

Planning Commission  
Hearing Date: January 9, 2024  
Effective Date: January 19, 2024

PLANNING COMMISSION RESOLUTION NO. 2024-02

A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF ESCONDIDO, CALIFORNIA,  
APPROVING A CONDITIONAL USE PERMIT FOR  
THE DEVELOPMENT OF A NORTH COUNTY  
TRANSIT DISTRICT FLEET VEHICLE AND  
MAINTENANCE OPERATIONS EXPANSION

APPLICANT: North County Transit District

CASE NO: PL21-0057

WHEREAS, North County Transit District (“Applicant”), filed a land use development application, Planning Case No. PL21-0057 (“Application”), with the City of Escondido (“City”) constituting a request to process a Conditional Use Permit for the development of a proposed fleet storage area adjacent to their existing East Division Maintenance Facility. The Breeze Operations East Site Expansion (“Project”) consists of approximately 56,100 square feet of paved fleet vehicle storage area, repurposing the site, consolidation of entrances, repaving, restriping, screening, and providing perimeter landscape enhancements; and

WHEREAS, the proposed Project is located at the southwest corner of N. Quince Street and Norlak Avenue and directly north of the Escondido Creek Channel, and addressed as 335 N. Quince Street (APN 232-091-20-00), in the Light Industrial (M-1) zone and has a General Plan Land Use designation of General Industrial (GI); and

WHEREAS, the subject property is all that real property described in Exhibit "A" which is attached hereto and made a part hereof by this reference as though fully set forth herein ("Property"); and

WHEREAS, the Application was submitted to, and processed by, the Planning Division of the Development Services Department in accordance with the rules and regulations of the Escondido Zoning Code and the applicable procedures and time limits specified by the Permit Streamlining Act (Government Code section 65920 et seq.) and the California Environmental Quality Act (Public Resources Code section 21000 et seq.) ("CEQA"); and

WHEREAS, fleet vehicle storage and support services as ancillary uses are permitted within the Light Industrial (M-1) zone, subject to the approval of a Conditional Use Permit, in accordance with Section 33-564 (Table 33-564) of the Escondido Zoning Code and Article 57 provisions; and

WHEREAS, pursuant to CEQA and the CEQA Guidelines (Title 14 of California Code of Regulations, Section 15000 et. seq.), the City is the Lead Agency for the Project, as the public agency with the principal responsibility for approving the proposed Project; and

WHEREAS, the Planning Division studied the Application, performed necessary investigations, prepared a written report, and hereby recommends approval of the Project as depicted on the plan set shown in Exhibit "B", which is attached hereto and made a part hereof by this reference as though fully set forth herein; and

WHEREAS, City staff provided public notice of the application in accordance with City and State public noticing requirements; and

WHEREAS, on January 9, 2024, the Planning Commission held a duly noticed public hearing as prescribed by law, at which time the Planning Commission received and considered the reports and recommendation of the Planning Division and gave all person's full opportunity to be heard and to present evidence and testimony regarding the Project. Evidence was submitted to and considered by the Planning Commission, including, without limitation:

- a. Written information including plans, studies, written and graphical information, and other material, submitted by the Applicant;
- b. Oral testimony from City staff, interested parties, and the public;
- c. The staff report, dated January 9, 2024, with its attachments as well as City staff's recommendation on the Project, which is incorporated herein as though fully set forth herein; and
- d. Additional information submitted during the public hearing; and

WHEREAS, the public hearing before the Planning Commission was conducted in all respects as required by the Escondido Municipal Code and the rules of this Planning Commission.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Escondido that:

- 1. The above recitations are true and correct.
- 2. The Planning Commission, in its independent judgement, has determined the Project to be exempt from environmental review pursuant to California Environmental Quality Act ("CEQA"), CEQA Guidelines section 15332, Class 32 (In-Fill Development). The Project qualifies for an exemption under CEQA Guidelines from the California

Environmental Quality Act (CEQA) under Section 15332, Class 32 In-fill Development Project. The proposed project or its circumstances would not result in any exceptions identified in CEQA Guidelines, Section 15300.2. Among the classes of projects that are exempt from CEQA review are those projects that are specifically identified as urban in-fill development. CEQA Guidelines, Section 15332, defines in-fill development (Class 32 exemptions) as being applicable to projects meeting the following conditions:

- The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The proposed development occurs within city limits on a project site of no more than five (5) acres substantially surrounded by urban uses.
- The project site has no value as habitat for endangered, rare or threatened species.
- Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.

3. The project does not involve the use of significant amounts of hazardous substances; and is serviced by all necessary public services and facilities and the site is connected to City sewer and water services.

4. After consideration of all evidence presented, and studies and investigations made by the Planning Commission and on its behalf, the Planning Commission makes the substantive findings and determinations attached hereto as Exhibit "C" relating to the information that has been considered. In accordance with the

Findings of Fact and the foregoing, the Planning Commission reached a decision on the matter as hereinafter set forth.

5. The Application to use the Property for the Project, subject to each and all the conditions hereinafter set forth in Exhibit "D", is hereby approved by the Planning Commission. The Planning Commission expressly declares that it would not have approved this Application except upon and subject to each and all of said conditions, each and all of which shall run with the land and be binding upon the Applicant, the owner, and all subsequent owners of the Property, and all persons who use the Property for the use permitted hereby.

6. The Planning Commission, therefore, directs that a Notice of Exemption be filed with the County Clerk of the County of San Diego in accordance with the CEQA Guidelines.

6. The development plans for the Project are on file in the Planning Division of the Development Services Department and are available for inspection by anyone interested herein, and the development plans are incorporated herein by this reference as if they were fully set forth herein. The Project is conditionally approved as set forth on the Application and Project drawings, all designated as approved by the Planning Commission, and which shall not be altered without the express authorization by the Planning Division. Any deviations from the approved development plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.

BE IT FURTHER RESOLVED that, pursuant to Government Code section 66020(d)(1):

1. NOTICE IS HEREBY GIVEN that the Project is subject to dedications, reservations, and exactions, as specified in the Conditions of Approval. The Project is subject to certain fees described in the City of Escondido's Development Fee Inventory on file in both the Planning Division and Engineering Division of the Development Services Department. The Applicant shall be required to pay all development fees of the City then in effect at the time and in such amounts as may prevail when building permits are issued. It is the City's intent that the costs representing future development's share of public facilities and capital improvements be imposed to ensure that new development pays the capital costs associated with growth. The Applicant is advised to review the Planned Fee Updates portion of the web page, [www.escondido.org](http://www.escondido.org), and regularly monitor and/or review fee-related information to plan for the costs associated with undertaking the Project.

2. NOTICE IS FURTHER GIVEN that the 90-day period during which to protest the imposition of any fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this Resolution, and any such protest must be in a manner that complies with Government Code section 66020.

PASSED, ADOPTED, AND APPROVED by a majority vote of the Planning Commission of the City of Escondido, California, at a regular meeting held on the 9th day of January , 2024, by the following vote, to wit:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSTAINED:	COMMISSIONERS:

ABSENT:

COMMISSIONERS:

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Rick Paul, Chair  
Escondido Planning Commission

ATTEST:

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Veronica Morones, Secretary of the  
Escondido Planning Commission

I hereby certify that the foregoing Resolution was passed at the time and by  
the vote above stated.

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Alexander Rangel, Minutes Clerk  
Escondido Planning Commission

Decision may be appealed to City Council  
pursuant to Zoning Code Section 33-1303

**Exhibit "A"**

**Planning Case No. PL21-0057**

**Legal Description**

**Legal Description of Land**

Real property in the City of Escondido, County of San Diego, State of California, described as follows:

PARCEL 2 OF PARCEL MAP #4261 IN THE CITY OF ESCONDIDO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 25, 1975.

APN: 232-091-20-00

**Exhibit “B”**

**Planning Case No. PL21-0057**

Project Plans

# NORTH COUNTY TRANSIT DISTRICT

## BREEZE OPERATIONS EAST SITE EXPANSION

335 N. QUINCE STREET  
ESCONDIDO, CA 92806

### DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF ESCONDIDO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

NAME OF ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
R.C.E. # \_\_\_\_\_  
EXP. DATE \_\_\_\_\_

### SURVEY NOTE:

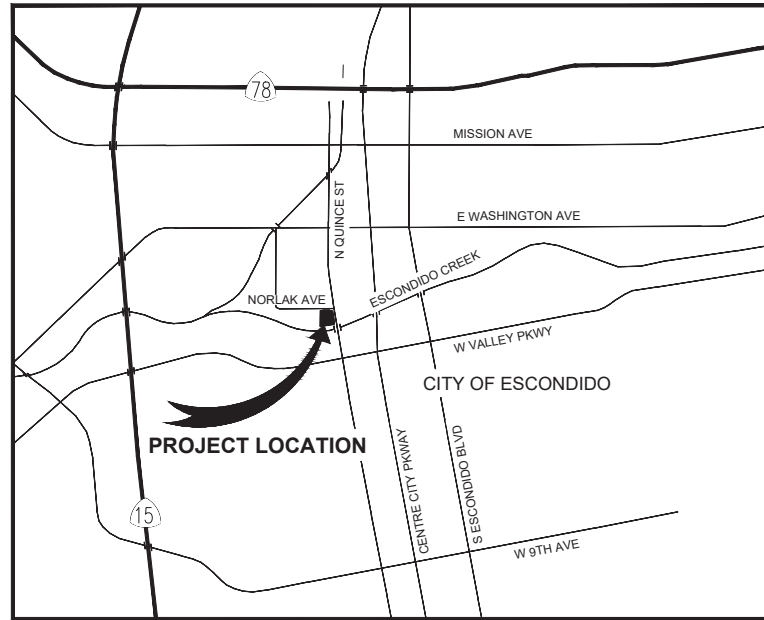
COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, 1983 NAD (2017.50 EPOCH)

BEARINGS ARE BASED ON THE BEARING BETWEEN CALIFORNIA SPATIAL REFERENCE CENTER CONTINUOUS GPS STATIONS "DSME" TO "RAPP" BEING N61°18'37.5"E

ELEVATIONS ARE BASED ON CITY OF ESCONDIDO BENCH MARK 66-A DESCRIBED AS "CHISELED X ON TOP OF CURB, AT THE CENTER OF CURB RETURN, ON THE N.W. CORNER OF 9TH AVENUE AND JUNIPER STREET, RESET 12/2005."

ELEV. = 640.07 FEET (NGVD 29, YEAR OF ADJUSTMENT, 2012)

DATE OF SURVEY: MAY 2020



LOCATION MAP  
NTS



INDEX OF DRAWINGS		
DWG NO.	SHT NO.	SHEET TITLE
C-001	09	TITLE SHEET
C-101	10	SITE PLAN
C-102	11	DEMOLITION PLAN
C-103	12	CONSTRUCTION PLAN
C-104	13	GRADING AND DRAINAGE PLAN
C-105	14	EROSION CONTROL PLAN
C-106	15	UTILITIES PLAN
C-107	16	SIGNAGE AND STRIPING PLAN
C-501	17	DETAILS
C-501A	18	DETAILS
C-502	19	DETAILS
C-503	20	DETAILS
C-504	21	DETAILS
C-505	22	DETAILS
C-506	23	DETAILS
C-507	24	DETAILS
C-508	25	DETAILS

### SOILS ENGINEER CERTIFICATE

THIS GRADING AND RETAINING WALL PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS OUTLINED IN THE SOILS REPORT PREPARED FOR THIS DEVELOPMENT.

COMPANY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_ DATE: \_\_\_\_\_  
ENGINEER: \_\_\_\_\_ R.C.E. NO. \_\_\_\_\_



ENGINEER

*Mysore R. Satish*  
MYSORE SATISH

### RECORD DRAWING

PRINT ENGINEER'S NAME R.C.E. \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF ESCONDIDO ENGINEERING DEPARTMENT  
APPROVED

By \_\_\_\_\_ Date \_\_\_\_\_  
(for City Engineer)

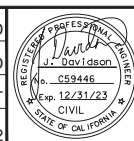
Comments \_\_\_\_\_

OBTAIN GRADING PERMIT  
AT FIELD ENGINEERING OFFICE  
PRIOR TO GRADING



NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
09/16/22	JD	DESIGNED BY:	
09/24/21	JD	DRAWN BY:	
01/29/21	JD	CHECKED BY:	
12/07/20	JD	DATE:	
10/02/20	JD		



STV  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7th STREET, SUITE 2900  
LOS ANGELES, CA 90017-2577

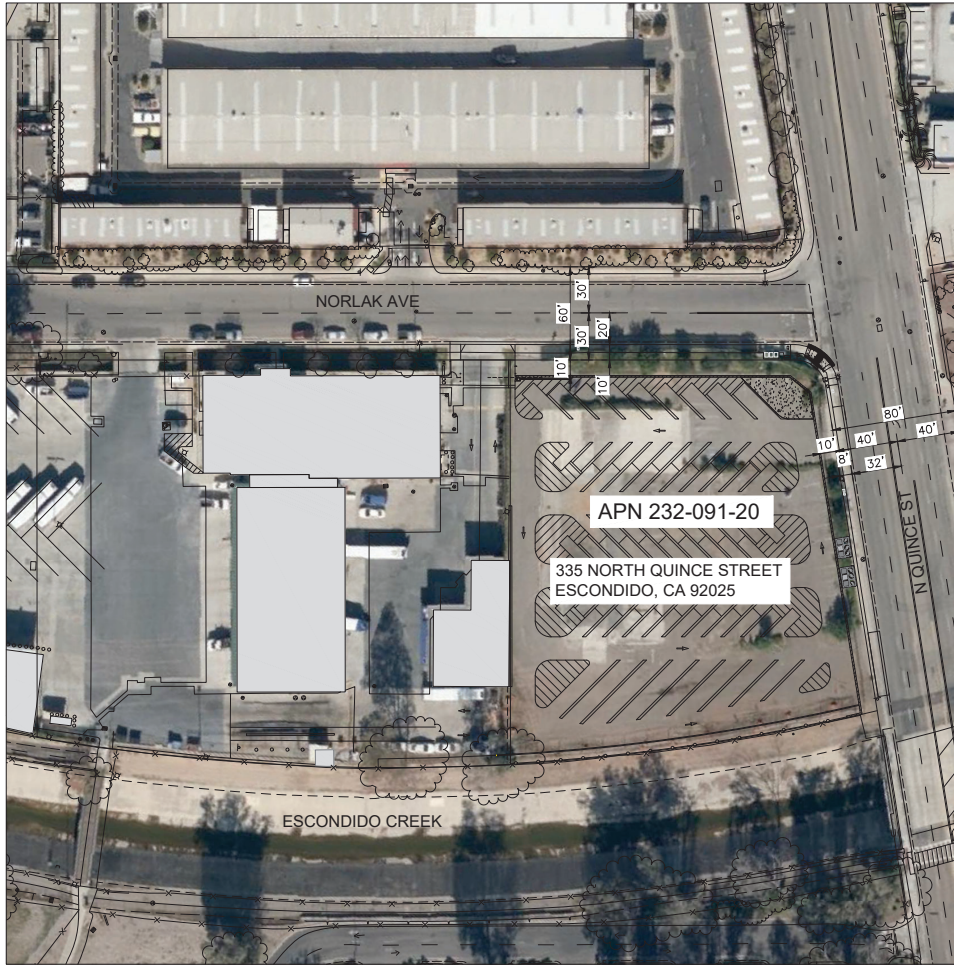


PROJECT ADDRESS  
EAST DIVISION MF  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

PROJECT TITLE  
BREEZE OPERATIONS EAST  
SITE EXPANSION  
SHEET TITLE  
TITLE SHEET

PROJECT NO  
4020125  
SCALE  
N/A  
DRAWING NO  
C-001  
SHEET NO  
9 OF 45

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1 SITE PLAN  
C-101

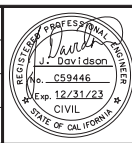
1" = 40'

20' 0 20' 40' 80'  
SCALE IN FEET

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
	09/16/22	JD	SWQMP REVISIONS TO MWS
	09/24/21	JD	NCTD REQUESTED UPDATES
	01/29/21	JD	FINAL DESIGN (CUP SET)
	12/07/20	JD	FINAL DESIGN
	10/02/20	JD	50% DESIGN SUBMITTAL

DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22

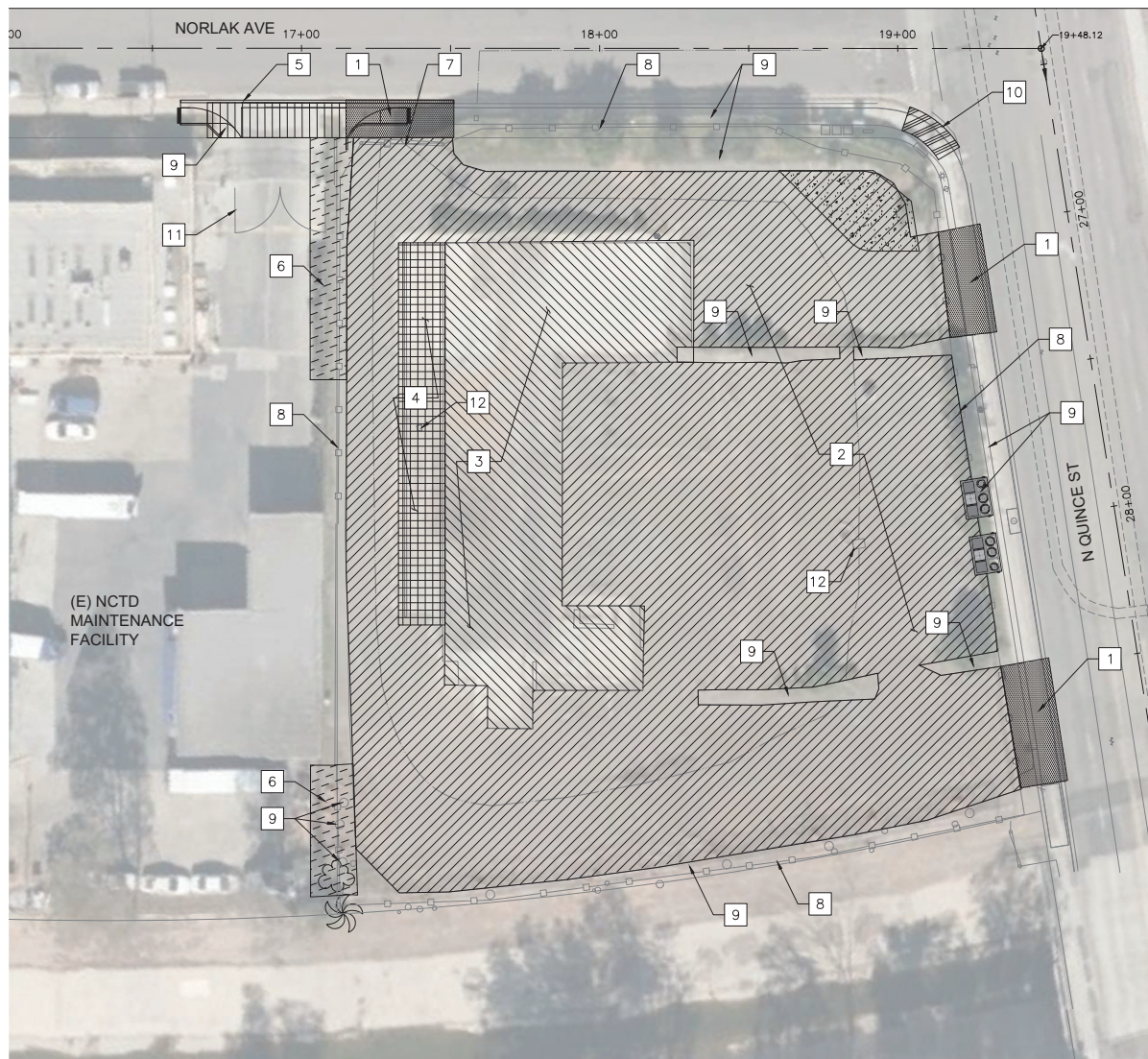


**STV**  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7th STREET, SUITE 2900  
LOS ANGELES, CA 90017-2577















PROJECT ADDRESS	PROJECT TITLE	PROJECT NO
EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	BREEZE OPERATIONS EAST SITE EXPANSION	4020125
	SHEET TITLE	SCALE
	SITE PLAN	1" = 40'
		DRAWING NO
		C-101
		SHEET NO
		10 OF 45

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#### LEGEND

-  1 REMOVE EXISTING DRIVE APPROACH AND SIDEWALK
-  2 REMOVE EXISTING ASPHALT PAVEMENT
-  3 REMOVE EXISTING CONCRETE FOUNDATION
-  4 REMOVE EXISTING TRUCK DOCK, RETAINING WALL AND CONCRETE PAVEMENT
-  5 REMOVE EXISTING CURB AND SIDEWALK AS REQUIRED FOR NEW DRIVE APPROACH.
-  6 REMOVE INTERFERING PORTIONS OF ADJACENT IMPROVEMENTS AS REQUIRED FOR NEW DRIVEWAY CIRCULATION
-  7 REMOVE EXISTING VEHICLE GATE AND RELATED FOUNDATIONS.
-  8 REMOVE EXISTING PERIMETER FENCE AND RELATED FOUNDATIONS.
-  9 REMOVE EXISTING VEGETATION (TREES, SHRUBS, GRASS) AND PARKING ISLAND.
-  10 REMOVE EXISTING SIDEWALK AND CONCRETE PEDESTRIAN RAMP AS REQUIRED FOR NEW ADA CURB RAMP.
-  11 REMOVE EXISTING FENCE AND VEHICLE GATE.
-  12 REMOVE EXISTING AREA DRAIN AND INTERFERING PORTIONS OF EXISTING STORM DRAIN LINE



1 C-102 DEMOLITION PLAN

10' 0 10' 20' 40'  
SCALE IN FEET

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION	DESIGNED BY: JD	DRAWN BY: ZO	CHECKED BY: KT	DATE: 09/16/22	PROJECT ADDRESS	PROJECT TITLE	PROJECT NO
	09/16/22	JD	SWQMP REVISIONS TO MWS					EAST DIVISION MF	BREEZE OPERATIONS EAST	4020125
	09/24/21	JD	NCTD REQUESTED UPDATES					335 N. QUINCE STREET	SITE EXPANSION	1" = 20'
	01/29/21	JD	FINAL DESIGN (CUP SET)					ESCONDIDO, CA 92025	DEMOLITION PLAN	C-102
	12/07/20	JD	50% DESIGN SUBMITTAL							11 OF 45

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#### CONSTRUCTION NOTES:

- ① CONSTRUCT CURB ONLY PER SAN DIEGO REGIONAL STD DWG G-01 AND PER DETAIL 1 ON SHEET C-503
- ② CONSTRUCT 12" HDPE STORM DRAIN PIPE, WITH PIPE BEDDING AND TRENCH PER SAN DIEGO STD DWG D-60.
- ③ CONSTRUCT GRATED CATCH BASIN BOX INLET PER SAN DIEGO REGIONAL STD DWG D-29, WITH DETAILS PER D-11A AND D-11B, METAL FRAME PER D-13, GRATE PER D-15.
- ④ CONSTRUCT NEW ADA CURB RAMP, TYPE C, PER SAN DIEGO REGIONAL STD DWG G-29, REFER TO STD G-32A FOR CURB RAMP GENERAL NOTES AND G-32B FOR DETAILS, CT=8'-0". TRUNCATED DOME TILE COLOR SHALL BE COLONIAL RED PER CITY OF ESCONDIDO DESIGN STANDARD 7.C. PROTECT EXISTING SDG&E TERMINATOR EQUIPMENT IN PLACE.
- ⑤ NOT USED
- ⑥ INSTALL MWS LINEAR BIOFILTRATION PLANTER BOX. SEE GRADING AND DRAINAGE PLAN, SHEET C-104 FOR MANUFACTURER'S MODEL AND SHEET C-503, DETAIL 2 FOR MORE INFO.
- ⑦ NOT USED
- ⑧ CONSTRUCT SIDEWALK REPLACEMENT PER CITY OF ESCONDIDO STD DWG G-6-E AND PER DETAILS 2 AND 3 ON SHEET C-502
- ⑨ CONSTRUCT NEW DRIVE APPROACH PER CITY OF ESCONDIDO STD. DWG. G-5-E, WIDTH PER PLAN.
- ⑩ CONSTRUCT CMU PERIMETER SITE WALL, 6'-0" HIGH WITH 2'-0" WROUGHT IRON METAL FENCE TOPPING, PER DETAIL 7 ON SHEET C-502
- ⑪ CONSTRUCT NEW CURB AND CUTTER WITH 2' WIDE ASPHALT REPLACEMENT PER SAN DIEGO REGIONAL STD DWG G-02
- ⑫ NOT USED
- ⑬ INSTALL NEW CONCRETE PAVEMENT, 9" PCC OVER 12" AGGREGATE BASE OVER 12" 95% COMPACTED SOIL (TI=6.5) AND PER DETAILS 4 AND 8 ON SHEET C-502
- ⑭ CONSTRUCT NEW WROUGHT IRON MOTORIZED ROLLING VEHICLE GATE, 8'-0" HIGH, PER DETAILS ON SHEETS C-501 AND C-501A. GATE SHALL BE EQUIPPED WITH A KNOX BOX AND AN OPTICOM DETECTOR FOR FIRE ACCESS.
- ⑮ CONSTRUCT NEW PEDESTRIAN GATE, WROUGHT IRON, 4'-0" WIDE. SEE DETAILS ON SHEETS C-501 AND C-501A.
- ⑯ CONSTRUCT CHAIN LINK SITE FENCE, 8'-0" HIGH, TO MATCH EXISTING FENCE AT ADJACENT MAINTENANCE FACILITY PROPERTY.
- ⑰ CONSTRUCT WROUGHT IRON FENCE, 8'-0" HIGH. SEE SHEET C-501 FOR SIMILAR DETAILS. TYPICAL SEGMENT WIDTHS SHALL MATCH EXISTING FENCE AT MAIN LOT.
- ⑱ INSTALL VEHICLE BOLLARD PER DETAIL 1 ON SHEET C-502
- ⑲ INSTALL VEHICLE WHEEL STOP PER DETAIL 6 ON SHEET C-502
- ⑳ EQUIPMENT PAD PER DETAIL 5 ON SHEET C-502
- ㉑ CONSTRUCT CURB AND CONCRETE PAD FOR GATE QUEUE PER DETAIL 1B ON SHEET C-501

#### PROTECT IN PLACE:

- |    |   |
|----|---|
| 40 | EXISTING TRAFFIC SIGN   |
| 41 | EXISTING LIGHT POLE   |
| 42 | EXISTING CATCH BASIN AND STORM DRAIN MANHOLE                  |
| 43 | EXISTING AT&T COMMUNICATIONS ACCESS BOX                       |
| 44 | EXISTING COMMUNICATIONS EQUIPMENT ENCLOSURE                   |
| 45 | EXISTING FIRE HYDRANT   |
| 46 | EXISTING SDG&E TERMINATOR EQUIPMENT ENCLOSURE                 |
| 47 | EXISTING SDG&E TRANSFORMER EQUIPMENT ENCLOSURES, TYPICAL OF 3 |
| 48 | EXISTING DRIVEWAY FOR CHANNEL MAINTENANCE AND ACCESS          |
| 49 | COX COMMUNICATION ACCESS BOX                                  |
| 50 | STREET LIGHT ACCESS BOX                                       |



1  
C-103

#### CONSTRUCTION PLAN

1" = 20'

10' 0' 10' 20' 40'  
SCALE IN FEET

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
09/16/22	JD	SWQMP REVISIONS TO MWS	
09/24/21	JD	NCTD REQUESTED UPDATES	
01/29/21	JD	FINAL DESIGN (CUP SET)	
12/07/20	JD	FINAL DESIGN	
10/02/20	JD	50% DESIGN SUBMITTAL	

DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22



**STV**  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7th STREET, SUITE 2900  
LOS ANGELES, CA 90017-2577



PROJECT ADDRESS  
**EAST DIVISION MF**  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

PROJECT TITLE  
**BREEZE OPERATIONS EAST**  
SITE EXPANSION  
SHEET TITLE  
**CONSTRUCTION PLAN**

PROJECT NO	4020125
SCALE	1" = 20'
DRAWING NO	C-103
SHEET NO	12 OF 45



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#### STORM WATER POLLUTION PREVENTION NOTES:

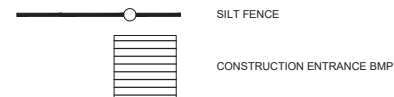
- BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED DURING ALL PHASES OF CONSTRUCTION IN CONFORMANCE WITH THE CITY OF ESCONDIDO'S MUNICIPAL CODE. ADDITIONALLY, SITES OVER AN ACRE SHALL ABIDE BY THE CONSTRUCTION GENERAL PERMIT (CGP). ALL BMPs SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE CASQA HANDBOOK, AT A MINIMUM PERIMETER CONTROL AND CONSTRUCTION ENTRANCES SHOULD BE IN PLACE PRIOR TO A GRADING PERMIT BEING ACTIVATED.
- INSPECTION, MODIFICATION AND MAINTENANCE OF THE BMPs SHALL BE IMPLEMENTED AS NECESSARY. IN THE EVENT OF FAILURE OR REFUSAL TO PROPERLY MAINTAIN THE BMPs, THE CITY MAY ISSUE EMERGENCY MAINTENANCE WORK TO BE COMPLETED TO PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY. THE COST (INCLUDING AN INITIAL MOBILIZATION AMOUNT) AND ANY FINES ASSESSED TO THE CITY SHALL BE CHARGED TO THE OWNER OF THE PROJECT.
- NECESSARY MATERIALS TO IMPLEMENT THE REQUIRED BMPs SHALL BE AVAILABLE ON SITE TO FACILITATE RAPID DEPLOYMENT OR TO REPAIR ANY BMP FAILURES.
- CITY STAFF SHALL BE ALERTED BY THE CONTRACTOR, PERMITTEE OR OWNER, AS NEEDED FOR EMERGENCY WORK DURING STORMS.
- RUN-ON FLOW ONTO THE SITE SHALL BE PROPERLY MANAGED AND PLANNED FOR TO PREVENT FAILURE OF BMPs AND/OR ILLEGAL DISCHARGES FROM THE PROJECT SITE INTO THE STORM DRAIN.
- STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AT EVERY ONSITE STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. WHERE FEASIBLE DESILTING BASINS SHALL ALSO BE PROVIDED AT DRAINAGE OUTLETS FROM THE GRADED SITE.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED ON SLOPES AND ANY EXPOSED SOIL USING THE FOLLOWING BMPs. FIBER BLANKETS, BONDED FIBER MATRIX, OR BY INSTALLING OR MAINTAINING EXISTING VEGETATION. THE CONTRACTOR SHALL IMMEDIATELY REPAIR AND STABILIZE ANY ERODED AREAS. INACTIVE SLOPES SHALL BE PROTECTED AND STABILIZED. ALL EXPOSED SOIL INCLUDING INACTIVE AND ACTIVE SLOPES SHALL BE PROTECTED PRIOR TO A RAIN EVENT.
- ALL UNPAVED GRADED CHANNELS SHALL IMPLEMENT EROSION PREVENTION MEASURES SUCH AS LINING AND INSTALLING VELOCITY CHECK DAMS AT REGULAR INTERVALS.
- STREET SWEEPING VEHICLES WITH VACUUMS AND WATER TANKS SHALL BE USED TO KEEP PAVED STREETS FREE OF LOOSE SOIL AND/OR CONSTRUCTION DEBRIS.
- CONTRACTORS SHALL HAVE WATER TRUCKS AND EQUIPMENT ON-SITE TO MINIMIZE AIRBORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS. ADDITIONAL DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS NEEDED.
- STOCKPILES SHALL BE COVERED AT THE END OF EACH WORKING DAY AND PRIOR TO FORECAST RAIN. ASPHALT SHALL ADDITIONALLY BE PLACED ON A LAYER OF PLASTIC SHEET, OR EQUIVALENT.
- ALL PORTABLE TOILETS SHALL HAVE SECONDARY CONTAINMENT AND NOT BE LOCATED NEAR STORM DRAIN (I.E., CATCH BASIN OR STREET).
- VEHICLES SHALL HAVE DRIP PANS UNDERNEATH THEM AND ANY LEAKS OR SPILLS SHALL BE PROMPTLY REPAIRED AND REMOVED.
- ALL DEBRIS SHALL BE PLACED IN DUMPSTERS WITH LIDS. THE LIDS SHALL BE CLOSED AT THE END OF EACH DAY AND ARE NOT TO BE OVERFILLED. ADDITIONAL TRASH PICK-UPS SHALL BE MADE AS NECESSARY.
- LIQUID MATERIALS SHALL BE STORED IN CLOSED CONTAINERS IN SECONDARY CONTAINMENT AND UNDER COVER. SOLID MATERIALS SHALL BE STORED ON PALLETS AND BE COVERED PRIOR TO FORECAST RAIN.
- A MATERIALS WASHOUT SHALL BE AVAILABLE ONSITE WHENEVER LIQUID MATERIALS ARE USED. THE WASHOUT SHALL FULLY CONTAIN WASH MATERIALS AND THE SURROUNDING AREA SHALL BE KEPT FREE OF SPILLS.
- DISCHARGE OF POTABLE WATER (SUCH AS FROM POWER WASHING OR FILLING WATER TRUCKS) SHALL BE PREVENTED OR DIRECTED TO LANDSCAPE.
- PERIMETER CONTROL IS REQUIRED ON ALL SITES
- ALL ACTIVE ENTRANCES SHALL PREVENT TRACKING BY INSTALLING STABILIZED CONSTRUCTION ENTRANCES.

#### ENGINEER'S CERTIFICATION OF STRUCTURAL BMP'S

THE ENGINEER OF RECORD SHALL VERIFY THAT THE STRUCTURAL BMP'S HAVE BEEN CONSTRUCTED AND OPERATE IN COMPLIANCE WITH ALL OF THE DESIGN SPECIFICATIONS, PLANS, PERMITS, ORDINANCES AND THE REQUIREMENTS OF THE MS4 PERMIT.

THE ENGINEER OF RECORD SHALL PROVIDE THE FIELD OFFICE WITH A SIGNED AND STAMPED CERTIFICATION(S) THAT THE PROJECT'S SITE DESIGN AND STRUCTURAL BMP'S WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SWOMP. THE CERTIFICATION SHALL INCLUDE PHOTOGRAPHS TAKEN DURING SEVERAL PHASES OF THE TREATMENT FACILITIES DURING CONSTRUCTION (INCLUDING PHOTOGRAPHS OF SUBSURFACE STRUCTURES AND MATERIALS) AND FINAL AS-BUILT CONDITIONS.

#### LEGEND



1  
C-105

#### EROSION CONTROL PLAN

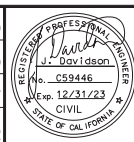
1" = 20'

10' 0' 10' 20' 40'  
SCALE IN FEET

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
09/16/22	JD	SWQMP REVISIONS TO MWS	
09/24/21	JD	NCTD REQUESTED UPDATES	
01/29/21	JD	FINAL DESIGN (CUP SET)	
12/07/20	JD	FINAL DESIGN	
10/02/20	JD	50% DESIGN SUBMITTAL	

DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22



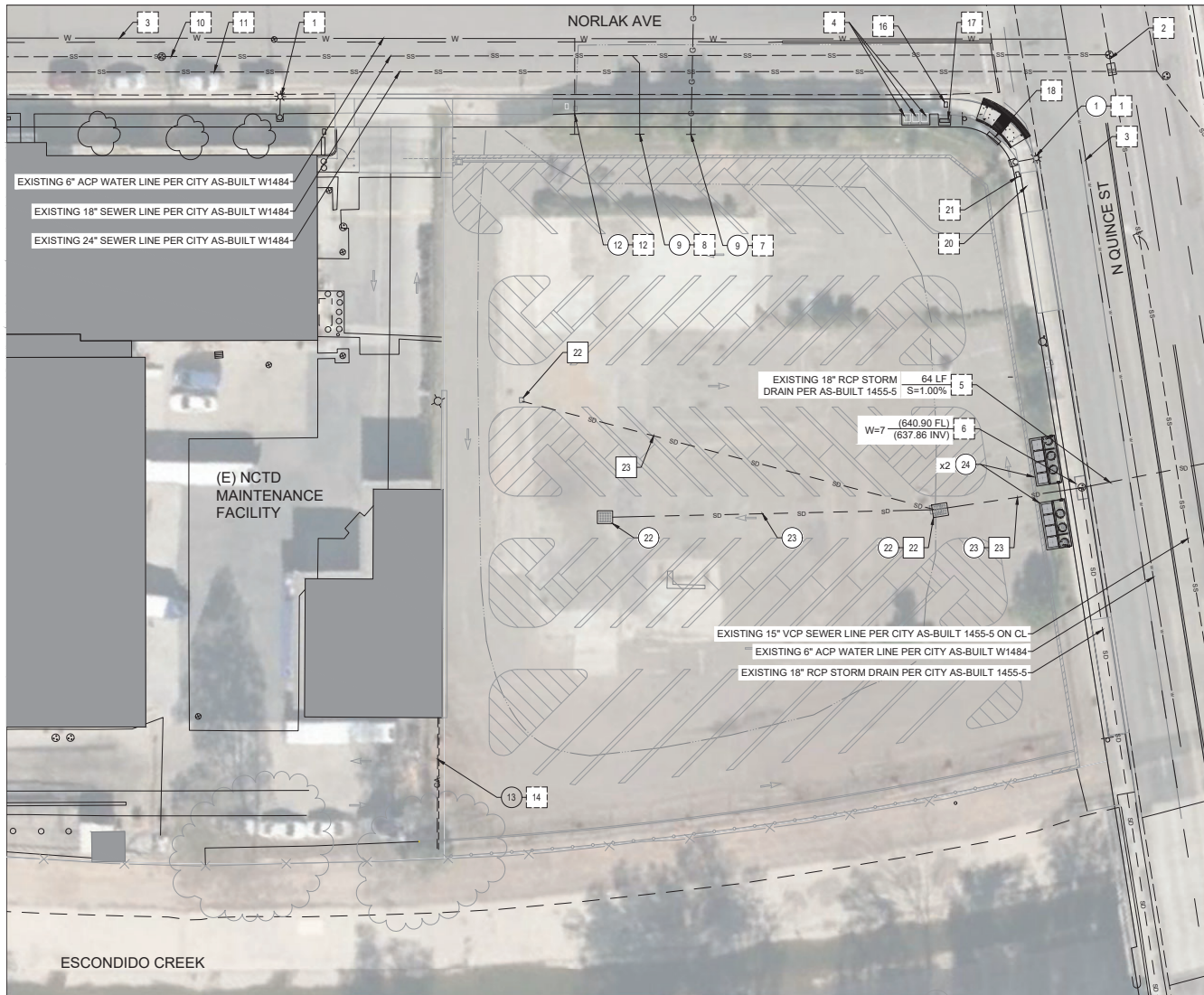
**STV**  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7th STREET, SUITE 2900  
LOS ANGELES, CA 90017-2577



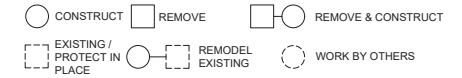
PROJECT ADDRESS  
**EAST DIVISION MF**  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

PROJECT TITLE  
**BREEZE OPERATIONS EAST**  
**SITE EXPANSION**  
SHEET TITLE  
**EROSION CONTROL PLAN**

PROJECT NO  
**4020125**  
SCALE  
**1" = 20'**  
DRAWING NO  
**C-105**  
SHEET NO  
**14 OF 45**



#### CONSTRUCTION SYMBOLS:



#### CONSTRUCTION NOTES:

- 1 - STREET LIGHT. REPLACE EXISTING STREET LIGHT WITH NEW LED FIXTURE PER CITY OF ESCONDIDO STD DWG E-1-E.
- 2 - MANHOLE
- 3 - 6" ACP WATER PER CITY OF ESCONDIDO AS-BUILT PLAN W1484
- 4 - SDG&E TRANSFORMER EQUIPMENT ENCLOSURES, TYPICAL OF 3
- 5 - 18" RCP (2500-D) PER CITY OF ESCONDIDO AS-BUILT PLAN 1455-5, LENGTH AND SLOPE PER PLAN
- 6 - TYPE "K" CURB INLET (ST-405) PER CITY OF ESCONDIDO AS-BUILT PLAN 1455, LENGTH AND INVERT PER PLAN
- 7 - GAS LATERAL PER USA SURVEY FIELD MARK (NO AS-BUILT PLAN). PER NCTD THE EXISTING GAS LINE HAS BEEN DISCONNECTED AT THE MAINLINE ON THE NORTH SIDE OF THE STREET. FIELD VERIFY, CAP AT PROPERTY LINE, AND REMOVE REMAINING ONSITE PORTIONS.
- 8 - SEWER LATERAL PER USA SURVEY FIELD MARK (NO AS-BUILT PLAN). CAP EXISTING SEWER AT PROPERTY LINE.
- 9 - ABANDON REMAINING ONSITE UTILITY LINES
- 10 - 18" SEWER PER CITY OF ESCONDIDO AS-BUILT PLAN W1484
- 11 - 24" SEWER MAIN TRUNK LINE PER CITY OF ESCONDIDO AS-BUILT PLAN W1484
- 12 - EXISTING WATER METER, MODIFY WITH BACKFLOW DEVICE PER LANDSCAPE PLANS. COORDINATE THE START OF NEW WATER SERVICE WITH THE CITY OF ESCONDIDO.
- 13 - DETACH (E) COMPRESSED AIR LINE FROM (E) SITE FENCE THAT IS INTENDED TO BE DEMOD.
- 14 - BURY 2' BELOW PROPOSED FINISH SURFACE OF (N) DRIVEWAY, DAYLIGHT ON EITHER SIDE TO RECONNECT TO (E) LINE.
- 15 - NOT USED
- 16 - AT&T ACCESS BOX
- 17 - AT&T COMMUNICATION EQUIPMENT ENCLOSURE
- 18 - SDG&E TERMINATOR EQUIPMENT ENCLOSURE
- 19 - NOT USED
- 20 - COX COMMUNICATION ACCESS BOX
- 21 - STREET LIGHT ACCESS BOX
- 22 - STORM DRAIN AREA DRAIN, SEE SHEET C-103
- 23 - ONSITE STORM DRAIN LINE, SEE SHEET C-103
- 24 - STORM WATER BMP. MWS LINEAR BIOFILTRATION PLANTER BOX. SEE GRADING AND DRAINAGE PLAN, SHEET C-104. FOR MANUFACTURER'S MODEL AND SHEET C-503, DETAIL 2 FOR MORE INFORMATION.

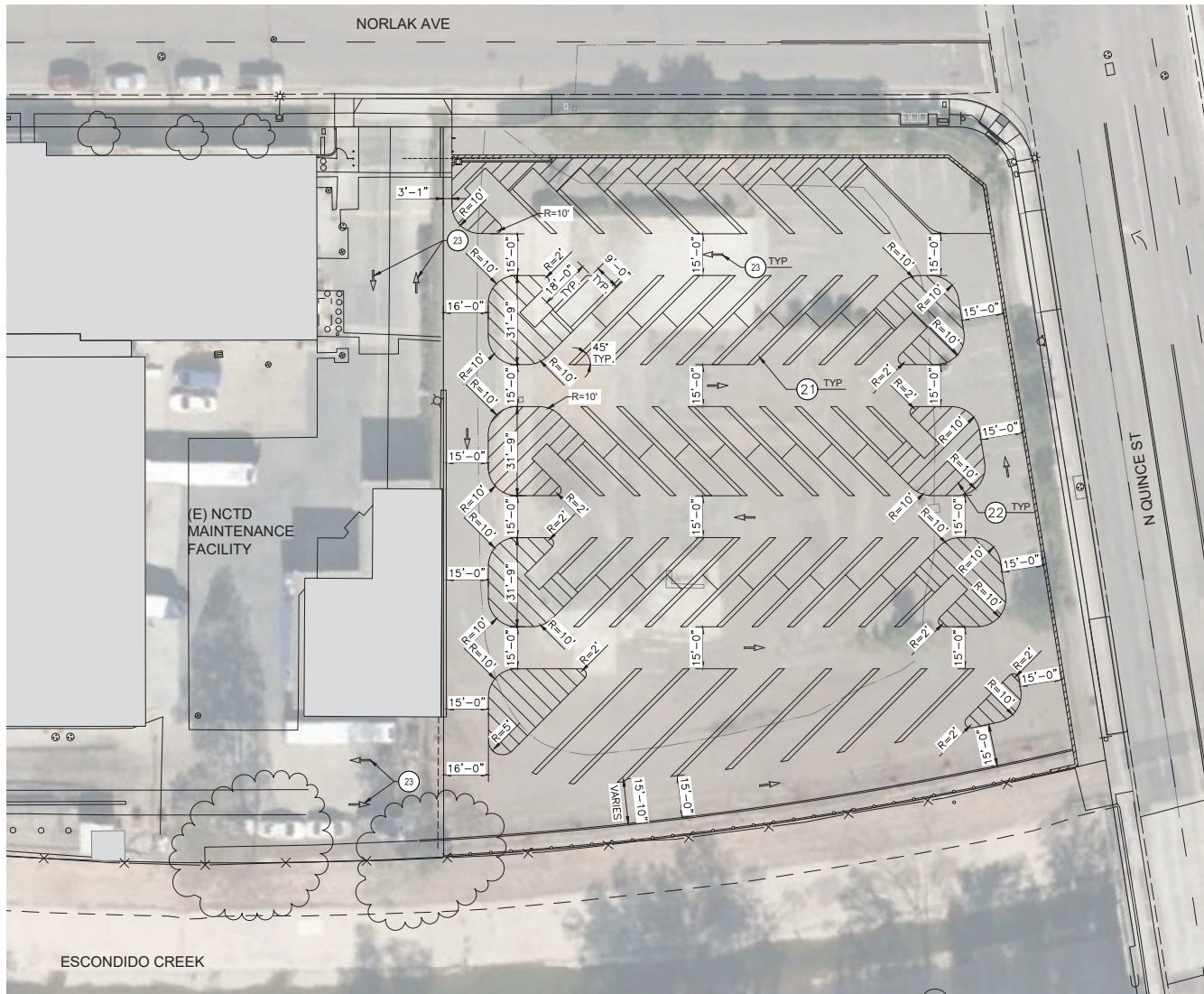


**1 UTILITIES PLAN**  
C-106 1" = 20'

10' 0 10' 20' 40'  
SCALE IN FEET

#### NOT FOR CONSTRUCTION

PROJECT: 4020125 SHEET: C-106 DATE: 09/16/22 BY: JD	DESIGNED BY: JD		<b>STV</b> ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS 1055 WEST 7th STREET, SUITE 2900 LOS ANGELES, CA 90017-2577	<b>NORTH COUNTY TRANSIT DISTRICT</b>	PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION	SHEET TITLE  UTILITIES PLAN	PROJECT NO 4020125
	DRAWN BY: ZO							SCALE 1" = 20'
	CHECKED BY: KT							DRAWING NO C-106
	DATE: 09/16/22							SHEET NO 15 OF 45
	DESCRIPTION 50% DESIGN SUBMITTAL							



# SIGNAGE AND STRIPING CONSTRUCTION NOTES:

- 21 PAINT SINGLE 4" WHITE PARKING STALL STRIPE
- 22 PAINT 4" WHITE CROSS HATCH STRIPING AT 36" ON CENTER
- 23 VEHICLE DIRECTIONAL PAVEMENT MARKINGS, PER DETAIL 6 ON C-501A



1

C-107

SIGNAGE AND STRIPING PLAN

1" = 20'

10'

0

10'

20'

40'

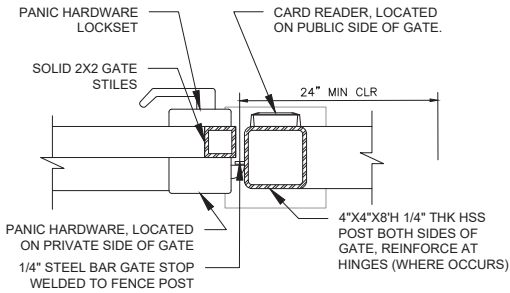
SCALE IN FEET

NOT FOR CONSTRUCTION

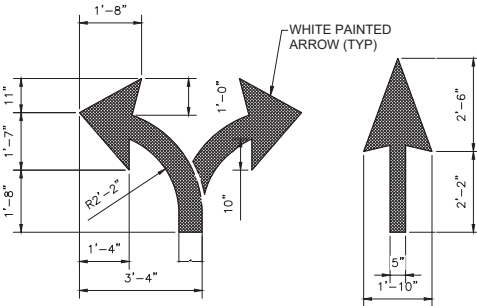
				DESIGNED BY: JD		 <div>STV ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS 1055 WEST 7th STREET, SUITE 2900 LOS ANGELES, CA. 90017-2577</div>	 <div>NORTH COUNTY TRANSIT DISTRICT</div>	PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO  4020125
09/16/22	JD	SWQMP REVISIONS TO MWS	DRAWN BY: ZO	SCALE  1" = 20'						
09/24/21	JD	NCTD REQUESTED UPDATES	CHECKED BY: KT	DRAWING NO  C-107						
01/29/21	JD	FINAL DESIGN (CUP SET)	DATE: 09/16/22	SHEET NO  16 OF 45						
12/07/20	JD	FINAL DESIGN								
10/02/20	JD	50% DESIGN SUBMITTAL								
REV	DATE	BY	DESCRIPTION							



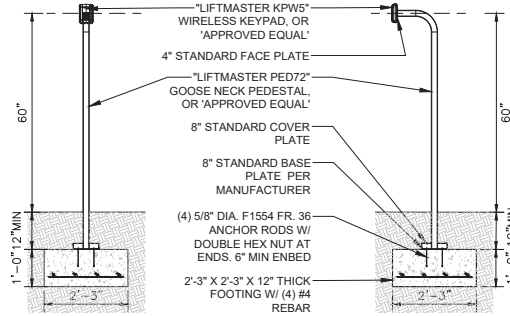
\\Project\2020\20\_4020125\_0004\90\_CAD\_Models\_and\_Sheets\04\_C\_Civil\Sheet\C-501.dwg Sep 23, 2022 - 12:45pm dmd\jw



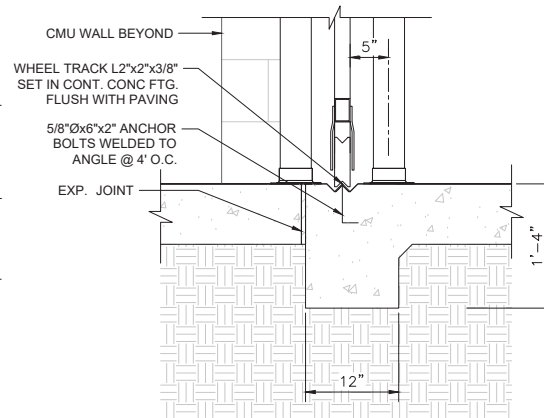
**5 GATE HARDWARE**  
C501A 3' = 1'-0"



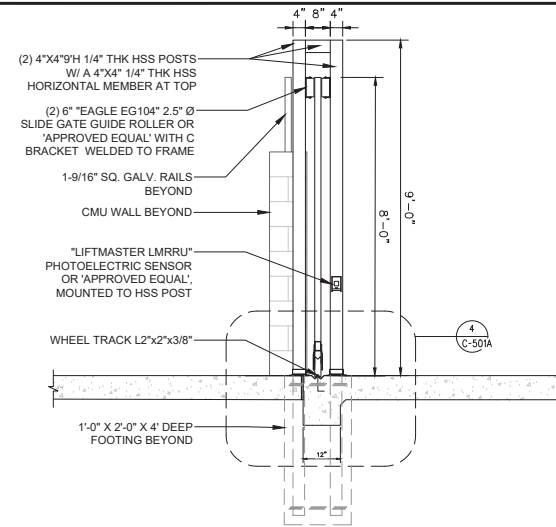
**6 PAINTED ARROWS**  
C501A 1" = 20'-0"



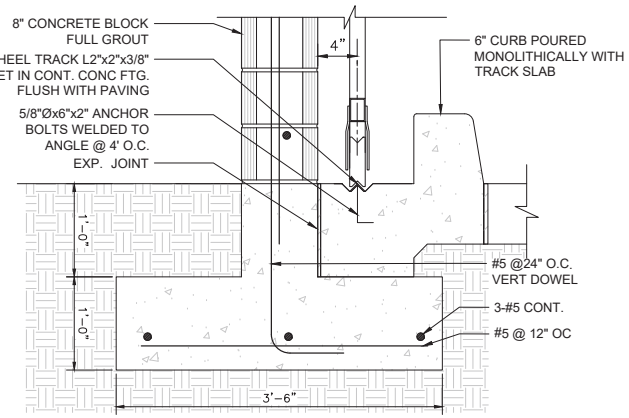
**3 PEDESTAL AND KEYPAD**  
C501A 1" = 20'-0"



**4 GATE AT ENTRANCE**  
C501A 1 1/2" = 1'-0"



**1 GATE CROSS SECTION**  
C501A 1" = 20'-0"



**2 GATE AT QUEUE**  
C501A 1 1/2" = 1'-0"

#### GENERAL NOTES

- ALL WROUGHT IRON ELEMENTS TO BE PRIMED AND PAINTED GLOSS BLACK WITH ICI DULUX PAINT OR 'APPROVED EQUAL'.
- GATE AND FENCE INSTALLER TO FIELD VERIFY OPENING TO DETERMINE EXACT SIZE AND LOCATION OF GATE, FENCE AND MOTOR OPERATOR.

#### PEDESTRIAN GATE NOTES

- GATE OPENINGS SHALL PROVIDE A CLEAR WITH OF 32" MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING GATES SHALL BE MEASURED BETWEEN THE FACE OF THE GATE AND THE STOP, WITH THE GATE OPEN 90 DEGREES.
- OPERABLE PARTS OF GATE HARDWARE SHALL BE 34" MINIMUM AND 44" MAXIMUM ABOVE GRADE.
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
- GATE CLOSERS - IF PROVIDED - SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE GATE TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- SWINGING GATE SURFACES WITHIN 10 INCHES OF GRADE SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE GATE.

#### SAFETY LOOPS NOTES

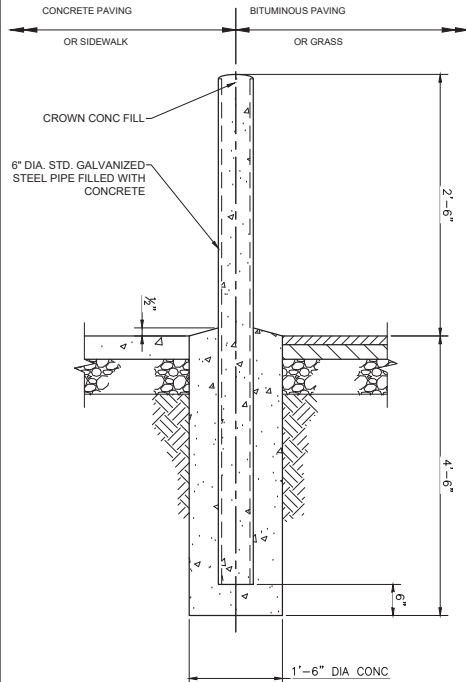
SAFETY LOOPS SHALL BE INSTALLED IN THE PAVEMENT AT POSITIONS AS INDICATED BY THE MANUFACTURER, INCLUDING: OUTSIDE SAFETY LOOP, INSIDE SAFETY LOOP, AND EXIT LOOP (ALSO AT INSIDE SIDE OF PROPERTY).

NOT FOR CONSTRUCTION

				DESIGNED BY:	JD		 <b>STV</b> ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS 1055 WEST 7th STREET., SUITE 2900 LOS ANGELES, CA 90017-2577	 <b>NORTH COUNTY TRANSIT DISTRICT</b>	PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO  4020125		
	09/16/22	JD	SWOMP REVISIONS TO MWS	DRAWN BY:	ZO							SCALE	1" = 20'
	09/24/21	JD	NCTD REQUESTED UPDATES	CHECKED BY:	KT							DRAWING NO	C-501 A
	01/29/21	JD	FINAL DESIGN (CUP SET)	DATE:	09/16/22							SHEET TITLE	DETAILS
	12/07/20	JD	FINAL DESIGN									SHEET NO	18 OF 45
	10/02/20	JD	50% DESIGN SUBMITTAL										
REV	DATE	BY	DESCRIPTION										

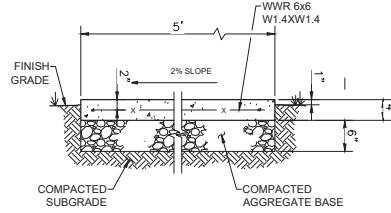
SHEET TITLE		SCALE
DETAILS		1" = 20'
		DRAWING NO
		C-501 A
		SHEET NO
		18 OF 45

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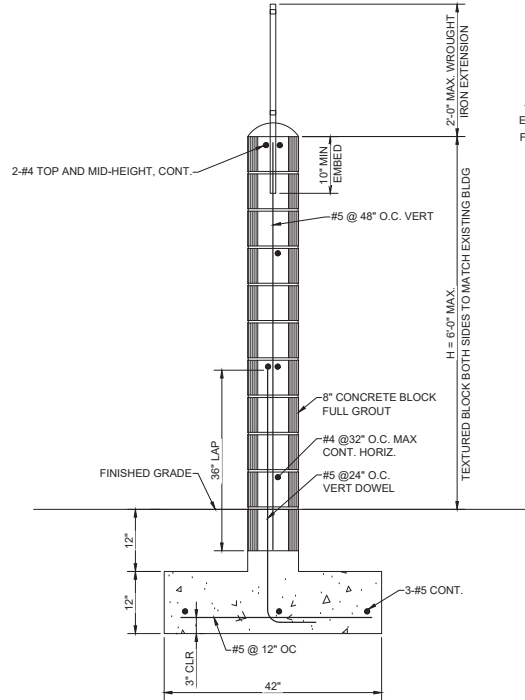
**1**  
C502  
**PIPE BOLLARD**  
NOT TO SCALE

NOTE  
1. PIPE BOLLARD SHALL BE PAINTED SAFETY YELLOW.

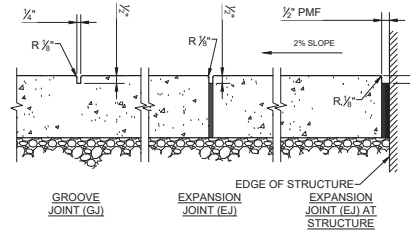


**2**  
C502  
**CONCRETE SIDEWALK**  
NOT TO SCALE

NOTES  
1. CONCRETE SIDEWALK WITH CROSS SLOPE SHOWN. SIDEWALK MAY ALSO HAVE CENTER CROWN. SEE GRADING AND DRAINAGE PLAN.  
2. SEE CONCRETE SIDEWALK JOINTS DETAIL.

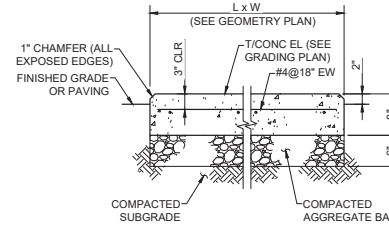


**7**  
C502  
**MASONRY PERIMETER WALL**  
NOT TO SCALE

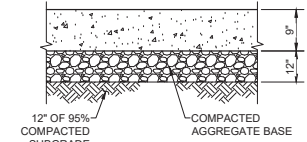


**3**  
C502  
**CONCRETE SIDEWALK JOINTS**  
NOT TO SCALE

NOTES  
1. PROVIDE TRANSVERSE GROOVE JOINTS AT 5'-0" CENTER TO CENTER (MAX) AND EXPANSION JOINTS AT 20'-0" CENTER TO CENTER (MAX).  
2. SEE CONCRETE SIDEWALK DETAIL.

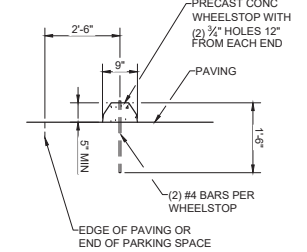


**5**  
C502  
**CONCRETE EQUIPMENT PAD**  
NOT TO SCALE



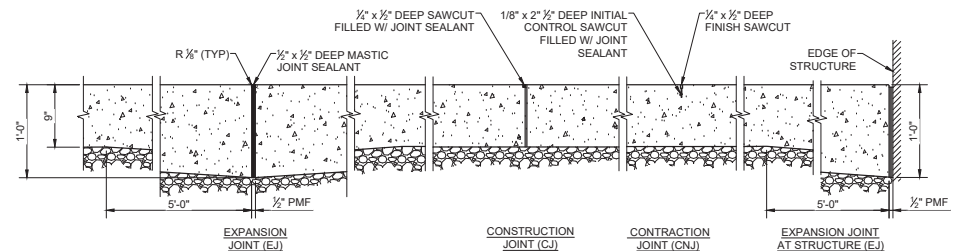
**4**  
C502  
**CONCRETE PAVEMENT**  
NOT TO SCALE

NOTES  
1. SEE CONCRETE PAVEMENT JOINTS DETAIL.



**6**  
C502  
**PRECAST CONCRETE WHEELSTOP**  
NOT TO SCALE

NOTE  
1. PRECAST CONCRETE WHEELSTOP SHALL BE A MINIMUM OF 6 FEET LONG AND SHALL BE CENTERED IN EACH PARKING SPACE.



**8**  
C502  
**CONCRETE PAVEMENT JOINTS**  
NOT TO SCALE

NOTES  
1. SEE CONCRETE PAVEMENT DETAIL.

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
09/16/22	JD	SWQMP REVISIONS TO MWS	
09/24/21	JD	NCTD REQUESTED UPDATES	
01/29/21	JD	FINAL DESIGN (CUP SET)	
12/07/20	JD	FINAL DESIGN	
10/02/20	JD	50% DESIGN SUBMITTAL	

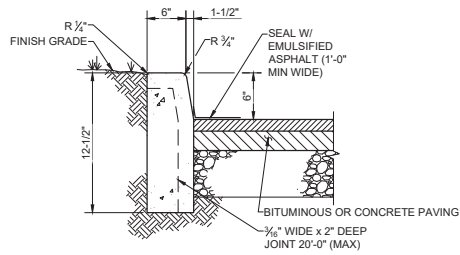
DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22



PROJECT ADDRESS
EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025

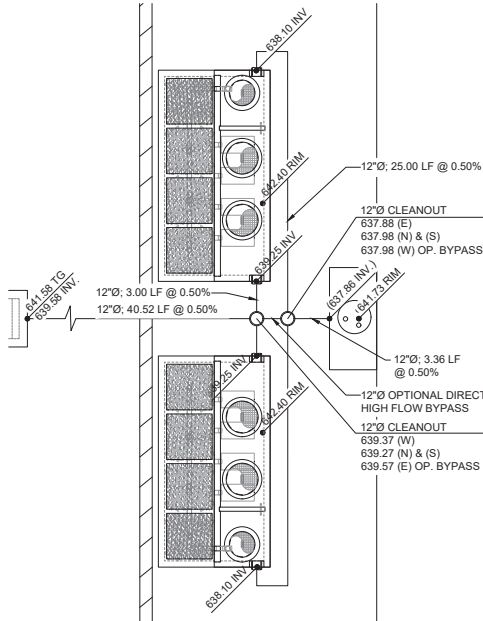
PROJECT TITLE
BREEZE OPERATIONS EAST SITE EXPANSION
SHEET TITLE
DETAILS

PROJECT NO
4020125
SCALE
1" = 20'
DRAWING NO
C-502
SHEET NO
19 OF 45



### 1 CONCRETE CURB

- NOTES
1. PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER MATERIAL AT ALL INTERSECTIONS AND AT THE END OF EACH PLACEMENT.

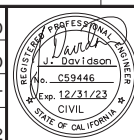


### 3 STORM WATER CLARIFIER DETAIL

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
09/16/22	JD	SWQMP REVISIONS TO MWS	
09/24/21	JD	NCTD REQUESTED UPDATES	
01/29/21	JD	FINAL DESIGN (CUP SET)	
12/07/20	JD	FINAL DESIGN	
10/02/20	JD	50% DESIGN SUBMITTAL	

DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22



**STV**  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7TH STREET, SUITE 2900  
LOS ANGELES, CA 90017-2577



PROJECT ADDRESS  
EAST DIVISION MF  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

PROJECT TITLE  
BREEZE OPERATIONS EAST  
SITE EXPANSION  
SHEET TITLE  
DETAILS

PROJECT NO  
4020125  
SCALE  
1" = 20'  
DRAWING NO  
C-503  
SHEET NO  
20 OF 45

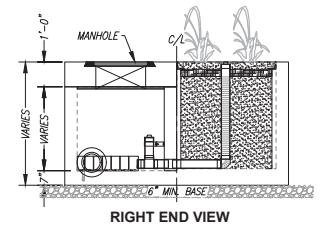
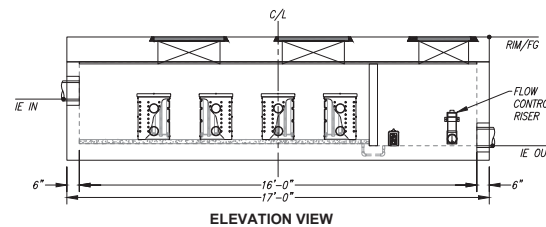
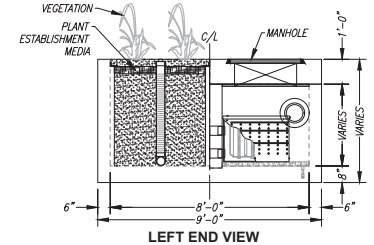
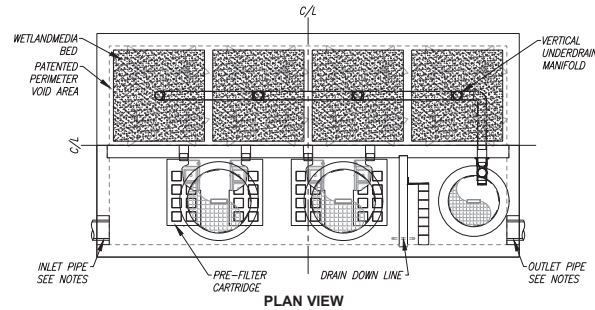
SITE SPECIFIC DATA			
PROJECT NUMBER	4020125-0004		
PROJECT NAME	NCTD BEB PILOT PROGRAM		
PROJECT LOCATION	ESCONDIDO		
STRUCTURE ID	BMP#1 AND BMP#2		
TREATMENT REQUIRED			
VOLUME BASED (CF)		FLOW BASED (CFS)	
N/A		0.55 CFS	
PEAK BYPASS REQUIRED (CFS) – IF APPLICABLE			1.33 CFS
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	639.25	HDPE	12"Ø
INLET PIPE 2	N/A	N/A	N/A
OUTLET PIPE	638.10	HDPE	12"Ø
PRETREATMENT		BIOFILTRATION	DISCHARGE
RIM ELEVATION	642.40 RIM		
SURFACE LOAD	PEDESTRIAN		
FRAME & COVER	2EA #30"	OPEN PLANTER	#24"
NOTES:			

### INSTALLATION NOTES

1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
3. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURERS STANDARD CONNECTION DETAIL.
4. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
5. CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURERS WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

### GENERAL NOTES

1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.



TREATMENT FLOW (CFS)	
OPERATING HEAD (FT)	
PRETREATMENT LOADING RATE (GPM/SF)	
WETLAND MEDIA LOADING RATE (GPM/SF)	

**MWS-L-8-16-V**  
STORMWATER BIOFILTRATION SYSTEM  
STANDARD DETAIL

### 2 STORM WATER CLARIFIER DETAIL

NOT TO SCALE

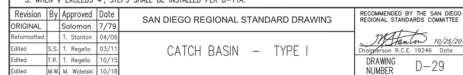


		DESIGNED BY:	J.D.			PROJECT ADDRESS EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE	BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO	4020125
09/16/22	J.D.	DRAWN BY:	Z.O.				SHEET TITLE		SCALE	N/A
09/24/21	J.D.	CHECKED BY:	K.T.						DRAWING NO	C-504
01/29/21	J.D.	DATE:	09/16/22						SHEET NO	21 OF 45
12/07/20	J.D.									
10/02/20	J.D.									
REV	DATE	BY	DESCRIPTION				DETAILS			



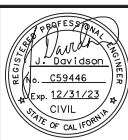


Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
ORIGINAL	MR	MR/CV	03/12		 10/26/2018 Christopher R.C.E. 19246 Date
UPDATED					
				NOTES FOR CURB RAMPS	DRAWING NUMBER G-32B

NOTES FOR CURB RAMPS

				DESIGNED BY:	JD
09/16/22	JD	SWQMP REVISIONS TO MWS		DRAWN BY:	ZO
09/24/21	JD	NCTD REQUESTED UPDATES		CHECKED BY:	KT
01/29/21	JD	FINAL DESIGN (CUP SET)			
12/07/20	JD	FINAL DESIGN			
10/02/20	JD	50% DESIGN SUBMITTAL		DATE:	09/16/22
REV	DATE	BY	DESCRIPTION		

DESIGNED BY:	JD
DRAWN BY:	ZO
CHECKED BY:	KT
DATE:	09/16/22



**STV**  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7th STREET., SUITE 2900  
LOS ANGELES, CA. 90017-2577

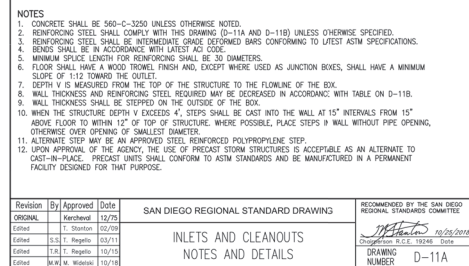


PROJECT ADDRESS


EAST DIVISION MF  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

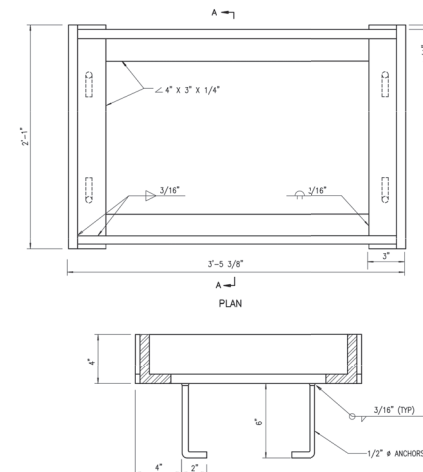
PROJECT TITLE	BREEZE OPERATIONS EAST SITE EXPANSION
SHEET TITLE	DETAILS


PROJECT NO	4020125
SCALE	N/A
DRAWING NO	C-506
SHEET NO	23 OF 45





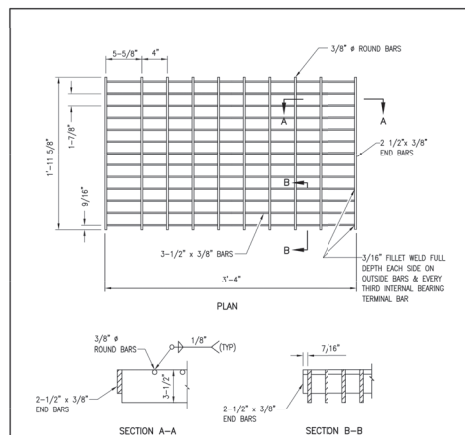
BOX SECTION REINFORCEMENT (HORIZONTAL AND FLOOR)				HORIZONTAL AND FLOOR REINFORCEMENT SIZE AND SPACING
MAXIMUM SPAN X OR Y	DEPTH	THICKNESS		
3' TO 4'				#4 @ 18"
4'-1" TO 7"	4'	6"		#4 @ 12"
7'-1" TO 8'				#4 @ 8"
3' TO 4'				#4 @ 18"
4'-1" TO 5'	4'-1" TO 8'	6"		#4 @ 12"
5'-1" TO 6'				#4 @ 8"
6'-1" TO 8'				#4 @ 6"
3' TO 4'		6"		#4 @ 15"
4'-1" TO 5'	8'-1" TO 12'			#4 @ 12"
5'-1" TO 6'		8"		#4 @ 8"
6'-1" TO 8'				#4 @ 6"
3' TO 4'				#4 @ 12"
4'-1" TO 5'	12'-1" TO 16'			#4 @ 12"
5'-1" TO 6'				#4 @ 8"
6'-1" TO 7"				#4 @ 6"
7'-1" TO 8'				#5 @ 8"
3' TO 4'		8"		#4 @ 12"
4'-1" TO 5'	16'-1" TO 20'	10"		#4 @ 8"
5'-1" TO 6'				#4 @ 12"
6'-1" TO 7"				#4 @ 6"
7'-1" TO 8'				#5 @ 8"
3' TO 4'		8"		#4 @ 12"
4'-1" TO 5'	20'-1" TO 24'	10"		#4 @ 8"
5'-1" TO 6'				#4 @ 12"
6'-1" TO 7"				#4 @ 6"
7'-1" TO 8'		12"		#5 @ 8"

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING  INLETS AND CLEANOUTS NOTES AND DETAILS  DRAWING NUMBER D-11B	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE   M. Heaton 10/28/20 Chagrin P.C.E. 19246 Date
ORIGINAL		Karchenko	12/75		
Reformatted		T. Shanton	04/96		
Edited	S.S.	T. Ringold	03/11		
Edited	T.R.	T. Ringold	10/15		
Edited	M.W.	M. Wicinski	10/18		



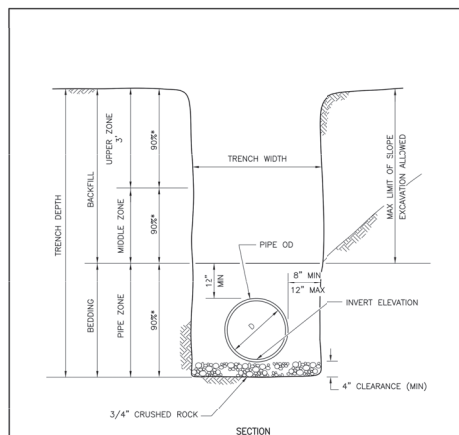
<div style="text-align: center;"> <b>NOTE</b>  HOT-DIP GALVANIZE ALL PARTS AFTER FABRICATION. </div>				<div style="text-align: center;"> <b>SECTION A-A</b> </div>	
Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING  WELDED STEEL GRATE FRAME	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE  10/26/75 10/26/75 DRAWING NUMBER D-13
ORIGINAL		Kiercheval	12/27/75		
Edited		T. Stanton	10/29/76		
Edited	J.S. T.	R. Rapallo	10/31/76		
Edited	J.R. T.	R. Rapallo	10/18/76		
Edited	J.R. M.	M. Wolske	10/18/76		

			DESIGNED BY:	JD	  <b>STV</b> ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS 1055 WEST 7TH STREET., SUITE 2900 LOS ANGELES, CA 90017-2577	<b>NORTH COUNTY TRANSIT DISTRICT</b> 	PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE	BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO	4020125
09/16/22	JD	SWOMP REVISIONS TO MWS	DRAWN BY:	ZO				SCALE	N/A		
09/24/21	JD	NCTD REQUESTED UPDATES	CHECKED BY:	KT				SHEET TITLE	DRAWING NO		
01/29/21	JD	FINAL DESIGN (CUP SET)	DATE:	09/16/22					C-507		
12/07/20	JD	FINAL DESIGN						DETAILS	SHEET NO		
10/02/20	JD	50% DESIGN SUBMITTAL				24 OF 45					
REV	DATE	BY	DESCRIPTION								



- NOTES**
1. HOT-DIP GALVANIZE ALL PARTS AFTER FABRICATION.
  2. DIMENSIONS ARE TO CENTERLINE OF BARS UNLESS OTHERWISE NOTED.
  3. NOT TO BE USED IN PEDESTRIAN AREAS.
  4. WEIGHT: 200 POUNDS +/-.


Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING  DRAINAGE STRUCTURE GRATE	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
ORIGINAL		Kercheval	2/2/79		 10/25/2011 Checkmark R.C.E. 19246 Date
Edited		T. Stanton	02/09		
Edited	S.S.	T. Regello	03/11		
Edited	T.R.	T. Regello	10/15		
Edited	M.W.	M. W. Wilschke	10/18		DRAWING NUMBER D-15

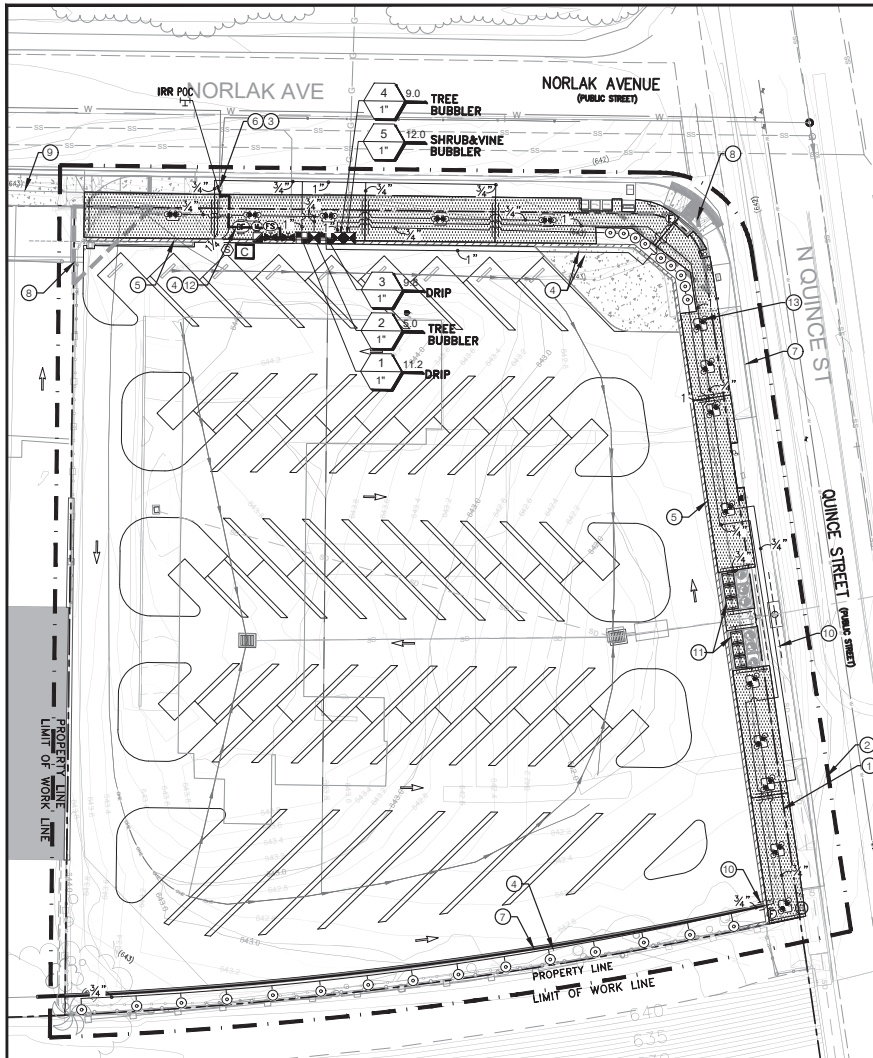


- NOTES
1. SEE G-24A AND G-24B OR G-25 FOR RESURFACING DETAILS ON IMPROVED STREETS.
  2. (\*) INDICATES MINIMUM RELATIVE COMPACTION.
  3. TOP 12" OF TRENCH BACKFILL IN STREET SECTION SHALL BE 95% RELATIVE COMPACTION UNLESS SPECIFIED OTHERWISE.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING  PIPE BEDDING AND TRENCH BACKFILL FOR STORM DRAINS  DRAWING NUMBER D-60	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE   (Signature) R.C.E. 19246 Date 10/25/2011
ORIGINAL		Kercheval	12/75		
Reformatted		T. Stanton	04/96		
Edited	S.S.	Tagello	03/11		
Edited	F.R.	Tagello	10/13		
Edited	M.W.	McIntosh	10/18		

NOT FOR CONSTRUCTION

				DESIGNED BY:	JD		 <div>STV ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS 1055 WEST 7TH STREET., SUITE 2900 LOS ANGELES, CA 90017-2577</div>	<div>NORTH COUNTY TRANSIT DISTRICT</div> 	PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO	4020125
09/16/22	JD	SWOMP REVISIONS TO MWS	DRAWN BY:	ZO	SCALE						N/A	
09/24/21	JD	NCTD REQUESTED UPDATES	CHECKED BY:	KT	DRAWING NO						C-508	
01/29/21	JD	FINAL DESIGN (CUP SET)	DATE:	09/16/22	SHEET NO						25 OF 45	
12/07/20	JD	FINAL DESIGN										
10/02/20	JD	50% DESIGN SUBMITTAL										
REV	DATE	BY	DESCRIPTION									



1 IRRIGATION PLAN - NEW  
SCALE 1"=20  
0 10 20 40 FEET

#### KEY NOTES:

- 1 PROPERTY LINE
- 2 LIMIT OF WORK LINE
- 3 SEE CIVIL FOR RE-ACTIVATION OF EXIST. WATER METER
- 4 IRRIGATION LINES, MAINLINE AND LATERAL, AND COMPONENTS ARE SHOWN SCHEMATICALLY FOR CLARITY, TO BE LOCATED IN THE PLANTER, INSTALLED WITHIN THE PROPERTY LINE.
- 5 CMU WALL PER CIVIL PLANS
- 6 EXISTING WATER METER
- 7 CONCRETE CURB PER CIVIL
- 8 VISIBILITY TRIANGLE
- 9 NEW VEHICULAR ACCESS
- 10 IRRIGATION SLEEVE IN WALL, TYP.
- 11 MODULAR WETLAND, REFER TO CIVIL PLANS, TYP.
- 12 NEW RPZ BACKFLOW
- 13 INSTALL (2) TREE ROOT WATERING SYSTEM (BUBBLERS) PER TREE, TYP.

#### IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	DETAIL
PCZ	POINT OF CONNECTION 1" - see Civil		
BP	BACKFLOW PREVENTER: 1" Reduced Pressure Backflow Preventer, Y-Filter and Pressure Reducer. Such as: Feibco 825Y with Wilkins 500 YSBR or 'Approved Equal'.		1/LI-003 W-10-E
UV	MASTER VALVE: 1 1/2" Heavy duty closed globe pattern, glass filled UV resistant nylon, with stainless steel studs and flange nuts, and brass flow control stem. Y filter upstream for drip. Such as: Hunter IBV-151G-FS 1-1/2" Master Valve or 'Approved Equal'.		SDCRSD I-10
FS	FLOW SENSOR: Flow Sensor for use with I-Core controller, with rotating impeller and O-ring seal with black and red wires. Such as: Hunter HFS-100 or 'Approved Equal'.		SDCRSD I-9
IC	AUTOMATIC IRRIGATION CONTROLLER: Outdoor Model, wall mounted, 6 station with 4 programs and flow monitoring capability, back-lit display, and 6 selectable languages. Such as: Hunter I-Core IC-600SS or 'Approved Equal'.		4/LI-004
RS	RAIN SENSOR: Wall mounted Advanced Weather Sensor, ET calculator with instant rain freeze shutoff in polycarbonate body and metal extension arm. Such as: Hunter Solar Sync WSS-SEN or 'Approved Equal'.		8/LI-004
IRV	REMOTE CONTROL IRRIGATION VALVE: 1" Plastic Industrial Valve. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module. Such as: Hunter PGV w/ AccuSync-Adj. or 'Approved Equal'.		SDCRSD I-33
DK	Drip Control Kit: Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter. Such as: Hunter PCZ or 'Approved Equal'.	40	3/LI-004
QC	QUICK COUPLER: 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body. Such as: Hunter #HQ-33DLRC plus 2 Keys #HK-33 or 'Approved Equal'.		6/LI-005
BV	BALL VALVE: Stainless steel ball valve with blowout-proof stem and locking lever handle. Such as: Nilco T-580-36-R-66-LL or 'Approved Equal'.		3/LI-005
RS	ROOT WATERING SYSTEM: Basket weave canister with 4.0" diameter x 18.0" long with locking grate, semi-rigid mesh tube, Check Valve and Sand Sock. 0.5 GPM Each. (Install 2 per tree, opposite of staking) Such as: Rain Bird RWSMB-1402-RWSSOCK, 0.5gpm or 'Approved Equal'.	30	4/LI-005
SB	STREAM BUBBLER: 0.5 GPM, 1.0' radius, 30 PSI regulated 6" pop-up. Such as: Hunter PROS-06-PRS30-MSBN-50H or 'Approved Equal'.	30	5/LI-005
DRIP	DRIP IRRIGATION: Area to Receive Dripline - Sub-Surface Pressure Compensating Landscape Dripline with dual layered tubing (copper over black), 0.6 GPH emitters at 18.0" O.C. Dripline laterals spaced at 18.0" apart, with emitters offset for triangular pattern. UV Resistant. Such as: Netafim Techline CV or 'Approved Equal'.		7,9/LI-004
DFV	DRIP FLUSH VALVE: Manual Flush Valve		3/LI-005
IL	IRRIGATION LATERAL LINE: PVC Schedule 40. Min. 3/4" Pipe Size, unless otherwise noted.		1/LI-005
IM	IRRIGATION MAINLINE: 1 1/2" PVC Schedule 40		1/LI-005
PS	PIPE SLEEVE: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall be 2x diameter of pipe to be sleeved and allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.		1/LI-005
VC	VALVE CALLOUT: Valve Number Valve Flow Valve Size		

NOTE:  
PLANS ARE DIAGRAMMATIC. IRRIGATION LINES, MAINLINE AND LATERAL, AND COMPONENTS ARE SHOWN SCHEMATICALLY FOR CLARITY, TO BE LOCATED IN THE PLANTER, INSTALLED WITHIN THE PROPERTY LINE. MAINLINES SHOULD BE INSTALLED OUTSIDE OF RIGHT OF WAY. TYP.

"I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE ESCONDIDO WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER."

MICHELLE M. LANDIS  
SIGNATURE  
REGISTRATION NO. 5444

DATE: NOVEMBER 30, 2023  
EXP. DATE: APRIL 30, 2024



11/30/23 ML CUP RESUBMITTAL	DESIGNED BY: MM/ML			<b>NORTH COUNTY TRANSIT DISTRICT</b>	PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO. 4020125
9/23/21 ML NCTD REQUESTED UPDATES	DRAWN BY: JG						SCALE AS SHOWN
6/14/21 ML FINAL DESIGN (CUP SET) UPDATED	CHECKED BY: ML						DRAWING NO. LI-001
1/29/21 ML FINAL DESIGN (CUP SET)	DATE: 11/30/2023						SHEET NO. 38 OF 45
1/12/21 ML FINAL DESIGN - UPDATED							
12/07/20 ML FINAL DESIGN							
10/02/20 ML 50% DESIGN							
REV DATE BY DESCRIPTION							

PRESSURE LOSS CALCULATIONS

PRESSURE LOSS SUMMARY

Project: BREEZE OPERATIONS EAST SITE EXPANSION

Date: November 16, 2023

Valve No.: 1

GPM/Size.: 11.2 GPM / 1"

A. RECORD SITE INFORMATION

Static Pressure at Source (Main)70.0

Pressure Loss/Gain Coefficient0.433

Net Elevation Change (Source to Meter)0.0

Elevation at Source643

Elevation at Meter643

Static Pressure before Meter70.0

B. PRESSURE LOSS CALCULATIONS

	SIZE	LOSS (PSI)
Water Meter	1"	0.8
Mainline	1-1/2"	0.2
Backflow Assembly	1"	12.0
Master Valve	1-1/2"	0.0
Control Valve	1"	7.0
Laterals	3/4"-1"	1.5
Fittings (15% of total PSI Loss for components)		3.2
Net Elevation Change (Elev. Diff. x 0.433)		-0.3
Elevation at Meter		643
Elevation at Worst Case Head		644
15% Pressure Buffer		3.65
TOTAL PRESSURE LOSS		16.0
TOTAL AVAILABLE PRESSURE		54.0
(STATIC PRESSURE - PRESSURE LOSS)		

PRESSURE LOSS SUMMARY

Project: BREEZE OPERATIONS EAST SITE EXPANSION

Date: June 21, 2023

Valve No.: 5

GPM/Size.: 12.0 GPM / 1"

A. RECORD SITE INFORMATION

Static Pressure at Source (Main)70.0

Pressure Loss/Gain Coefficient0.433

Net Elevation Change (Source to Meter)0.0

Elevation at Source643

Elevation at Meter643

Static Pressure before Meter70.0

B. PRESSURE LOSS CALCULATIONS

	SIZE	LOSS (PSI)
Water Meter	1"	0.9
Mainline	1-1/2"	0.3
Backflow Assembly	1"	12.0
Master Valve	1-1/2"	0.0
Control Valve	1"	5.0
Laterals	3/4"-1"	10.9
Fittings (15% of total PSI Loss for components)		4.4
Net Elevation Change (Elev. Diff. x 0.433)		-0.4
Elevation at Meter		643
Elevation at Worst Case Head		644
15% Pressure Buffer		4.95
TOTAL PRESSURE LOSS		26.9
TOTAL AVAILABLE PRESSURE		44.1
(STATIC PRESSURE - PRESSURE LOSS)		

IRRIGATION SCHEDULE

AREA EVAPOTRANSPIRATION DATA

ESCONDIDO												
	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
Normal Year Average ETo inches per Month	2.19	2.80	3.80	4.70	5.60	6.70	6.80	6.50	5.40	3.80	2.50	1.90
Normal Year Average ETo inches per Week	0.48	0.65	0.88	1.09	1.29	1.55	1.57	1.50	1.25	0.88	0.58	0.44

IRRIGATION SCHEDULE

DIVIDE THE MINUTES PER WEEK BY THE NUMBER OF IRRIGATION CYCLES TO DETERMINE RUN TIME PER CYCLE.

HYDRO-ZONE	VALVE DESCRIPTION	CROP	DEN. COEF.	BACKFLOW FAC. (K <sub>f</sub> )	LANDSCAPE COEF. (K <sub>c</sub> )	IRRI-G. EFFIC. (%)	PH. RATE (IN)	AVERAGE MINUTES PER WEEK OF IRRIGATION											
1	Bubbler, Med. Water Tree and Shrub	0.5	1.0	1.0	0.5	0.85	0.96	18	24	32	40	47	57	58	55	46	32	21	16
2	Bubbler, Low Water Tree and Shrub	0.3	1.0	1.0	0.3	0.85	0.96	11	14	19	24	28	34	35	33	28	19	13	10
3	Drip, Low Water Shrub and Groundcover	0.3	1.0	1.0	0.3	0.83	0.28	38	52	70	87	102	123	125	119	99	70	46	35
4	Bubbler, Med. Water Vine	0.5	1.0	1.0	0.5	0.85	0.96	18	24	32	40	47	57	58	55	46	32	21	16
TOTAL MINUTES PER WEEK								18	24	32	40	47	57	58	55	46	32	21	16
TOTAL HOURS PER WEEK								0.3	0.4	0.5	0.7	0.8	1.0	1.0	0.9	0.8	0.5	0.4	0.3

Note: Irrigation schedules are based upon historical climate data and are intended only as a general guide. Irrigation schedules shall be regularly adjusted to account for changes in climate conditions, maturity of plant materials and other site specific conditions.  
Landscape Coefficient (K<sub>c</sub>) = Species Factor (K<sub>s</sub>) x Density Factor (K<sub>d</sub>) x Microclimate Factor (K<sub>mc</sub>)  
Minutes of Irrigation Per Week = (ETo x K<sub>c</sub>) x 60  
PR x IE

11/30/23 ML CUP RESUBMITTAL

9/23/21 ML NCTD REQUESTED UPDATES

6/14/21 ML FINAL DESIGN (CUP SET) UPDATED

1/29/21 ML FINAL DESIGN (CUP SET)

1/12/21 ML FINAL DESIGN - UPDATED

12/07/20 ML FINAL DESIGN

10/02/20 ML 50% DESIGN

DESIGNED BY: MM/ML

DRAWN BY: JG

CHECKED BY: ML

DATE: 11/30/2023



STV

ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS

1055 WEST 7th STREET, SUITE 2900

LOS ANGELES, CA. 90017-2577



NORTH COUNTY TRANSIT DISTRICT

PROJECT ADDRESS

EAST DIVISION MF  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

PROJECT TITLE

BREEZE OPERATIONS EAST SITE EXPANSION

SHEET TITLE

IRRIGATION CALCULATIONS, NOTES

PROJECT NO

4020125

SCALE

AS SHOWN

DRAWING NO

LI-002

SHEET NO

39 OF 45

SIGNATURE

MICHELLE M. LANDIS

DATE: NOVEMBER 30, 2023

REGISTRATION NO: 5444

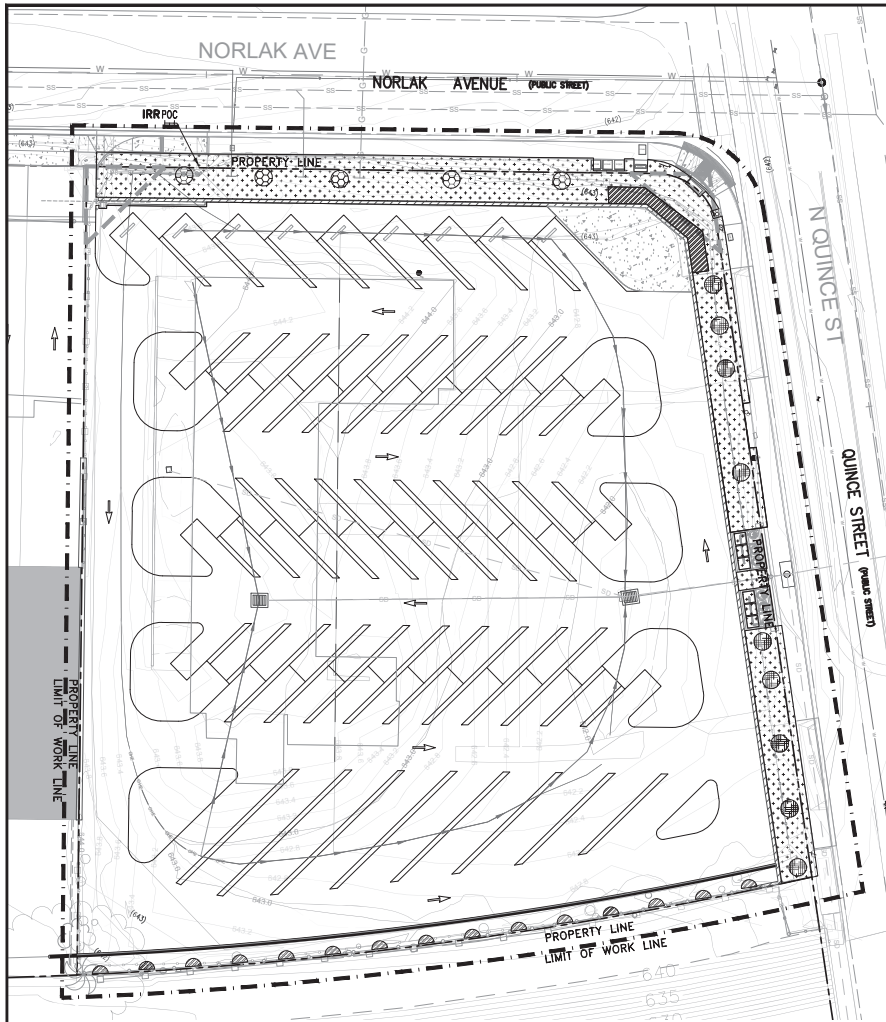
EXP. DATE: APRIL 30, 2024

STUDIO WEST

LANDSCAPE ARCHITECTURE & PLANNING

7185 Navajo Rd., Suite A, San Diego, CA 92119

858.598.5085



HYDROZONE LEGEND	
	HYDROZONE 1 (BUBBLER-MODERATE WATER TREES AND SHRUB) - 125 SF
	HYDROZONE 2 (BUBBLER-LOW WATER TREES) - 225 SF
	HYDROZONE 3 (DRIP- LOW WATER SHRUB AND GROUNDCOVER) - 4568 SF
	HYDROZONE 4 (BUBBLER- MODERATE WATER VINES AND SHRUBS) - 357 SF
TOTAL HYDROZONES - 5275 SF	

#### MAWA CALCULATIONS

ETWU = Estimated Total Water Usage (gallons per year)

$ETWU = ((ETO) \cdot (62)) \cdot ((PF \cdot X \cdot HA / IE) + SLA)$   
ETO = reference evapotranspiration (inches)  
62 = conversion factor to gallons  
PF = plant factor from wucls  
HA = hydrozone area (s.f.)  
IE = irrigation efficiency

HYDROZONE #1  $((.57) \cdot (0.62)) \cdot ((.5 \cdot X 125) / .85) + (.0) = 2,599$  Gal./Yr. **BUBBLERS**

HYDROZONE #2  $((.57) \cdot (0.62)) \cdot ((.3 \cdot X 225) / .85) + (.0) = 2,806$  Gal./Yr. **BUBBLERS**

HYDROZONE #3  $((.57) \cdot (0.62)) \cdot ((.3 \cdot X 4568) / .81) + (.0) = 59,790$  Gal./Yr. **DRIP**

HYDROZONE #4  $((.57) \cdot (0.62)) \cdot ((.5 \cdot X 357) / .85) + (.0) = 7,421$  Gal./Yr. **BUBBLERS**

Water Budget Calculations (gallons per year)

Water Budget =  $(ETO) \cdot (0.62) \cdot ((0.7) \cdot (LA) + (0.3) \cdot (SLA))$   
Where: ETO = Evapotranspiration (inches per year)(see Table 6 or ETo Map)  
0.62 = Conversion factor (to gallons)  
0.45 = Evapotranspiration Adjustment Factor (ETAF)  
LA = Landscape Area (square feet)  
0.3 = Additional Evapotranspiration Adjustment Factor for Special Landscape Areas SLA = Special Landscape Area (square feet)  
In the calculation below provide the values for the water budget calculation used for the proposed project. The ETo for the calculation may be based on the precise location of the project using the ETo Map or based on the ETo for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

W.B.  $(.57) \cdot (0.62) \cdot ((0.45) \cdot (5275) + (0.55) \cdot (0)) = 102,530$  Gal./Yr.

IRRIGATION METHOD AND EFFICIENCY		
BUBBLERS	.85	
DRIP	.81	
PLANT WATER USE	PLANT FACTOR	ALSO INCLUDES
LOW	<0.1-0.3	ARTIFICIAL TURF
MODERATE	0.4-0.7	
HIGH	0.8 AND GREATER	WATER FEATURES
SPECIAL LANDSCAPE AREA	1.0	

Water Budget Calculations								
Controller #	Hydrozone #	Valve Circuit	Irrigation Method	Plant Factor PF	Hydrozone Area HA	% of Total Landscape Area	PF X HA	IE
A	1 - trees/shrub mod water	2	bubblers	.5	125	2%	63	.85
A	2 - trees low water	4	bubblers	.3	225	4%	68	.85
A	3 - go/shrub low to mod water	1,3	drip	.3	4568	87%	1370	.81
A	4 - vine mod water	5	bubblers	.5	357	7%	179	.85

#### Summary

MAWA = Maximum Applied Water Allowance (gallons per year)  
MAWA = 102,530 gal/yr

ETWU = Estimated Total Water Usage (gallons per year)

ETWU = 72,659 gal/yr

Estimated water use is **72,659** gallons per year less than the Maximum Applied Water Allowance

"I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE ESCONDIDO WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER."

MICHELLE M. LANDIS  
SIGNATURE  
REGISTRATION NO. 5444

DATE: NOVEMBER 30, 2023  
EXP. DATE: APRIL 30, 2024



7185 Navajo Rd.,  
Suite A, San Diego,  
CA 92119  
858.598.5085

1 PLANTING PLAN - NEW  
L-001  
SCALE 1"=20  
0 10 20 40 FEET

REV	DATE	BY	DESCRIPTION
11/30/23	ML	CUP RESUBMITTAL	
9/23/21	ML	NCTD REQUESTED UPDATES	
6/14/21	ML	FINAL DESIGN (CUP SET) UPDATED	
1/29/21	ML	FINAL DESIGN (CUP SET)	
1/12/21	ML	FINAL DESIGN - UPDATED	
12/07/20	ML	FINAL DESIGN	
10/02/20	ML	50% DESIGN	
DESIGNED BY:	MM/ML		
DRAWN BY:	JG		
CHECKED BY:	ML		
DATE:	11/30/2023		



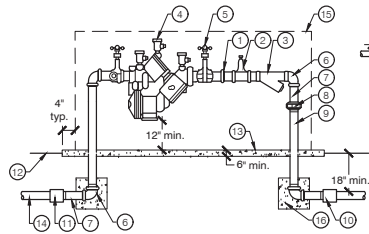
**STV**  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7TH STREET, SUITE 2900  
LOS ANGELES, CA. 90017-2577

**NORTH COUNTY  
TRANSIT DISTRICT**

PROJECT ADDRESS  
**EAST DIVISION MF  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025**

PROJECT TITLE  
**BREEZE OPERATIONS EAST  
SITE EXPANSION**  
SHEET TITLE  
**HYDROZONE PLAN AND  
CALCULATIONS**

PROJECT NO  
**4020125**  
SCALE  
**AS SHOWN**  
DRAWING NO  
**LI-003**  
SHEET NO  
**40 OF 45**



- 1 3\"/>

3/4" - 3"

3" - 4"

4" - 6"

6" - 12"

12" - 24"

3" - 4"

4" - 6"

6" - 12"

12" - 24"

24" - 36"

4" - 6"

6" - 12"

12" - 24"

24" - 36"

36" - 48"

6" - 12"

12" - 24"

24" - 36"

36" - 48"

48" - 60"

12" - 24"

24" - 36"

36" - 48"

48" - 60"

60" - 72"

24" - 36"

36" - 48"

48" - 60"

60" - 72"

72" - 84"

36" - 48"

48" - 60"

60" - 72"

72" - 84"

84" - 96"

48" - 60"

60" - 72"

72" - 84"

84" - 96"

96" - 108"

60" - 72"

72" - 84"

84" - 96"

96" - 108"

108" - 120"

72" - 84"

84" - 96"

96" - 108"

108" - 120"

120" - 132"

84" - 96"

96" - 108"

108" - 120"

120" - 132"

132" - 144"

96" - 108"

108" - 120"

120" - 132"

132" - 144"

144" - 156"

108" - 120"

120" - 132"

132" - 144"

144" - 156"

156" - 168"

NOTES:  
1. CONTRACTOR MAY SUBSTITUTE TYPE K OR L COPPER PIPE FOR BRASS.

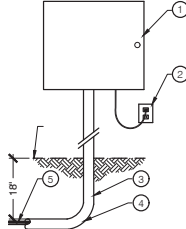
- 13 POURED CONCRETE BASE - 6\"/>
- 14 WATER SUPPLY: SOLID COPPER.
- 15 STAINLESS STEEL BACKFLOW ENCLOSURE - COLD ROLLED STEEL TUBING (MIN. 1 1/2\"/>

STRONG BOX - SBBC-305S (3/4\"/>

16 12\"/>

## 1 REDUCED PRESSURE BACKFLOW PER W-10-E (CITY OF ESCONDIDO)

SCALE: N.T.S.

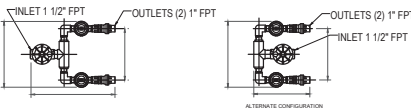


- 1 EXTERIOR WALL MOUNT CONTROLLER. FASTEN TO WALL PER MANUFACTURER'S SPECIFICATIONS. SEE LEGEND FOR CONTROLLER INFORMATION.
- 2 110 VOLT POWER SUPPLY (SEE ELECTRICAL PLANS).
- 3 LOW VOLTAGE WIRE IN GRAY PVC CONDUIT. (2\"/>
- 4 SWEEP ELL.
- 5 LOW VOLTAGE WIRE TO REMOTE CONTROL VALVES.
- 6 FINISH GRADE.

NOTE:  
ALL WALL PENETRATIONS SHALL BE CLEAN AND SHALL BE RESEALED WATER TIGHT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

## 2 WALL MOUNTED CONTROLLER

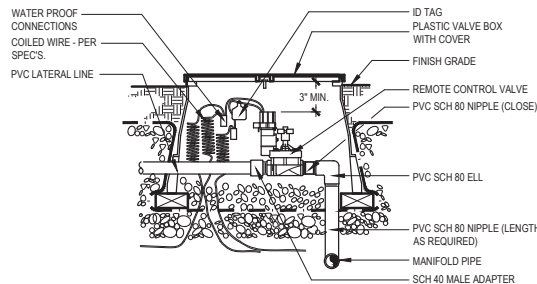
SCALE: N.T.S.



- 1 PVC SCH 40 ELL
- 2 PVC SCH 80 1 1/2\"/>
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATER PROOF CONNECTOR (UV RESISTANT) WITH SILICONE SEALANT. UL CERTIFIED FOR DIRECT BURIAL
- 5 ID TAG
- 6 VALVE BOX - BLACK WITH SIDE RIDGES, PREMOLDED PIPE SLOTS, AND BOTTOM FLANGES. LOCKABLE, SKID RESISTANT GREEN LID. RAIN BIRD VB-JMB OR 'APPROVED EQUAL'
- 7 TOP OF MULCH
- 8 FINISH GRADE
- 9 CONTROL ZONE KIT PER LEGEND
- 10 PVC LATERALS
- 11 PVC SCH 40 MALE ADAPTER (2)
- 12 PVC SCH 80 1\"/>
- 13 BLOCK (1 OF 4)
- 14 PVC SCH 80 NIPPLE, CLOSE (2)
- 15 PVC MAINLINE
- 16 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 17 PVC SCH 40 TEE

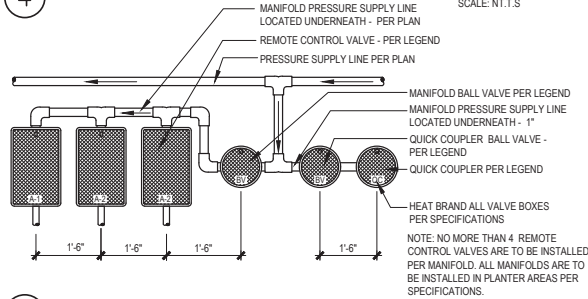
## 3 1\"/>

SCALE: N.T.S.



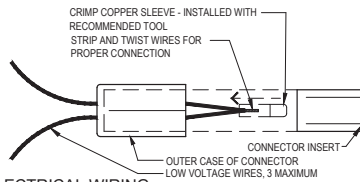
## 4 REMOTE CONTROL VALVE

SCALE: N.T.S.



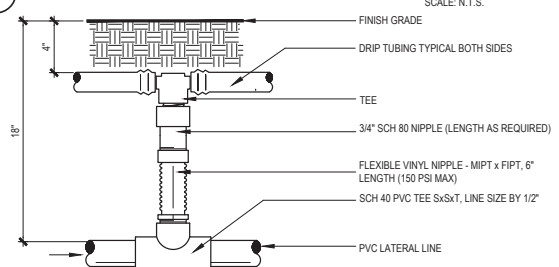
## 5 MANIFOLD CONFIGURATION

SCALE: N.T.S.



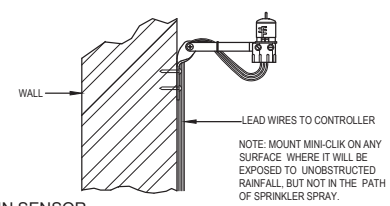
## 6 ELECTRICAL WIRING

SCALE: N.T.S.



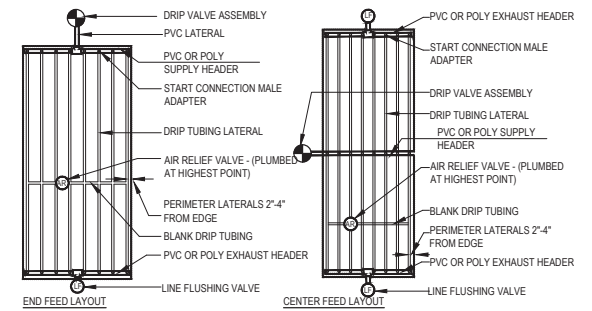
## 7 DRIPLINE INSTALLATION

SCALE: N.T.S.



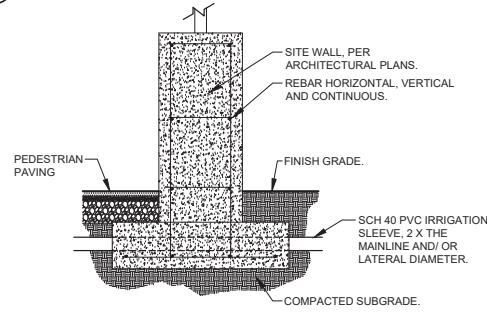
## 8 RAIN SENSOR

SCALE: N.T.S.



## 9 DRIP LINE DETAIL

SCALE: N.T.S.



## 10 MAINLINE SLEEVE THROUGH WALL FOOTING

SCALE: N.T.S.

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MICHELLE M. LANDIS  
SIGNATURE  
REGISTRATION NO. 5444  
DATE: NOVEMBER 30, 2023  
EXP. DATE: APRIL 30, 2024



STUDIO WEST  
LANDSCAPE  
ARCHITECTURE  
& PLANNING  
7185 Navajo Rd.,  
Suite A, San Diego,  
CA 92119  
858.598.5085

REV	DATE	BY	DESCRIPTION
11/30/23	ML	CUP RESUBMITTAL	
9/23/21	ML	NCTD REQUESTED UPDATES	
6/14/21	ML	FINAL DESIGN (CUP SET) UPDATED	
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DESIGNED BY:  
MM/ML  
DRAWN BY:  
JG  
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DATE:  
11/30/2023



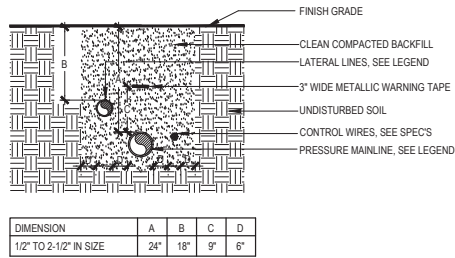
STV  
ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS  
1055 WEST 7th STREET, SUITE 2900  
LOS ANGELES, CA 90017-2577



PROJECT ADDRESS  
EAST DIVISION MF  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

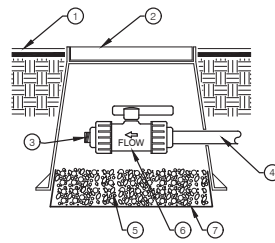
PROJECT TITLE  
BREEZE OPERATIONS EAST  
SITE EXPANSION  
SHEET TITLE  
IRRIGATION DETAILS

PROJECT NO  
4020125  
SCALE  
AS SHOWN  
DRAWING NO  
LI-004  
SHEET NO  
41 OF 45

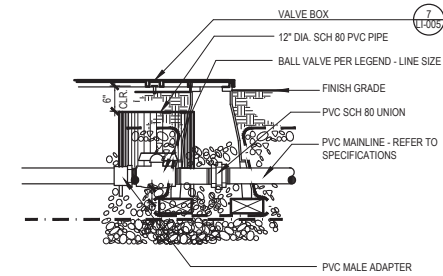


SECTION VIEW - N.T.S.

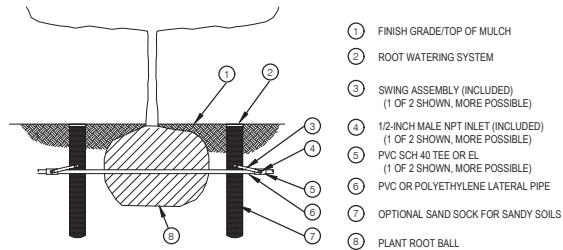
1 TRENCH/SLEEVE DETAIL SCALE: N.T.S.



2 DRIP FLUSH VALVE SCALE: N.T.S.



3 BALL VALVE SCALE: N.T.S.



NOTES:

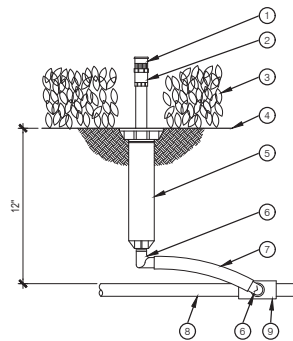
1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.

2. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.

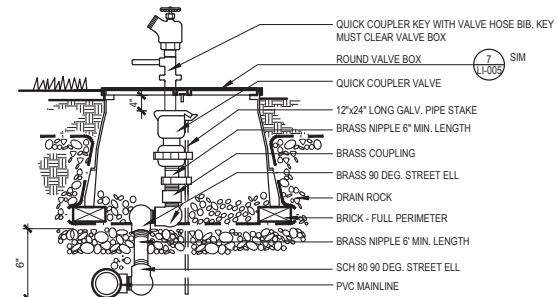
3. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.

4. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.

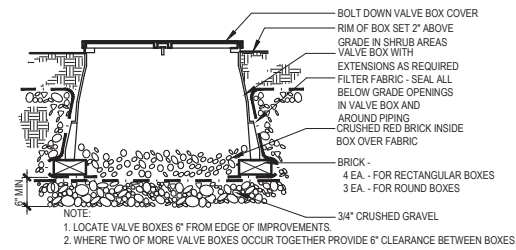
4 ROOT WATERING SYSTEM FOR TREES NOT TO SCALE



5 STREAM BUBBLER POP-UP SCALE: N.T.S.



6 QUICK COUPLER VALVE SCALE: N.T.S.

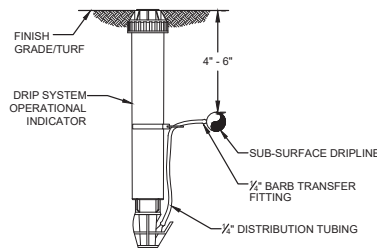


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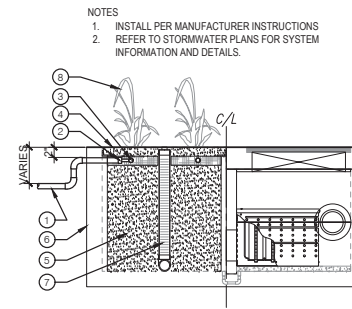
1. LOCATE VALVE BOXES 6" FROM EDGE OF IMPROVEMENTS.

2. WHERE TWO OR MORE VALVE BOXES OCCUR TOGETHER PROVIDE 6" CLEARANCE BETWEEN BOXES.

7 VALVE BOX SCALE: N.T.S.



8 DRIP INDICATOR KIT SCALE: N.T.S.



NOTES:

1. INSTALL PER MANUFACTURER INSTRUCTIONS

2. REFER TO STORMWATER PLANS FOR SYSTEM INFORMATION AND DETAILS.

9 MODULAR WETLAND SYSTEM SCALE: N.T.S.

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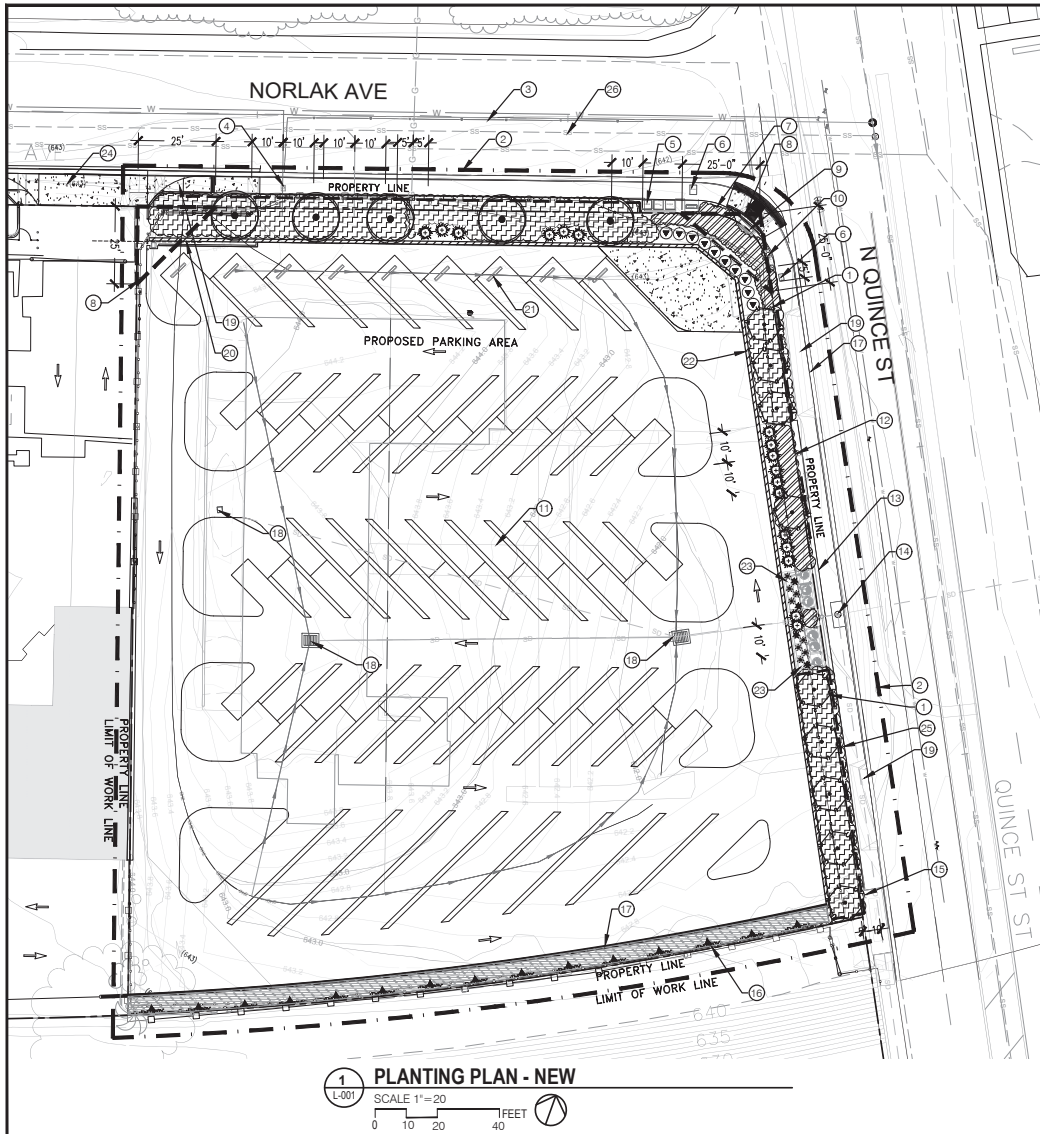
MICHELLE M. LANDIS  
SIGNATURE DATE: NOVEMBER 30, 2023  
REGISTRATION NO. 5444 EXP. DATE: APRIL 30, 2024



**STUDIO WEST**  
LANDSCAPE  
ARCHITECTURE  
& PLANNING

7185 Navajo Rd.,  
Suite A, San Diego,  
CA 92119  
858.598.5085

11/30/23 ML CUP RESUBMITTAL	DESIGNED BY: MM/ML				PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO 4020125
9/23/21 ML NCTD REQUESTED UPDATES	DRAWN BY: JG						SCALE AS SHOWN
6/14/21 ML FINAL DESIGN (CUP SET) UPDATED	CHECKED BY: ML						DRAWING NO LI-005
1/29/21 ML FINAL DESIGN (CUP SET)	DATE: 11/30/2023						SHEET NO 42 OF 45
1/12/21 ML FINAL DESIGN - UPDATED							
12/07/20 ML FINAL DESIGN							
10/02/20 ML 50% DESIGN							
REV DATE BY DESCRIPTION							



## PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY	HEIGHT & SPREAD	WUCOLS	NATIVE	DETAIL
	<b>TREES</b> CALLISTEMON CITRINUS	LEMON BOTTLEBRUSH	24" BOX	STD, 2" MIN CALIPER, 6" MIN HEIGHT	9	15' X 15'	L	N	L-1-E /L-002
	LAGERSTROEMIA INDICA 'TONTIO'	TONTIO CRAPE MYRTLE	24" BOX	STD, 2" MIN CALIPER, 6" MIN HEIGHT	5	20' X 20'	M	N	L-1-E /L-002
	<b>VINES</b> CLYTOSTOMA CALLISTEGOIDES	LAVENDER TRUMPET VINE	5 GAL		15	15' X 15'	M	N	3, L-002
	<b>SHRUBS</b> AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL	MODULAR WETLAND, SEE CIVIL PLANS & SPECIFICATIONS	17	4' X 5'	L	N	4/L-002
	LEYMUS C. 'CANYON PRINCE'	CANYON PRINCE WILD RYE	5 GAL		12	4' X 3'	L	N	4/L-002
	STRELTIZIA REGINAE	BIRD OF PARADISE	5 GAL		10	5' X 4'	M	N	4/L-002
	<b>GROUNDCOVERS</b> SEDUM NUSSBAUMERIANUM	COPPERTONE STONECROP	1 GAL	12" O.C.	698 SF	18" X 12"	L	N	5/L-002
	<b>GROUNDCOVERS</b> SENECIO MANDRAUSCAE	BLUE CHALKSTICK	6" POT	12" O.C.	3463 SF	12" X 18"	L	N	5/L-002

--- ROOT BARRIER (DEEPROOT 36-2) - 1/L-003



BARK MULCH  
3" DEPTH ALL PLANTED AREAS (NOTE: HATCH SHOWN FOR CLARITY AT VINE PLANTER)  
1" MINUS 'BEDDING MULCH' BY AGRISERVICE, OR EQUAL.

## KEY NOTES:

- PROPERTY LINE
- LIMIT OF WORK LINE
- EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING TRANSFORMERS TO REMAIN
- EXISTING COMM RISER TO REMAIN
- EXISTING SIGN TO REMAIN
- VISIBILITY TRIANGLE
- EXISTING TRANSFORMERS TO REMAIN
- EXISTING STREET LIGHT TO REMAIN
- STRIPING PER CIVIL
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING BUS STOP SIGN TO REMAIN
- EXISTING STORM DRAIN INLET TO REMAIN
- EXISTING SIGN TO REMAIN
- FENCE PER CIVIL
- CONCRETE CURB PER CIVIL
- STORM WATER DRAIN PER CIVIL, TYP
- NEW SIDEWALK PER CIVIL
- ROLLING GATE AND TRACK PER CIVIL PLANS
- WHEEL STOPS PER CIVIL - TYP
- CMU WALL PER CIVIL
- MODULAR WETLANDS, PER CIVIL PLANS
- NEW VEHICULAR ACCESS
- ROOT BARRIER, TYP.
- EXISTING SEWER LINE

## STREET TREES

423 LF @ 30' SPACING = 14 STREET TREES REQUIRED

NOTE: REMOVE ALL EXISTING VEGETATION INCLUDING TREES, SHRUBS, AND GRASS PER CIVIL DEMOLITION PLAN (SHEET C-102) AND PROJECT SPECIFICATIONS.

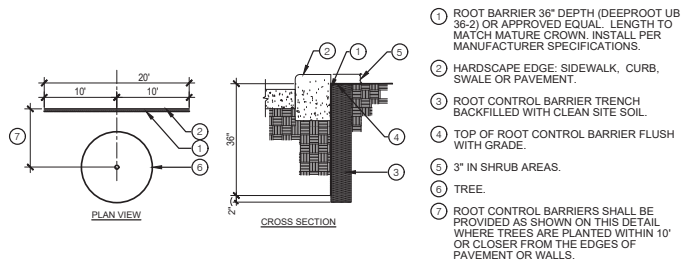
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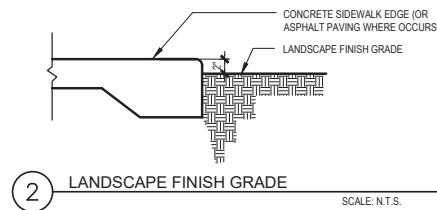


11/30/23 ML CUP RESUBMITTAL	DESIGNED BY: MM/ML			PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION	SHEET TITLE  PLANTING PLAN	PROJECT NO.  4020125
9/23/21 ML NCTD REQUESTED UPDATES	DRAWN BY: JG						SCALE  AS SHOWN
6/14/21 ML FINAL DESIGN (CUP SET) UPDATED	CHECKED BY: ML						DRAWING NO.  L-001
1/29/21 ML FINAL DESIGN (CUP SET)	DATE: 11/30/2023						SHEET NO.  43 OF 45
1/12/21 ML FINAL DESIGN - UPDATED							
12/07/20 ML FINAL DESIGN							
10/02/20 ML 50% DESIGN							
REV DATE BY DESCRIPTION							



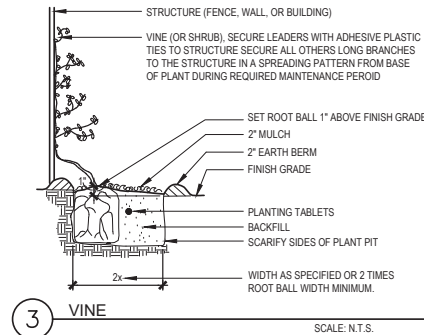
1 ROOT BARRIER

SCALE: N.T.S.



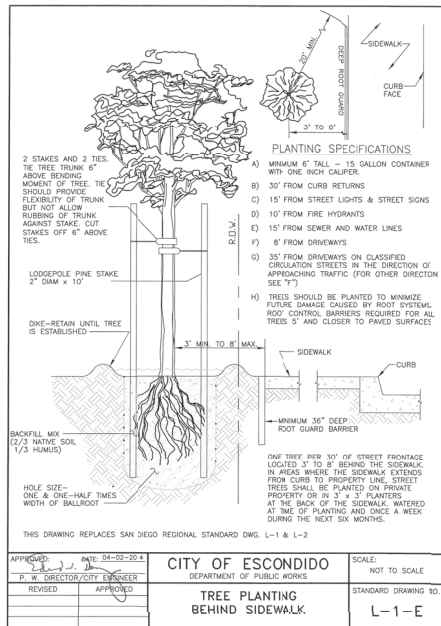
2 LANDSCAPE FINISH GRADE

SCALE: N.T.S.



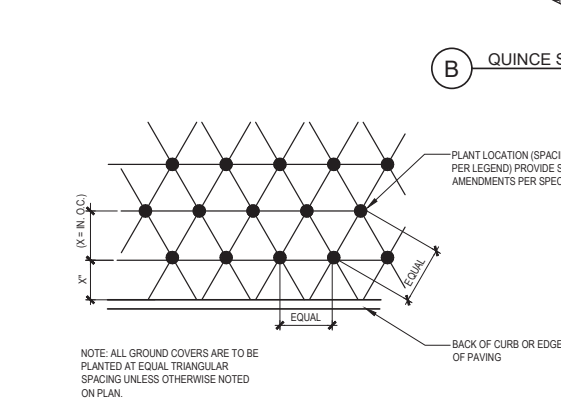
3 VINE

SCALE: N.T.S.



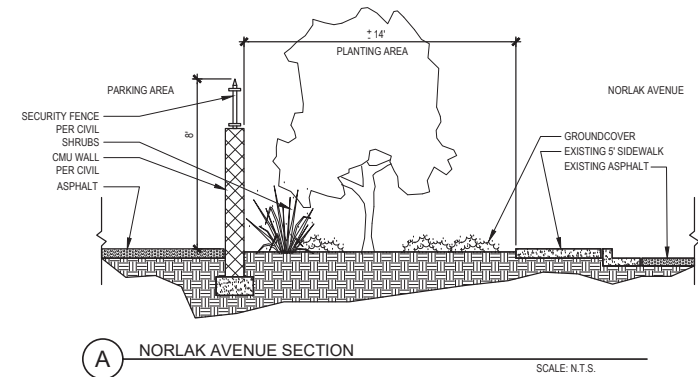
4 SHRUB

SCALE: N.T.S.



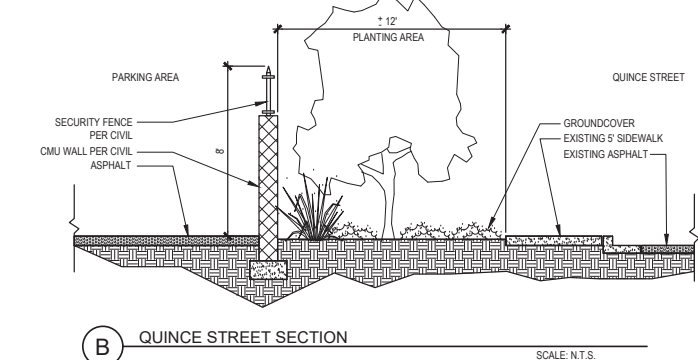
5 GROUND COVER

SCALE: N.T.S.



A NORLAK AVENUE SECTION

SCALE: N.T.S.



B QUINCE STREET SECTION

SCALE: N.T.S.

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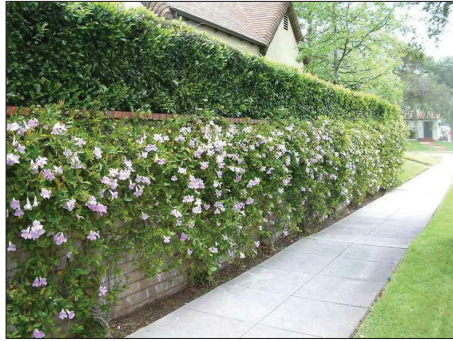


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PROJECT ADDRESS  
EAST DIVISION MF  
335 N. QUINCE STREET  
ESCONDIDO, CA 92025

PROJECT TITLE BREEZE OPERATIONS EAST SITE EXPANSION	PROJECT NO. 4020125
SHEET TITLE PLANTING DETAILS	SCALE AS SHOWN
DRAWING NO. L-002	SHEET NO. 44 OF 45



LAVENDER TRUMPET VINE

**2 VINE ON FENCE**  
L-003



NORLAK STREET –  
CREPE MYRTLE

**1 STREET TREES**  
L-003



QUINCE STREET –  
LEMON BOTTLEBRUSH



BIRD OF PARADISE



SOFT TIPPED  
FOXTAIL AGAVE

**4 PARKWAY SHRUBS & SUCCULENTS**  
L-003



BLUE CHALK STICK



SEDUM 'COPPERTONE'

**3 PARKWAY GROUNDCOVERS**  
L-003

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CA 92119  
858.598.5085

11/30/23	ML	CUP RESUBMITTAL	DESIGNED BY:	MM/ML		<b>STV</b> ENGINEERS/ARCHITECTS/PLANNERS/CONSTRUCTION MANAGERS 1055 WEST 7th STREET, SUITE 2900 LOS ANGELES, CA. 90017-2577	<b>NORTH COUNTY TRANSIT DISTRICT</b>	PROJECT ADDRESS  EAST DIVISION MF 335 N. QUINCE STREET ESCONDIDO, CA 92025	PROJECT TITLE  BREEZE OPERATIONS EAST SITE EXPANSION  SHEET TITLE PLANT MATERIAL	PROJECT NO 4020125  SCALE AS SHOWN  DRAWING NO L-003  SHEET NO 45 OF 45
9/23/21	ML	NCTD REQUESTED UPDATES	DRAWN BY:	MM/ML						
6/14/21	ML	FINAL DESIGN (CUP SET) UPDATED	CHECKED BY:	JG						
1/29/21	ML	FINAL DESIGN (CUP SET)	DATE:	ML						
1/12/21	ML	FINAL DESIGN - UPDATED								
12/07/20	ML	FINAL DESIGN								
10/02/20	ML	50% DESIGN								
REV	DATE	BY	DESCRIPTION	11/30/2023						

## **Exhibit “C”**

### **Planning Case No. PL21-0057**

#### **Factors to be Considered/Findings of Fact**

##### **Environmental Determinations:**

1. Pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et. seq.) (“CEQA”), and its implementing regulations (14 C.C.R. § 15000 et seq.) (“CEQA Guidelines”), the City of Escondido (“City”) is the Lead Agency for the Project (“Project”), as the public agency with the principal responsibility for approving the Project.
2. The Project qualifies for an exemption from further environmental review pursuant an exemption from the California Environmental Quality Act (CEQA) under Section 15332, Class 32, (In-fill Development Projects) because such categorical exemption applies to proposed developments within city limits on sites of no more than five acres substantially surrounded by urban uses, where the site has no habitat value for special status species, can be adequately served by all required utilities and public services, and the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality (CEQA Guidelines § 15332(b)-(e)). Furthermore, the Project does not involve the use of significant amounts of hazardous substances. The proposed Project meets the following criteria:
  - a. The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
  - b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
  - c. The project site has no value as habitat for endangered, rare or threatened species.
  - d. Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
  - e. The site can be adequately served by all required utilities and public services

The Project also does not trigger any exceptions to the categorical exemption as listed in CEQA Guidelines section 15300.2.

3. The Planning Commission has independently considered the full administrative record before it, which includes but is not limited to the January 9, 2024, Planning Commission Staff Report; testimony by staff and the public; and other materials and evidence submitted or provided to it. The administrative record demonstrates that each of the requirements have been satisfied. No substantial evidence has been submitted that would support a finding that any of the above-described exemption requirements has not been satisfied. The Project will not have a significant effect on the environment, and all the requirements of CEQA have been met.

### **Public Notice and Outreach:**

Planning Division staff provided public notice of the application in accordance with City and State public noticing requirements. A notice was published in the local newspaper on or around December 28, 2023. In addition, on or around December 26, 2023, notices were sent to owners within 500 feet of the project site. A public notice was also posted at the project site, on the City's website, and posted at City Hall.

### **Conditional Use Permit (CUP)**

1. This Conditional Use Permit is granted upon sound principles of land use and in response to services required by the community in that the proposed Project has been designed and conditioned to comply with all applicable zoning regulations and design standards. The Project is located within and is surround by similar industrial characteristics and uses. Further, the proposed Project serves a transit district which provides multimodal options, including bus services which serve community members with public transit options.
2. This Conditional Use Permit will not cause deterioration of bordering land uses or create special problems for the area in which it is located in that the proposed Project has been designed and conditioned to comply with all applicable zoning regulations and design standards. The Project is located within and is surround by similar industrial characteristics and uses. The Project will replace a vacant underutilized light industrial parcel and has been designed to reduce land use conflicts, consolidating entrances to minimize vehicular conflicts, and enhancing the visual presence. Conditions have been incorporated into the approval of the Project to ensure no conflicts will occur with surrounding uses.
3. The proposed Project is located within a designation light industrial area of the City's General Plan. The conditional use is located in in area surrounded by similar industrial/commercial uses. The proposed Project is located adjacent to the existing North County Transit District East Division Maintenance Facility, which will complement and support their current operations and use as a fleet vehicle storage area. Further, the project was reviewed by the City's Staff Development Review Committee for compliance with City requirements and conditioned the Project so as to preserve the public health, safety, and general welfare.

## **Exhibit “D”**

### **Planning Case No. PL21-0057 335 N. Quince Street/NCTD Fleet Parking Conditions of Approvals**

This Project is conditionally approved as set forth on the application received by the City of Escondido on January 29, 2021, and the Project drawings consisting of a Site Plan, Street Elevations, Civil/Grading, and Landscape Design Plans; all designated as approved on January 9 2024, and shall not be altered without express authorization by the Development Services Department.

For the purpose of these conditions, the term “Applicant” shall also include the Project proponent, owner, permittee, and the Applicant’s successors in interest, as may be applicable.

#### **A. General:**

- 1. Acceptance of Permit.** If the Applicant fails to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the Applicant shall be deemed to constitute all of the following on behalf of the Applicant:
  - a.** Acceptance of the Permit by the Applicant; and
  - b.** Agreement by the Applicant to be bound by, to comply with, and to do all things required of or by the Applicant pursuant to all of the terms, provisions, and conditions of this Project Permit or other approval and the provisions of the Escondido Municipal Code or Zoning Code applicable to such Permit.
- 2. Permit Expiration.** If the Permit was filed as or concurrent with a Site Plan and Conditional Use Permit, the Permit shall expire 24 months from the effective date of approval, unless additional time is granted pursuant to the Map Act or to the Escondido Municipal Code. If not filed as concurrent with a Site Plan or Conditional Use Permit application, the Permit shall automatically expire after one year from the date of this approval, or the expiration date of any extension granted in accordance with the Escondido Municipal Code and Zoning Code.

The Permit shall be deemed expired if a building permit has not been obtained or work has been discontinued in the reliance of that building permit. If no building permits are required, the City may require a noticed hearing to be scheduled before the authorized agency to determine if there has been demonstrated a good faith intent to proceed, pursuant to and in accordance with the provision of this Permit.

**3. Certification.** The Director of Development Services, or his/her designee, is authorized and directed to make, or require the Applicant to make, all corrections and modifications to the Project drawings and any other relevant document comprising the Project in its entirety, as necessary to make them internally consistent and in conformity with the final action on the Project. This includes amending the Project drawings as necessary to incorporate revisions made by the decision-making body and/or reflecting any modifications identified in these conditions of approval. Three copies of final Approved Plan set, shall be submitted to the Planning Division for certification. Said plans must be certified by the Planning Division prior to submittal of any post-entitlement permit, including grading, public improvement, landscape, or building plans for the Project.

**4. Conformance to Approved Plans.**

- a.** The operation and use of the subject property shall be consistent with the Project Description and Details of Request, designated with the Approved Plan set.
- b.** Nothing in this Permit shall authorize the Applicant to intensify the authorized activity beyond that which is specifically described in this Permit.
- c.** Once a permit has been issued, the Applicant may request Permit modifications. "Minor" modifications may be granted if found by the Director of Development Services to be in substantial conformity with the Approved Plan set, including all exhibits and Permit conditions attached hereto. Modifications beyond the scope described in the Approved Plan set may require submittal of an amendment to the Permit and approval by the authorized agency.

**5. Limitations on Use.** Prior to any use of the Project site pursuant to this Permit, all Conditions of Approval contained herein shall be completed or secured to the satisfaction of the Development Services Department.

**6. Availability of Permit Conditions.**

- a.** Prior to building permit issuance, the Applicant shall cause a covenant regarding real property to be recorded that sets forth the terms and conditions of this Permit approval and shall be of a form and content satisfactory to the Director of Development Services.
- b.** The Applicant shall make a copy of the terms conditions of this Permit readily available to any member of the public or City staff upon request. Said terms and conditions shall be printed on any construction plans that are submitted to the Building Division for plan check processing.

**7. Right to Entry.** The holder of this Permit shall make the premises available for inspection by City staff during construction or operating hours and allow the investigations of property necessary to ensure that minimum codes, regulations, local ordinances and safety requirements are properly followed. The Applicant shall provide such business records, licenses, and other materials necessary upon request to provide evidence of compliance with the conditions of approval, as well as federal, state, or laws.

**8. Compliance with Federal, State, and Local Laws.** Nothing in this Permit shall relieve the Applicant from complying with conditions, performance standards, and regulations generally imposed upon activities similar in nature to the activity authorized by this permit. (Permits from other agencies may be required as specified in the Permit's Details of Request.) This Permit does not relieve the Applicant of the obligation to comply with all applicable statutes, regulations, and procedures in effect at the time that any engineering permits or building permits are issued unless specifically waived herein.

No part of this Permit's approval shall be construed to permit a violation of any part of the Escondido Municipal or Zoning Code. During Project construction and after Project completion, the Applicant shall ensure the subject land use activities covered by this Permit is conducted in full compliance with all local and state laws.

**9. Fees.** The appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Development Services. Through plan check processing, the Applicant shall pay development fees at the established rate. Such fees may include, but not be limited to: Permit and Plan Checking Fees and other fees listed in the Fee Schedule, which may be amended. Arrangements to pay these fees shall be made prior to building permit issuance to the satisfaction of the Development Services Department.

Approval of this development project is conditioned upon payment of all applicable development fees and connection fees in the manner provided in Chapter 6 of the Escondido Municipal Code.

**10. Public Art Partnership Program.** All requirements of the Public Art Partnership Program, Ordinance No. 86-70 shall be satisfied prior to any building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.

**11. Clerk Recording.**

**a. Exemption.** If the environmental determination prepared for the Project is a categorical exemption, the City of Escondido hereby notifies the Applicant that the County Clerk's Office requires a documentary handling fee of \$50 in order to file a

Notice of Exemption. In order to file the Notice of Exemption with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Guidelines section 15062, the Applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the Project (the final approval being the date of this letter) a certified check payable to the "County Clerk" in the amount of \$50. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the Project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations period will apply.

- b. For more information on filing fees, please refer to the County Clerk's Office and/or the California Code of Regulations, Title 14, Section 753.5.

**12. Legal Description Adequacy.** The legal description attached to the application has been provided by the Applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.

**13. Application Accuracy.** The information contained in the application and all attached materials are assumed to be correct, true, and complete. The City of Escondido is relying on the accuracy of this information and Project-related representations in order to process this application. Any permits issued by the City may be rescinded if it is determined that the information and materials submitted are not true and correct. The Applicant may be liable for any costs associated with rescission of such permits.

**14. Revocation, Suspension, Modification.** At any time after Project implementation, the City may require a noticed public hearing to be scheduled before the Planning Commission to determine if there has been demonstrated a good faith intent to proceed in reliance on this approval. This item may be referred to the appropriate decision-making body upon recommendation of the Director of Development Services for review and possible revocation or modification of the Permit regarding non-compliance with the Conditions of Approval.

This Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing, and after the following findings are fully investigated:

- a. A violation of any term or condition not abated, corrected or rectified within the time specified on the notice of violation; or

- b. A violation of any City ordinance, state law, or federal law not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates or constitutes a nuisance.

**15. Indemnification, Hold Harmless, Duty to Defend.**

- a. The Applicant shall indemnify, hold harmless, and defend (with counsel reasonably acceptable to the City) the City, its Councilmembers, Planning Commissioners, boards, commissions, departments, officials, officers, agents, employees, and volunteers (collectively, "Indemnified Parties") from and against any and all claims, demands, actions, causes of action, proceedings (including but not limited to legal and administrative proceedings of any kind), suits, fines, penalties, judgments, orders, levies, costs, expenses, liabilities, losses, damages, or injuries, at law or in equity, including without limitation the payment of all consequential damages and attorney's fees and other related litigation costs and expenses (collectively, "Claims"), of every nature caused by, arising out of, or in connection with (i) any business, work, conduct, act, omission, or negligence of the Applicant or the owner of the Property (including the Applicant's or the owner of the Property's contractors, subcontractors, licensees, sublessees, invitees, agents, consultants, employees, or volunteers), or such activity of any other person that is permitted by the Applicant or owner of the Property, occurring in, on, about, or adjacent to the Property; (ii) any use of the Property, or any accident, injury, death, or damage to any person or property occurring in, on, or about the Property; or (iii) any default in the performance of any obligation of the Applicant or the owner of the Property to be performed pursuant to any condition of approval for the Project or agreement related to the Project, or any such claim, action, or proceeding brought thereon. Provided, however, that the Applicant shall have no obligation to indemnify, hold harmless, or defend the City as to any Claims that arise from the sole negligence or willful misconduct of the City. In the event any such Claims are brought against the City, the Applicant, upon receiving notice from the City, shall defend the same at its sole expense by counsel reasonably acceptable to the City and shall indemnify the City for any and all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City).
- b. The Applicant further and separately agrees to and shall indemnify, hold harmless, and defend the City (including all Indemnified Parties) from and against any and all Claims brought by any third party to challenge the Project or its approval by the City, including but not limited to any Claims related to the Project's environmental determinations or environmental review documents, or any other action taken by the

City regarding environmental clearance for the Project or any of the Project approvals. Such indemnification shall include the Applicant's payment for any and all administrative and litigation costs and expenses incurred by the City in defending against any such Claims, including payment for all administrative and litigation costs incurred by the City itself, the costs for staff time expended, and reasonable attorney's fees (including the full reimbursement of any such fees incurred by the City's outside counsel, who may be selected by the City at its sole and absolute discretion and who may defend the City against any Claims in the manner the City deems to be in the best interests of the City and the Project).

- c. The City, in its sole discretion and upon providing notice to the Applicant, may require the Applicant to deposit with the City an amount estimated to cover costs, expenses, and fees (including attorney's fees) required to be paid by the Applicant in relation to any Claims referenced herein, which shall be placed into a deposit account from which the City may draw as such costs, expenses, and fees are incurred. Within 14 days after receiving written notice from the City, the Applicant shall replenish the deposit account in the amount the City determines is necessary in the context of the further defense of such Claims. To the extent such deposit is required by the City, the amount of such deposit and related terms and obligations shall be expressed in a written Deposit Account Agreement, subject to the City Attorney's approval as to form. The City, in its sole and reasonable discretion, shall determine the amount of any initial deposits or subsequent deposits of funds, and the Applicant may provide documentation or information for the City to consider in making its determinations. Nothing within this subsection shall be construed as to relieve the Applicant's obligations to indemnify, hold harmless, or defend the City as otherwise stated herein.

## **B. Construction, Maintenance, and Operation Obligations:**

1. **Code Requirements.** All construction shall comply with the applicable requirements of the Escondido Municipal Code, Escondido Zoning Code, California Building Code; and the requirements of the Planning Division, Engineering Services Department, Director of Development Services, Building Official, City Engineer, and the Fire Chief in carrying out the administration of said codes. Approval of this Permit request shall not waive compliance with any City regulations in effect at the time of Building Permit issuance unless specifically waived herein.

As a condition of receiving the land use approvals specified herein, Applicant shall maintain the property subject to the approvals in compliance with all applicable city codes governing the condition or appearance of property. In addition to compliance with such basic standards, the property subject to these approvals shall also be maintained free of trash, plant debris, weeds, and concrete (other than existing foundations and permanent structures). Any signs placed on the property advertising such property for sale or rent shall be in accordance with applicable laws, and be kept clean, in like-new condition, and

free from fading and graffiti at all times. This condition shall be applicable from the date the land use is approved. The failure to comply with this condition shall subject the approvals specified herein to revocation for failure to comply.

- 2. Agency License and Permitting.** In order to make certain on- or off-site improvements associated with the Approved Plan set, the Permit request may require review and clearance from other agencies. Nothing in these Conditions of Approval shall be construed as to waive compliance with other government agency regulations or to obtain permits from other agencies to make certain on- or off-site improvements prior to Final Map recordation, grading permit issuance, building permit issuance, or certificate of occupancy as required. This review may result in conditions determined by the reviewing agency.

At all times during the effective period of this Permit, the Applicant and any affiliated responsible party shall obtain and maintain in valid force and effect, each and every license and permit required by a governmental agency for the construction, maintenance, and operation of the authorized activity.

- 3. Utilities.** All new utilities and utility runs shall be undergrounded, or fee payment in-leu subject to the satisfaction of the City Engineer.
- 4. Noise.** All Project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
- 5. Lighting.** If required, all exterior lighting shall conform to the requirements of Article 35 (Outdoor Lighting Ordinance) of the Escondido Zoning Code.
- 6. General Property Maintenance.** The Applicant (NCTD) shall be responsible for maintaining the fleet vehicle storage area in good visual and functional condition. This shall include, but not be limited to, all exterior elements related to the screening walls, lighting, and gated access points. The internal site improvements include new paving, restriping, lighting, screening walls, and perimeter landscaping, shall be maintained for a safe, clean and efficient appearances.
- 7. Anti-Graffiti.** The Applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement, including all areas of the job site for when the Project is under construction.
- 8. Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris. Cleaning shall include keeping all publicly used areas free of litter, trash, and garbage.

- 9. Roof, Wall, and Ground Level Equipment.** All fleet vehicle storage and maintenance equipment shall be screened and concealed from view in accordance with Section 33-1085 of the Escondido Zoning Code.
- 10. Staging Construction Areas.** All staging areas shall be conducted on a pre-determined site only, subject to written approval of the Engineering Department. Off-site staging areas, if any, shall be approved through the issuance of an off-site staging area permit/agreement with the City.
- 11. Disturbance Coordinator.** The Applicant shall designate and provide a point-of-contact whose responsibilities shall include overseeing the implementation of Project, compliance with Permit terms and conditions, and responding to property owner or neighborhood concerns.
- 12. Construction Waste Reduction, Disposal, and Recycling.** If any, the Applicant shall recycle or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste for residential projects or portions thereof in accordance with either Section 4.408.2, 4.408.3, or 4.408.4 of the California Green Building Standards Code; and/or for non-residential projects or portions thereof in accordance with either Section 5.408.1.1, 5.408.1.2, or 5.408.1.3 of the California Green Building Standards Code. In order to ensure compliance with the waste diversion goals for all residential and non-residential construction projects, the Applicant must submit appropriate documentation as described in Section 4.408.5 of the California Green Building Standards Code for residential projects or portions thereof, or Section 5.408.1.4 for non-residential projects or portions thereof, demonstrating compliance with the California Green Building Standards Code sections cited above.
- 13. Construction Equipment Emissions.** Applicant shall incorporate measures that reduce construction and operational emissions. Prior to the City's issuance of the demolition and grading permits for the Project, the Applicant shall demonstrate to the satisfaction of the Planning Division that its construction contractor will use a construction fleet wherein all 50-horsepower or greater diesel-powered equipment is powered with California Air Resources Board ("CARB") certified Tier 4 Interim engines or equipment outfitted with CARB-verified diesel particulate filters. An exemption from this requirement may be granted if (i) the Applicant provides documentation demonstrating that equipment with Tier 4 Interim engines are not reasonably available, and (ii) functionally equivalent diesel PM emission totals can be achieved for the Project from other combinations of construction equipment. Before an exemption may be granted, the Applicant's construction contractor shall demonstrate to the satisfaction of the Director of Development Services that (i) at least two construction fleet owners/operators in San Diego County were contacted and those owners/operators confirmed Tier 4 Interim equipment could not be located within San Diego County during the desired construction schedule, and (ii) the proposed replacement equipment has been evaluated using the California Emissions Estimator

Model ("CalEEMod") or other industry standard emission estimation method, and documentation provided to the Planning Division confirms that necessary project-generated functional equivalencies in the diesel PM emissions level are achieved.

- 14. Signage.** All proposed signage associated with the Project must comply with Article 66 (Sign Ordinance) of the Escondido Zoning Code. Separate sign permits will be required for Project signage. All non-conforming signs shall be removed. The Applicant shall submit with any sign permit graphic/list of all signs to be removed and retained, along with any new signage proposed.

**C. Parking and Loading/Unloading:**

1. No contractor or employee may store, or permit to be stored, a commercial or construction vehicle/truck; or personal vehicle, truck, or other personal items on private property without written permission of the Applicant. The written authorization shall be submitted to the City for file records.

**D. Landscaping:** The Applicant assumes all responsibility for maintaining all on-site perimeter landscape pertaining to the installation of the screening walls, parkways improvements, and buffer areas in substantial conformance to the planting and irrigation schedule as shown on the final Approved Plan set.

1. Landscaped areas shall be maintained in a flourishing manner. Appropriate irrigation shall be provided for all landscape areas and be maintained in a fully operational condition.
2. All existing planting and planter areas, including areas within the public right-of-way, shall be repaired and landscaping brought into compliance with current standards. All dead plant material shall be removed and replaced by the property owner or management company.
3. If at the time of planning final inspection that it is determined that sufficient screening is not provided, the Applicant shall be required to provide additional landscaping improvements to the satisfaction of the Planning Division.
4. The landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
5. Failure to maintain landscaping and the site in general may result in the setting of a public hearing to revoke or modify the Permit approval.
6. **Landscaping Plans.** Applicant shall install all required landscape improvements in substantial conformance to the planting and irrigation schedule as shown on the final Approved Plan set.
  - a. A final landscape and irrigation plan shall be submitted to the Engineering Services Department for review and approval, if meeting any of the criteria listed under Section

33-1323 of the Zoning Code. Five copies of detailed landscape and irrigation plans shall be submitted to the Engineering Services Department with the second submittal of the grading plan or site plan. The initial submittal of the landscape plans shall include the required plan check fees, paid in accordance with the prevailing fee schedule in effect at the time of submittal. Details of Project fencing and walls, including materials and colors, shall be provided on the landscape plans. (Building permits may also be required.) The landscape and irrigation plans shall be reviewed and approved by the Planning Division and Engineering Services Department prior to issuance of grading or site plan permits, and shall be equivalent or superior to the conceptual landscape plans included as part of the Approved Plan set, to the satisfaction of the Planning Division. The required landscape and irrigation plans(s) shall comply with the provisions, requirements and standards outlined in Article 62 (Landscape Standards) of the Escondido Zoning Code, except where stricter requirements are imposed by the State of California.

- b. Screening walls, retaining walls, storm improvements, and landscaping (i.e. planting and irrigation) is to be provided prior to final occupancy.
- c. The installation of the landscaping and irrigation shall be inspected by the Project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The Applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.
- d. Any new freestanding walls and/or retaining walls shall incorporate decorative materials or finishes, and shall be indicated on the landscaping plans. (Building permits may also be required.) All freestanding walls visible from points beyond the Project site shall be treated with a protective sealant coating to facilitate graffiti removal. The sealant shall be a type satisfactory to the Director of Development Services.
- e. New or retrofitted trash enclosures shall accommodate vertical climbing plants, vines with support trellis panels, clinging non-deciduous or fast-growing shrubbery that will screen the enclosures wall surface. Director of Development Services shall find that the proposed landscaping design, material, or method provides approximate equivalence to the specific requirements of this condition or is otherwise satisfactory and complies with the intent of these provisions.

**E. Specific Engineering Division Conditions:**

1. The Developer shall provide the City Engineer with a Preliminary Title Report covering subject property.

2. The location of all existing on-site and adjacent utilities and storm drain facilities shall be determined by the Developer's engineer. If a conflict occurs with the proposed project or improvements, arrangements for relocation of the conflicting utilities/facilities shall be made with the owner of the utility/facility prior to approval of the Grading plans. This utility/facility relocation work shall be completed prior to issuance of Building Permits.
3. Improvement plans prepared by a Civil Engineer, required for all public street, utility, and storm drain improvements, and Grading/Private Improvement plans prepared by Civil Engineer, required for all grading, drainage and private onsite improvement design, shall be submitted for review through the City's virtual plan review portal as a single package containing all items on the Engineering Initial Submittal Checklists. Landscaping Plans shall be prepared by a Landscape Architect.
4. The Developer shall post securities in accordance with the City prepared Bond and Fee Letter based on a final Engineer's Estimate of Grading and Improvements Cost prepared by the project engineer. The Developer is required to provide a Cash Clean Up deposit for all grading, landscaping, private Improvements and onsite drainage improvements prior to approval of Grading Plans and issuance of Grading Permit. This Cash Clean Up Deposit amount shall be 10% of the total cost of the project private improvements, drainage and landscaping. All improvements shall be completed prior to issuance of a Certificate of Occupancy or final Engineering inspections.
5. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected by the Developer to the satisfaction of the City Engineer.

#### **STREET IMPROVEMENTS AND TRAFFIC**

1. The project's access drive shall be constructed as an alley-type driveway apron per City's standard drawing G-5-E with a minimum throat width of thirty (30) feet.
2. All on-site driveways, and parking areas will be private. Typical sections and design details shall be to the satisfaction of the City Engineer and Community Development Director.
3. All unused driveways shall be removed and replaced with full height curb and gutter and sidewalk in accordance with City standards.
4. The developer shall remove and construct a new ADA pedestrian curb ramp at the corner of N. Quince Street and Norlak Avenue per San Diego Regional Standard Drawing G-29.
5. The Developer shall remove and replace all damaged sidewalk, curb and gutter, along all project frontages to the satisfaction of the City Engineer prior to issuance of a Certificate of Occupancy or final Engineering inspection.
6. The Developer shall repaint all pavement striping and markings adjacent to the project that have been damaged and prematurely faded due to project construction traffic to the satisfaction of the City Engineer.

7. All gated entrances shall be approved by the City Engineer, Building Official, and the Fire Marshal.
8. The Developer will be required to provide a detailed detour and traffic control plan, for all construction and staging activities, and any requested materials placement within existing rights-of-way to the satisfaction of the City Engineer. This plan shall include any proposed sidewalk closures and provide for alternate pedestrian access around the project site. This plan shall be approved prior to the issuance of an Encroachment Permit for construction or other project activities within the public right-of-way.
9. The Developer shall install trash capture devices on existing storm drain inlets along the project's frontage to the satisfaction of the City Engineer.
10. The installation of all utilities and facilities (green street tree wells, fire hydrant, transformers, etc.) shall be constructed at the ultimate location and to the satisfaction of the City Engineer.

#### **GRADING and SITE IMPROVEMENTS**

1. A site grading and erosion control plan prepared by a registered Civil Engineer shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by a copy of the preliminary soils and geotechnical report. The Soils Engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
2. All easements, both private and public, affecting subject property shall be shown and delineated on the Grading and Improvement Plans.
3. All private driveways and parking areas shall be paved with a minimum of 3" asphalt concrete (AC) over 6" of asphalt Base (AB) or 7" Portland Concrete Cement (PCC) over 6" AB. All paved areas exceeding 15% slope or less than 1.0% shall be paved with PCC.
4. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The Developer shall be responsible for maintaining all erosion control facilities throughout the project.
5. The Developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
6. A Construction General Permit is required from the State Water Resources Control Board for all storm water discharges associated with a construction activity where clearing, grading, and excavation results in a land disturbance of one or more acres.
7. All existing foundations, structures, trees not otherwise noted to remain or be relocated shall be removed or demolished from the site.

## **DRAINAGE**

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on a Drainage Study to be prepared by the Engineer of Work. The drainage study shall be in conformance with the City of Escondido Design Standards.
2. All on-site storm drains not in public easements are private. The responsibility for maintenance of these storm drains shall be that of the Property Owner.
3. A Storm Water Quality Management Plan (SWQMP) in compliance with the City's latest adopted Storm Water Design Manual shall be prepared for all newly created or replaced onsite impervious areas, impervious frontage, and required offsite improvements. The SWQMP shall be submitted for approval with the final improvement and grading plans. The SWQMP shall include treatment calculations, post-construction storm water treatment measures, and maintenance requirements and responsibilities both for onsite treatment and also any "Green Street" facilities located in the public right-of-way. The SWQMP shall demonstrate how proposed proprietary best management practices meet bio-filtration treatment requirements in accordance with the City's Storm Water Design Manual.
4. All site drainage with emphasis on the parking and driveway areas shall be treated to remove expected contaminants using a high efficiency non-mechanical method of treatment. The City highly encourages the use of bio-retention areas as the primary method of storm water retention and treatment. The landscape plans will need to reflect these areas of storm water treatment.
5. The Developer will be required to have the current owner of the property sign, notarize, and record a Storm Water Control Facility Maintenance Agreement.
6. All storm water treatment and retention facilities and their drains including the bio-retention basins and planters, any permeable paver areas shall be considered private. The responsibility for maintenance of these post construction storm water treatment facilities shall be that of the Property Owner.

## **WATER SUPPLY**

1. Fire hydrants, if required, together with an adequate water supply shall be installed at locations approved by the Fire Marshall. Fire hydrants shall connect to a minimum 8-inch water main. Existing fire hydrants shall meet current City of Escondido standards.
2. All on-site water lines and backflow prevention devices beyond the City water meter or DCA shall be considered a private water system. The property owner shall be responsible for all maintenance of these water lines and appurtenances.
3. All new or existing water meters shall have an approved reduced pressure backflow prevention device per the City of Escondido Design Standards and Standard Drawings. Water meters and backflow prevention devices shall not be installed within a driveway apron or on private drive areas. Backflow prevention assemblies are private and should

be located on private property. Backflows shall be located directly behind the public water meter.

4. No trees or deep-rooted bushes shall be planted within 10-feet of any water mains.
5. There shall be no permanent structures located within the City's Public Utility Easements.
6. Any water services to be replaced, reconnected or relocated as a part of this project shall be replaced in entirety from the public water main to the public water meter to the satisfaction of the Utilities Engineer and Water Distribution Department.
7. Any fire hydrants to be replaced, reconnected or relocated as a part of this project shall be replaced in entirety from the public water main to the fire hydrant per the satisfaction of the Utilities Engineer and Water Distribution.
8. The Developer shall disconnect at the public main, all water services and fire hydrants laterals to be abandoned, to the satisfaction of the Utilities Engineer and Water Distribution Department.

## **SEWER**

1. All sewer laterals shall be constructed per current City of Escondido Design Standards and Standard Drawings and per the current Uniform Plumbing Code.
2. No trees or deep-rooted bushes shall be planted within 15-feet of any sewer main or within 10-feet of any sewer lateral. Sewer laterals shall be 5-feet horizontally clear from other utilities.
3. All sewer laterals shall be considered a private sewer system. The property owner shall be responsible for all maintenance of sewer laterals to the public sewer main.
4. The project design shall be such that all existing or new sewer manholes are accessible at all times by City "Vactor" trucks for maintenance.
5. The Developer shall cap and plug at the public sewer main all sewer lines and laterals to be abandoned, to the satisfaction of the Utilities Engineer and the City Inspector.

## **LANDSCAPE**

1. A site landscaping and irrigation plan shall be submitted to the Engineering Department with the second submittal of the grading plan for review and approval by Engineering and Planning Departments. The initial submittal of the landscape plans shall include the required plan check fees.

## **CASH SECURITIES**

1. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any

moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading, drainage, landscaping, and best management practices items of work with a minimum of \$5,000 up to a maximum of \$50,000, unless a higher amount is deemed necessary by the City Engineer.

**E. Specific Fire Department Conditions:**

1. An adequate water supply and approved paved access is required prior to any combustibles being brought to the site.