PLANTING SCHEDULE L003 SCHEMATIC LANDSCAPE MATERIALS L004 SCHEMATIC LANDSCAPE MATERIALS A001 ARCHITECTURAL A002 1600 S FLOOR PLAN - LEVEL 01 A003 1600 S FLOOR PLAN - LEVEL 02 A004 1600 S FLOOR PLAN - LEVEL 03 A005 1600 S FLOOR PLAN - LEVEL 04 A006 1600 S FLOOR PLAN - LEVEL 05 A007 1600 S FLOOR PLAN - LEVEL 06 A008 1600 S FLOOR PLAN - LEVEL 07 A009 1600 S FLOOR PLAN - LEVEL 08 A010 1600 S FLOOR PLAN - LEVEL 09 A011 1600 S FLOOR PLAN - LEVEL 10 A012 1600 S FLOOR PLAN - LEVEL 11 A013 1600 S FLOOR PLAN - LEVEL 12 A014 1600 S FLOOR PLAN - LEVEL 13 A015 1600 S FLOOR PLAN - LEVEL 14 A016 1600 S FLOOR PLAN - LEVEL 15 A017 1600 S FLOOR PLAN - LEVEL 16 A018 1600 S FLOOR PLAN - LEVEL 17 A019 1600 S FLOOR PLAN - LEVEL 18 A020 1600 S FLOOR PLAN - LEVEL 19 A021 1600 S FLOOR PLAN - LEVEL 20 A022 1600 S FLOOR PLAN - LEVEL 21 A023 1600 S FLOOR PLAN - LEVEL 22 A024 1600 S FLOOR PLAN - LEVEL 23 A025 1600 S FLOOR PLAN - LEVEL 24 A026 1600 S FLOOR PLAN - LEVEL 25 A027 1600 S FLOOR PLAN - LEVEL 26 A028 1600 S FLOOR PLAN - LEVEL 27 A029 1600 S FLOOR PLAN - LEVEL 28 A030 1600 S FLOOR PLAN - LEVEL 29 A031 1600 S FLOOR PLAN - LEVEL 30 A032 1600 S FLOOR PLAN - 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LEVEL 410 A412 1600 S FLOOR PLAN - LEVEL 411 A413 1600 S FLOOR PLAN - LEVEL 412 A414 1600 S FLOOR PLAN - LEVEL 413 A415 1600 S FLOOR PLAN - LEVEL 414 A416 1600 S FLOOR PLAN - LEVEL 415 A417 1600 S FLOOR PLAN - LEVEL 416 A418 1600 S FLOOR PLAN - LEVEL 417 A419 1600 S FLOOR PLAN - LEVEL 418 A420 1600 S FLOOR PLAN - LEVEL 419 A421 1600 S FLOOR PLAN - LEVEL 420 A422 1600 S FLOOR PLAN - LEVEL 421 A423 1600 S FLOOR PLAN - LEVEL 422 A424 1600 S FLOOR PLAN - LEVEL 423 A425 1600 S FLOOR PLAN - LEVEL 424 A426 1600 S FLOOR PLAN - LEVEL 425 A427 1600 S FLOOR PLAN - LEVEL 426 A428 1600 S FLOOR PLAN - LEVEL 427 A429 1600 S FLOOR PLAN - LEVEL 428 A430 1600 S FLOOR PLAN - LEVEL 429 A431 1600 S FLOOR PLAN - LEVEL 430 A432 1600 S FLOOR PLAN - LEVEL 431 A433 1600 S FLOOR PLAN - LEVEL 432 A434 1600 S FLOOR PLAN - LEVEL 433 A435 1600 S FLOOR PLAN - LEVEL 434 A436 1600 S FLOOR PLAN - LEVEL 435 A437 1600 S FLOOR PLAN - LEVEL 436 A438 1600 S FLOOR PLAN - LEVEL 437 A439 1600 S FLOOR PLAN - LEVEL 438 A440 1600 S FLOOR PLAN - 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LEVEL 497 A499 1600 S FLOOR PLAN - LEVEL 498 A500 1600 S FLOOR PLAN - LEVEL 499 A501 1600 S FLOOR PLAN - LEVEL 500 A502 1600 S FLOOR</p>

**SOUTH
ESCONDIDO**
Apartments
1930 S. ESCONDIDO BLVD

ESCONDIDO CA 92025
City of Escondido Project ID: PL22-0002
PROPERTY OWNER:
SPINZONE EQUITY PARTNERS, LLC
7600 S. ESCONDIDO BLVD
ESCONDIDO CA 92025

PROJECT TEAM

ARCHITECT:
FIELDSTUDIO
2033 SAN ELLIO AVE #43
CARROUSEL BY THE SEA, CA 90007

STRUCTURAL ENGINEER:
QUALLS ENGINEERING
4401 MARCHESTER AVE, SUITE 203
MONTANA, CA 92034

CIVIL ENGINEER:
K & S ENGINEERING, INC.
1801 MISSOURI CENTER COURT, SUITE 100

LANDSCAPE ARCHITECT
NEW LANDSCAPE ARCHITECTURE
520 HOMERD ST. SUITE 3
SAN DIEGO, CA 92109

M/E/P ENGINEER
H + W ENGINEERING, INC.
1810 GILLESPIE WAY #201
BEL CAIRN, CA 92020

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
3900 HOME AVENUE
SAN DIEGO, CA 92106

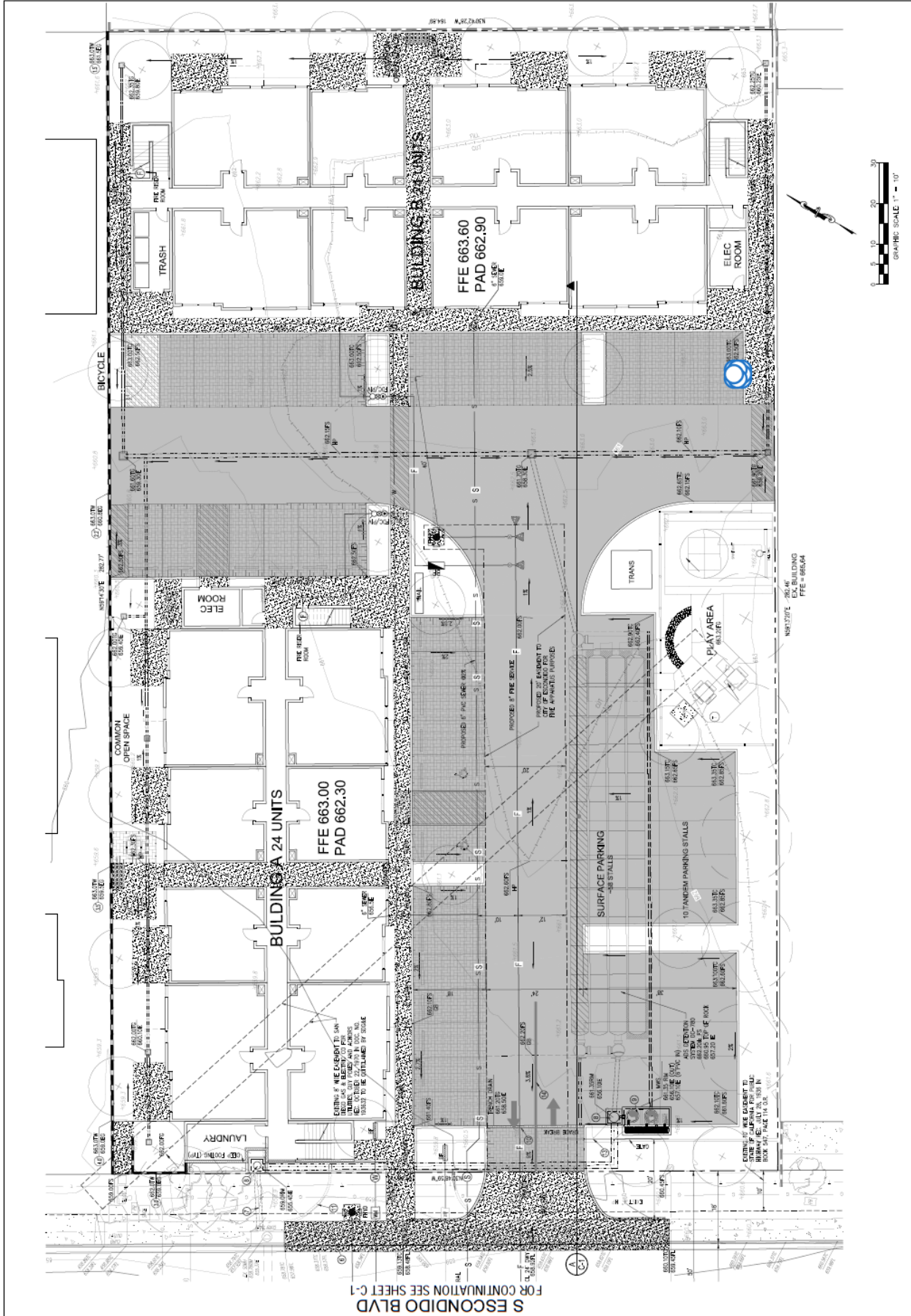
ENV UTILITIES
ENGINEERING PARTNERS, INC.
10150 MEADLEY DRIVE, SUITE 200
SAN DIEGO, CA 92131

[illegible]

— **QUESTIONS**

CONCEPTUAL GRADING PLAN

C-2



PLAN



**SOUTH
ESCONDIDO
Apartments**
10000 S. ESCONDIDO BLVD.
ESCONDIDO, CA 92026
TEL: (951) 295-5544
FAX: (951) 295-5544

SPRINKLER SYSTEMS, INC.
10000 S. ESCONDIDO BLVD.
ESCONDIDO, CA 92026
TEL: (951) 295-5544
FAX: (951) 295-5544

PROJECT TEAM
ARCHITECTS:
K&S ENGINEERING, INC.
10000 S. ESCONDIDO BLVD.
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FAX: (951) 295-5544

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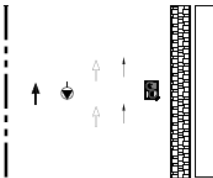
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LEGEND:
ITEM
SOURCE MANAGEMENT AND
LANDSCAPE
ROOF DRAINAGE
DRAINAGE DRAINAGE (PIPE)
DRAINAGE DRAINAGE (SURFACE)
PROPOSED INFILTRATION (IP-3)
ROOF INFILTRATION
LANDSCAPE INFILTRATION
STORM DRAIN INFILTRATION



BMP STRUCTURAL BMP TYPE

PROPOSED INFILTRATION (IP-3)

UNDERLYING HYDROLOGIC SOIL GROUP

THE SOIL TYPE IS CLASSIFIED AS TYPE III, SANDY LOAM, SILT, CLAY, PER MEAS. 40% SAND, 40% SILT, 20% CLAY.

GROUNDWATER

THE GROUNDWATER TABLE IS LOCATED AT THE BOTTOM OF THE SITE, PER MEAS. 40% SAND, 40% SILT, 20% CLAY.

EXISTING NATURAL HYDROLOGIC FEATURES

THE GROUNDWATER TABLE IS LOCATED AT THE BOTTOM OF THE SITE, PER MEAS. 40% SAND, 40% SILT, 20% CLAY.

CRITICAL COARSE SEDIMENT YIELD AREAS

THE GROUNDWATER TABLE IS LOCATED AT THE BOTTOM OF THE SITE, PER MEAS. 40% SAND, 40% SILT, 20% CLAY.

WATERSHED HYDROLOGIC UNIT

THE GROUNDWATER TABLE IS LOCATED AT THE BOTTOM OF THE SITE, PER MEAS. 40% SAND, 40% SILT, 20% CLAY.

LOT AREA

1.07 ACRES 46,832 SF

DISTURBED AREA

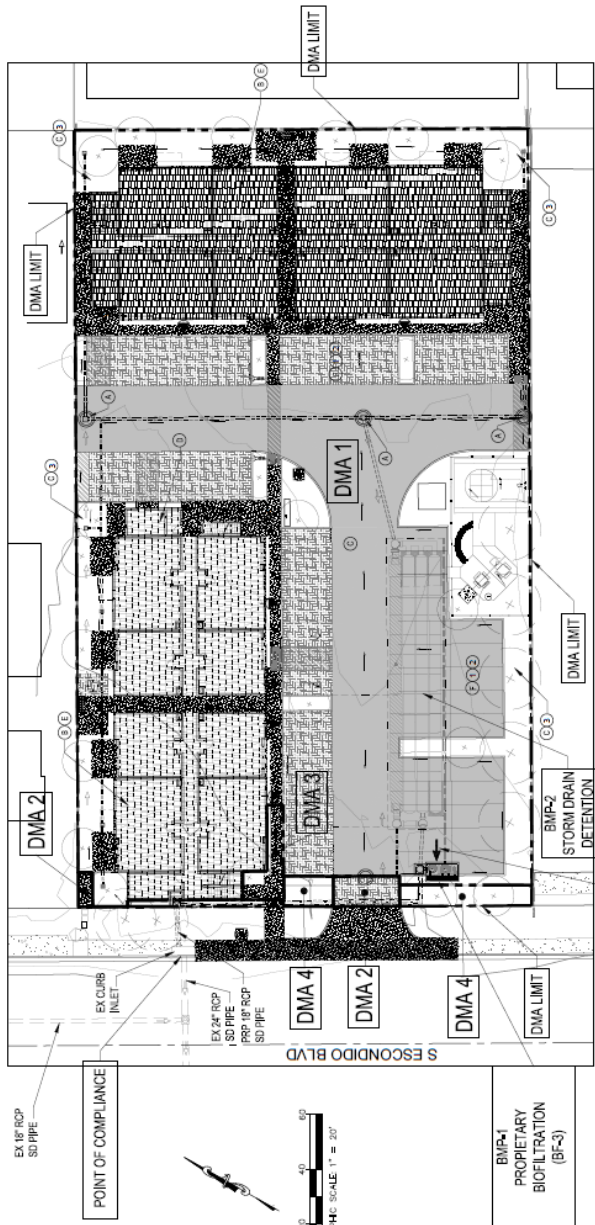
1.07 ACRES 46,832 SF

STORM WATER PRIORITY:

REDUCED PRIORITY (REDUCED PROJECT)

MEASURES TO ACCESS THE STRUCTURAL BMP

1. THE BMP SHALL BE ACCESSIBLE TO ALL VEHICLES AND PEDESTRIANS AT ALL TIMES.
2. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF DEBRIS, LITTER, AND OTHER OBSTRUCTIONS.
3. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF SEDIMENT, SILT, AND OTHER OBSTRUCTIONS.
4. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF FUEL, OIL, AND OTHER OBSTRUCTIONS.
5. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF OTHER OBSTRUCTIONS.



SOURCE CONTROL BMP'S

1	STREET CLOSURE: NO DRIVING ON TO DRIVE
2	MOORE & STRUCTURAL, BEST CONTROL
3	LANDSCAPE / REDUCED EROSION
4	NOISE / REDUCED IMPACT MATERIALS BEE
5	THE SHOWN TEST AREA IS DRAIN TO THE SHOWN EROSION
6	THE SHOWN TEST AREA IS DRAIN TO THE SHOWN EROSION
7	THE SHOWN TEST AREA IS DRAIN TO THE SHOWN EROSION

LID SITE DESIGN BMP'S

1	CONSTRUCTION OF STREETS, DRIVEWAYS, OR PARKING LOTS
2	TO THE AREA, WHERE NECESSARY, PROVED PUBLIC SAFETY
3	LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT TREES



1. THERE ARE SAMPLE TIES AND SIGNS.
2. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF DEBRIS, LITTER, AND OTHER OBSTRUCTIONS.
3. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF SEDIMENT, SILT, AND OTHER OBSTRUCTIONS.
4. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF FUEL, OIL, AND OTHER OBSTRUCTIONS.
5. THE BMP SHALL BE MAINTAINED IN A MANNER THAT PREVENTS THE ACCUMULATION OF OTHER OBSTRUCTIONS.

SURFACE DATA TABLE

PRE-DEVELOPMENT	POST-DEVELOPMENT	PERCENTAGE
IMPERVIOUS AREA	IMPERVIOUS AREA	IMPERVIOUS AREA
44,847 SF	30,000 SF	67%
PERVIOUS AREA	PERVIOUS AREA	PERVIOUS AREA
2,000 SF	16,837 SF	83%

NEARLY CREATED OR REPLACED IMPERVIOUS AREA, 16,837 SF

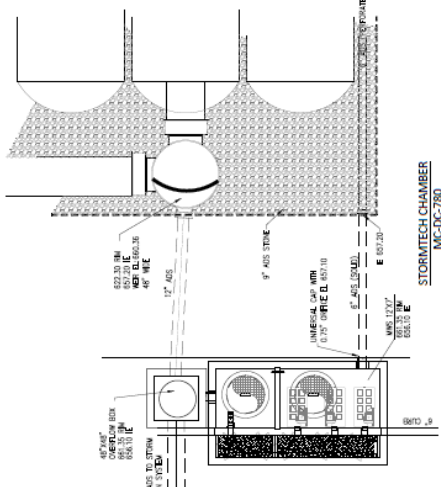
STRUCTURAL BMP DATA TABLE

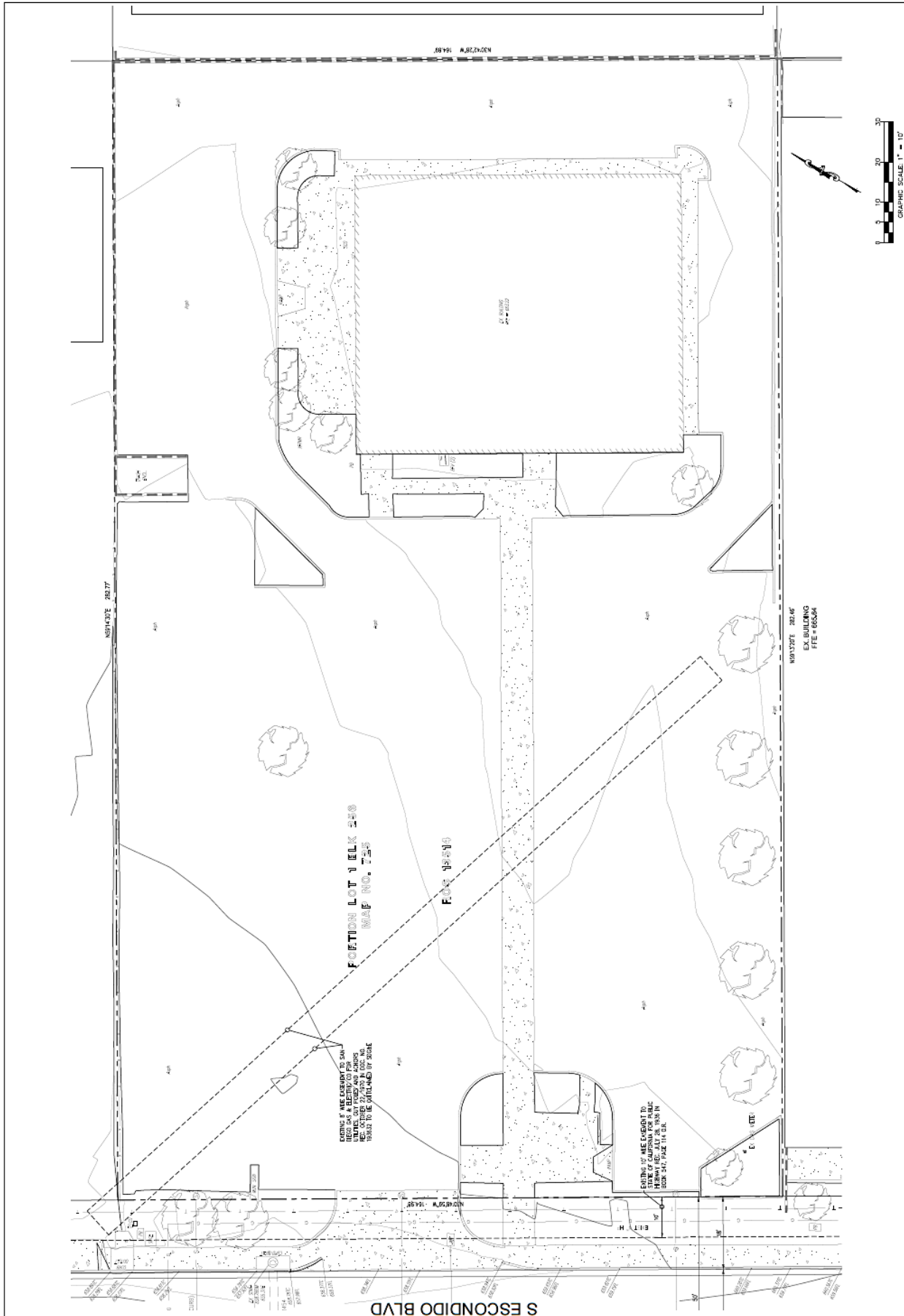
TOTAL AREA	IMPERVIOUS AREA	PERVIOUS AREA	TOTAL AREA	IMPERVIOUS AREA	PERVIOUS AREA
DMA 1	46,832 SF	76.3	0.15	0.15	0.15

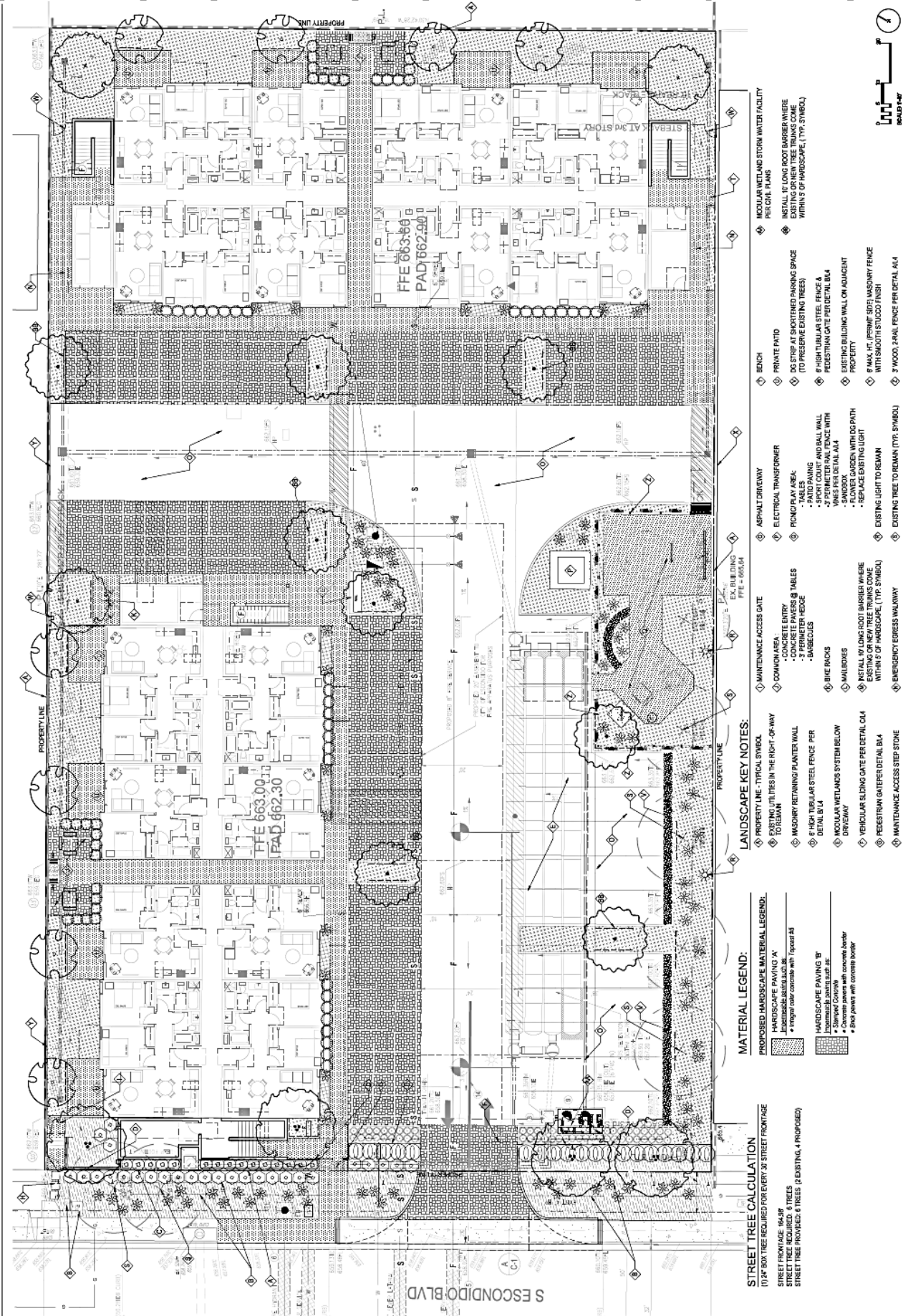
DRAINAGE MANAGEMENT AREAS

DMA	IMPERVIOUS AREA	PERVIOUS AREA	TOTAL AREA	IMPERVIOUS AREA	PERVIOUS AREA
DMA 1	46,832 SF	76.3	0.15	0.15	0.15
DMA 2	30,000 SF	67%	0.15	0.15	0.15
DMA 3	16,837 SF	83%	0.15	0.15	0.15
DMA 4	16,837 SF	83%	0.15	0.15	0.15
TOTAL	100,000 SF	100%	0.60	0.60	0.60

* EXISTING IMPERVIOUS AREA, 100,000 SF (75% OF 133,333 SF)







STREET TREE CALCULATION

1) 24" BOX TREE REQUIRED FOR EVERY 30' STREET FRONTAGE
STREET FRONTAGE 164.98'
STREET TREE REQUIRED: 6 TREES
STREET TREE PROVIDED: 6 TREES (2 EXISTING, 4 PROPOSED)

MATERIAL LEGEND:

• Original color concrete with Topcoat #5

HARDSCAPE PAVING "B"
Immediate paving such as:

- Stamped Concrete
- Concrete pavers with concrete border
- Brick paving with concrete border

LANDSCAPE KEY NOTES:

① PROPERTY LINE - TYPICAL SYMBOL	① MAINTENANCE ACCESS DATE
② EXISTING UTILITIES IN THE RIGHT-OF-WAY TO BE MAINT.	② COMMON AREA
③ MASONRY RETAINING PLANTER WALL	③ CONCRETE ENTRY
④ 6" HIGH TUBULAR STEEL FENCE PER B.L.	③ 7" PERIMETER FENCE
⑤ DETAIL B/L	③ BARBICLES
⑥ MODULAR WETLANDS SYSTEM BELOW DRIVEWAY	③ BRICK FLOORS
⑦ VEHICULAR SLIDING CURT PER DETAIL C/L	③ WALLS
⑧ PEDESTAL GATE PER DETAIL B/L	③ DETAIL W/ LONG ROST BARBED WIRE
⑨ MAINTENANCE ACCESS STEP STONE	③ EXISTING OR NEW TREE TRIMMS COME WITHIN 5' OF HARDSCAPE (TYP. SYMBOL)
	③ EMERGENCY EGRESS WALKWAY

◆ ASPHALT DRIVEWAY	◆ BENCH
◆ ELECTRICAL TRANSFORMER	◆ PRIVATE PATIO
◆ FENCE/PLY WALK:	◆ DISMISAL SHORTENED SHADING SPAN (TO PRESERVE EXISTING TREES)
◆ PATIO PAVERS	◆ 8" HIGH TUMBLAR STEEL FENCE & FLECTORING GATE PER DETAIL 4.04
◆ SPORT COURT AND BASKETBALL WALL	◆ EXISTING BUILDING WALL ON ADJACENT PROPERTY
◆ VINYL PER DETAIL 4.04	◆ 8" MAX. 1/2" (PERMIT SIZE) MASONRY FENCE WITH 30" MAX. STUCCO FINISH
◆ SANDBOX	◆ 3" WOOD 2x4s FENCE PER DETAIL 4.04
◆ FLOWERS GARDEN WITH 10' DEPTH	
◆ IMPROVE EXISTING LIGHT	◆ EXISTING LIGHT TO REMAIN
◆ EXISTING LIGHT TO REMAIN	
◆ EXISTING TREE TO REMAIN (TPO SYMBOL)	



MODULAR WETLAND STORM WATER FACILITY
PER CWT PLANS

INSTALL 10' LONG ROOT BARRIER WHERE
EXISTING OR NEW TREE TRUNKS COME
WITHIN 5' OF HARDSCAPE₁ (TYP. SYMBOL)

63

SCHEMATIC
LANDSCAPE
MATERIALS

100% SD
SUBMITTAL
5/10/2023

LANDSCAPE IMPROVEMENT PLANS FOR
SOUTH ESCONDIDO
APARTMENTS
1600 S. Escondido Blvd., Escondido, CA 92026



NERI
LANDSCAPE
ARCHITECTURE
1600 S. Escondido Blvd., Suite 200
Escondido, CA 92026
www.neri.com
Tel: 760.941.1111
Fax: 760.941.1112

Project No. XX
Drawn: XXX
Checked: JFF



"Golden Rain Tree" *Koelreuteria bipinnata*



"Chinese Pistache" *Pistachia chinensis*



"Sweet Bay" *Laurus nobilis*



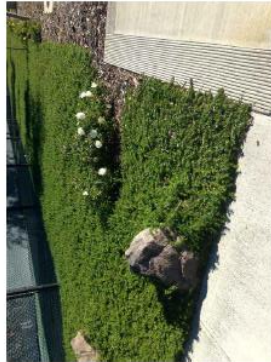
"Dwarf Cape Myrtle" *Lagerstroemia 'Purple Magic'*



"Dwarf Cape Myrtle" *Lagerstroemia 'Enduring Summer'*



Carex macrocarpa "Green Carpet" - Green Carpet Natal Plum



Myoporum parvifolium "Prostrate Myoporum"



Pelargonium hortorum - "Garden Geranium"



Parthenocissus tricuspidata - "Boston Ivy"



Pandorea jasminoides 'Alba' - "White Bower Vine"



ROSEMARINUS OFFICINALIS 'TUSCAN BLUE'
Roemarinus officinalis "Tuscan-Blue" - Tuscan Blue Rosemary



Westringia fruticosa - "Grey Box Coast Rosemary"



Westringia fruticosa "Wymabla Gam" -
"Wymabla Gam Coast Rosemary"



Agave 'Blue Flame' - "Blue Flame Agave"



Prunus caroliniana - "Carolina Laurel Cherry"



Sand Finish Concrete - #5 TopCast with Davis 'Sandstone' color



Concrete Pavers - Adenstone Aviano-509



Ball Wall - Pacific Play



Barbecue Grills - Patterson Williams



Trash Receptacle - Victor Stanley



Bike Racks - Victor Stanley



Tables - Victor Stanley



Light Retrofit - Architectural Area Lighting

LANDSCAPE ARCHITECTURE
Neri
1800 S. Escondido Blvd., Escondido, CA 92025
Phone: 760.341.1111
Fax: 760.341.1112
www.neri-la.com
Drawn: JHY
Checked: JHY
Plotted: NXX

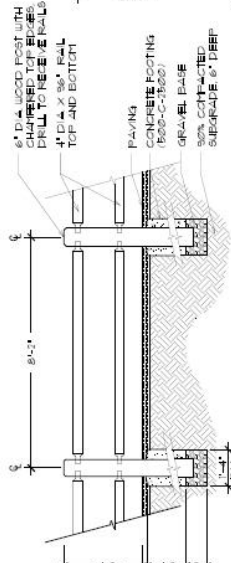


SOUTH ESCONCIDO
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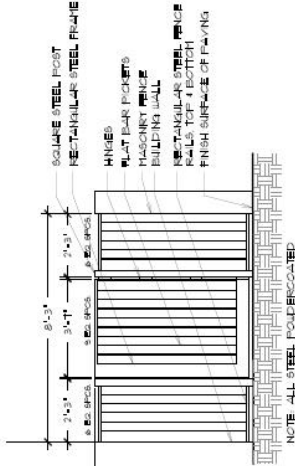
100% SD
SUBMITTAL
6/10/2022

SCHEMATIC
LANDSCAPE
MATERIALS

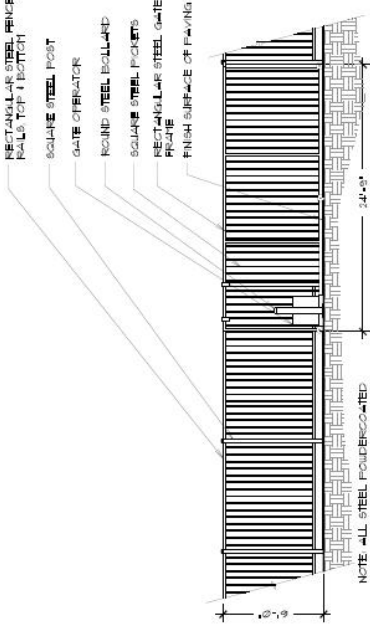
DETAIL A - PLAY AREA FENCING



DETAIL B - STEEL FENCE & PEDESTRIAN GATE



DETAIL C - STEEL FENCE & VEHICULAR GATE





**SOUTH
ESCONDIDO
Apartments**

1801 E. ESCONDIDO BLVD. ESCONDIDO, CA 92025

PROPERTY OWNER:
SPINEMORE EQUITY PARTNERS, LLC
1801 E. ESCONDIDO BLVD.
ESCONDIDO, CA 92025

PROJECT TEAM:

ARCHITECT:
FIELDSTUDIO
2000 SAN BLAS AVE #400
CARLSBAD, CA 92008

STRUCTURAL ENGINEER:
QUALIS ENGINEERING
4400 MARCHESTER AVE, SUITE 200
ESCONDIDO, CA 92025

MECHANICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
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SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

MECHANICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

MECHANICAL ENGINEER:
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1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
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SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
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LANDSCAPE ARCHITECT:
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LANDSCAPE ARCHITECT:
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MECHANICAL ENGINEER:
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LANDSCAPE ARCHITECT:
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MECHANICAL ENGINEER:
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ELECTRICAL ENGINEER:
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SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
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SAN DIEGO, CA 92108

MECHANICAL ENGINEER:
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SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
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SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
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MECHANICAL ENGINEER:
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SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
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SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
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MECHANICAL ENGINEER:
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1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

MECHANICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

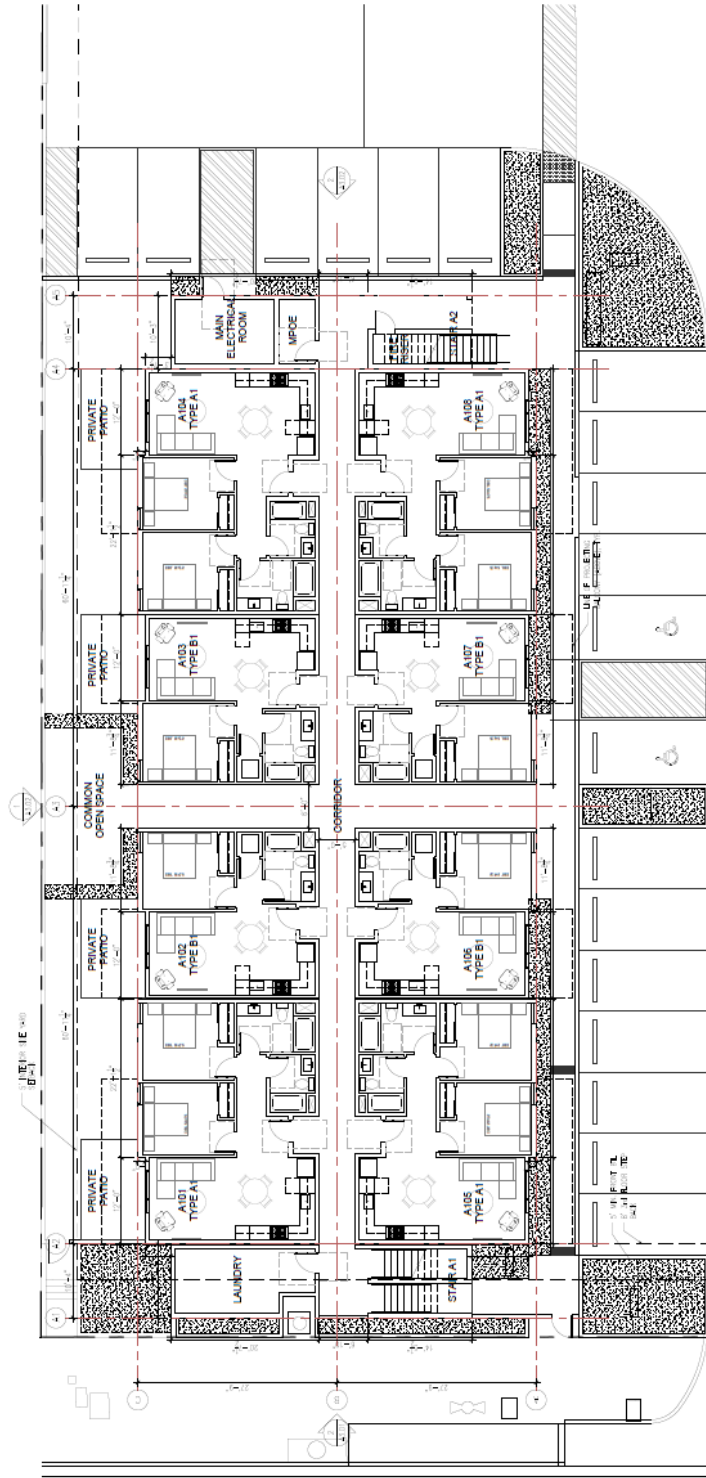
MECHANICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
H&M ENGINEERING, INC.
1761 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108



**BUILDING A
LEVEL 01
FLOOR PLAN
A2.01**



1 FLOOR PLAN - LEVEL 01
SCALE: 1/8"=1'-0"

fieldstudio
ARCHITECTS

SOUTH ESCONDIDO Apartments
1905 S. ESCONDIDO BLVD, ESCONDIDO CA 92025

PROPERTY OWNER:
SPRINGBROOK EQUITY PARTNERS, LLC

1905 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

PROJECT TEAM:

ARCHITECT:

PRELIMINARY
2005 SAN BLAS AVE #405
CARPENTERS-SEA, CA 92007

STRUCTURAL ENGINEER:
1400 MARSHALL AVE, SUITE 200
ESCONDIDO, CA 92024

CIVIL ENGINEER:
K&S ENGINEERING, INC.
1400 MARSHALL AVE, SUITE 100
SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:
NEELANDSCAPE ARCHITECTURE
428 HORNBLAND ST, SUITE 3
SAN DIEGO, CA 92109

MFP ENGINEER:
1400 MARSHALL AVE, SUITE 100
SAN DIEGO, CA 92108

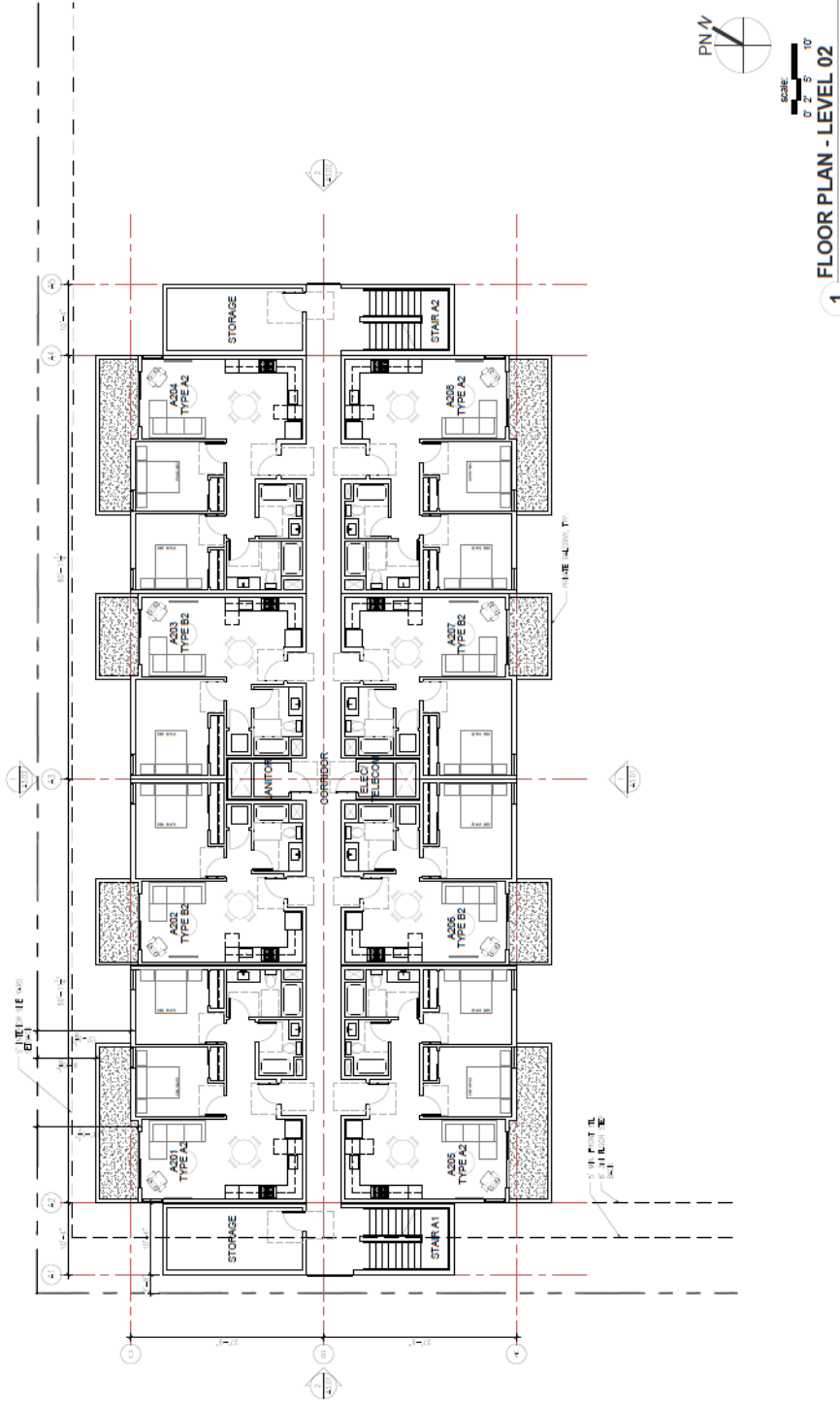
MECHANICAL ENGINEER:
CHRISTIAN WHEELER ENGINEERING
5880 HOME AVENUE
SAN DIEGO, CA 92120

ELECTRICAL ENGINEER:
10030 HEASLEY DRIVE SUITE 200
SAN DIEGO, CA 92121

DATE	DESCRIPTION
12/10/2017	1. 2017 Construction Update
12/10/2017	2. 2017 Construction Update
12/10/2017	3. 2017 Construction Update
12/10/2017	4. 2017 Construction Update
12/10/2017	5. 2017 Construction Update
12/10/2017	6. 2017 Construction Update
12/10/2017	7. 2017 Construction Update
12/10/2017	8. 2017 Construction Update
12/10/2017	9. 2017 Construction Update
12/10/2017	10. 2017 Construction Update
12/10/2017	11. 2017 Construction Update
12/10/2017	12. 2017 Construction Update
12/10/2017	13. 2017 Construction Update
12/10/2017	14. 2017 Construction Update
12/10/2017	15. 2017 Construction Update
12/10/2017	16. 2017 Construction Update
12/10/2017	17. 2017 Construction Update
12/10/2017	18. 2017 Construction Update
12/10/2017	19. 2017 Construction Update
12/10/2017	20. 2017 Construction Update



BUILDING A
LEVEL 02
FLOOR PLAN
A2.02





**SOUTH
ESCONDIDO
Apartments**

1805 E. ESCONDIDO BLVD, ESCONDIDO CA 92025

PROPERTY OWNER:

SPRINGCRE EQUITY PARTNERS, LLC
10000 WILLOW CREEK DRIVE
ESCONDIDO, CA 92025

PROJECT TEAM:

ARCHITECT:
FIELDSTUDIO
2005 SAN BLAS AVE #245
CARPENTHERIA, CA 92007

STRUCTURAL ENGINEER:
QUALTE ENGINEERING
10000 WILLOW CREEK DRIVE
ESCONDIDO, CA 92025

MECHANICAL ENGINEER:
K&N ENGINEERING, INC
7801 MCGRAW CENTER CT, SUITE 100
SAN DIEGO, CA 92138

LANDSCAPE ARCHITECT:
WEST LANDSCAPE ARCHITECTURE
10000 WILLOW CREEK DRIVE SUITE 3
SAN DIEGO, CA 92130

MEP ENGINEER:
K&N ENGINEERING, INC
7801 MCGRAW CENTER CT, SUITE 100
SAN DIEGO, CA 92138

GEOTECHNICAL ENGINEER:
SANDERSON WHEELER ENGINEERING
2005 SAN BLAS AVE #245
CARPENTHERIA, CA 92007

ENVIRONMENTAL ENGINEER:
ENGINEERING PARTNERS INC.
10000 WILLOW CREEK DRIVE SUITE 300
SAN DIEGO, CA 92130

PERMITS:

1. City of Escondido - Zoning	200707
2. City of Escondido - Building	200707
3. Building	200707
4. Building	200707
5. Building	200707
6. Building	200707
7. Building	200707
8. Building	200707
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16. Building	200707
17. Building	200707
18. Building	200707
19. Building	200707
20. Building	200707



**BUILDING A
LEVEL 03
FLOOR PLAN
A2.03**



SCALE
0' 2' 4' 6' 8' 10'

1 FLOOR PLAN - LEVEL 03
SCALE: 1/8"=1'-0"



SOUTH ESCONDIDO Apartments

1900 S. ESCONDIDO BLVD., ESCONDIDO, CA 92025

PROPERTY OWNER

SPRINGBROOK REALTY PARTNERS, LLC
1900 S. ESCONDIDO BLVD.
ESCONDIDO, CA 92025

PROJECT TEAM

ARCHITECT

PRELIMINARY
2000 SAN ELIAS AVE #450
CARLEFF-BY-THE-SEA, CA 92007
STRUCTURAL ENGINEER:
GALLAGHER ENGINEERING
1400 S. ESCONDIDO BLVD., SUITE 200
ESCONDIDO, CA 92025

CIVIL ENGINEER

K&S ENGINEERING, INC
7807 MEDON CENTER CT, SUITE 100
SAN DIEGO, CA 92118

LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECTURE
2000 SAN ELIAS AVE #450
CARLEFF-BY-THE-SEA, CA 92007

MVP ENGINEER

H&W ENGINEERING, INC
1810 BULLDOZER WAY #207
S. CALIF., CA 92025

GEOTECHNICAL ENGINEER

GEOTECHNICAL ENGINEERING
2000 SAN ELIAS AVE #450
CARLEFF-BY-THE-SEA, CA 92007

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

MECHANICAL ENGINEER

ENGINEERING PARTNERS, INC.
1900 S. ESCONDIDO BLVD., SUITE 200
SAN DIEGO, CA 92025

DATE: 04/01/2014

BUILDING A

ROOF PLAN

A2.04

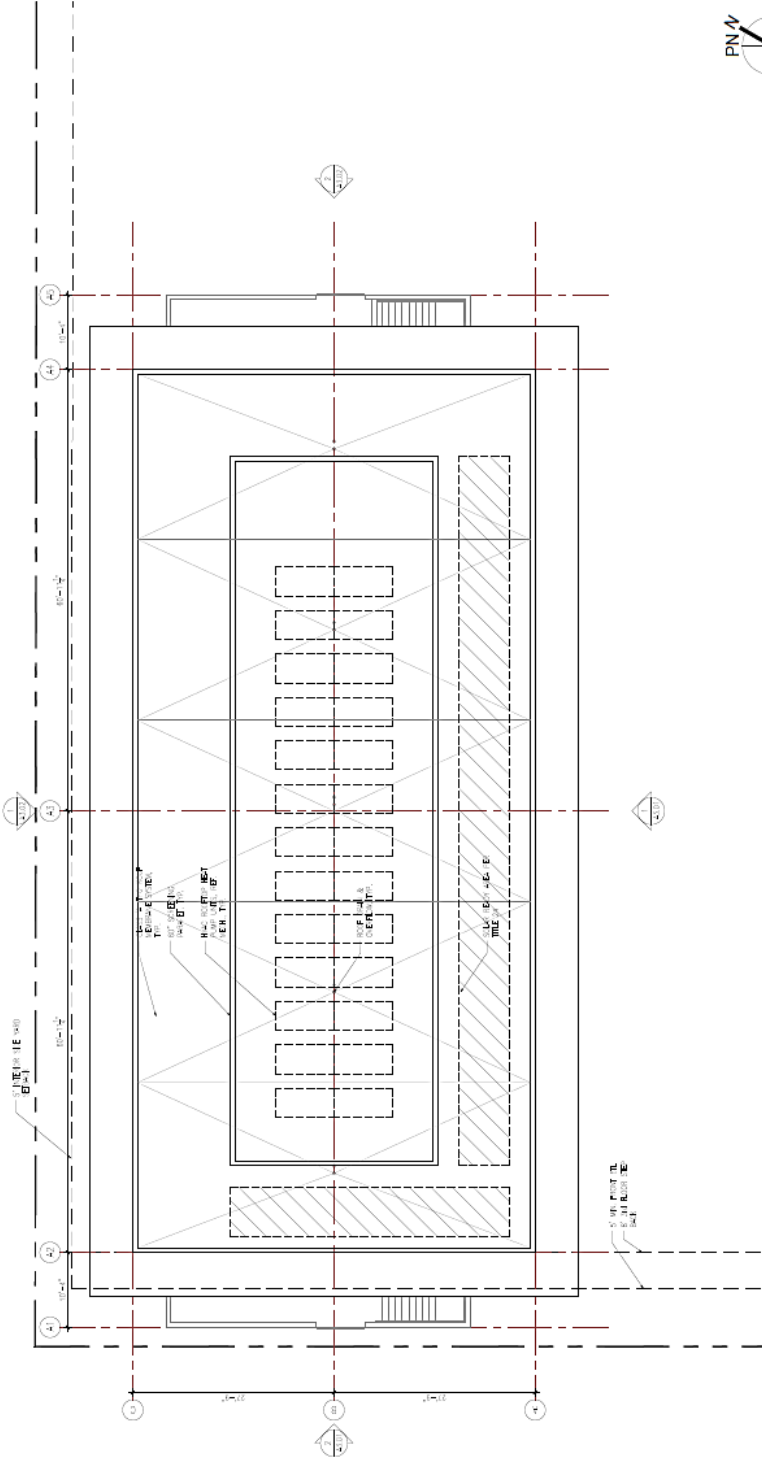


1 ROOF PLAN

SCALE: 1/8"=1'-0"



SCALE:
0' 2' 5' 10'



**SOUTH
ESCONDIDO**
Apartments

1600 E. RUCONDO BLVD. RUCONDO CA 92025

PROPERTY CASES

SPINEZONE EQUITY PARTNERS, LLC
1600 G. EDDONIDO BLVD
EDDONIDO, CA 92025

PROJECT 2012

ARCHITECT:
FIELDXSTUDIO
2055 SAN ELIO AVE #045
CARLOFF-BY-THE-SEA, CA 92007

STRUCTURAL ENGINEER:
QUALLS ENGINEERING
4405 MANCHESTER AVE. SUITE 205
CARLSBATH 1158-1256, CA 92007

4405 MANCHESTER AVE, SUITE 209
ENCINITAS, CA 92024

CIVIL ENGINEER:
K&O ENGINEERING, INC
7801 MISSION CENTER CT, SUITE 100

7601 MIDGTON CENTER CT, SUITE 100
SAN DIEGO, CA 92108
LANDSCAPE ARCHITECT:
NERI | LANDSCAPE ARCHITECTURE

NERI LANDSCAPE ARCHITECTURE
928 HORNBLOND ST., SUITE 5
SAN DIEGO, CA 92109

MEP ENGINEER:
M.A.M. ENGINEERING, INC.
SAN DIEGO, CA 92109

H+W ENGINEERING, INC
1810 GILLESPIE WAY #207
EL CAJON, CA 92020

GEOTECHNICAL ENGINEER:
EL. GARDIN, C.E. #2020

CHRISTIAN WHEELER ENGINEERING
5680 HOME AVENUE
SAN DIEGO, CA 92105

DRY UTILITIES:
ENGINEERING PARTNERS, INC.
SAN DIEGO, CALIF. 92108

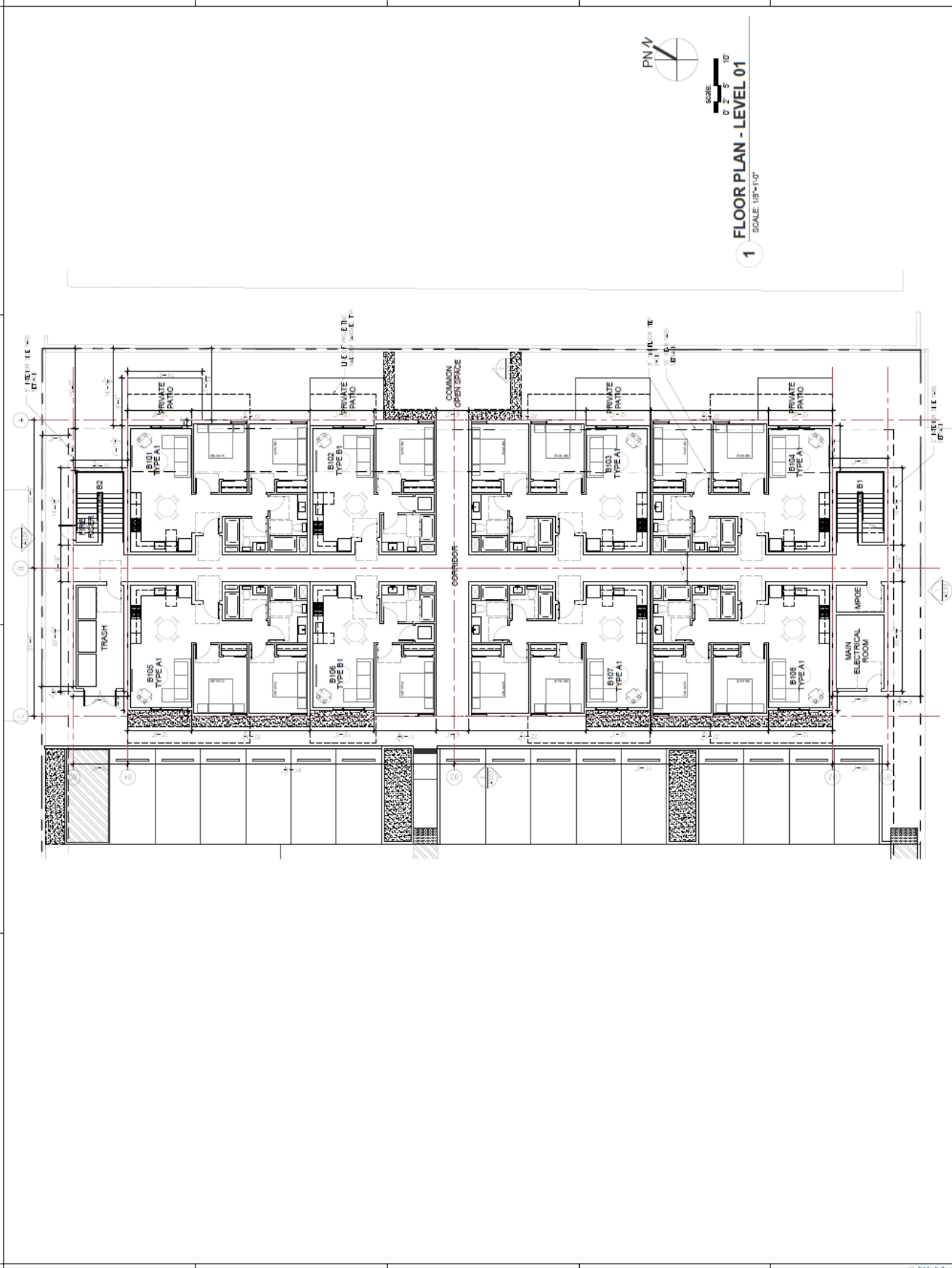
ENGINEERING PARTNERS INC.
10150 MEANLEY DRIVE SUITE 200
SAN DIEGO, CA 92131

Abstract

[illegible]

**BUILDING B
LEVEL 01
FLOOR PLAN**

A2.11





1. GROUTS ARE MEASURED TO THE FACE OF STUD & CENTER OF STUD, UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONAL DIMENSIONS ARE MEASURED TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
3. DIMENSIONS SHOWN ARE TYPICAL OF THESE SHEET ONLY.
4. KEY NOTES ON THIS SHEET ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, SECTIONS AND ELEVATIONS. NOTE THAT THIS LIST IS NOT INTENDED TO BE EXHAUSTIVE.
5. REFER TO WALL, FLOOR AND CEILING TYPES FOR FINISHES.
6. ALL REFER TO BE CLASS "A" FIRE RATED.
7. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
8. REFER TO SHEETS A-03 AND A-04 FOR DETAILED NOTES.



SOUTH ESCONDIDO Apartments

1901 S. ESCONDIDO BLVD, ESCONDIDO CA 92025

PROPERTY OWNER:
SPRINGCRE EQUITY PARTNERS, LLC
1901 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

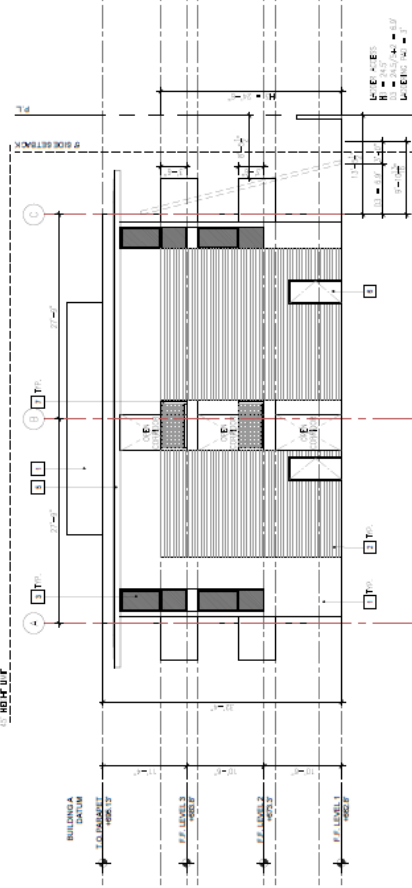
PROJECT TEAM:

ARCHITECT:
FIELDXSTUDIO
2000 SAN ELIO AVE #245
CARLSBAD, CA 92008
STRUCTURAL ENGINEER:
GALLS ENGINEERING
10000 SAN JUAN DRIVE SUITE 200
ESCONDIDO, CA 92025
CIVIL ENGINEER:
K&S ENGINEERING, INC
1781 MISSION CENTER CT, SUITE 100
SAN DIEGO, CA 92108
LANDSCAPE ARCHITECT:
NEW LANDSCAPE ARCHITECTURE
14000 SAN JUAN DRIVE SUITE 5
SAN DIEGO, CA 92124
MEP ENGINEER:
H&W ENGINEERING, INC
1815 GULFVIEW WAY #207
EL CAJON, CA 92020
GEOTECHNICAL ENGINEER:
CHRISTIAN WHEELER ENGINEERING
10000 SAN JUAN DRIVE SUITE 200
SAN DIEGO, CA 92124
CIVIL UTILITIES:
ENGINEERING PARTNERS INC.
10000 MEANLEY DRIVE SUITE 200
SAN DIEGO, CA 92121

PERMITS REQUIRED:	
1. City of Escondido	202002
2. State of California	2020000
3. Building	2020000
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BUILDING A EXTERIOR ELEVATIONS A3.02



GENERAL NOTES:

1. DIMENSIONS ARE MEASURED TO THE FACE OF STUD & CENTER OF STEEL UNLESS NOTED OTHERWISE.
2. INTERIOR DIMENSIONS ARE TYPICAL OF THESE SHEET ONLY.
3. DIMENSIONS SHOWN ARE TYPICAL OF THESE SHEET ONLY.
4. ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE PLANS AND ELEVATIONS. NOTE THAT THE FINISHES ARE TO BE AS SHOWN ON THE PLANS AND ELEVATIONS.
5. REFER TO WALL, FLOOR AND CEILING TYPES FOR FINISHES.
6. ALL ROOFING TO BE CLASS A FIRE RATED.
7. REFER TO SHEETS A3.01 AND A3.02 FOR ADDITIONAL INFO.
8. REFER TO SHEETS A3.01 AND A3.02 FOR ADDITIONAL INFO.

KEY NOTES:

- | | |
|-----|---|
| 1 | STUCCO COLOR 1-TAN |
| 2 | CERAMITIC TILE SHIP-LAP SEEDS PAINTED |
| 3 | ALUM WINDOW SYSTEM DARK BRONZE ANODIZED |
| 4 | ALUM WINDOW SYSTEM DARK BRONZE ANODIZED |
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| 100 | ALUM WINDOW SYSTEM DARK BRONZE ANODIZED |



- | GENERAL NOTES: | KEY NOTES: | |
|--|--|--|
| | 1 | 2 |
| 1. GROOVES ARE REQUIRED TO THE FACE OF STUD & CENTER OF STUD, L&L. | 1. TREGGLO COLOR - 154 | 1. ALUM WINDOW SYSTEM |
| 2. ALL SECTION DIMENSIONS ARE REQUIRED TO FACE OF FRINGE, L&L. | 2. ALUM WINDOW SYSTEM | 2. ALUM BRUSH METAL |
| 3. ALL NOTES ON THIS SHEET ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, SECTIONS AND ELEVATIONS. NOTE THAT | 3. ALUM BRUSH METAL | 3. METAL COLOR & TINT & METAL COLOR & TINT |
| 4. REFER TO WALL, FLOOR AND CEILING TYPES FOR FINISHES. | 4. METAL COLOR & TINT & METAL COLOR & TINT | 4. PLATE STEEL CANDOPY |
| 5. REFER TO STRUCTURAL ASSIGNMENT FOR ADDITIONAL INFO. | 5. PLATE STEEL CANDOPY | 5. NIGHTCLOTH FRONT TRON |
| 6. REFER TO SHEETS A&D AND A&H FOR DETAILED NOTES. | 6. NIGHTCLOTH FRONT TRON | 6. NIGHTCLOTH FRONT TRON |
| | 7. NIGHTCLOTH FRONT TRON | 7. NIGHTCLOTH FRONT TRON |

fieldstudio

ARCHITECTURAL & INTERIOR DESIGN

SOUTH ESCONDIDO Apartments

180 S. ESCONDIDO BLVD. ESCONDIDO CA 92025

PROPERTY OWNER:

SPINELINE EQUITY PARTNERS, LLC

180 S. ESCONDIDO BLVD

ESCONDIDO, CA 92025

PROJECT TEAM:

ARCHITECT:

FIELDSTUDIO

180 S. ESCONDIDO BLVD. SUITE 400

ESCONDIDO, CA 92025

STRUCTURAL ENGINEER:

QUALITY ENGINEERING

4425 MANCHESTER AVE. SUITE 200

ESCONDIDO, CA 92024

CIVIL ENGINEER:

QUALITY ENGINEERING, INC.

180 S. ESCONDIDO BLVD. SUITE 100

SAN DIEGO, CA 92108

LANDSCAPE ARCHITECT:

NEER LANDSCAPE ARCHITECTURE

2405 FORT MEADE BLVD. SUITE 5

SAN DIEGO, CA 92104

MECHANICAL ENGINEER:

H&W ENGINEERING, INC.

1810 BLUEBERRY WAY #207

ESCONDIDO, CA 92025

ELECTRICAL ENGINEER:

SEPTERTECHNICAL ENGINEER

3400 HOME AVENUE

SAN DIEGO, CA 92105

ENVIRONMENTAL ENGINEER:

ENGINEERING PARTNERS, INC.

180 S. ESCONDIDO BLVD. SUITE 200

SAN DIEGO, CA 92101

DATE: 08/14/2024

BY: [Signature]

PROJECT NUMBER: 240001

SEAL

FIELDSTUDIO

ARCHITECT

NO. 00000000

STATE OF CALIFORNIA

DATE: 08/14/2024

BY: [Signature]

PROJECT NUMBER: 240001

SEAL

FIELDSTUDIO

ARCHITECT

NO. 00000000

STATE OF CALIFORNIA

1 NORTH ELEVATION - BLDG B
SCALE: 1/8"=1'-0"

2 EAST ELEVATION - BLDG B
SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. DIMENSIONS ARE MEASURED TO THE FACE OF STUD & CENTER OF STUD UNLESS NOTED OTHERWISE.
2. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF FINISH.
3. DIMENSIONS SHOWN ARE TYPICAL OF THESE SHEET ONLY.
4. ANY NOTES ON THIS SHEET ARE AN ACCUMULATION OF TIME.
5. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
6. ALL WORKING TO BE CARRIED A FIELD.
7. REFER TO SHEETS A101 AND A102 FOR DETAILS.

KEY NOTES:

- 1. STUD COLOR 1-1/4"
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**SOUTH
ESCONDIDO
Apartments**

1000 S. ESCONDIDO BLVD, ESCONDIDO CA 92025

PROPERTY OWNER:

SPINEMINE EQUITY PARTNERS, LLC
1000 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

PROJECT TEAM:

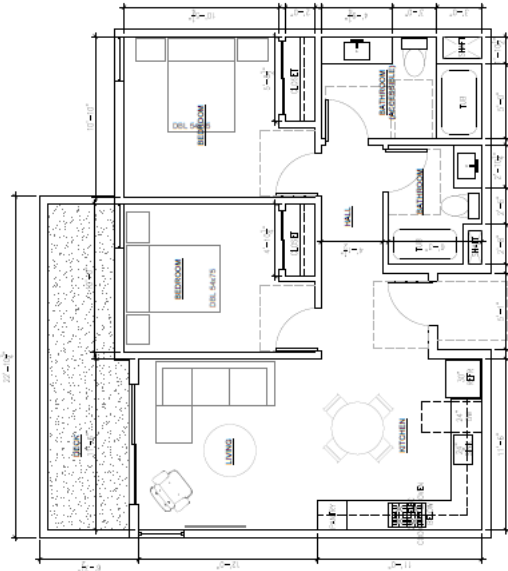
ARCHITECT:
FIELDSTUDIO
1000 S. ESCONDIDO BLVD, SUITE 400
ESCONDIDO, CA 92025
GENERAL ENGINEER:
QUALIA ENGINEERING
4403 MANCHESTER AVE, SUITE 205
BONITA, CA 92024
CIVIL ENGINEER:
K&S ENGINEERING, INC
1810 MANCHESTER AVE, SUITE 100
SAN DIEGO, CA 92108
Mechanical ENGINEER:
NEWLANDER ARCHITECTURE
1030 HORNLEIGH CT, SUITE 5
SAN DIEGO, CA 92108
MEP ENGINEER:
H&W ENGINEERING, INC
1810 MANCHESTER AVE, SUITE 100
SAN DIEGO, CA 92108
SELECTION ENGINEER:
H&W ENGINEERING, INC
1810 MANCHESTER AVE, SUITE 100
SAN DIEGO, CA 92108
DRY UTILITIES:
ENGINEERING PARTNERS, INC.
10100 MEADOW DRIVE, SUITE 200
SAN DIEGO, CA 92131

PERMITS REQUIRED	
2. City of Escondido	202002
3. State of California	202002
4. Building	202002
5. Mechanical	202002
6. Electrical	202002
7. Fire	202002
8. Health	202002
9. Planning	202002
10. Public Works	202002
11. Transportation	202002
12. Water	202002
13. Sewer	202002
14. Stormwater	202002
15. Other	202002

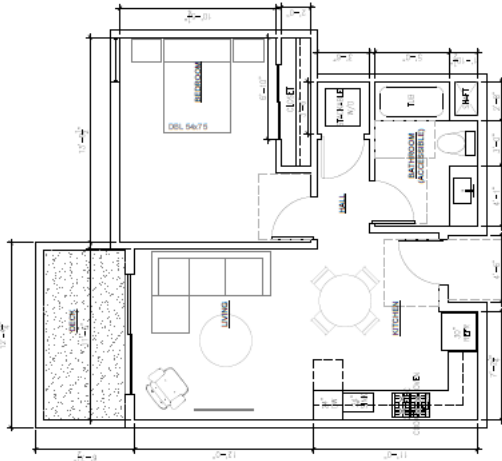


DATE: 08/11/2020

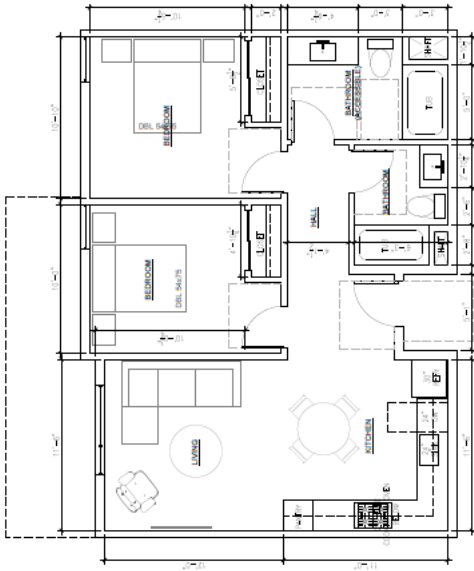
**UNIT TYPE PLANS
A5.01**



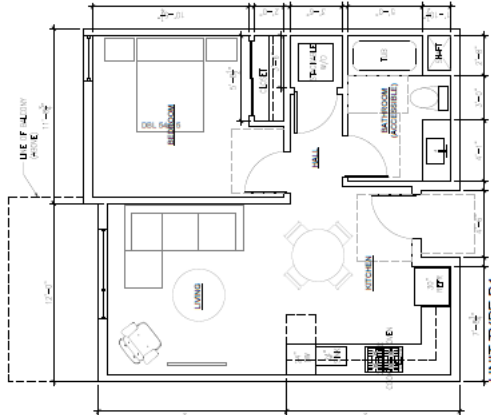
UNIT TYPE A2
1-BEDROOM, 1-BATHROOM
520 sq ft gross



UNIT TYPE B2
1-BEDROOM, 1-BATHROOM
610 sq ft gross



UNIT TYPE A1
2-BEDROOM, 1-BATHROOM
520 sq ft gross



UNIT TYPE B1
1-BEDROOM, 1-BATHROOM
550 sq ft gross

1 UNIT TYPE PLANS
SCALE: 1/4"=1'-0"



**SOUTH
ESCONDIDO
Apartments**

1800 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

PROPERTY OWNER:

SPINELONE EQUITY PARTNERS, LLC
1800 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

PROJECT TEAM:

ARCHITECT:

FIELDXSTUDIO
1800 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

STRUCTURAL ENGINEER:

QUALIS ENGINEERING
4400 MANCHESTER AVE, SUITE 202
BOHART, CA 92024

CIVIL ENGINEER:

K&S ENGINEERING, INC.
1800 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

LANDSCAPE ARCHITECT:

NBI LANDSCAPE ARCHITECTURE
625 HORNBLAND ST, SUITE 5
SAN DIEGO, CA 92106

MEP ENGINEER:

H+M ENGINEERING, INC.
1870 BOLLEAUX WAY #207
EL CAJON, CA 92025

GEOTECHNICAL ENGINEER:

5940 HUNTS AVENUE
SAN DIEGO, CA 92120

DRY (PLUMBING):

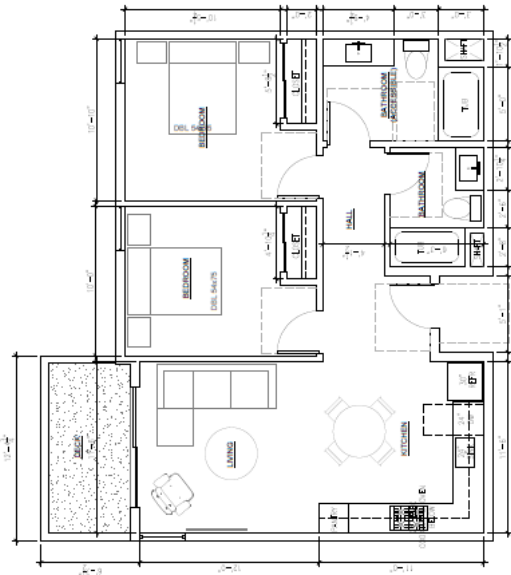
ENGINEERING PARTNERS, INC.
1870 BOLLEAUX WAY SUITE 200
SAN DIEGO, CA 92107

DRAWING REVISIONS:	
1.	25% Construction
2.	100% Construction
3.	As Shown
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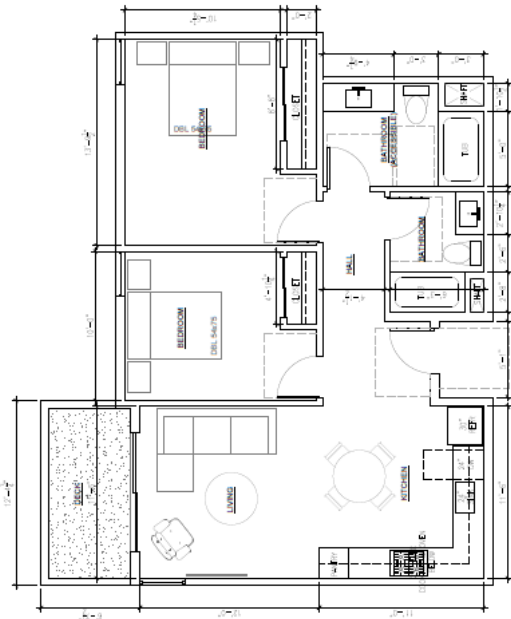


SHEET NAME

UNIT TYPE PLANS
A5.02



UNIT TYPE A4
2-BEDROOM, 1-BATHROOM
820 sq ft gross



UNIT TYPE A3
2-BEDROOM, 1-BATHROOM
862 sq ft gross

1 UNIT TYPE PLANS
SCALE: 1/4"=1'-0"



NOTE: THESE COLOR RENDERINGS ARE CONCEPTUAL IN NATURE AND INTENDED TO ILLUSTRATE THE DESIGN INTENT. FINAL MATERIALS, COLORS, AND DETAILING MAY CHANGE







Steel & Wire Mesh Guardrail
System



Unit Pavers



1. Stucco: Color 1 Tan



Wrought Iron Fencing



Concrete Flatwork
broom finish



2. Cement Shiplap Siding:
Painted



CMU Retaining Walls



Concrete Flatwork
heavy aggregate finish



3. Alum. Doors/Windows:
Dark Bronze Anodized

COLOR & MATERIALS BOARD

SOUTH ESCONDIDO APARTMENTS
1600 S. Escondido Blvd

PL22-0032
July 28, 2022
Page 54

EXHIBIT D

Legal Description

the following described property in the City of **Escondido**, County of **San Diego**, State of **California**:

THE WESTERLY 297.00 FEET OF LOT 1 IN BLOCK 256 OF THE RESURVEY OF THE RANCHO RINCON DEL DIABLO, IN THE CITY OF ESCONDIDO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 725, MADE BY J. M. GRAHAM, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 13, 1892.

EXCEPTING THEREFROM THAT PORTION LYING WITHIN THE SOUTH 7 1/2 ACRES OF SAID LOT AS CONVEYED IN DEED FROM EDWIN J. FITCH AND MARY FITCH TO MRS. H. LONIGAN, DATED AUGUST 28, 1894 AND RECORDED IN BOOK 230, PAGE 415, OF DEEDS.

PL22-0032
July 28, 2022
Page 55



EXHIBIT E
CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
(760) 839-4671

Notice of Exemption

To: San Diego Assessor/Recorder/County Clerk
Attn: Fish and Wildlife Notices
1600 Pacific Highway, Room 260
San Diego, CA 92101
MS A-33

From: City of Escondido
201 North Broadway
Escondido, CA 92025

Project Title/Case No.: Major Plot Plan and Density Bonus (City Project No. PL22-0032)

Project Location - Specific: 1600 S. Escondido Boulevard (APN 236-460-16-00)

Project Location - City: Escondido **Project Location - County:** San Diego

Description of Project: A Major Plot Plan and Density Bonus to construct 48 apartment units on a 1.02-acre parcel of land within the South Centre City Specific Plan (Escondido Boulevard District). The site contains an existing commercial building that will be removed. The project includes the development of two, three-story buildings that contain 24 units per building. 58 open parking spaces will be provided.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name: Scott Maas / FieldXStudio Telephone: (858) 337-6909

Address: 2033 San Elijo Ave., #643 Cardiff by the Sea, CA 92007

☒ Private entity ☐ School district ☐ Local public agency ☐ State agency ☐ Other special district

Exempt Status: Categorical Exemption. CEQA Sections 15332 "In-fill Development Projects."

Reasons why project is exempt:

1. The project is consistent with the applicable general plan designation (South Center City Specific Plan – Escondido Boulevard District); all applicable general plan policies, and the applicable zoning designation and regulations.
2. The proposed project occurs within City limits on no more than five acres and is surrounded by urban uses on all sides.
3. The project has no value as habitat for endangered, rare, or threatened species.
4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
5. The site can be adequately served by all required utilities and public services.

Lead Agency Contact Person: Jay Paul, Planning Division Area Code/Telephone/Extension (760) 839-4537

Signature: J Paul July 28, 2022
Jay Paul, Senior Planner Date

☒ Signed by Lead Agency Date received for filing at OPR: N/A
☐ Signed by Applicant