

Plans



CHARACTER SKETCH



VICINITY MAP



STREET LEVEL CHARACTER SKETCH

PROJECT INFORMATION

ASSESSOR'S PARCEL NUMBER:

233-371-14, 233-371-15

GROSS SITE AREA:

20,000 SF (0.46 ACRES, APPROX.)

LOT COVERAGE:

72.8%

PROJECT DESCRIPTION:

The proposed 21-unit mixed use development will be (4) stories of new construction with a single level of Type IA construction at grade and (3) levels of Type VA construction above, situated on an approximate 20,000 SF lot currently occupied by single-level businesses and at-grade parking. The ground level will include commercial spaces, building utility spaces, a residential lobby and entry courtyard with an exterior terrace at Level 2 serving the residential units at levels 2-4 above. The site is located at the northwest corner of the intersection of South Escondido Boulevard and West 9th Avenue and will provide (27) total at-grade parking spaces for residential use. These spaces will have two-way access from West 9th Avenue with a secondary exit located into the alley to the north. The proposed development fronts South Escondido Boulevard and West 9th Avenue with dedicated sidewalk plaza/ cafe areas for future commercial use and a small residential entry plaza providing connectivity to the private entry courtyard via the secure residential entry.

EXISTING USE:

AREA SUMMARY

Notes:

Gross areas include the following: Exterior face of walls, stairs at each level, one level of elevator (Level 1) and exterior corridors at each level.

Total Gross Square Footage (GSF)






Level 1	14,565 GSF total
	6,700 SF Covered Parking
	4,200 SF Commercial
	900 SF Utility
	1,252 SF Residential Use
	1,513 Residential Courtyard
Level 2	10,469 GSF total
	7,174 GSF Residential
	3,295 SF Corridor & Terrace
Level 3	8,441 GSF total
	6,864 GSF Residential
	1,577 SF Corridor
Level 4	6,381 GSF total
	5,059 GSF Residential
	1,322 SF Corridor
Overall Total	39,856 GSF



A1 Site Plan

829 South Escondido Blvd. • Escondido, CA





LEGEND

	Residential
	Below Residential
	Utility
	Commercial
	Common Outdoor



A2 Ground Floor Plan

LEGEND

	Residential
	Private Residential Balcony
	Utility
	Residential Storage © 30 sq ft/unit



A3 Level 2 Plan





LEGEND

Residential
Private Residential Balcony
Utility
Residential Common Area @ 80 sq ft/unit



A4 Level 3 Plan

LEGEND

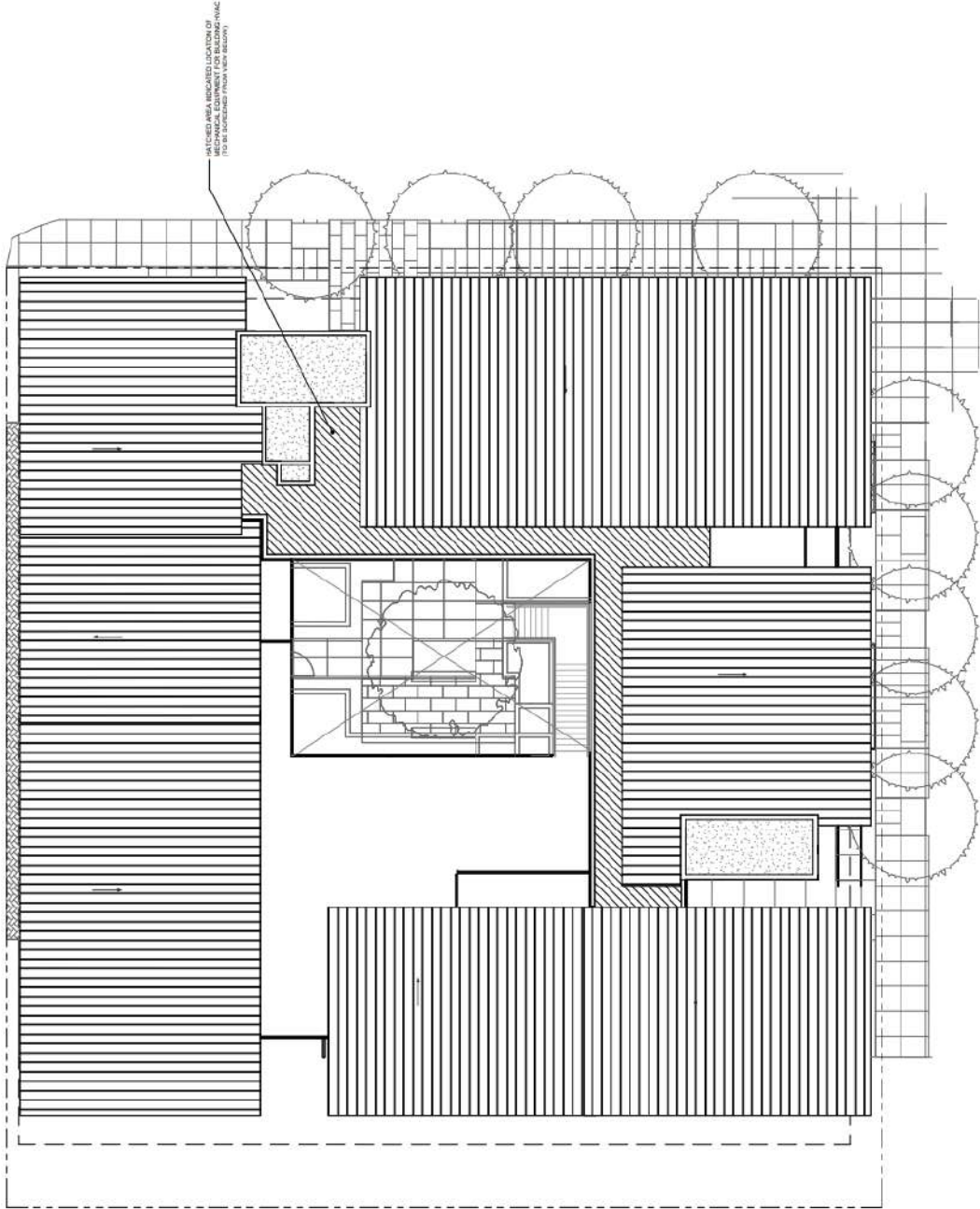
	Residential
	Private Residential Balcony
	Utility
	Residential Storage @ 80 sq ft/unit



A5 Level 4 Plan

LEGEND

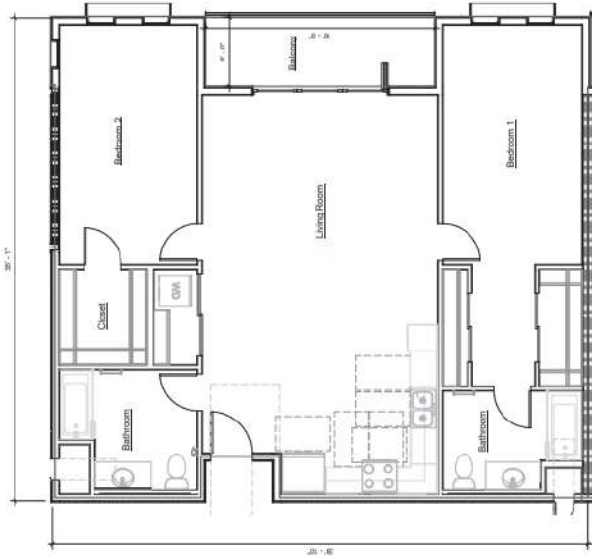
- Stranding Steel
- Metal Roof
- TPD Roof
- Location of Mechanical Equipment



A6 Roof Plan



2 BR UNIT B



2 BR UNIT A



1 BR UNIT

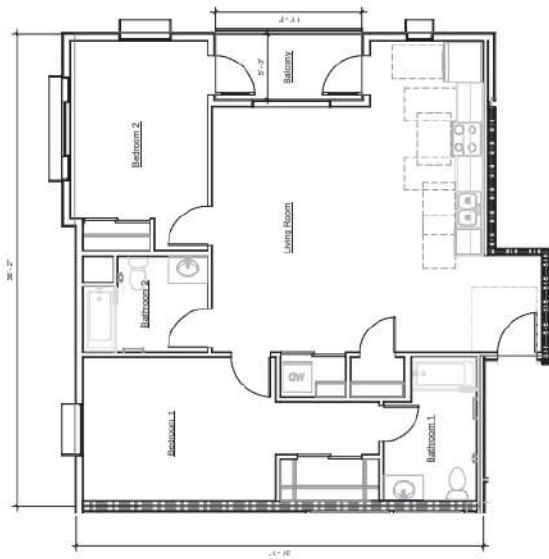
A7 Enlarged Unit Plans



2 BR UNIT D.1



2 BR UNIT



2 BR UNIT

A8 Enlarged Unit Plans



A9 Exterior Elevations



East Elevation










West Elevation

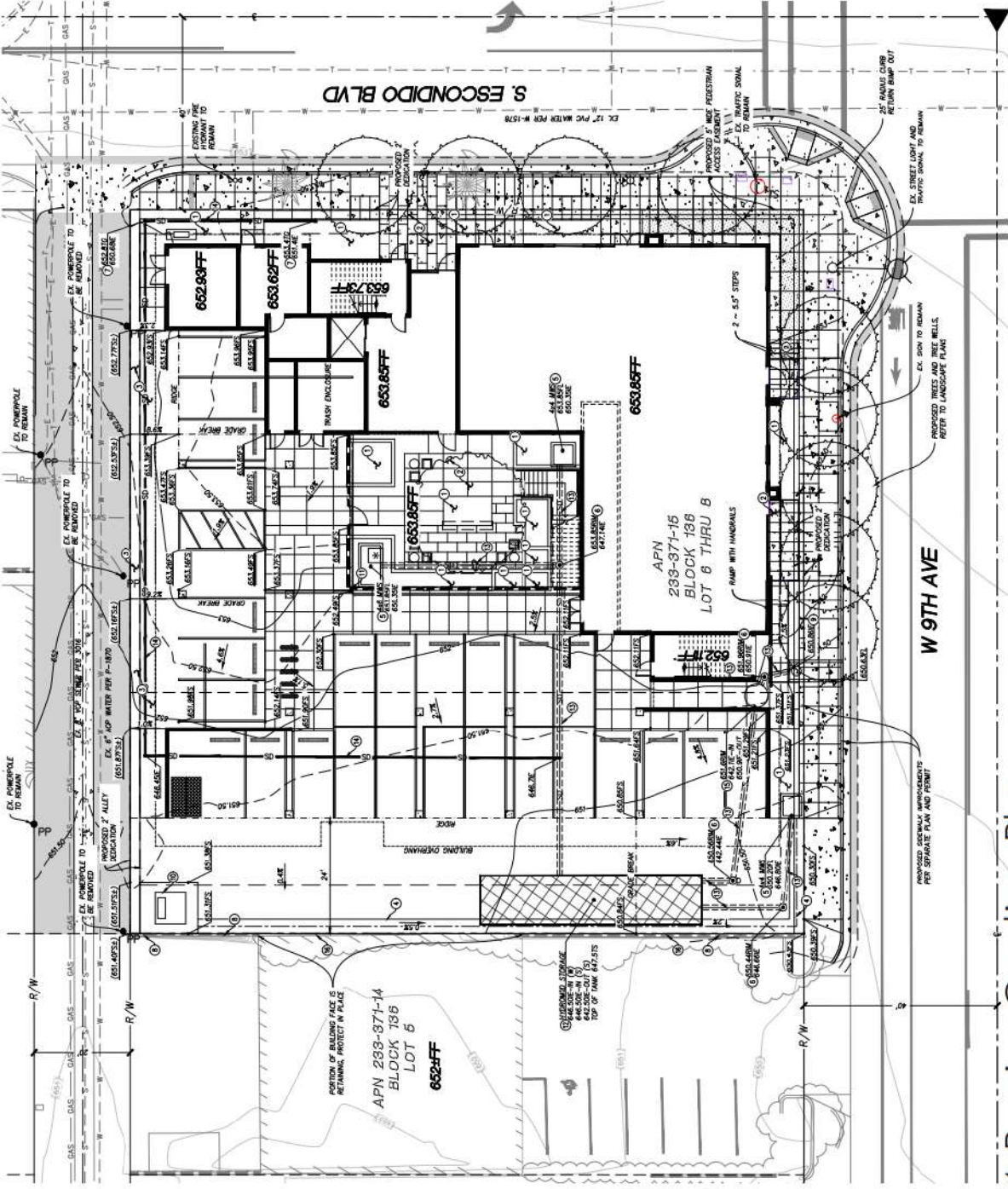
A10 Exterior Elevations



STUDIO E
 ARCHITECTS

A11 Perspective Renderings & Material/Finish Board

	<p>Field Plaster: Colorhexa eee8eb</p>		<p>Railing Systems: Terracotta tones</p>
	<p>Accent Plaster 1: SW 0017 Marris Room Gray</p>		<p>Building Corner Screen Window Frames Storefront Frames Window Sill/Head Metal Hardware SW 7048 Uitone Bronze</p>
	<p>Accent Plaster 2: Pantone 7409 C Fuel Yellow</p>		
	<p>Vertical Wood Siding: Wall Recesses</p>		
	<p>Traditional Brick (veneer): Level 1 Walls</p>		



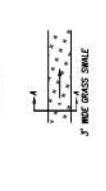
- CONSTRUCTION NOTES:**
- 1. PLANTING PER LANDSCAPE ARCHITECT PLANS.
 - 2. P.C.C. HARDSCAPE PER LANDSCAPE ARCHITECT PLANS.
 - 3. FURNISHABLE PAVERS, SEE DETAIL PER LANDSCAPE ARCHITECT PLANS.
 - 4. 3" WIDE RUBBER GUTTER, SEE DETAIL ON THIS SHEET.
 - 5. WIDE RIBBON GUTTER, SEE DETAIL ON THIS SHEET.
 - 6. PROPOSED 2" MILIPLAST AND BARN WITH SOLID COVER.
 - 7. AT-RISK GRADED DRAIN.
 - 8. EXISTING RETAINING WALL TO REMAIN, PROTECT IN PLACE.
 - 9. EXISTING CONCRETE CURB TO REMAIN, PROTECT IN PLACE.
 - 10. PROPOSED CURB OUTLET, SEE PUBLIC IMPROVEMENT PLANS, JDD004.
 - 11. TRANSFORMER AND PER ELECTRIC PLANS.
 - 12. DOWNPOUT LOCATION PER ARCHITECT PLANS.
 - 13. IMPROVED STORAGE FACILITY, EXISTING RECT. & SLOOT PRODUCED.
 - 14. 12" HOPE STONE DRAIN.
 - 15. 4" P.C.C. AREA DRAIN.
 - 16. PUMP VALLET AND OUTLET.
 - 17. EXISTING CONCRETE WALL AND BALCONY, MAINTAIN M.P. OR APPROVED EQUAL.

- GENERAL NOTES:**
- 1. IMPROVEMENTS PER SEPARATE PLAN AND FORMS, SEE PLANS AND FORMS.
 - 2. EXISTING CONCRETE WALL AND BALCONY, MAINTAIN M.P. OR APPROVED EQUAL.
 - 3. EXISTING PALM TREES TO BE REMOVED, NEW TREE WELLS AND TREES.



- 1. CONCRETE SHALL BE 300-C-3000.
- 2. FINISH SHALL BE TO MATCH EXISTING FINISH.
- 3. BROOM FINISH, SMOOTH TO FINISH 1/4" CENTER.
- 4. (1) #4 LONGITUDINAL, & #3 C.C.
- 5. 1" MIN. THICKNESS.
- 6. LAYER 1/2" OF SUBGRADE SHALL BE COMPACTED TO SUE RELATIVE COMPACTION.

P.C.C. RIBBON GUTTER DETAIL
NO SCALE



GRASS SWALE
NTS



25" RADIUS CURB RETURN BUMP OUT
NTS

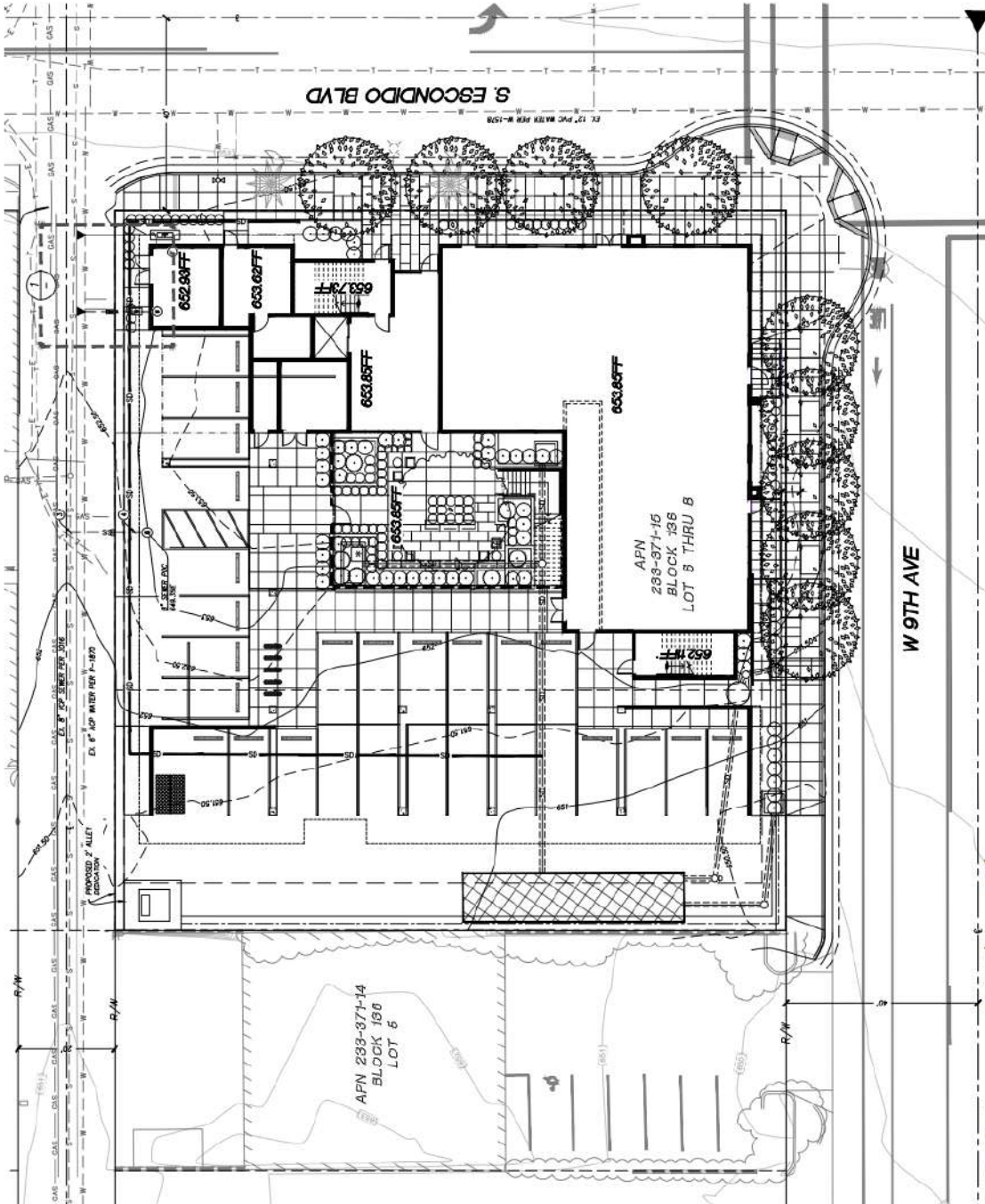
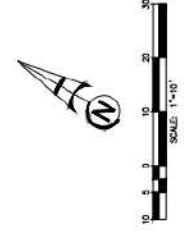
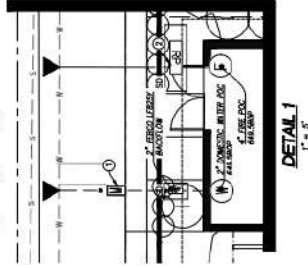


C1 Precise Grading Plan



STUDIO E
 ARCHITECTS

- CONSTRUCTION NOTES:**
- 1. 2" DOMESTIC WATER SERVICE PER R-2-E WITH 2" BACKFLOW PER EQUAL-C, PROPOSED 2" FERRO UNDIST BACKFLOW IN APPROVED EQUAL-C.
 - 2. 4" PVE SERVICE PER R-2-E WITH BACKFLOW PER R-2-E, AACS CONNECTION TO EXISTING 4" PVC SERVICE, SEE PUBLIC IMPROVEMENT PLANS XXXXXX.
 - 3. 4" 300BT LATERAL PER 3-2-E.



C2 Private Utility Plan



LEGEND

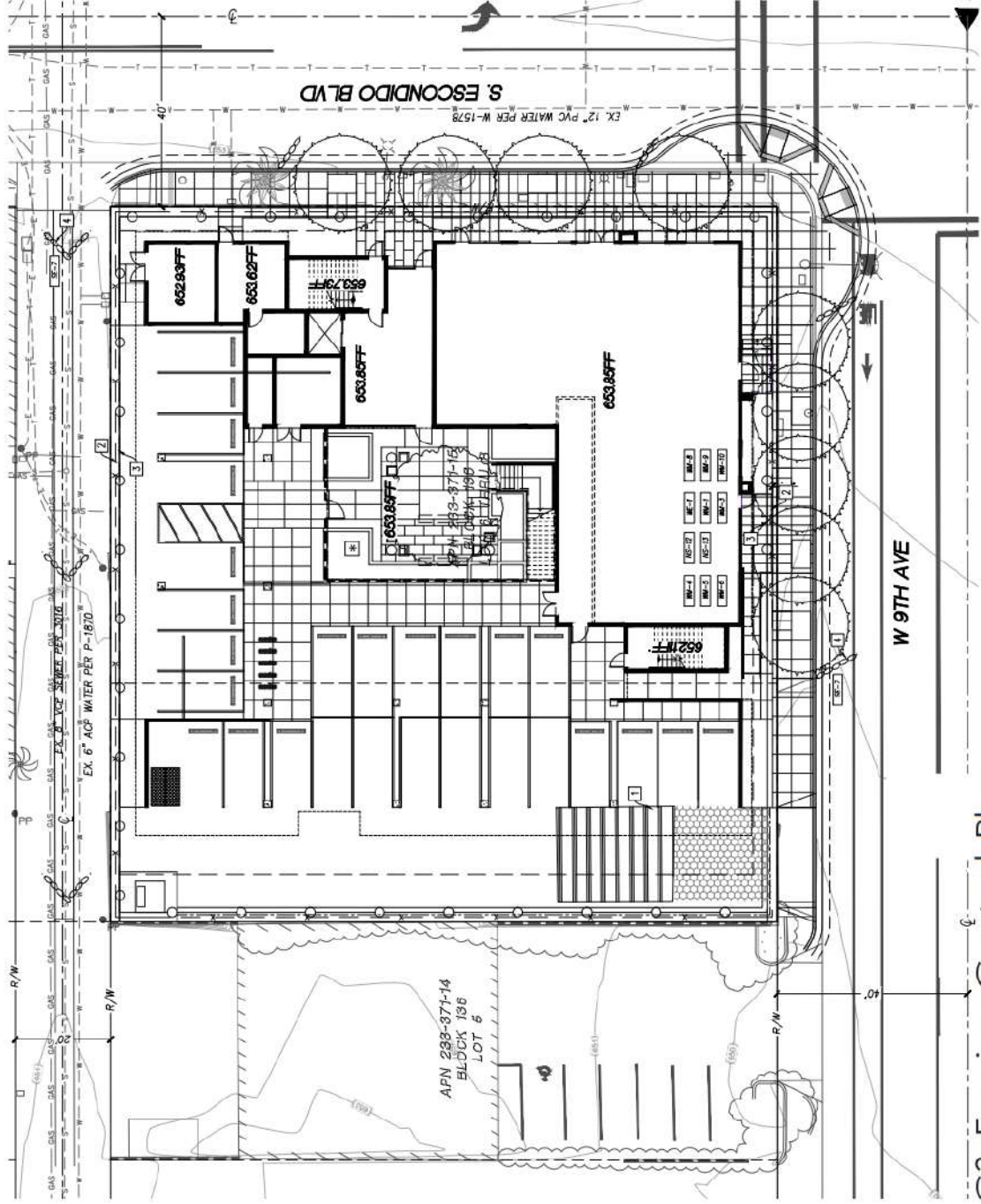
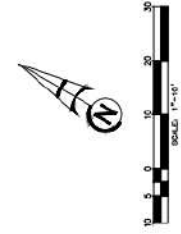
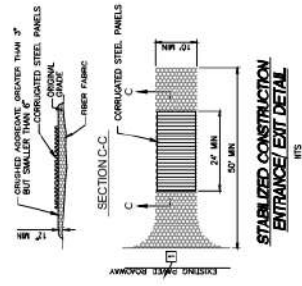
DESCRIPTION	SYMBOL	QUANTITY
FORMED CONSTRUCTION DRAINAGE	[Symbol]	1 EA
3" S&T FENCE	[Symbol]	580 LF
CONSTRUCTION FENCE	[Symbol]	580 LF
GRAVEL BAGS	[Symbol]	120 EA

ITEMS SHOWN ON PLANS

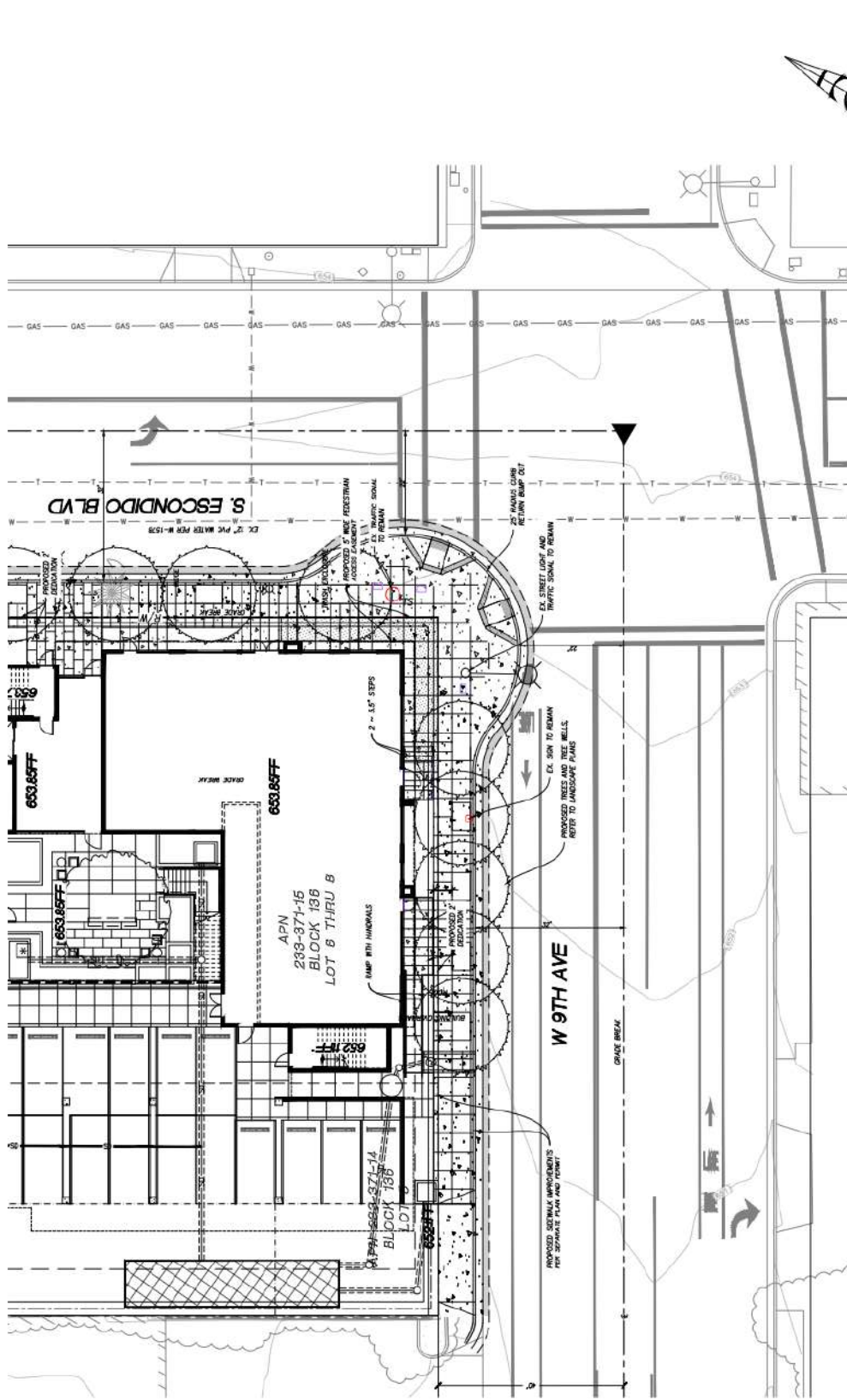
CONCRETE CURING	NC-12
CONCRETE FINISHING	NC-13
STREET SHEETING AND UNLOADING	SC-1
WIND PROOFING	SC-2
MATERIAL STORAGE AND STORAGE	SC-3
STORAGE MAINTENANCE	SC-4
SPELL PREVENTION AND CONTROL	SM-1
SOLID WASTE MANAGEMENT	SM-2
HAZARDOUS WASTE MANAGEMENT	SM-3
CONCRETE BASE MANAGEMENT	SM-4
SAW/PART/DEBRIS WASTE MANAGEMENT	SM-5
LIQUID WASTE MANAGEMENT	SM-6

RECYCLABLE LIQUID WASTE MANAGEMENT PRACTICES (RMCT)

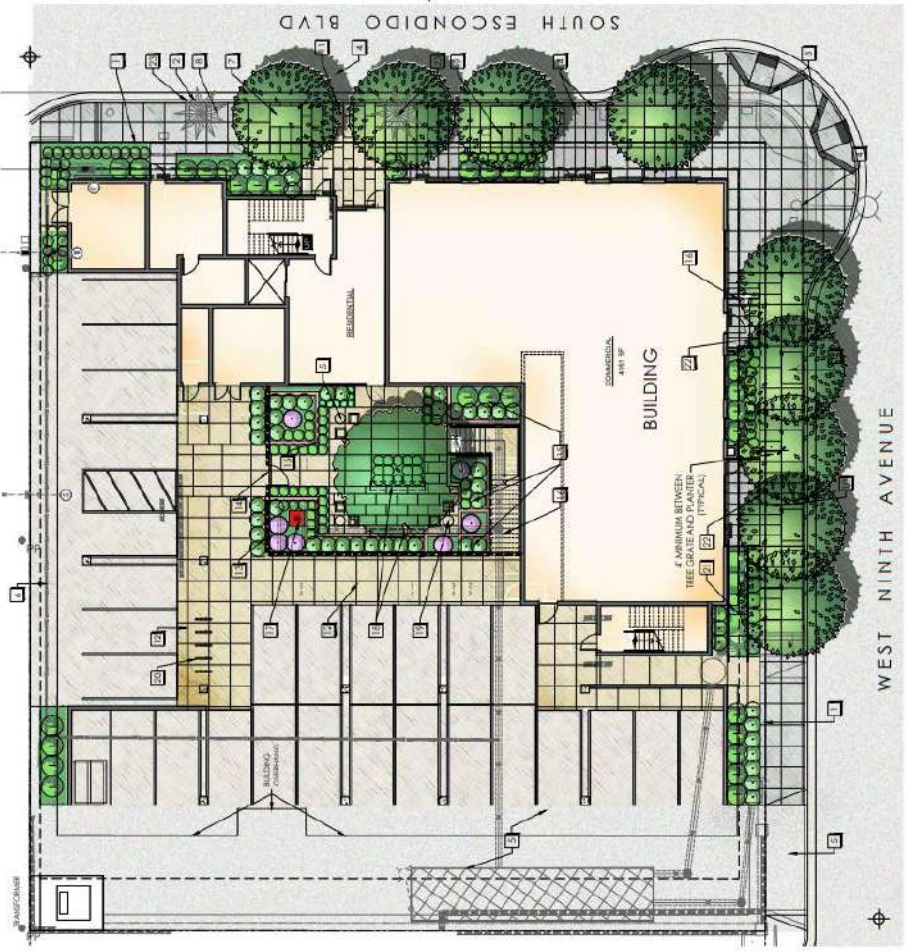
WATER CONSERVATION PRACTICES	MS-1
LEAST CONNECTIONS LEGAL DISCHARGE	MS-2
DETECTION AND REPORTING	MS-3
FITTABLE WATER ASSOCIATION	MS-4



C3 Erosion Control Plan



C4 Site View @ Intersection



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	ZONE #	WT/CULT.	DTF.
(Symbol)	Interior Courtyard Tree (24' Box)		M	1	
(Symbol)	Street Trees (24' Box)		M	7	
(Symbol)	Accent Shrubs (1 gal - 5 gal)		L		

- Types**
- Interior Courtyard Tree (24' Box)**: MACHONIA SPINOSA, CORNER; SOUTHERN MAGNOLIA
 - Street Trees (24' Box)**: LAGERSTROEMIA, YUKI; CAMEL WATLE
 - Accent Shrubs (1 gal - 5 gal)**:
 - AGAVE SP. (L)
 - ALOE (L)
 - ANGUSTRICIFOLIA (L)
 - BOERHAAVIA (L)
 - NEW ZEALAND FLAX (L)
 - FOUNDATION AND MESSINA SHRUBS (1.5 gal @ 3" - 4" O.C.)
 - JAPANESE BOXWOOD (M)
 - DIENHARDIA (L)
 - LITTLE LEAF LILY (L)
 - BLUE ESCUPE (L)
 - ORANGE BLOSSOM (L)
 - DEER GRASS (L)
 - WESTERN FRERICOSA (L)
 - CCAR ROSEMARY (L)
 - GROUND COVERS (Flats @ 12" O.C.)
 - ROSEMARY (L)
 - BLUE CHALK STICKS (L)

REMARKS:

- NO EXISTING PLANTINGS SHALL BE USED FOR THE LANDSCAPE REGULATIONS AND ALL PLANTINGS SHALL BE INSTALLED BY THE CONTRACTOR WITHIN THE SPECIFIED TIME FRAME.
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Water Efficient Landscape Worksheet

Calculate the amount of water that will be conserved through the use of water-efficient plants and landscape practices.

Water Use

Plant Material	Area (sq. ft.)	Water Use (GAL)
Regular Landscape Areas		
Special Landscape Areas		
Total	31440	31440

HARDSCAPE LEGEND

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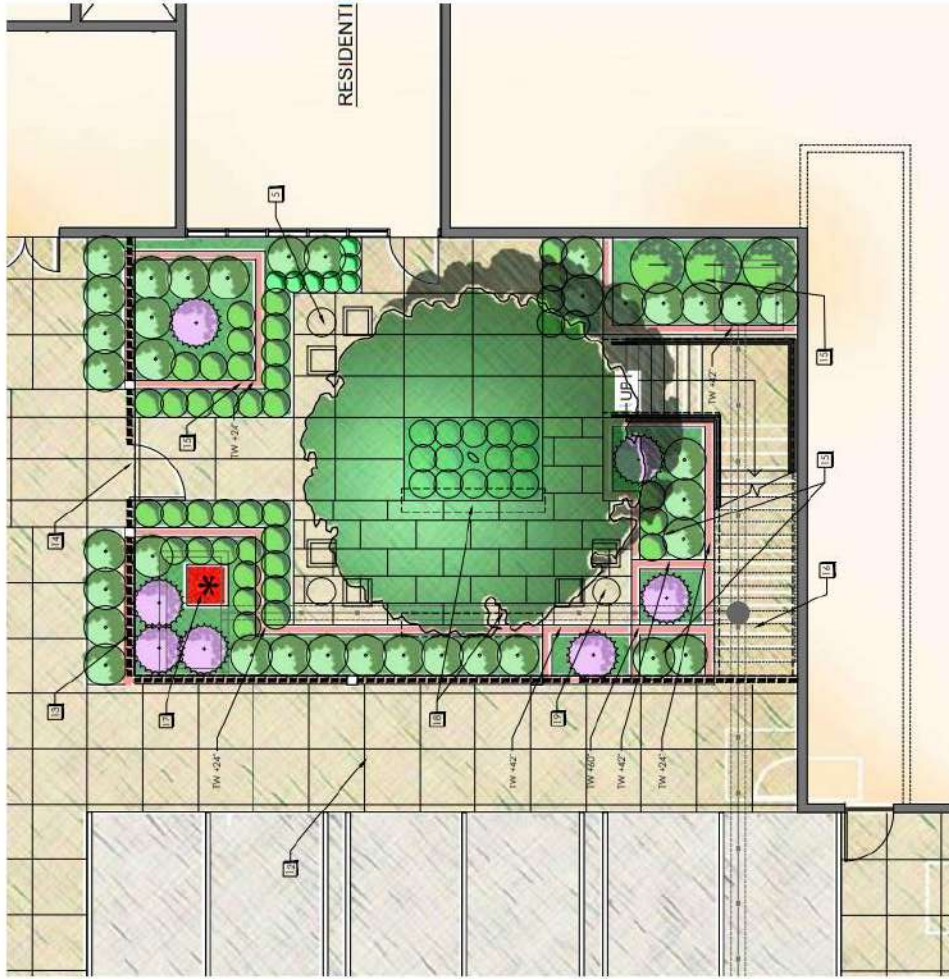
L1 Landscape Plan

STUDIO E
 ARCHITECTS



HARDSCAPE LEGEND

- SELECFEATURES**
- 1 RIGHT-OF-WAY
 - 2 CURB PER CIVIL PLANS
 - 3 CURB RAMP PER CIVIL PLANS
 - 4 STREET LIGHTS AND UTILITIES
 - 5 VEHICULAR PAVING PER CIVIL PLANS
 - 6 CONCRETE PAVING PER CIVIL PLANS
 - 7 EXISTING LANDSCAPE
 - 8 4"X6" TREE GRATE
 - 9 CONCRETE PAVING - NATURAL COLOR, MEDIUM BROOM FINISH, SAWCUT SCORE JOINTS AT 48" O.C. BOTH WAYS
 - 10 CONCRETE PAVING - NATURAL COLOR, MEDIUM BROOM FINISH, SAWCUT SCORE JOINTS @ 24" X 48"
 - 11 COMMERCIAL ENTRY CONCRETE FINISH, NATURAL COLOR, TOGGLE FINISH SAWCUT SCORE JOINTS @ 24" X 48"
 - 12 RESIDENTIAL ENTRY CONCRETE - INTEGRAL COLOR TO COMPLEMENT BUILDING, TOGGLE FINISH SAWCUT SCORE JOINTS @ 24" X 48"
 - 13 INTERIOR CONCRETE - INTEGRAL COLOR, TOGGLE FINISH SAWCUT SCORE PATTERN AS SHOWN
 - 14 METAL SECURITY FENCE (ON TOP OF WALL WHERE APPLICABLE)
 - 15 PEDESTRIAN ENTRY GATE
 - 16 PAVED PLANTERS
 - 17 MISCELLANEOUS
 - 18 STAIRS PER ARCHITECTS PLANS
 - 19 ACCENT SCULPTURE
 - 20 BUILT-IN BENCH
 - 21 BIERO TABLE
 - 22 BIKE PARKING
 - 23 PEDESTRIAN LAMP AND HANDRAIL
 - 24 SAFETY RAIL
 - 25 EXISTING PALM TREE AND PLANTER TO BE REMOVED



L2 Courtyard Plan