

Planning Commission
Hearing Date: August 22, 2023
Effective Date: September 2, 2023

PLANNING COMMISSION RESOLUTION NO. 2023-13

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ESCONDIDO, CALIFORNIA,
APPROVING THE MODIFICATION OF A
CONDITIONAL USE PERMIT TO REMOVE AN
EXISTING ROOF-MOUNTED WIRELESS
COMMUNICATION AND CONSTRUCT A NEW FAUX
EUCALYPTUS WIRELESS COMMUNICATION
FACILITY

APPLICANT: Verizon Wireless (VAW), LLC

CASE NO: PL22-0221

WHEREAS, Verizon Wireless (“Applicant”), filed a land use development application, Planning Case No. PL22-0221 (“Application”), with the City of Escondido (“City”) constituting a request to modify an existing Conditional Use Permit (95-43-CUP) to remove five rooftop omnidirectional antennae and a digital dish and construct a new mono-eucalyptus tree to expand, upgrade, and improve communication services; and

WHEREAS, the proposed wireless facility (“Project”) is located on the Westminster Theological Seminary property located at 1725 Bear Valley Parkway (APN 234-030-34-00), in the Residential Estates (RE-20) zone and has a General Plan Land Use designation of Estate II (E2); and

WHEREAS, the subject property is all that real property described in Exhibit "A" which is attached hereto and made a part hereof by this reference as though fully set forth herein (“Property”); and

WHEREAS, the Application was submitted to, and processed by, the Planning Division of the Development Services Department in accordance with the rules and regulations of the Escondido Zoning Code and the applicable procedures and time limits specified by the Permit Streamlining Act (Government Code section 65920 et seq.) and the California Environmental Quality Act (Public Resources Code section 21000 et seq.) (“CEQA”); and

WHEREAS, wireless communication facilities are permitted uses within the Residential Estates zone (RE-20), subject to the approval of a Conditional Use Permit, in accordance with Section 33-706 of the Escondido Zoning Code; and

WHEREAS, pursuant to CEQA and the CEQA Guidelines (Title 14 of California Code of Regulations, Section 15000 et. seq.), the City is the Lead Agency for the Project, as the public agency with the principal responsibility for approving the proposed Project; and

WHEREAS, the Planning Division studied the Application, performed necessary investigations, prepared a written report, and hereby recommends approval of the Project as depicted on the plan set shown in Exhibit "B", which is attached hereto and made a part hereof by this reference as though fully set forth herein; and

WHEREAS, City staff provided public notice of the application in accordance with City and State public noticing requirements; and

WHEREAS, on August 22, 2023, the Planning Commission held a duly noticed public hearing as prescribed by law, at which time the Planning Commission received and considered the reports and recommendation of the Planning Division and gave all

person's full opportunity to be heard and to present evidence and testimony regarding the Project. Evidence was submitted to and considered by the Planning Commission, including, without limitation:

- a. Written information including plans, studies, written and graphical information, and other material, submitted by the Applicant;
- b. Oral testimony from City staff, interested parties, and the public;
- c. The staff report, dated August 22, 2023, with its attachments as well as City staff's recommendation on the Project, which is incorporated herein as though fully set forth herein; and
- d. Additional information submitted during the public hearing; and

WHEREAS, the public hearing before the Planning Commission was conducted in all respects as required by the Escondido Municipal Code and the rules of this Planning Commission.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Escondido that:

1. The above recitations are true and correct.
2. The Planning Commission, in its independent judgement, has determined the Project to be exempt from environmental review pursuant to CEQA Guidelines section 15303 (New Construction or Conversion of Small Structures). The Project qualifies for the "New Construction or Conversion of Small Structures" exemption because Class 3 is defined as projects that are consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in

small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. In addition, the operation, repair, maintenance, or minor alterations of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that previously existing at the time of the lead Agency determination. The project is to remove and replace outdated communications equipment from a lower elevation Seminary rooftop and to install a 62'-6" mono pole to meet height service coverage requirements.

3. The project does not involve the use of significant amounts of hazardous substances; and is serviced by all necessary public services and facilities and the site is connected to City sewer and water services.

4. After consideration of all evidence presented, and studies and investigations made by the Planning Commission and on its behalf, the Planning Commission makes the substantive findings and determinations attached hereto as Exhibit "C" relating to the information that has been considered. In accordance with the Findings of Fact and the foregoing, the Planning Commission reached a decision on the matter as hereinafter set forth.

5. The Application to use the Property for the Project, subject to each and all the conditions hereinafter set forth in Exhibit "D", is **hereby approved** by the Planning Commission. The Planning Commission expressly declares that it would not have approved this Application except upon and subject to each and all of said conditions, each and all of which shall run with the land and be binding upon the Applicant, the owner, and

all subsequent owners of the Property, and all persons who use the Property for the use permitted hereby.

6. The Planning Commission, therefore, directs that a Notice of Exemption be filed with the County Clerk of the County of San Diego in accordance with the CEQA Guidelines.

6. The development plans for the Project are on file in the Planning Division of the Development Services Department and are available for inspection by anyone interested herein, and the development plans are incorporated herein by this reference as if they were fully set forth herein. The Project is conditionally approved as set forth on the Application and Project drawings, all designated as approved by the Planning Commission, and which shall not be altered without the express authorization by the Planning Division. Any deviations from the approved development plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.

BE IT FURTHER RESOLVED that, pursuant to Government Code section 66020(d)(1):

1. NOTICE IS HEREBY GIVEN that the Project is subject to dedications, reservations, and exactions, as specified in the Conditions of Approval. The Project is subject to certain fees described in the City of Escondido's Development Fee Inventory on file in both the Planning Division and Engineering Division of the Development Services Department. The Applicant shall be required to pay all development fees of the City then in effect at the time and in such amounts as may prevail when building permits

are issued. It is the City's intent that the costs representing future development's share of public facilities and capital improvements be imposed to ensure that new development pays the capital costs associated with growth. The Applicant is advised to review the Planned Fee Updates portion of the web page, www.escondido.org, and regularly monitor and/or review fee-related information to plan for the costs associated with undertaking the Project.

2. NOTICE IS FURTHER GIVEN that the 90-day period during which to protest the imposition of any fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this Resolution, and any such protest must be in a manner that complies with Government Code section 66020.

PASSED, ADOPTED, AND APPROVED by a majority vote of the Planning Commission of the City of Escondido, California, at a regular meeting held on the 22th day of August, 2023, by the following vote, to wit:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSTAINED:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:

Rick Paul, Chair
Escondido Planning Commission

ATTEST:

ADAM FINESTONE, Secretary of the
Escondido Planning Commission

I hereby certify that the foregoing Resolution was passed at the time and by the vote above stated.

Alexander Rangel, Minutes Clerk
Escondido Planning Commission

Decision may be appealed to City Council
pursuant to Zoning Code Section 33-1303

Exhibit "A"

Legal Description

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF ESCONDIDO, IN THE COUNTY OF SAN DEIGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: APN: 234-030-34-00

LOT "K" IN BLOCK 241 OF THE RESUBDIVISION OF PART OF CLOCK 241 OF THE RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF 1427, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 4, 1912.

Exhibit B



WESTMINSTER SD L-SUB6 1725 BEAR VALLEY PARKWAY ESCONDIDO, CA 92027

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW



16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.



WESTMINSTER SD
L-SUB6
1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

SHEET TITLE:
TITLE SHEET

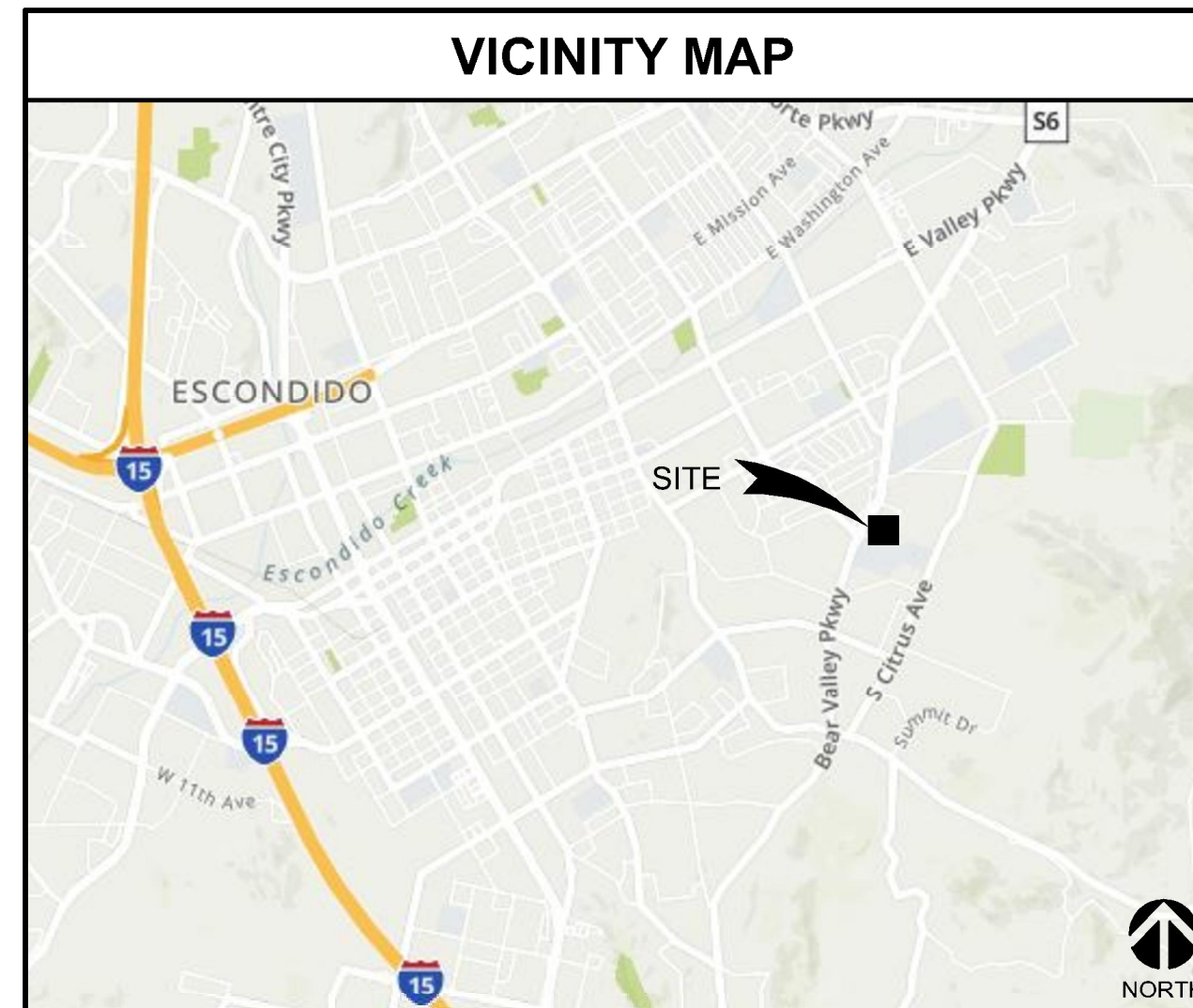
T-1

OVERALL HEIGHT
62'-0" A.G.L.

PROJECT DESCRIPTION
<p>VERIZON PROPOSES TO MODIFY AN (E) UNMANNED WIRELESS TELECOMMUNICATIONS FACILITY THAT WILL CONSIST OF THE FOLLOWING:</p> <ul style="list-style-type: none"> REMOVE (5) (E) OMNI ANTENNAS AND MOUNTS FROM (E) BUILDING REMOVE (2) (E) RADIO UNITS FROM (E) BUILDING REMOVE (2) (E) EQUIPMENT CABINETS INSTALL (1) (N) 62'-0" HIGH MONOEUCALYPTUS INSTALL (12) (N) ANTENNAS ON (N) MONOEUCALYPTUS INSTALL (6) (N) RADIO UNITS ON (N) MONOEUCALYPTUS INSTALL (3) (N) VERIZON RAYCAP UNITS ON (N) MONOEUCALYPTUS INSTALL (3) (N) DUAL-MOUNT ANTENNA BRACKETS ON (N) MONOEUCALYPTUS INSTALL (3) (N) HYBRID CABLES FROM (E) EQUIPMENT ENCLOSURE TO (N) MONOEUCALYPTUS INSTALL (1) (N) CONTROLLED CLIMATE EQUIPMENT CABINET (CCEC) IN (E) ENCLOSURE INSTALL (2) (N) RAYCAP UNITS IN (E) ENCLOSURE REMOVE ANY UNUSED CABLES <p>NO NEW BATTERIES SHALL BE ADDED AS A PART OF THIS APPLICATION</p> <p>QUANTITY AFTER MODIFICATION: ANTENNAS: 12 RADIO UNITS: 6</p>

PROJECT TEAM
<p>SITE ACQUISITION: PLANCOM, INC. 16776 BERNARDO CENTER DRIVE, UNIT 203 SAN DIEGO, CA 92128 CONTACT: JILL CLEVELAND TELEPHONE: (760) 420-4833</p> <p>PLANNING: PLANCOM, INC. 16776 BERNARDO CENTER DRIVE, UNIT 203 SAN DIEGO, CA 92128 CONTACT: JILL CLEVELAND TELEPHONE: (760) 420-4833</p> <p>ARCHITECTURE: PLANCOM, INC. 16776 BERNARDO CENTER DRIVE, UNIT 203 SAN DIEGO, CA 92128 CONTACT: RANDY WILLIAMS TELEPHONE: (858) 442-3397</p>

RFDS INFORMATION
RFDS_WESTMINSTER SD Dated 3/28/2023 10:43:55 AM



DRIVING DIRECTIONS
<p>FROM: VERIZON OFFICE 15505 SAND CANYON AVE IRVINE, CA 92618</p> <p>TO: 1725 BEAR VALLEY PARKWAY ESCONDIDO, CA 92027</p> <ol style="list-style-type: none"> HEAD SOUTHEAST TOWARD SAND CANYON TRAIL TURN RIGHT ONTO SAND CANYON AVE MERGE ONTO I-405 S VIA THE RAMP TO SAN DIEGO MERGE ONTO I-5 S TAKE EXIT I-5B FOR CA-78/VISTA WAY MERGE ONTO CA-78 CONTINUE STRAIGHT ONTO E LINCOLN PKWY CONTINUE ONTO E LINCOLN AVE TURN RIGHT ONTO N ASH ST CONTINUE ONTO SAN PASQUAL VALLEY TURN LEFT ONTO BIRCH AVE TURN LEFT ONTO BEAR VALLEY PKWY TURN RIGHT ONTO BOYLE AVE DESTINATION WILL BE ON THE RIGHT

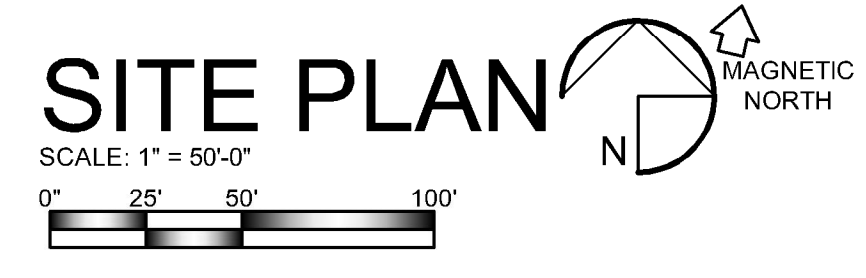
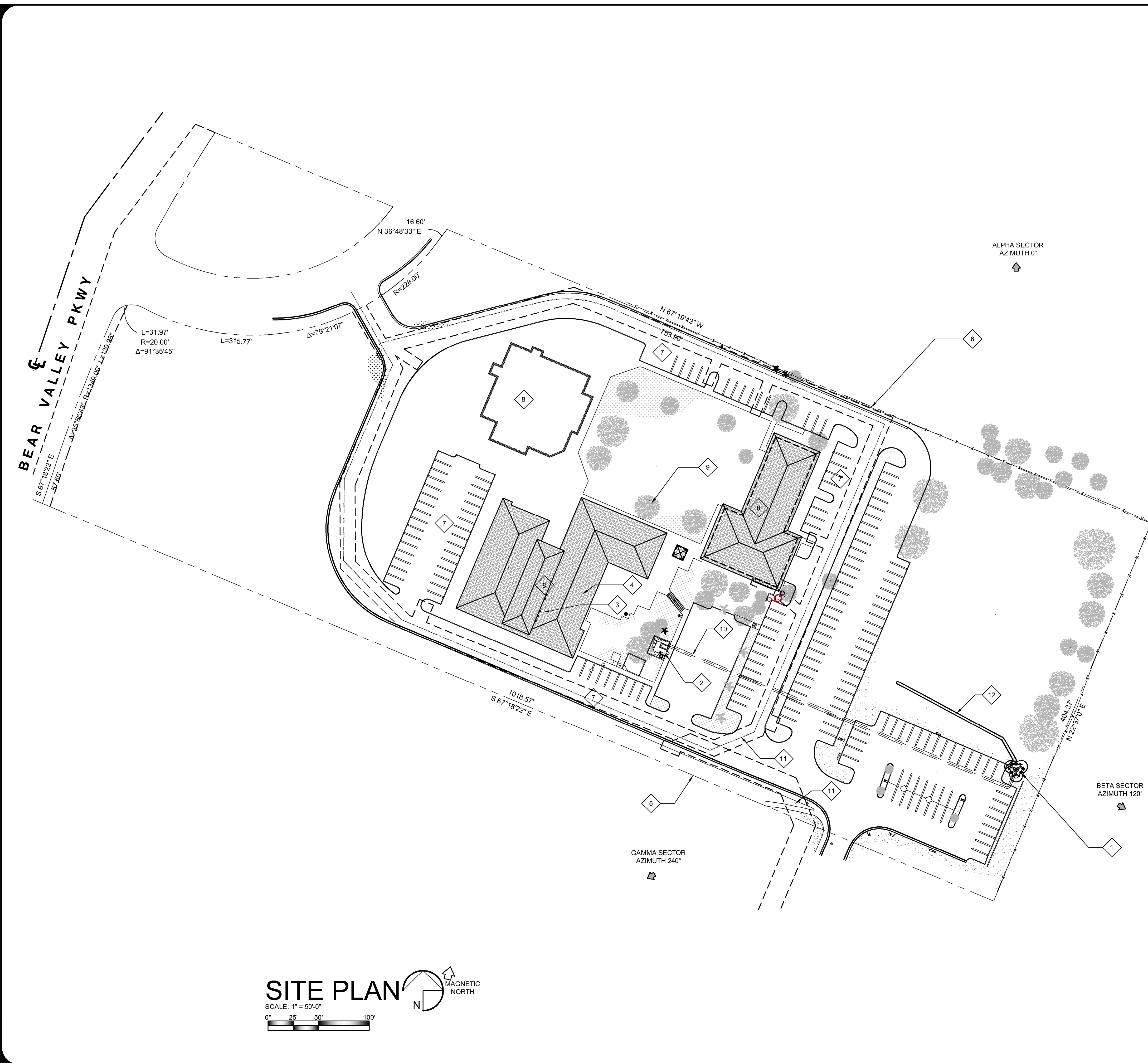
GENERAL CONTRACTOR NOTES
<p>DO NOT SCALE DRAWINGS</p> <p>THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS MATCH THE DRAWINGS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES. PROCEEDING WITH CONSTRUCTION WITHOUT SUCH NOTIFICATION OF DISCREPANCIES INDICATES THE GENERAL CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE EXISTING CONDITIONS AND HAS INCLUDED RESOLUTION OF THOSE DISCREPANCIES IN HIS OR HER BID FOR CONSTRUCTION.</p>

PROJECT SUMMARY
<p>APPLICANT: verizon 15505 SAND CANYON AVENUE, D1 IRVINE, CA 92618 OFFICE: (949) 286-7000</p> <p>ASSESSOR'S PARCEL NUMBER: APN: 234-030-34</p> <p>LEGAL DESCRIPTION: LOT "K" IN BLOCK 241 OF THE RESUBDIVISION OF PART OF BLOCK 241 OF THE RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF 1427, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 4, 1912.</p> <p>APPLICANT'S REPRESENTATIVE: PLANCOM, INC. 16776 BERNARDO CENTER DRIVE, UNIT 203 SAN DIEGO, CA 92128 CONTACT: JILL CLEVELAND TELEPHONE: (760) 420-4833</p> <p>PROPERTY OWNER: WESTMINSTER THEOLOGICAL SEMINARY 1725 BEAR VALLEY PARKWAY ESCONDIDO, CA 92027 SITE CONTACT: MARCUS MCARTHUR PHONE: (760) 480-8474</p> <p>PROPERTY INFORMATION: SITE NAME: WESTMINSTER SD L-SUB6 SITE ADDRESS: 1725 BEAR VALLEY PARKWAY ESCONDIDO, CA 92027 JURISDICTION: CITY OF ESCONDIDO</p> <p>CONSTRUCTION INFORMATION: AREA OF CONSTRUCTION: APPROX. 1200 SQ. FT. GROUND DISTURBANCE OCCUPANCY: U TYPE OF CONSTRUCTION: V-B ZONING CLASSIFICATION: RE-20 USE: COMMERCIAL UNMANNED WIRELESS FACILITY ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. MACHINERY SPACES ARE EXEMPT FROM STATE OF CALIFORNIA ACCESSIBILITY REQUIREMENTS PER THE CBC SECTION 11B-203.5.</p> <p>LATITUDE: 33.121707 / 33° 7' 18.1452" N LONGITUDE: -117.047253 / 117° 2' 50.1108" W</p> <p>NOTE: THERE ARE MULTIPLE (E) TELECOMMUNICATIONS FACILITIES ON THIS PROPERTY.</p>

CODE COMPLIANCE
<ul style="list-style-type: none"> 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE <p>IN THE EVENT OF A CONFLICT, THE MORE RESTRICTIVE CODE SHALL GOVERN.</p>

SHEET	DESCRIPTION
T-1	TITLE SHEET
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT PLAN
A-3	MONOEUCALYPTUS ELEVATION AND ANTENNA PLAN
A-4	EXTERIOR ELEVATION
A-5	EXTERIOR ELEVATION
D-1	DETAILS
D-2	DETAILS
LS-1	TITLE DETAILS
LS-2	BOUNDARY DETAILS
LS-3	TOPOGRAPHIC SURVEY
ZONING DRAWINGS	

Exhibit B



KEYED NOTES:

- 1 INSTALL (1) (N) VERIZON WIRELESS 62'-0" MONOEUCALYPTUS
INSTALL (2) (N) ANTENNAS
INSTALL (6) (N) RADIO UNITS
INSTALL (3) (N) RAYCAP UNITS
INSTALL (3) (N) DUAL-MOUNT ANTENNA BRACKETS
SEE ANTENNA PLANS SHEET A-3
- 2 (E) VERIZON WIRELESS EQUIPMENT ENCLOSURE
REMOVE (1) (E) 6102 CMO EQUIPMENT CABINET
INSTALL (1) (N) CONTROLLED CLIMATE EQUIPMENT CABINET
INSTALL (2) (N) RAYCAP UNITS
INSTALL (3) (N) 6x12 HYBRID TRUNK LINES
SEE EQUIPMENT PLAN SHEET A-2
- 3 REMOVE (5) (E) VERIZON WIRELESS OMNI ANTENNAS & MOUNTS, &
(2) (E) RADIOS FROM (E) BUILDING. REMOVE ALL CABLES
- 4 (E) ELECTRICAL METER W/ 200AMP 240VOLT PULL-OUT FUSE INSIDE
(E) ELECTRICAL ROOM
- 5 PROPERTY LINE, TYPICAL
- 6 (E) CHAIN LINK FENCE
- 7 (E) PARKING AREA
- 8 (E) BUILDING
- 9 (E) TREE, TYP
- 10 (N) 3'-0" WIDE TRENCH FOR (N) CABLE CONDUIT (APPROX. 400' LENGTH)
- 11 PUBLIC WATER EASEMENT
- 12 (E) CONCRETE DRAINAGE SWALE

CITY OF ESCONDIDO WATER SERVICE NOTES:

- ALL WATER SERVICES AND FIRE HYDRANT SERVICES, CUT OR DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED FROM THE WATER MAIN TO THE METER/FIRE HYDRANT, PER CITY OF ESCONDIDO STANDARD DRAWING W-1-E, W-2-E AND/OR W-3-E.
- MAINTAIN A MINIMUM OF 5' HORIZONTAL AND 1' VERTICAL SEPARATION FROM ALL CITY OF ESCONDIDO WATER AND SEWER MAINS. THE SEPARATION SHALL BE FROM OUTSIDE OF PIPE TO OUTSIDE OF CONDUIT/PIPE.

EASEMENTS:
ALL EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS. EASEMENTS ARE SUBJECT TO REVIEW OF TITLE REPORT.

BOUNDARY NOTE:
THE PROJECT BOUNDARY SHOWN ON THIS DRAWING IS APPROXIMATE AND IS SHOWN FOR REFERENCE ONLY. A COMPLETE BOUNDARY SURVEY WAS NOT PERFORMED.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW



TELECOMMUNICATIONS PROJECT MANAGEMENT
16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.



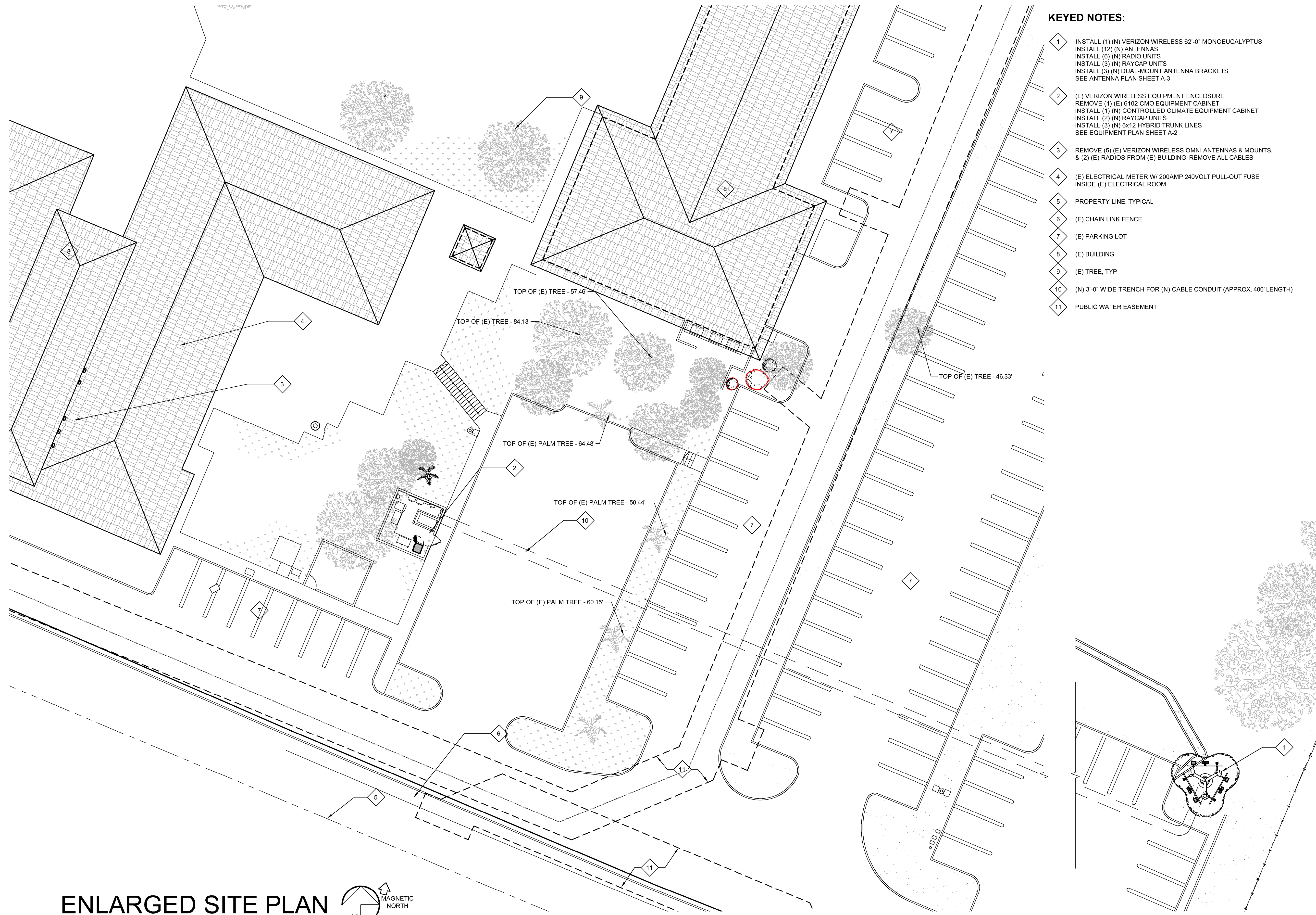
**WESTMINSTER SD
L-SUB6**
1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

SHEET TITLE:

SITE PLAN

A-0

Exhibit B

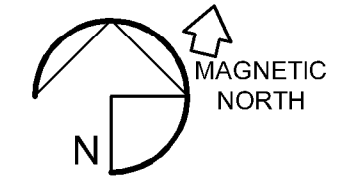


KEYED NOTES:

- 1 INSTALL (1) (N) VERIZON WIRELESS 62'-0" MONOEUCALYPTUS
INSTALL (2) (N) ANTENNAS
INSTALL (6) (N) RADIO UNITS
INSTALL (3) (N) RAYCAP UNITS
INSTALL (3) (N) DUAL-MOUNT ANTENNA BRACKETS
SEE ANTENNA PLAN SHEET A-3
- 2 (E) VERIZON WIRELESS EQUIPMENT ENCLOSURE
REMOVE (1) (E) 6102 CMO EQUIPMENT CABINET
INSTALL (1) (N) CONTROLLED CLIMATE EQUIPMENT CABINET
INSTALL (2) (N) RAYCAP UNITS
INSTALL (3) (N) 6x12 HYBRID TRUNK LINES
SEE EQUIPMENT PLAN SHEET A-2
- 3 REMOVE (6) (E) VERIZON WIRELESS OMNI ANTENNAS & MOUNTS,
& (2) (E) RADIOS FROM (E) BUILDING. REMOVE ALL CABLES
- 4 (E) ELECTRICAL METER W/ 200AMP 240VOLT PULL-OUT FUSE
INSIDE (E) ELECTRICAL ROOM
- 5 PROPERTY LINE, TYPICAL
- 6 (E) CHAIN LINK FENCE
- 7 (E) PARKING LOT
- 8 (E) BUILDING
- 9 (E) TREE, TYP
- 10 (N) 3'-0" WIDE TRENCH FOR (N) CABLE CONDUIT (APPROX. 400' LENGTH)
- 11 PUBLIC WATER EASEMENT

ENLARGED SITE PLAN

SCALE: 1/16" = 1'-0"
0" 8" 16" 32"



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW

PLANCOM

TELECOMMUNICATIONS PROJECT MANAGEMENT

16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

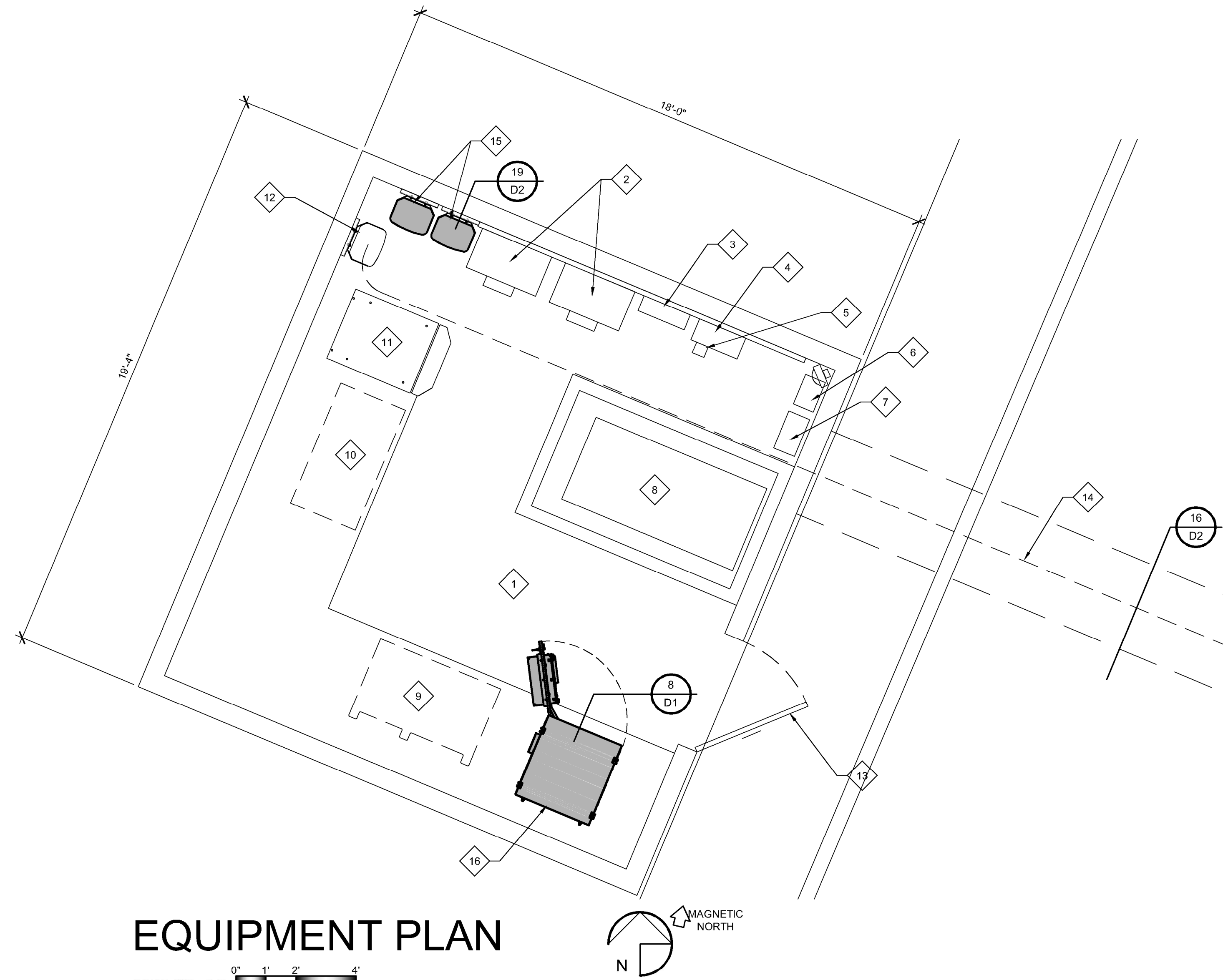


WESTMINSTER SD
L-SUB6
1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

SHEET TITLE:
ENLARGED
SITE PLAN

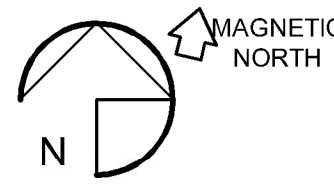
A-1

Exhibit B



EQUIPMENT PLAN

SCALE: 3/8" = 1'-0"



KEYED NOTES:

- 1 (E) VERIZON WIRELESS EQUIPMENT ENCLOSURE
- 2 (E) WALL MOUNTED FIBER BOX
- 3 (E) WALL MOUNTED ELECTRICAL PANEL W/ 200A MAIN BREAKER
- 4 (E) WALL MOUNTED MANUAL TRANSFER SWITCH (MTS)
- 5 (E) WALL MOUNTED GENERATOR RECEPTACLE
- 6 (E) WALL MOUNTED AUTOMATIC TRANSFER SWITCH (ATS)
- 7 (E) WALL MOUNTED FUSED DISCONNECT SWITCH
- 8 (E) 20kW STANDBY GENERATOR WITH A 52 GALLON DIESEL FUEL TANK
- 9 REMOVE (E) CMO CABINET
- 10 REMOVE (E) 6102 LTE CABINET
- 11 (E) RBA CABINET WITH POWER PLANT & BATTERIES
- 12 (E) WALL MOUNTED 3315 TYPE RAYCAP UNIT
- 13 (E) METAL GATE WITH SITE SIGNAGE
- 14 INSTALL (3) (N) 6x12 HYBRID TRUNK LINES (APPROX. CABLE LENGTH = 480') IN (N) 3'-0" WIDE CONDUIT TRENCH (APPROX. TRENCH LENGTH = 380')
- 15 INSTALL (2) (N) 3315 TYPE RAYCAP UNITS MOUNTED TO WALL
- 16 INSTALL (N) CLIMATE CONTROLLED EQUIPMENT CABINET (CCEC) SIZE: 72"H x 36"W x 40"D, WEIGHT: 4385 LBS MAX.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW

PLANCOM INC

TELECOMMUNICATIONS PROJECT MANAGEMENT
16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

verizon
15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618

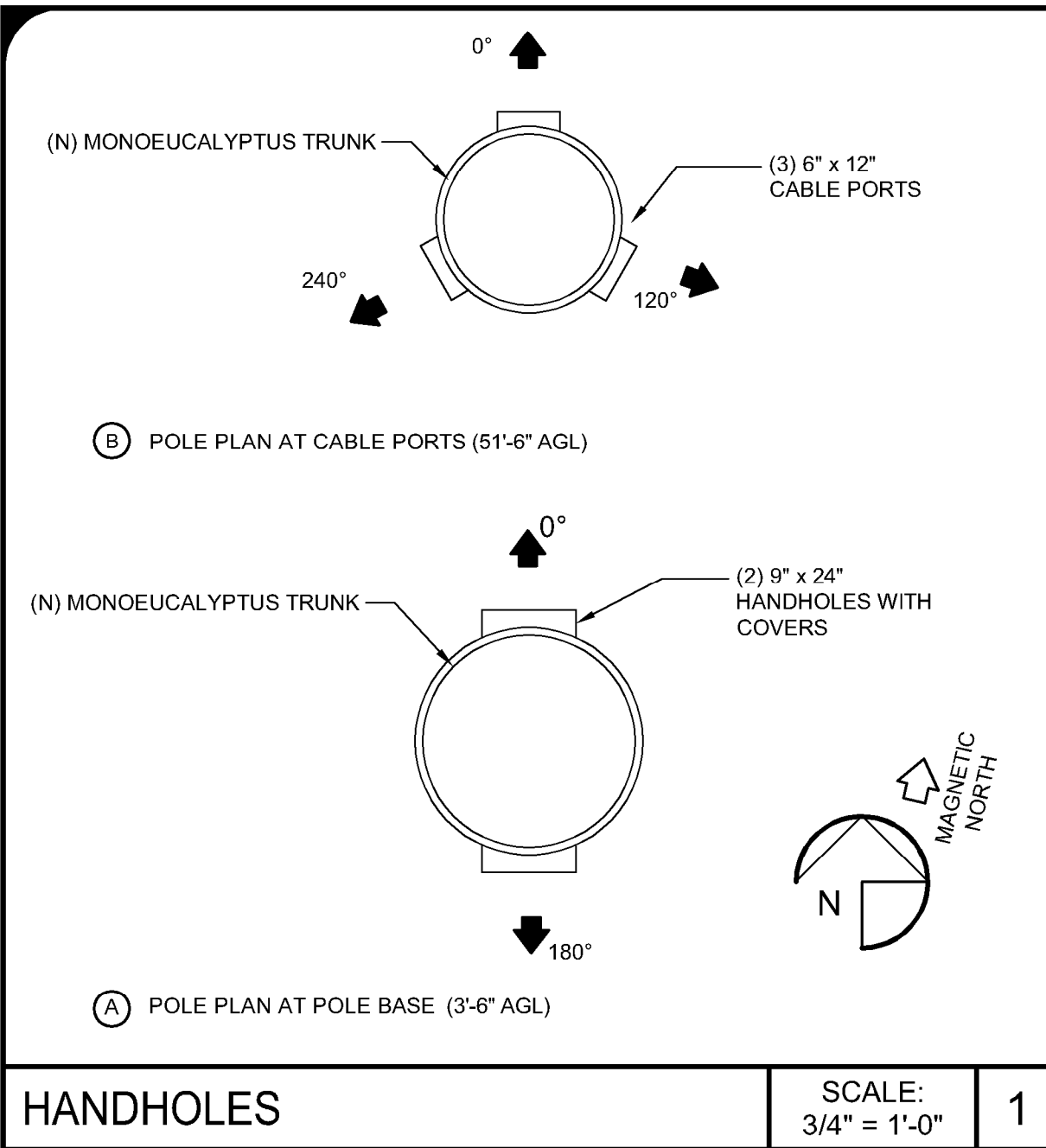
WESTMINSTER SD
L-SUB6

1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

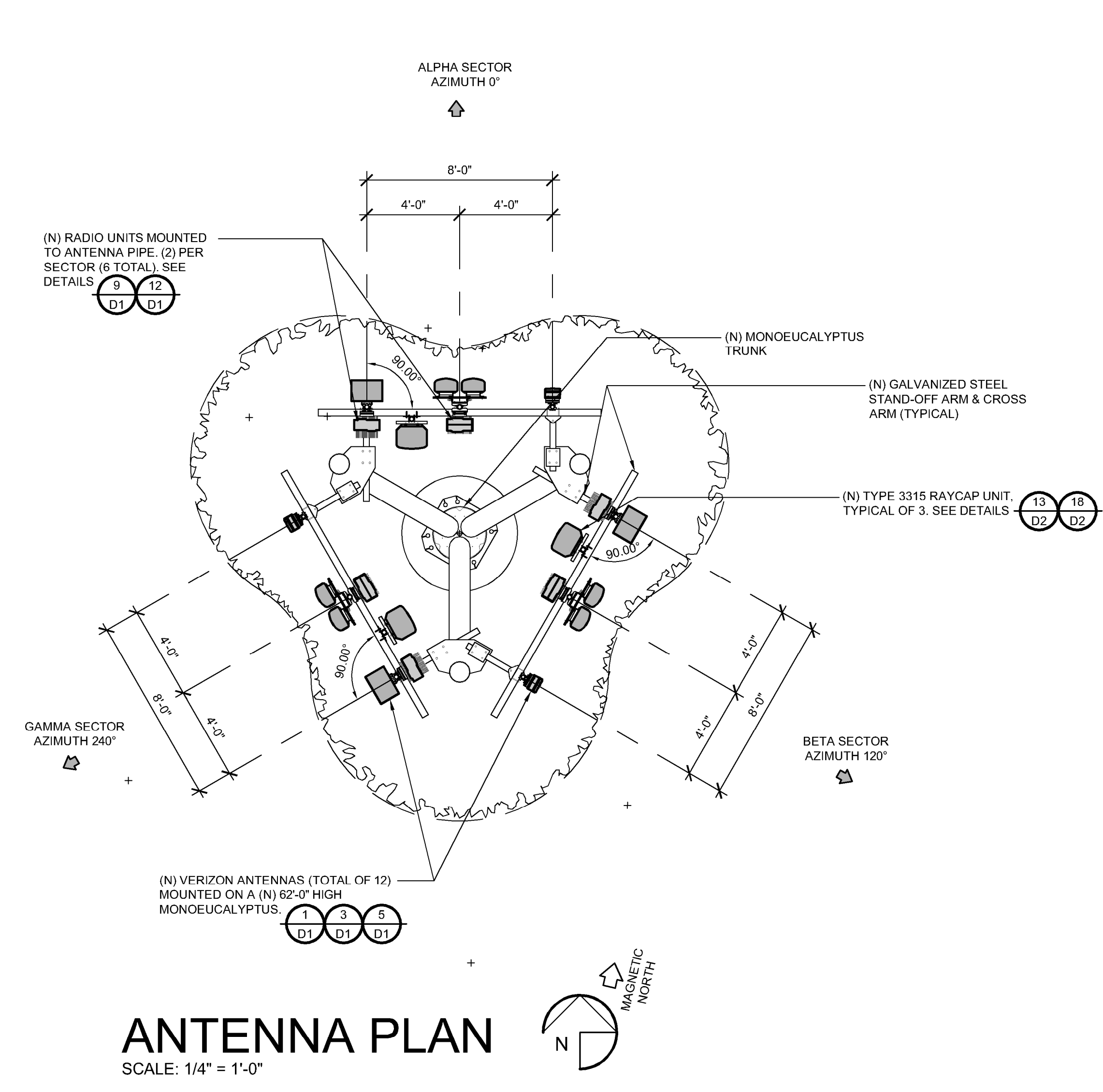
SHEET TITLE:
EQUIPMENT PLANS

A-2

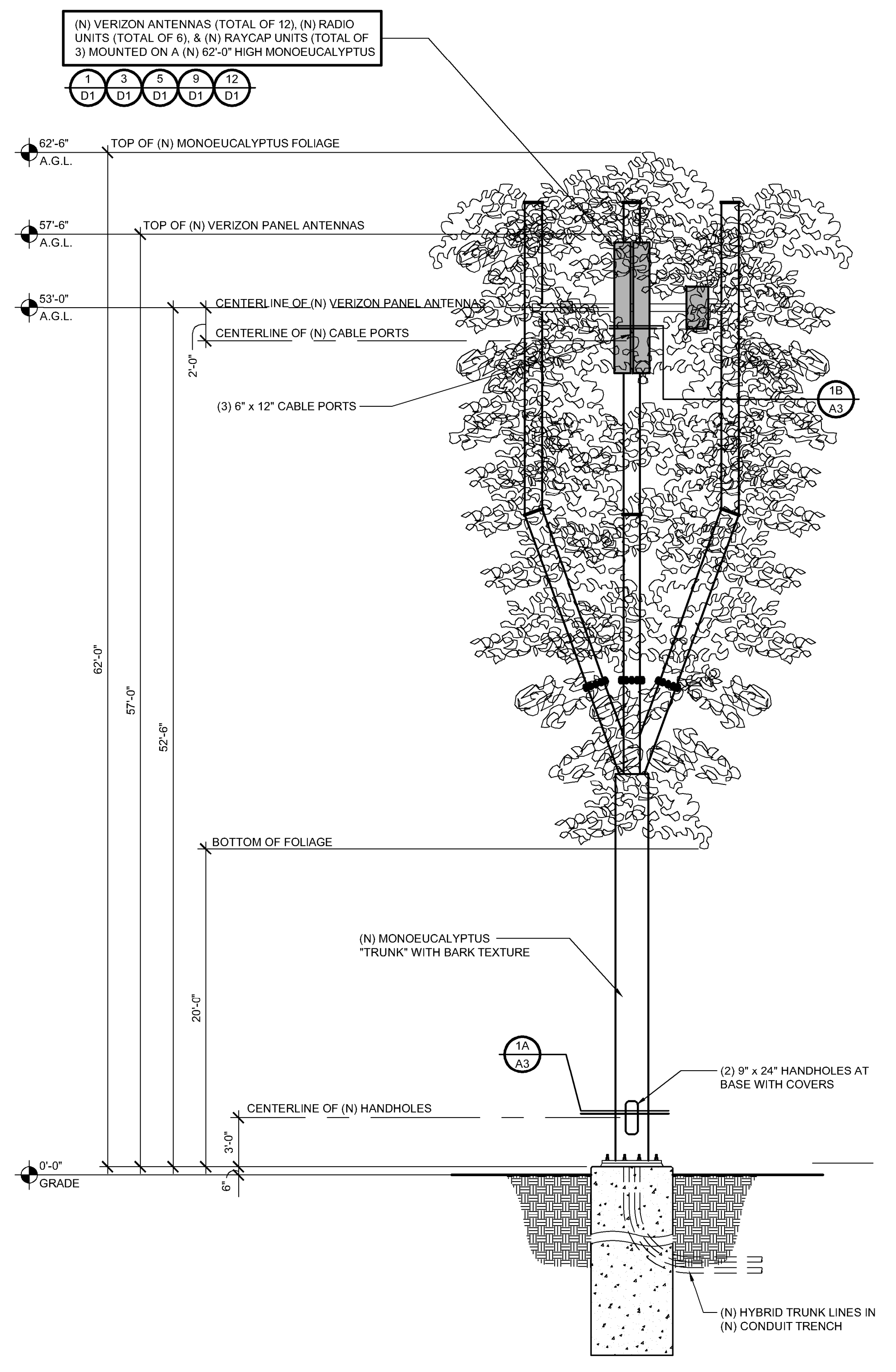
Exhibit B



PROPOSED VERIZON ANTENNA SCHEDULE						
ANTENNA NUMBER	ANTENNA MODEL	RAD CENTER	AZIMUTH	COAX / FIBER CABLE LENGTH	RADIO UNIT TYPE	ACTIVE TECHNOLOGY
A1	ERICSSON: AIR6449				-	L-SUB6
A2	COMSCOPE: NHH-65C-R2B				4449	L700 / L850 / AWS
A3	COMSCOPE: NHH-65C-R2B	53'-0"	0°	-	8843	L700 / L850 / PCS
A4	ERICSSON: KRE105281/1				-	CBRS
B1	ERICSSON: AIR6449				-	L-SUB6
B2	COMSCOPE: NHH-65C-R2B				4449	L700 / L850 / AWS
B3	COMSCOPE: NHH-65C-R2B	53'-0"	120°	-	8843	L700 / L850 / PCS
B4	ERICSSON: KRE105281/1				-	CBRS
C1	ERICSSON: AIR6449				-	L-SUB6
C2	COMSCOPE: NHH-65C-R2B				4449	L700 / L850 / AWS
C3	COMSCOPE: NHH-65C-R2B	53'-0"	240°	-	8843	L700 / L850 / PCS
C4	ERICSSON: KRE105281/1				-	CBRS



- NOTES:**
- THE FAUX BRANCHES SHALL EXTEND MINIMUM 24" BEYOND THE ANTENNAS OR THE TOWER-MOUNTED TELECOM COMPONENT FURTHEST FROM THE TRUNK.
 - THE FRONT (SIGNALING SURFACES) OF ANTENNAS "3/D1" & "5/D1" CANNOT BE COVERED BY FOLIAGE "SOCKS". THE GENERAL CONTRACTOR SHALL INSTALL 3M FILM ON THESE ANTENNAS ONLY, AS DIRECTED BY THE VERIZON CONSTRUCTION MANAGER. FILM SHALL COVER THE ENTIRE FACE & SIDES OF EACH ANTENNA UNIT. FILM COLOR SHALL MATCH THE MONOEUCALYPTUS TREE. DO NOT PAINT THE BOTTOM OR BACKS OF THESE ANTENNA UNITS.
 - ALL PANEL ANTENNAS, RADIOS, & RAYCAP UNITS, WITH THE EXCEPTION OF THE ANTENNAS SPECIFIED IN NOTE 2, SHALL BE COMPLETELY WRAPPED WITH "SOCKS" WITH FAUX LEAF COVERINGS. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR MAINTAINING ALL COVERS IN GOOD CONDITION AT ALL TIMES.
 - THE ENTIRE LENGTH OF THE MONOEUCALYPTUS TRUNK AND ALL BRANCHES SHALL BE FINISHED WITH THREE-DIMENSIONAL FAUX WOOD BARK COVERING. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR MAINTAINING THE FAUX WOOD BARK COVERING IN GOOD CONDITION AT ALL TIMES.
 - ANY PART OF PANEL ANTENNAS, RADIOS, & RAYCAP UNITS NOT WITHIN THE CAMOUFLAGE "SOCKS" AND ALL MOUNTING HARDWARE OUTSIDE THE MONOEUCALYPTUS TRUNK AND ALL CABLES OUTSIDE THE MONOEUCALYPTUS TRUNK SHALL BE PAINTED A CAMOUFLAGE PATTERN OF BROWNS AND GREENS.
 - MOUNTING HARDWARE SHALL ONLY BE PROVIDED FOR ANTENNAS AND COMPONENTS INSTALLED AS PART OF THIS PROJECT. NO UNUSED OR "FUTURE" HARDWARE OR MOUNTS MAY BE INSTALLED.



ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW

PLANCOM
TELECOMMUNICATIONS PROJECT MANAGEMENT
16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

verizon
15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618

WESTMINSTER SD
L-SUB6
1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

SHEET TITLE:
ANTENNA PLAN & MONOEUCALYPTUS ELEVATION

A-3

Exhibit B

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW

PLANCOM

TELECOMMUNICATIONS PROJECT MANAGEMENT

16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.



WESTMINSTER SD
L-SUB6
1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

SHEET TITLE:
EXTERIOR ELEVATION

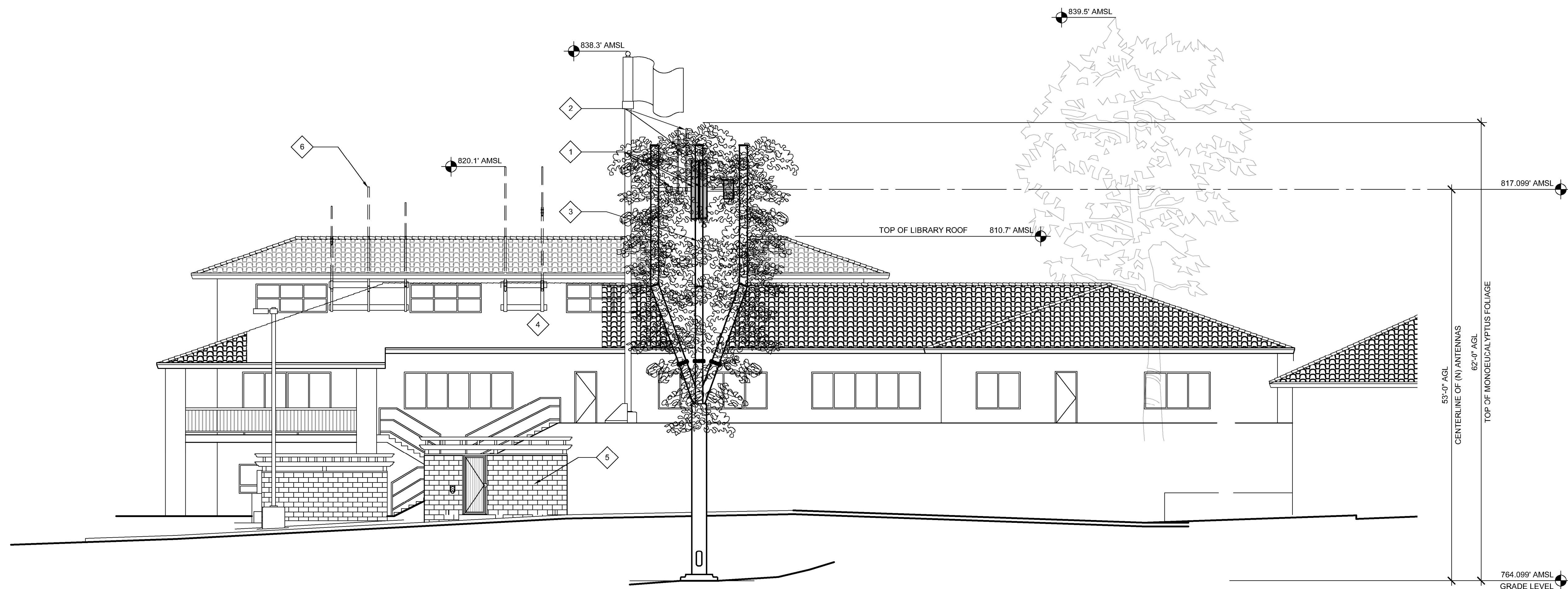
A-4

NOTES:

- THE FAUX BRANCHES SHALL EXTEND MINIMUM 24" BEYOND THE ANTENNAS OR THE TOWER-MOUNTED TELECOM COMPONENT FURTHEST FROM THE TRUNK.
- THE FRONT (SIGNALING SURFACES) OF ANTENNAS "3/D1" & "5/D1" CANNOT BE COVERED BY FOLIAGE "SOCKS". THE GENERAL CONTRACTOR SHALL INSTALL 3M FILM ON THESE ANTENNAS ONLY, AS DIRECTED BY THE VERIZON CONSTRUCTION MANAGER. FILM SHALL COVER THE ENTIRE FACE & SIDES OF EACH ANTENNA UNIT. FILM COLOR SHALL MATCH THE MONOEUCALYPTUS TREE. DO NOT PAINT THE BOTTOM OR BACKS OF THESE ANTENNA UNITS.
- ALL PANEL ANTENNAS, RADIOS, & RAYCAP UNITS, WITH THE EXCEPTION OF THE ANTENNAS SPECIFIED IN NOTE 2, SHALL BE COMPLETELY WRAPPED WITH "SOCKS" WITH FAUX LEAF COVERINGS. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR MAINTAINING ALL COVERS IN GOOD CONDITION AT ALL TIMES.
- THE ENTIRE LENGTH OF THE MONOEUCALYPTUS TRUNK AND ALL BRANCHES SHALL BE FINISHED WITH THREE-DIMENSIONAL FAUX WOOD BARK COVERING. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR MAINTAINING THE FAUX WOOD BARK COVERING IN GOOD CONDITION AT ALL TIMES.
- ANY PART OF PANEL ANTENNAS, RADIOS, & RAYCAP UNITS NOT WITHIN THE CAMOUFLAGE "SOCKS" AND ALL MOUNTING HARDWARE OUTSIDE THE MONOEUCALYPTUS TRUNK AND ALL CABLES OUTSIDE THE MONOEUCALYPTUS TRUNK SHALL BE PAINTED A CAMOUFLAGE PATTERN OF BROWNS AND GREENS.
- MOUNTING HARDWARE SHALL ONLY BE PROVIDED FOR ANTENNAS AND COMPONENTS INSTALLED AS PART OF THIS PROJECT. NO UNUSED OR "FUTURE" HARDWARE OR MOUNTS MAY BE INSTALLED.

KEYED NOTES:

- 1 INSTALL (N) VERIZON WIRELESS ANTENNA
- 2 RELOCATED VERIZON WIRELESS OMNI ANTENNA
- 3 INSTALL (N) MONOEUCALYPTUS
- 4 (E) BUILDING
- 5 (E) VERIZON EQUIPMENT SHELTER
- 6 REMOVE (5) (E) VERIZON OMNI ANTENNAS & MOUNTS



EAST ELEVATION (PARTIAL)

SCALE: 1/8" = 1'-0"
0" 4" 8" 16"

Exhibit B

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW

PLANCOM
TELECOMMUNICATIONS PROJECT MANAGEMENT

16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

verizon
15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618

WESTMINSTER SD
L-SUB6
1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

SHEET TITLE:
EXTERIOR ELEVATION

A-5

NOTES:

- THE FAUX BRANCHES SHALL EXTEND MINIMUM 24" BEYOND THE ANTENNAS OR THE TOWER-MOUNTED TELECOM COMPONENT FURTHEST FROM THE TRUNK.
- THE FRONT (SIGNALING SURFACES) OF ANTENNAS "3'D1" & "5'D1" CANNOT BE COVERED BY FOLIAGE "SOCKS". THE GENERAL CONTRACTOR SHALL INSTALL 3M FILM ON THESE ANTENNAS ONLY, AS DIRECTED BY THE VERIZON CONSTRUCTION MANAGER. FILM SHALL COVER THE ENTIRE FACE & SIDES OF EACH ANTENNA UNIT. FILM COLOR SHALL MATCH THE MONOEUCALYPTUS TREE. DO NOT PAINT THE BOTTOM OR BACKS OF THESE ANTENNA UNITS.
- ALL PANEL ANTENNAS, RADIOS, & RAYCAP UNITS, WITH THE EXCEPTION OF THE ANTENNAS SPECIFIED IN NOTE 2, SHALL BE COMPLETELY WRAPPED WITH 'SOCKS' WITH FAUX LEAF COVERINGS. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR MAINTAINING ALL COVERS IN GOOD CONDITION AT ALL TIMES.
- THE ENTIRE LENGTH OF THE MONOEUCALYPTUS TRUNK AND ALL BRANCHES SHALL BE FINISHED WITH THREE-DIMENSIONAL FAUX WOOD BARK COVERING. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR MAINTAINING THE FAUX WOOD BARK COVERING IN GOOD CONDITION AT ALL TIMES.
- ANY PART OF PANEL ANTENNAS, RADIOS, & RAYCAP UNITS NOT WITHIN THE CAMOUFLAGE 'SOCKS' AND ALL MOUNTING HARDWARE OUTSIDE THE MONOEUCALYPTUS TRUNK AND ALL CABLES OUTSIDE THE MONOEUCALYPTUS TRUNK SHALL BE PAINTED A CAMOUFLAGE PATTERN OF BROWNS AND GREENS.
- MOUNTING HARDWARE SHALL ONLY BE PROVIDED FOR ANTENNAS AND COMPONENTS INSTALLED AS PART OF THIS PROJECT. NO UNUSED OR 'FUTURE' HARDWARE OR MOUNTS MAY BE INSTALLED.

KEYED NOTES:

- 1 INSTALL (N) VERIZON WIRELESS ANTENNA
- 2 RELOCATED VERIZON WIRELESS OMNI ANTENNA
- 3 INSTALL (N) MONOEUCALYPTUS
- 4 (E) BUILDING
- 5 (E) VERIZON EQUIPMENT SHELTER
- 6 REMOVE (5) (E) VERIZON OMNI ANTENNAS & MOUNTS
- 7 (E) PAVED PARKING



SOUTH ELEVATION (PARTIAL)

SCALE: 1/8" = 1'-0"
0" 4" 8" 16"

Exhibit B

COMMSCOPE NHH-65C-R2B
 DIMENSIONS, HxWxD: 96" x 11.9" x 7.1"
 WEIGHT: 51.6 lbs
 RF CONNECTORS: (6) 7-16 DIN FEMALE / BOTTOM

FRONT VIEW SIDE VIEW BOTTOM VIEW

COMMSCOPE 4-TX ANTENNA MOUNT
 COMMSCOPE PART #: BSAMNT-SBS-2-2
 MATERIAL: GALVANIZED STEEL
 WEIGHT: 67.4 LBS. (30.6 kg)
 COMPATIBLE MOUNTING PIPE SIZES:
 4.50" Ø MAXIMUM (115.0 mm)
 2.375" Ø MINIMUM (60.0 mm)

PLAN VIEW ELEVATION VIEW

ERICSSON AIR6449-LS6
 DIMENSIONS, HxWxD: 30.8" x 16.1" x 10.8"
 WEIGHT: 88 lbs

BOTTOM VIEW FRONT VIEW SIDE VIEW

(N) GALVANIZED STEEL MOUNTING PIPE
 (N) GALVANIZED STEEL MOUNTING PLATE
 (N) GALVANIZED STEEL PIPE CROSS ARM
 (N) MOUNTING BRACKET FROM MANUFACTURER
 (N) ANTENNA - SEE DETAIL

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW

PLANCOM
 TELECOMMUNICATIONS PROJECT MANAGEMENT
 16776 BERNARDO CENTER DRIVE, UNIT 203
 SAN DIEGO, CA 92128

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

ANTENNA SPECIFICATIONS SCALE: N.T.S. 1

KRE105281/1 ANTENNA
 CAPACITY AND SPECIFICATIONS
 - 4TX / 4RX - 6 LTE CARRIERS
 - UP TO 4x5W - 2x 10.1Gbps CPRI
 - 120MHz IBW
 OTHER SPECIFICATIONS
 - AC or -48 VDC - 2 external alarm
 - integrated or external antenna - IP 65, -40 to +55°C

HEIGHT	WIDTH	DEPTH	WEIGHT
8.38 in. (213 mm)	7.87 in. (200 mm)	4.92 in. (125 mm)	11.02 lbs. (5 Kg)

FRONT VIEW SIDE VIEW BOTTOM VIEW

4-TX ANTENNA MOUNT SCALE: N.T.S. 2

(N) GALVANIZED STEEL MOUNTING PIPE
 (N) RADIO - SEE DETAIL
 (N) MOUNTING BANDS PROVIDED BY MANUFACTURER

ANTENNA SPECIFICATIONS SCALE: NONE 3

CONTROLLED CLIMATE EQUIPMENT CABINET (CCEC)
 DIMENSIONS, HxWxD: 72" x 36" x 40"
 WEIGHT: 4385 lbs

FRONT VIEW SIDE VIEW

ANTENNA MOUNT SCALE: NONE 4

(N) EQUIPMENT CABINET FRAME
 (N) "HILTI" 1/2" DIAMETER STAINLESS STEEL KWIK BOLT T2 CONCRETE ANCHOR WITH 3-5/8" EMBED INTO 1/2" DIAMETER HOLE DRILLED MINIMUM 4" DEEP @ EQUIPMENT CABINET ANCHOR BOLT LOCATIONS. (TOTAL OF 4 REQUIRED)
 **PERIODIC SPECIAL INSPECTION REQUIRED. (I.C.C. ES ESR-1917)
 (E) RAISED CONCRETE CURB
 (E) 12" THICK CONCRETE SLAB

verizon
 15505 SAND CANYON AVENUE, D1
 IRVINE, CA 92618

ANTENNA SPECIFICATIONS SCALE: N.T.S. 5

RADIO 4449-B13+B5
 4TX 4RX PER BAND
 8 ANTENNA PORTS, 4TX/4RX FOR 2 BANDS WITH SEPARATE RF PORTS
 UP TO 320W RF POWER SHARED BETWEEN 2 BANDS
 CARRIER CAPACITY: UP TO 24 CARRIER AND UP TO 10+25 MHZ OBW
 FOR LTE 2x 10Gbps CPRI

HEIGHT	WIDTH	DEPTH	WEIGHT
18.0 in. (380 mm)	13.2 in. (335 mm)	9.4 in. (238.76 mm)	70 lbs. (31.7 Kg)

FRONT VIEW SIDE VIEW BOTTOM VIEW

ANTENNA MOUNT SCALE: NONE 6

(N) MOUNTING PIPE
 (N) RADIO UNIT - SEE DETAILS
 (N) ERICSSON MOUNTING BRACKET ATTACHED TO (N) MOUNTING PIPE WITH MANUFACTURER SUPPLIED HARDWARE
 (N) ERICSSON RAIL MOUNTING BRACKET. (1) PER RADIO UNIT

EQUIPMENT CABINET SCALE: N.T.S. 7

(N) MOUNTING PIPE
 (N) RADIO UNIT - SEE DETAILS
 (N) ERICSSON MOUNTING BRACKET ATTACHED TO (N) MOUNTING PIPE WITH MANUFACTURER SUPPLIED HARDWARE
 (N) ERICSSON RAIL MOUNTING BRACKET. (1) PER RADIO UNIT

EQUIPMENT CABINET ANCHOR SCALE: N.T.S. 8

RADIO 8843-B26B66A
 4TX 4RX PER BAND
 8 ANTENNA PORTS, 4TX/4RX FOR 2 BANDS WITH SEPARATE RF PORTS
 UP TO 320W RF POWER SHARED BETWEEN 2 BANDS
 CARRIER CAPACITY: UP TO 24 CARRIER AND UP TO 60+70 MHZ OBW
 FOR LTE 2x 10Gbps CPRI

HEIGHT	WIDTH	DEPTH	WEIGHT
18.0 in. (380 mm)	13.2 in. (335 mm)	11.4 in. (289.56 mm)	90 lbs. (40.8 Kg)

FRONT VIEW SIDE VIEW BOTTOM VIEW

WESTMINSTER SD
 L-SUB6
 1725 BEAR VALLEY PARKWAY
 ESCONDIDO, CA 92027

RRU 4449 SPECIFICATIONS SCALE: N.T.S. 9

RADIO UNIT MOUNTING SCALE: NONE 10

RADIO UNIT MOUNTING SCALE: NONE 11

RRU 8843 SPECIFICATIONS SCALE: N.T.S. 12

WESTMINSTER SD
 L-SUB6
 1725 BEAR VALLEY PARKWAY
 ESCONDIDO, CA 92027

SHEET TITLE:
 DETAILS

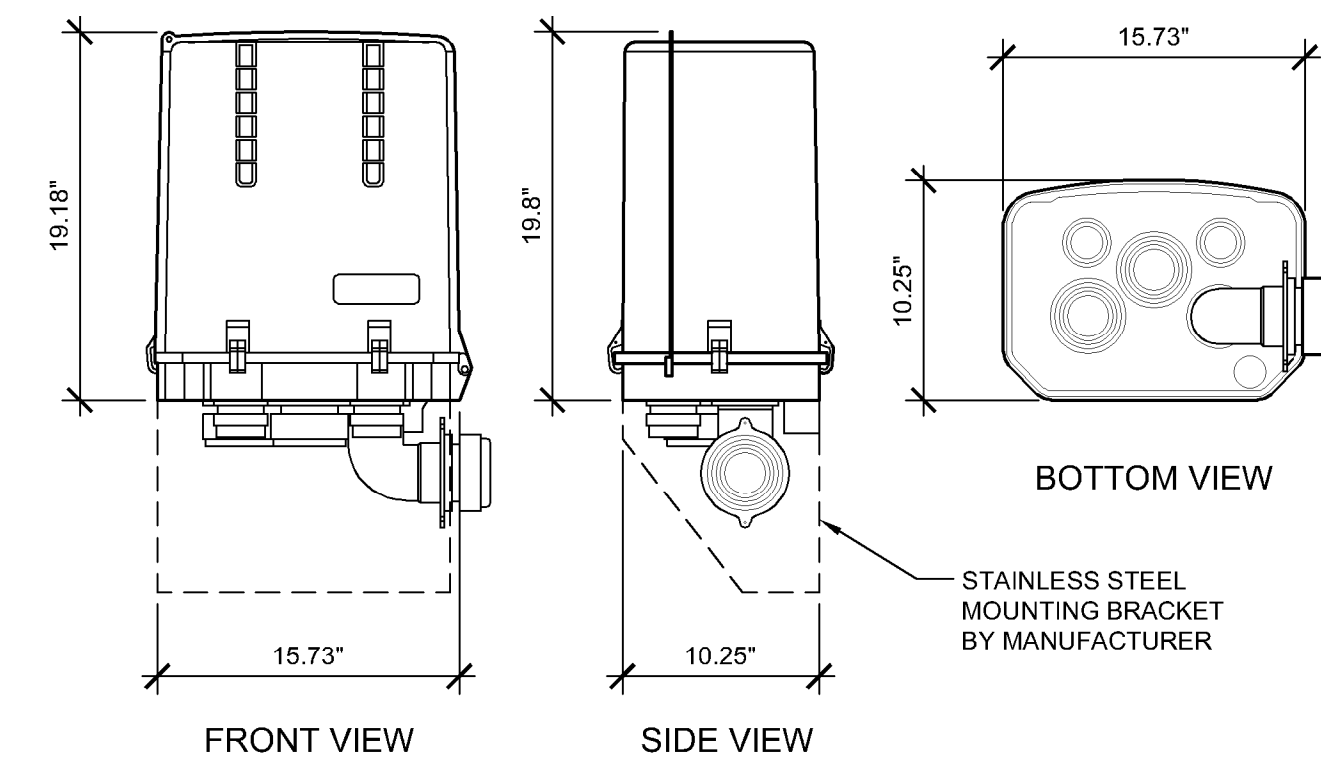
D-1

Exhibit B

RAYCAP SURGE SUPPRESSOR

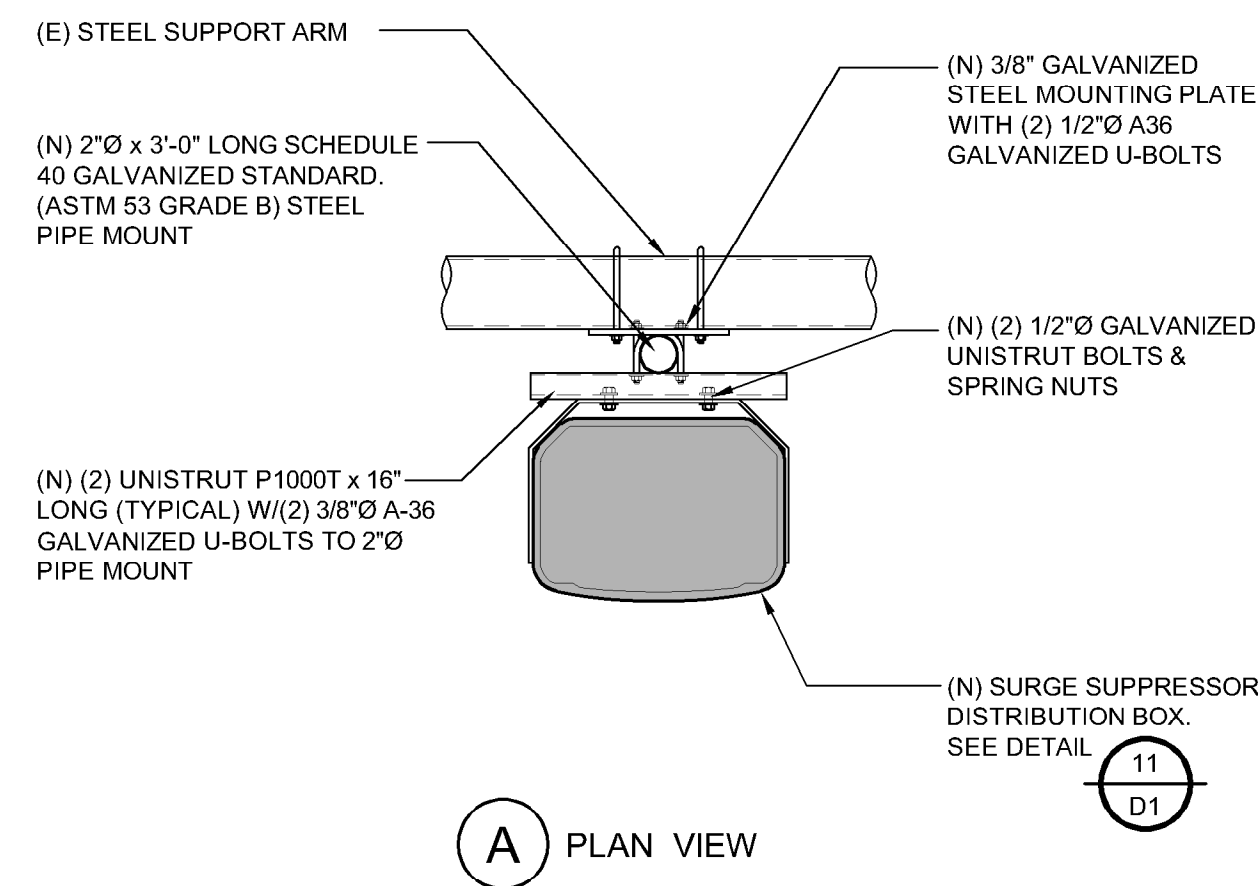
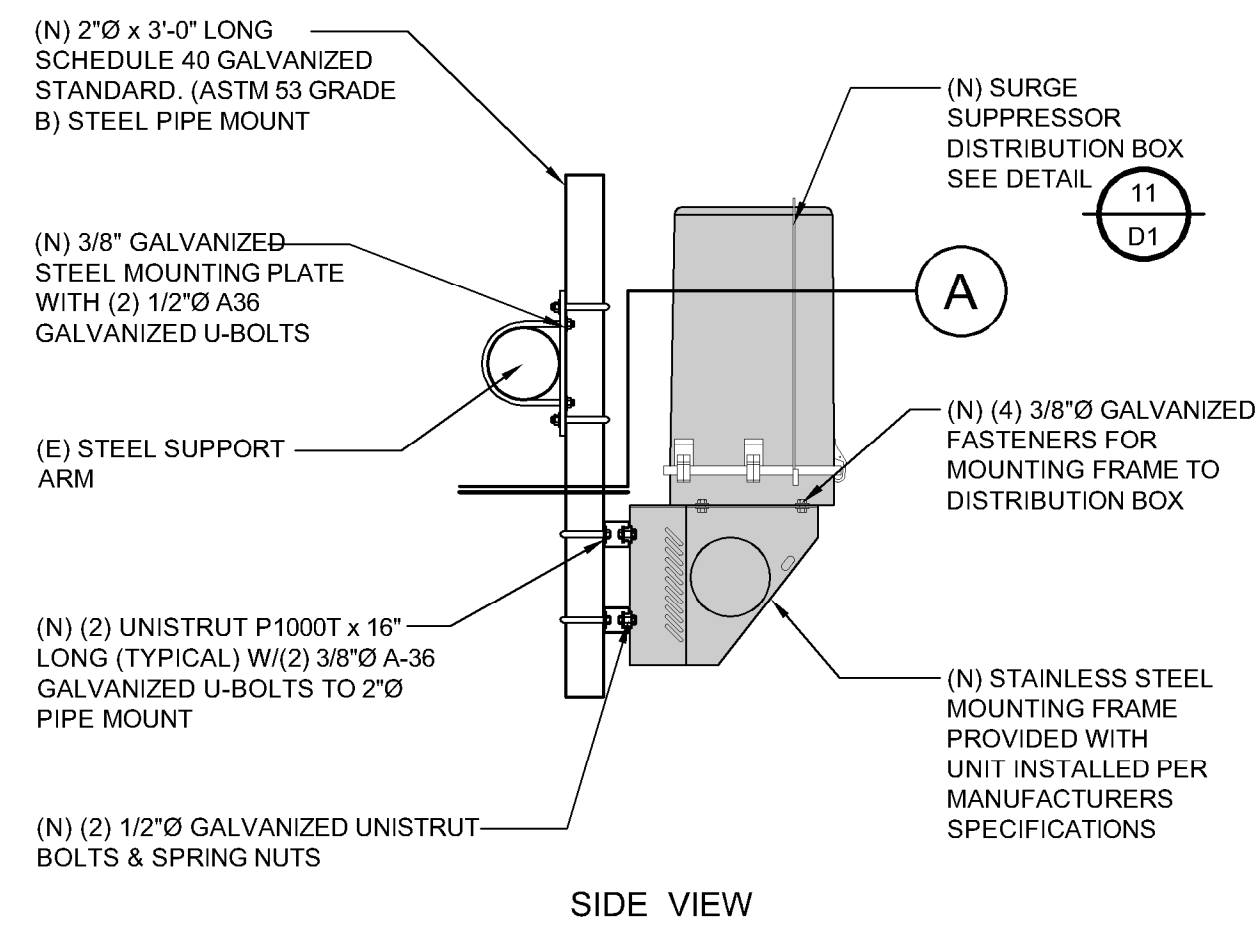
RAYCAP RVZDC-3315-PF-48 WITH SURGE SUPPRESSOR
WEIGHT: 26.9 LBS.

*VERIFY ALL DIMENSIONS AND WEIGHT WITH MANUFACTURER



RAYCAP SURGE SUPPRESSOR UNIT

SCALE: N.T.S. 13

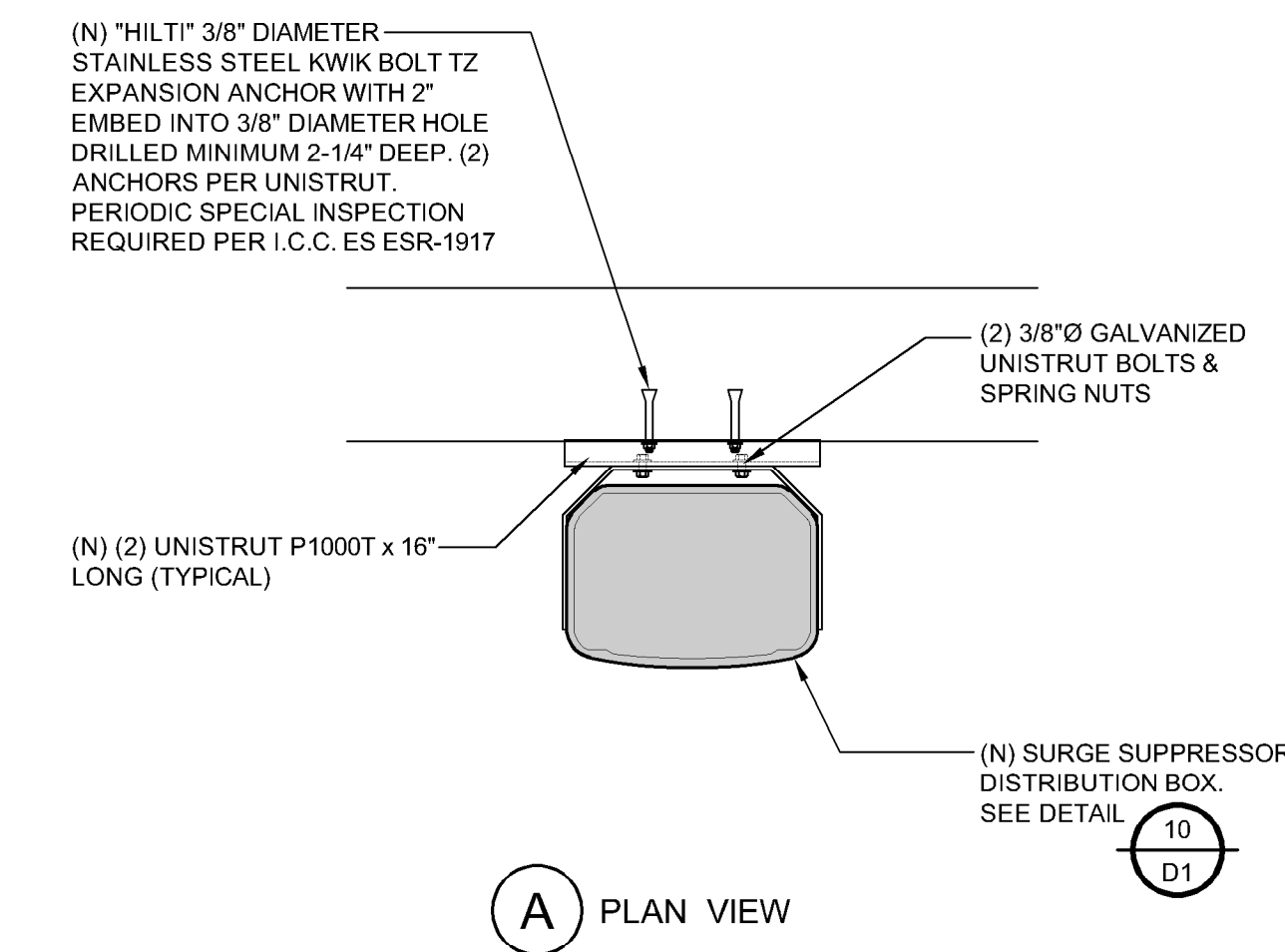
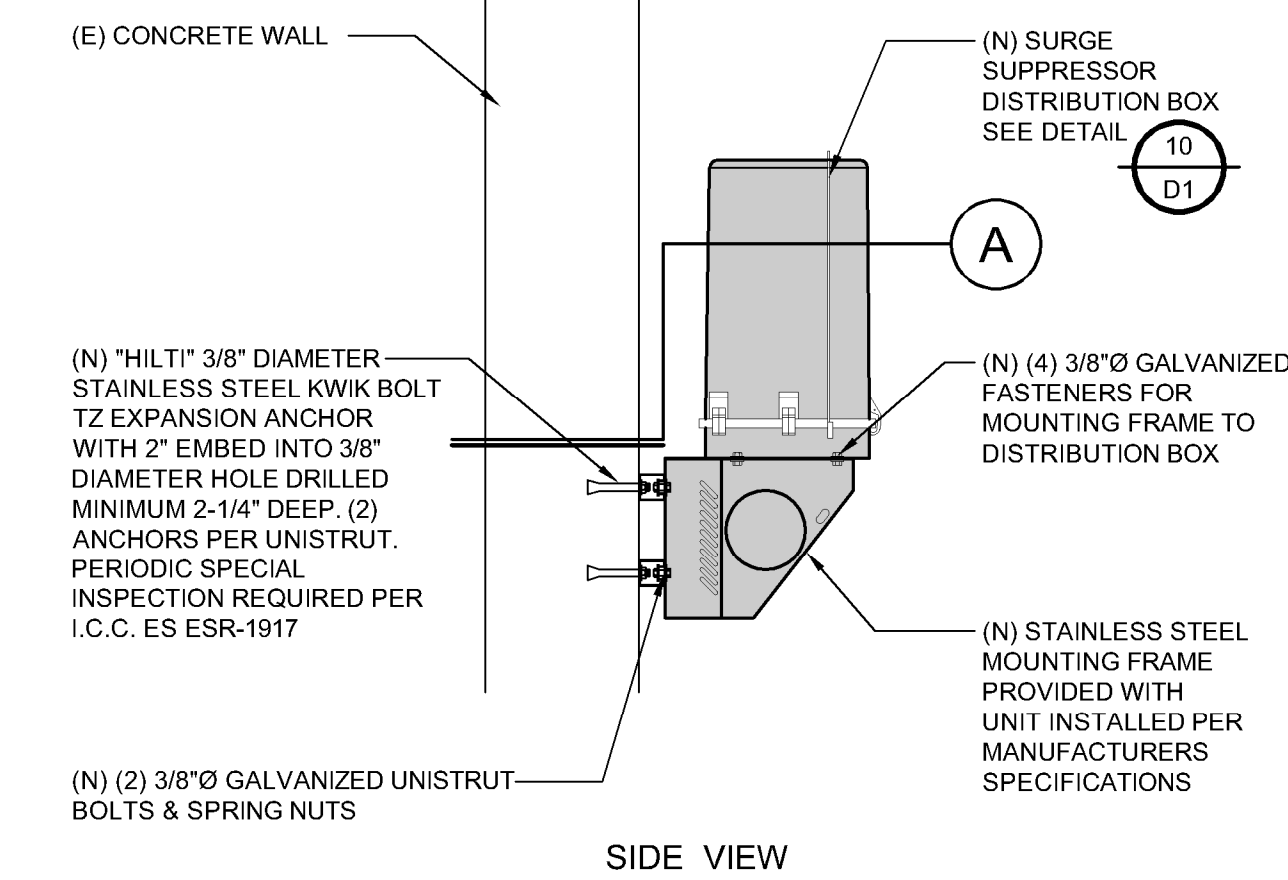


NOT USED

17

SURGE SUPPRESSOR MOUNTING

SCALE: 1" = 1'-0" 18



SURGE SUPPRESSOR MOUNTING

SCALE: N.T.S. 19

NOT USED

21

NOT USED

22

NOT USED

23

NOT USED

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/26/22	90% ZD REVIEW	CB
1	02/21/22	100% ZD	CB
2	02/25/22	100% ZD SA COMMENTS	RW
3	07/19/22	100% ZD ESC COMMENTS	CB
4	03/17/23	90% ZD NEW LOC	RW
5	04/14/23	90% ZD DRM COMMENTS	RW
6	04/24/23	100% ZD	RW

PLANCOM

TELECOMMUNICATIONS PROJECT MANAGEMENT

16776 BERNARDO CENTER DRIVE, UNIT 203
SAN DIEGO, CA 92128

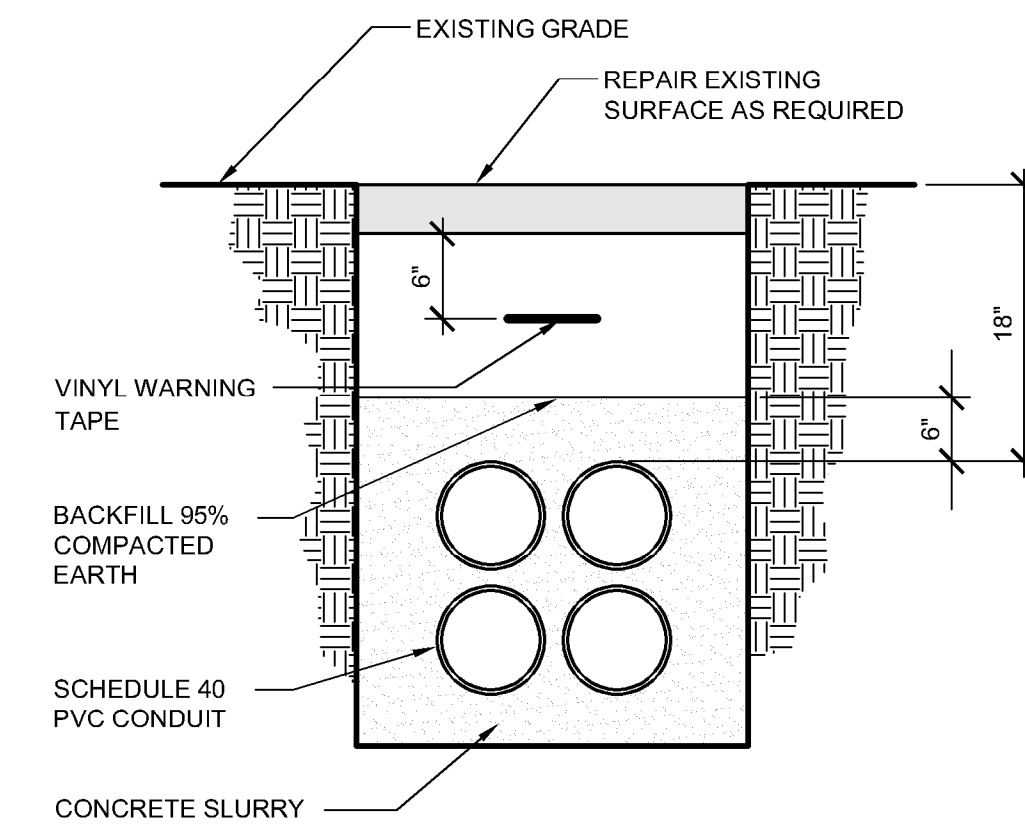
PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

verizon
15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618

COAX CABLE CONDUIT TRENCH

SCALE: N.T.S. 16



NOT USED

20

WESTMINSTER SD
L-SUB6

1725 BEAR VALLEY PARKWAY
ESCONDIDO, CA 92027

SHEET TITLE:

DETAILS

D-2

NOT USED

21

NOT USED

22

NOT USED

23

NOT USED

24

Exhibit “C”

Planning Case No. PL22-0221

Factors to be Considered/Findings of Fact

Environmental Determinations:

1. Pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et. seq.) (“CEQA”), and its implementing regulations (14 C.C.R. § 15000 et seq.) (“CEQA Guidelines”), the City of Escondido (“City”) is the Lead Agency for the Project (“Project”), as the public agency with the principal responsibility for approving the Project.
2. The Project qualifies for an exemption from further environmental review pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). Class 3 is defined as projects that are consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The project is to remove and replace outdated communications equipment from a lower elevation Seminary rooftop and to install a 62’-6” mono-pole to meet height coverage requirements.
3. The project does not involve the use of significant amounts of hazardous substances; and can be served by all required utilities and public services, and the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
4. The Planning Commission has independently considered the full administrative record before it, which includes but is not limited to the August 22, 2023, Planning Commission Staff Report; testimony by staff and the public; and other materials and evidence submitted or provided to it. The administrative record demonstrates that each of the above requirements have been satisfied. No substantial evidence has been submitted that would support a finding that any of the above-described exemption requirements has not been satisfied. The Project will not have a significant effect on the environment, and all the requirements of CEQA have been met.

Conditional Use Permit Findings (Escondido Zoning Code Section 33-1203)

1. The proposed Project has been designed and conditioned to comply with all applicable zoning regulations and FCC standards for RF exposure. The Project is located within the Seminary property adjacent to an existing parking lot and is surrounded by existing tree stand of similar characteristics and height. The Project would provide upgraded communication services for the City of Escondido and has been designed to reduce land use conflicts and visual concerns with surrounding properties by being located in a residential zone with a non-residential use.

2. The Project is located within the Seminary property and proposes to remove existing outdated rooftop wireless facilities and digital dish, as well as updating and installing new communication system. The Project will construct a mono-eucalyptus tree with replacement equipment and panels on a tree of a certain height to provide the greatest coverage allowed by FCC. Conditions have been incorporated into the approval of the Project to ensure no conflicts will occur with surrounding uses.
3. The Project as noted is located within the existing Seminary campus. The intent of site plan is to encourage upgrades to existing communication systems servicing the citizen of Escondido. The Project would have a positive effect on the community by providing better wireless coverage in this part of the City.

Exhibit “D”

Planning Case No. PL22-0221

Conditions of Approvals

This Project is conditionally approved as set forth on the application received by the City of Escondido on **July 27, 2022**, and the Project drawings consisting of Site Plans, Equipment Plans, Antennae Plans, Sections, Architectural Elevations, Civil/Grading, and Elevations; all designated as approved on **August 22, 2023**, and shall not be altered without express authorization by the Development Services Department.

For the purpose of these conditions, the term “Applicant” shall also include the Project proponent, owner, permittee, and the Applicant’s successors in interest, as may be applicable.

A. General:

1. **Acceptance of Permit.** If the Applicant fails to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the Applicant shall be deemed to constitute all of the following on behalf of the Applicant:
 - a. Acceptance of the Permit by the Applicant; and
 - b. Agreement by the Applicant to be bound by, to comply with, and to do all things required of or by the Applicant pursuant to all of the terms, provisions, and conditions of this Project Permit or other approval and the provisions of the Escondido Municipal Code or Zoning Code applicable to such Permit.
2. **Permit Expiration.** If the Permit was filed as or concurrent with a Site Plan and Communications Updates, the Permit shall expire 36 months from the effective date of approval, unless additional time is granted pursuant to the Map Act or to the Escondido Municipal Code. If not filed as concurrent with a Site Plan application, the Permit shall automatically expire after one year from the date of this approval, or the expiration date of any extension granted in accordance with the Escondido Municipal Code and Zoning Code.

The Permit shall be deemed expired if a building permit has not been obtained or work has been discontinued in the reliance of that building permit. If no building permits are required, the City may require a noticed hearing to be scheduled before the authorized agency to determine if there has been demonstrated a good faith intent to proceed, pursuant to and in accordance with the provision of this Permit.

- 3. Certification.** The Director of Development Services, or his/her designee, is authorized and directed to make, or require the Applicant to make, all corrections and modifications to the Project drawings and any other relevant document comprising the Project in its entirety, as necessary to make them internally consistent and in conformity with the final action on the Project. This includes amending the Project drawings as necessary to incorporate revisions made by the decision-making body and/or reflecting any modifications identified in these conditions of approval. Three copies of final Approved Plan set, shall be submitted to the Planning Division for certification. Said plans must be certified by the Planning Division prior to submittal of any post-entitlement permit, including grading, public improvement, landscape, or building plans for the Project.
- 4. Conformance to Approved Plans.**

 - a.** The operation and use of the subject property shall be consistent with the Project Description and Details of Request, designated with the Approved Plan set.
 - b.** Nothing in this Permit shall authorize the Applicant to intensify the authorized activity beyond that which is specifically described in this Permit.
 - c.** Once a permit has been issued, the Applicant may request Permit modifications. "Minor" modifications may be granted if found by the Director of Community Development to be in substantial conformity with the Approved Plan set, including all exhibits and Permit conditions attached hereto. Modifications beyond the scope described in the Approved Plan set may require submittal of an amendment to the Permit and approval by the authorized agency.
- 5. Limitations on Use.** Prior to any use of the Project site pursuant to this Permit, all Conditions of Approval contained herein shall be completed or secured to the satisfaction of the Community Development Department.
- 6. Availability of Permit Conditions.**

 - a.** Prior to building permit issuance, the Applicant shall cause a covenant regarding real property to be recorded that sets forth the terms and conditions of this Permit approval and shall be of a form and content satisfactory to the Director of Community Development.
 - b.** The Applicant shall make a copy of the terms conditions of this Permit readily available to any member of the public or City staff upon request. Said terms and conditions shall be printed on any construction plans that are submitted to the Building Division for plan check processing.

7. Right to Entry. The holder of this Permit shall make the premises available for inspection by City staff during construction or operating hours and allow the investigations of property necessary to ensure that minimum codes, regulations, local ordinances and safety requirements are properly followed. The Applicant shall provide such business records, licenses, and other materials necessary upon request to provide evidence of compliance with the conditions of approval, as well as federal, state, or laws.

8. Compliance with Federal, State, and Local Laws. Nothing in this Permit shall relieve the Applicant from complying with conditions, performance standards, and regulations generally imposed upon activities similar in nature to the activity authorized by this permit. (Permits from other agencies may be required as specified in the Permit's Details of Request.) This Permit does not relieve the Applicant of the obligation to comply with all applicable statutes, regulations, and procedures in effect at the time that any engineering permits or building permits are issued unless specifically waived herein.

No part of this Permit's approval shall be construed to permit a violation of any part of the Escondido Municipal or Zoning Code. During Project construction and after Project completion, the Applicant shall ensure the subject land use activities covered by this Permit is conducted in full compliance with all local and state laws.

9. Fees. The appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Community Development. Through plan check processing, the Applicant shall pay development fees at the established rate. Such fees may include, but not be limited to: Permit and Plan Checking Fees and other fees listed in the Fee Schedule, which may be amended. Arrangements to pay these fees shall be made prior to building permit issuance to the satisfaction of the Community Development Department.

Approval of this development project is conditioned upon payment of all applicable development fees and connection fees in the manner provided in Chapter 6 of the Escondido Municipal Code.

10. Public Art Partnership Program. All requirements of the Public Art Partnership Program, Ordinance No. 86-70 shall be satisfied prior to any building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.

11. Clerk Recording.

a. Exemption. If the environmental determination prepared for the Project is a categorical exemption, the City of Escondido hereby notifies the Applicant that the

County Clerk's Office requires a documentary handling fee of \$50 in order to file a Notice of Exemption. In order to file the Notice of Exemption with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Guidelines section 15062, the Applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the Project (the final approval being the date of this letter) a certified check payable to the "County Clerk" in the amount of \$50. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the Project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations period will apply.

- b. For more information on filing fees, please refer to the County Clerk's Office and/or the California Code of Regulations, Title 14, Section 753.5.

12. Legal Description Adequacy. The legal description attached to the application has been provided by the Applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.

13. Application Accuracy. The information contained in the application and all attached materials are assumed to be correct, true, and complete. The City of Escondido is relying on the accuracy of this information and Project-related representations in order to process this application. Any permits issued by the City may be rescinded if it is determined that the information and materials submitted are not true and correct. The Applicant may be liable for any costs associated with rescission of such permits.

14. Revocation, Suspension, Modification. At any time after Project implementation, the City may require a noticed public hearing to be scheduled before the Planning Commission to determine if there has been demonstrated a good faith intent to proceed in reliance on this approval. This item may be referred to the appropriate decision-making body upon recommendation of the Director of Community Development for review and possible revocation or modification of the Permit regarding non-compliance with the Conditions of Approval.

This Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing, and after the following findings are fully investigated:

- a. A violation of any term or condition not abated, corrected or rectified within the time specified on the notice of violation; or

- b. A violation of any City ordinance, state law, or federal law not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates or constitutes a nuisance.

15. Indemnification, Hold Harmless, Duty to Defend.

- a. The Applicant shall indemnify, hold harmless, and defend (with counsel reasonably acceptable to the City) the City, its Councilmembers, Planning Commissioners, boards, commissions, departments, officials, officers, agents, employees, and volunteers (collectively, "Indemnified Parties") from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, at law or in equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with (i) any business, work, conduct, act, omission, or negligence of the Applicant or the owner of the Property (including the Applicant's or the owner of the Property's contractors, subcontractors, licensees, sublessees, invitees, agents, consultants, employees, or volunteers), or such activity of any other person that is permitted by the Applicant or owner of the Property, occurring in, on, about, or adjacent to the Property; (ii) any use of the Property, or any accident, injury, death, or damage to any person or property occurring in, on, or about the Property; or (iii) any default in the performance of any obligation of the Applicant or the owner of the Property to be performed pursuant to any condition of approval for the Project or agreement related to the Project, or any such claim, action, or proceeding brought thereon. Provided, however, that the Applicant shall have no obligation to indemnify, hold harmless, or defend the City as to any Claims that arise from the sole negligence or willful misconduct of the City. In the event any such Claims are brought against the City, the Applicant, upon receiving notice from the City, shall defend the same at its sole expense by counsel reasonably acceptable to the City and shall indemnify the City for any and all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City).
- b. The Applicant further and separately agrees to and shall indemnify, hold harmless, and defend the City (including all Indemnified Parties) from and against any and all

Claims brought by any third party to challenge the Project or its approval by the City, including but not limited to any Claims related to the Project's environmental determinations or environmental review documents, or any other action taken by the City regarding environmental clearance for the Project or any of the Project approvals. Such indemnification shall include the Applicant's payment for any and all administrative and litigation costs and expenses incurred by the City in defending against any such Claims, including payment for all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City and the Project).

- c. The City, in its sole discretion and upon providing notice to the Applicant, may require the Applicant to deposit with the City an amount estimated to cover costs, expenses, and fees (including attorney's fees) required to be paid by the Applicant in relation to any Claims referenced herein, which shall be placed into a deposit account from which the City may draw as such costs, expenses, and fees are incurred. Within 14 days after receiving written notice from the City, the Applicant shall replenish the deposit account in the amount the City determines is necessary in the context of the further defense of such Claims. To the extent such deposit is required by the City, the amount of such deposit and related terms and obligations shall be expressed in a written Deposit Account Agreement, subject to the City Attorney's approval as to form. The City, in its sole and reasonable discretion, shall determine the amount of any initial deposits or subsequent deposits of funds, and the Applicant may provide documentation or information for the City to consider in making its determinations. Nothing within this subsection shall be construed as to relieve the Applicant's obligations to indemnify, hold harmless, or defend the City as otherwise stated herein.

B. Construction, Maintenance, and Operation Obligations:

1. **Code Requirements.** All construction shall comply with the applicable requirements of the Escondido Municipal Code, Escondido Zoning Code, California Building Code; and the requirements of the Planning Division, Engineering Services Department, Director of Community Development, Building Official, City Engineer, and the Fire Chief in carrying out the administration of said codes. Approval of this Permit request shall not waive compliance with any City regulations in effect at the time of Building Permit issuance unless specifically waived herein.

As a condition of receiving the land use approvals specified herein, Applicant shall maintain the property subject to the approvals in compliance with all applicable city codes governing the condition or appearance of property. In addition to compliance with such

basic standards, the property subject to these approvals shall also be maintained free of trash, plant debris, weeds, and concrete (other than existing foundations and permanent structures). Any signs placed on the property advertising such property for sale or rent shall be in accordance with applicable laws, and be kept clean, in like-new condition, and free from fading and graffiti at all times. This condition shall be applicable from the date the land use is approved. The failure to comply with this condition shall subject the approvals specified herein to revocation for failure to comply.

2. **Agency License and Permitting.** In order to make certain on- or off-site improvements associated with the Approved Plan set, the Permit request may require review and clearance from other agencies. Nothing in these Conditions of Approval shall be construed as to waive compliance with other government agency regulations or to obtain permits from other agencies to make certain on- or off-site improvements prior to Final Map recordation, grading permit issuance, building permit issuance, or certificate of occupancy as required. This review may result in conditions determined by the reviewing agency.

At all times during the effective period of this Permit, the Applicant and any affiliated responsible party shall obtain and maintain in valid force and effect, each and every license and permit required by a governmental agency for the construction, maintenance, and operation of the authorized activity.

3. **Utilities.** All new utilities and utility runs or modifications to wireless communication systems shall be underground.
4. **Noise.** All Project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
5. **Lighting.** If required, all exterior lighting shall conform to the requirements of Article 35 (Outdoor Lighting Ordinance) of the Escondido Zoning Code.
6. **General Property Maintenance.** The Applicant (Verizon) or Management Company shall be responsible for maintaining the communications facilities in good visual and functional condition. This shall include, but not be limited to, all exterior elements of the communication enclosure and the proposed monoEucalyptus tree such as paint, paving, signs, lighting and landscaping. The Applicant or Management Company shall paint and re-paint all building exteriors, accessory equipment, and utility boxes servicing the communication facilities, as necessary to maintain clean, safe, and efficient compatible appearances.

- 7. Roof, Wall, and Ground Level Equipment.** All communications equipment shall be screened and concealed from view in accordance with Section 33-1085 of the Escondido Zoning Code.
- 8. Staging Construction Areas.** All staging areas shall be conducted on the Seminary property only, subject to written approval from the authorized Seminary contact. Off-site staging areas, if any, shall be approved through the issuance of an off-site staging area permit/agreement with the City.
- 9. Disturbance Coordinator.** The Applicant shall designate and provide a point-of-contact whose responsibilities shall include overseeing the implementation of Project, compliance with Permit terms and conditions, and responding to property owner or neighborhood concerns.
- 10. Construction Waste Reduction, Disposal, and Recycling.** If any, the Applicant shall recycle or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste for residential projects or portions thereof in accordance with either Section 4.408.2, 4.408.3, or 4.408.4 of the California Green Building Standards Code; and/or for non-residential projects or portions thereof in accordance with either Section 5.408.1.1, 5.408.1.2, or 5.408.1.3 of the California Green Building Standards Code. In order to ensure compliance with the waste diversion goals for all residential and non-residential construction projects, the Applicant must submit appropriate documentation as described in Section 4.408.5 of the California Green Building Standards Code for residential projects or portions thereof, or Section 5.408.1.4 for non-residential projects or portions thereof, demonstrating compliance with the California Green Building Standards Code sections cited above.
- 11. Construction Equipment Emissions.** Applicant shall incorporate measures that reduce construction and operational emissions. Prior to the City's issuance of the demolition and grading permits for the Project, the Applicant shall demonstrate to the satisfaction of the Planning Division that its construction contractor will use a construction fleet wherein all 50-horsepower or greater diesel-powered equipment is powered with California Air Resources Board ("CARB") certified Tier 4 Interim engines or equipment outfitted with CARB-verified diesel particulate filters. An exemption from this requirement may be granted if (i) the Applicant provides documentation demonstrating that equipment with Tier 4 Interim engines are not reasonably available, and (ii) functionally equivalent diesel PM emission totals can be achieved for the Project from other combinations of construction equipment. Before an exemption may be granted, the Applicant's construction contractor shall demonstrate to the satisfaction of the Director of Community Development that (i) at least two construction fleet owners/operators in San Diego County were contacted and those owners/operators confirmed Tier 4 Interim equipment could not be located within San Diego County during the desired construction schedule, and (ii) the proposed

replacement equipment has been evaluated using the California Emissions Estimator Model ("CalEEMod") or other industry standard emission estimation method, and documentation provided to the Planning Division confirms that necessary project-generated functional equivalencies in the diesel PM emissions level are achieved.

C. Parking and Loading/Unloading.

1. No contractor or employee may store, or permit to be stored, a commercial or construction vehicle/truck; or personal vehicle, truck, or other personal items on private property without written permission of the Westminster Theological Seminary. The written authorization shall be submitted to the City for file records.

D. Landscaping: The Applicant or Management Company assumes all responsibility for maintaining all on-site landscape pertaining to the installation of the mono-eucalyptus tree and any retaining and freestanding walls or enclosure in a manner that satisfies the conditions contained herein.

1. Any disturb landscaping during the course of installation or modifications shall be replaced with alike plant materials or turf areas. Landscaped areas shall be maintained until full establishment of the replacement landscape materials.
2. Should irrigation be disturb or broken during the course of installation or modification shall be replaced or repaired to provide adequate irrigation coverage and be fully operational for the new landscape areas.
3. Existing adjacent trees shall remain and be protected at all times during the course of installation or modifications. Should adjacent trees be damaged, the Applicant or Management Company shall retain a qualified tree arborist to consult on tree repairs, selected trimming and/or pest control.

Specific Engineering Conditions:

1. The Project shall attain an encroachment permit from the Engineering Division for any work within any City of Escondido's existing public utility or ROW easement.