

Drawing name: K:\GRA_DEV\Newmark Merrill\094581015 - NMM Tanglewood\CAD\Exhibits\010 - Preliminary Site Plan.dwg C:\0 Preliminary Site Plan - Master Sep 21, 2022 11:12pm by: Julia Chang
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EXHIBIT B
PROJECT PLANS

MASTER PLAN

LEGEND:

- EXISTING CENTER LINE
PROPOSED CENTER LINE
EXISTING PROPERTY LINE
PROPOSED PROPERTY/RIGHT OF WAY LINE
LOT LINE
SETBACK LINE
APPROXIMATE LIMIT OF WORK LINE
STANDARD DUTY CONCRETE PAVEMENT
HEAVY DUTY CONCRETE PAVEMENT
LANDSCAPE/PLANTER AREA
HEAVY DUTY ASPHALT PAVEMENT
DETECTABLE WARNING SYSTEM
PERMEABLE PAVERS
DEDICATION/VACATION AREA
REMOVE AND REPLACE PAVEMENT
MINIMUM 2 INCHES TO CENTERLINE
SIGN POST
RETAINING WALL
ACCESSIBLE PARKING SPACE
ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
NUMBER OF PARKING SPACES
EXISTING BUILDING

LEGAL DESCRIPTION

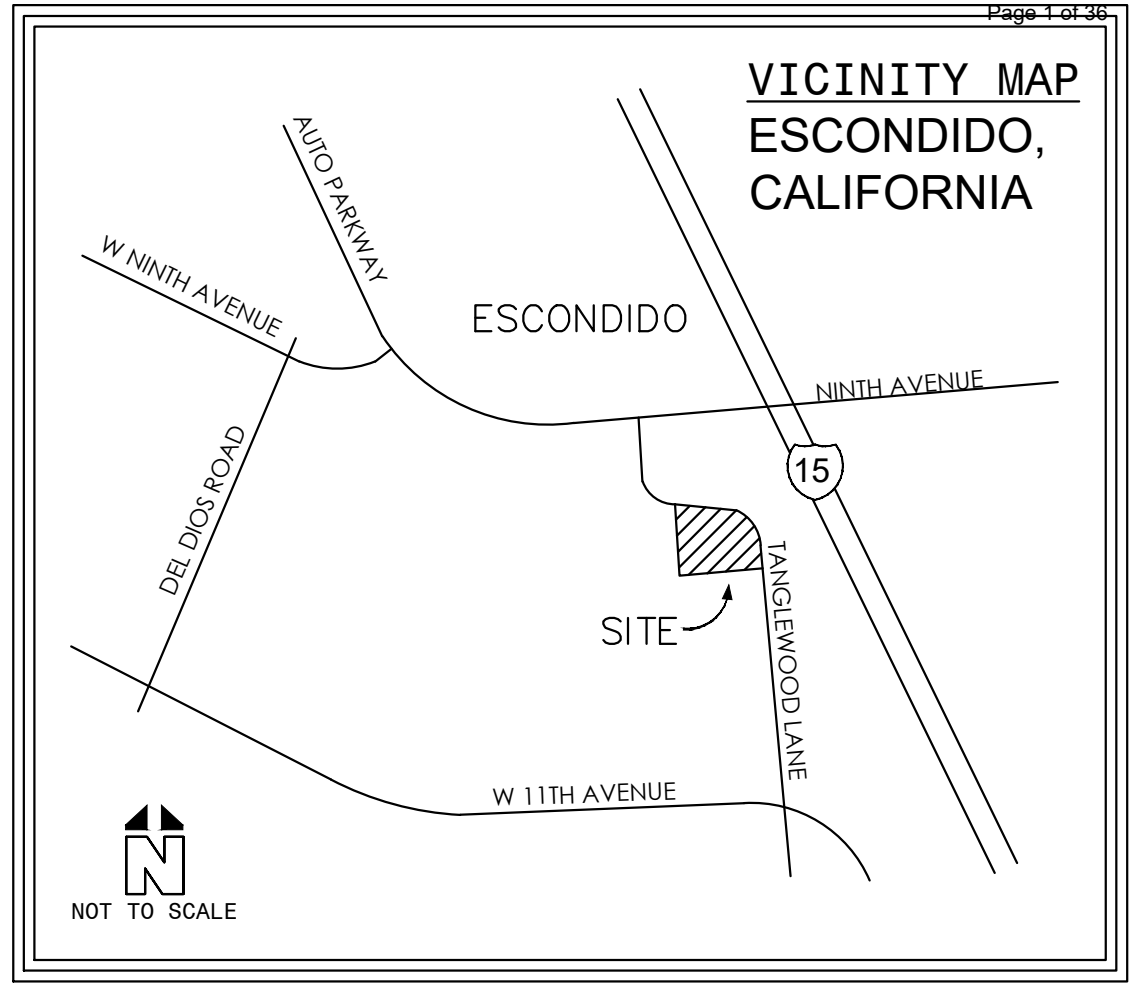
REAL PROPERTY IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE SOUTHERLY 125.00 FEET OF THE NORTHERLY 300.00 FEET OF THE EASTERLY 175.00 FEET OF LOT 2, BLOCK 312 AS SHOWN ON SHEET "B" OF THE RE-SURVEY OF A PORTION OF RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 724, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, AUGUST 13, 1892, THE SOUTHERLY AND NORTHERLY LINE OF THE ABOVE DESCRIBED PARCEL TO BE PARALLEL WITH THE NORTHERLY LINE OF SAID LOT 2 AND THE WESTERLY LINE TO BE PARALLEL WITH THE EASTERLY LINE OF SAID LOT 2, SAID DISTANCE TO BE MEASURED AT RIGHT ANGLES TO THE NORTHERLY AND EASTERLY LINES OF SAID LOT.

TOGETHER WITH THAT PORTION OF THE EASTERLY 175.00 FEET OF THE NORTHERLY 175.00 FEET OF LOT 2 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE EASTERLY 175.00 FEET OF THE NORTHERLY 175.00 FEET OF SAID LOT 2; THENCE ALONG THE FOLLOWING NUMBERED COURSES: (1) PARALLEL TO THE EASTERLY LINE OF SAID LOT 2, N. 44°44'02" W., 33.77 FEET; (2) S. 81°49'25" E. 151.35 FEET TO THE SOUTH LINE OF THE NORTHERLY 175.00 FEET OF SAID LOT 2; (3) ALONG SAID SOUTH LINE S. 85°16'59"W., 147.52 FEET TO THE POINT OF BEGINNING.

EXCEPTING FROM THE FIRST HEREINABOVE DESCRIBED PROPERTY THAT CERTAIN PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF THE SOUTHERLY 125.00 FEET OF THE NORTHERLY 300.00 FEET OF THE EASTERLY 175.00 FEET OF SAID LOT 2; THENCE ALONG THE EASTERLY LINE OF SAID LOT 2, 04°44'02" EAST, 42.15 FEET; THENCE LEAVING SAID EASTERLY LINE FROM A TANGENT WHICH BEARS NORTH 20°10'20" WEST, ALONG A CURVE TO THE LEFT, WITH A RADIUS OF 83.00 FEET, THROUGH AN ANGLE OF 35°17'15" A DISTANCE OF 51.12 FEET TO SAID NORTHERLY LINE OF SAID SOUTHERLY 125.00 FEET; THENCE ALONG SAID NORTHERLY LINE NORTH 85°16'59" EAST, 27.46 FEET TO THE POINT OF BEGINNING.



TITLE REPORT EXCEPTIONS

- 7 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM FREEWAY AND ADJACENT FRONTAGE ROAD HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED OCTOBER 08, 1971 AS INSTRUMENT NO. 231985 OF OFFICIAL RECORDS. PLOTTED HEREON.
- 8 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM ADJACENT STATE FREEWAY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED JANUARY 13, 1972 AS INSTRUMENT NO. 9958 OF OFFICIAL RECORDS. PLOTTED HERE.

SITE DATA

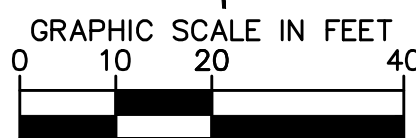
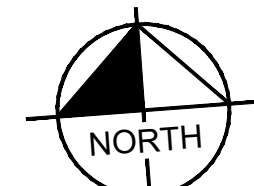
PROJECT DESCRIPTION:	DEMOLITION OF EXISTING DRIVEWAY AND BUILDING. NEW CONSTRUCTION OF A STARBUCKS DRIVE THRU AND PARKING LOT.		
ADDRESS:	1525 TANGLEWOOD LANE, ESCONDIDO, CA 92029		
APN:	235-090-35-00		
ZONING DISTRICT:	PD-C - PLANNED DEVELOPMENT COMMERCIAL (EXISTING) PD-C - PLANNED DEVELOPMENT COMMERCIAL (PROPOSED)		
ADJACENT ZONING DISTRICTS:	SE: R-2-12 - LIGHT MULTIPLE RESIDENTIAL S: PD-C - PLANNED DEVELOPMENT COMMERCIAL W: PD-C - PLANNED DEVELOPMENT COMMERCIAL		
LAND USE:	COMMERCIAL		
ADJACENT LAND USE:	SE: U2 - URBAN II S: PC - PLANNED COMMERCIAL W: PC - PLANNED COMMERCIAL		
FLOOD ZONE:	ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.		
TOTAL DISTURBED AREA:	23,082 S.F.	(0.53 AC)	
TOTAL PAD AREA:	931 S.F.	(0.02 AC)	
TOTAL LOT AREA:	23,082 S.F.	(0.53 AC)	
LOT COVERAGE			
TOTAL SITE AREA:	23,082 S.F.	(0.53 AC)	100%
BUILDING AREA:	931 S.F.	(0.02 AC)	4.0%
IMPERVIOUS AREA:	13,188 S.F.	(0.30 AC)	57.1%
LANDSCAPE AREA:	7,883 S.F.	(0.18 AC)	34.2%
PERMEABLE PAVERS:	1,080 S.F.	(0.03 AC)	4.7%
PARKING / LANDSCAPE BUFFER			
FRONT:	0.0'		
REAR:	0.0'		
SIDE (W):	5.0'		
SIDE (S):	5.0'		
PARKING SUMMARY:	STARBUCKS: 931 S.F.		
	• ADA PARKING FOR 1-25 PARKING STALLS = 1 ADA PARKING STALL REQUIRED, PER 2019 CBC.		
	• FUTURE EV FOR 10-25 PARKING STALLS = 1 FUTURE EV STALLS REQUIRED PER 2019 CALGREEN		
	• 1 FUTURE EV STALL MUST BE VAN ACCESSIBLE.		
	• NUMBER OF REQUIRED DESIGNATED STALLS FOR LOW-EMITTING, FUEL-EFFICIENT, CARPOOL/VANPOOL, AND ELECTRIC VEHICLES (PER 2019 CALIFORNIA GREEN BUILDING STANDARDS) = 1.		
PARKING TABLE:	PROVIDED		
STANDARD	16		
DESIGNATED	1		
EV CHARGING	1		
ACCESSIBLE	1		
TOTAL:	18		
BIKE PARKING:	1 BIKE PARKING SPACE/2,500 S.F. = 1 BIKE PARKING SPACE REQUIRED PER CITY CODE		

CONSTRUCTION NOTES:

- CONCRETE CURB
- CONCRETE CURB AND GUTTER
- 18" WALK-OFF CURB
- VAN ACCESSIBLE PARKING STALL SIGN
- DIRECTIONAL MARKING PER PLAN
- ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED DOMES)
- JOIN EXISTING CURB, CURB & GUTTER, SIDEWALK.
- COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE
- STANDARD 90° PARKING STALL STRIPING.
- PREVIEW MENU BOARD PER SIGN PROGRAM
- DIGITAL ORDER SCREEN PER SIGN PROGRAM
- CLEARANCE BAR PER SIGN PROGRAM
- INSTALL BOLLARDS
- INSTALL LONG TERM BIKE RACK
- PROPOSED CMU RETAINING WALL TO MATCH PROPOSED BUILDING FINISH AND/OR CONSTRUCTED IN DECORATIVE MATERIAL.
- CONSTRUCT 0" CONCRETE CURB
- ACCESSIBLE PATH OF TRAVEL STRIPING.
- ACCESSIBLE PARKING STALL STRIPING.
- FUTURE E/V CHARGING STATION. CONDUIT TO BE RAN TO STALL FOR FUTURE CONNECTION.
- "CLEAN AIR/VAN POOL/EV" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL
- EXISTING FENCE TO REMAIN
- EXISTING WALL TO REMAIN
- EXISTING TREES TO REMAIN
- EXISTING VALLEY GUTTER TO REMAIN
- PROPOSED VALLEY GUTTER
- PROPOSED CURB CUT PER PLAN
- PROPOSED DRIVE-THRU ENTRANCE SIGN PER SIGN PROGRAM
- INSTALL SHORT TERM BIKE RACK.
- DRIVE-THRU PANEL MENU SIGN PER SIGN PROGRAM
- INSTALL WHEEL STOP
- PROPOSED MONUMENT SIGN
- PROPOSED 65' PYLON SIGN
- PROPOSED DRIVE-THRU EXIT ONLY/THANK YOU DIRECTIONAL SIGN PER SIGN PROGRAM

NOTE:
ALL WATER SERVICES AND FIRE HYDRANT SERVICES, CUT OR DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED FROM THE WATER MAIN TO THE METER/FIRE HYDRANT, PER CITY OF ESCONDIDO STANDARD DRAWING W-1-E, W-2-E AND/OR W-3-E.

NOTE:
MINIMUM FIRE FLOW REQUIRED IS 1,500 GPM AT 20 PSI FOR 2 HRS.



SCALE
1" = 20'
WHEN PRINTED AT FULL SIZE
(24"x36")

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY _____ WQID NO. _____

CITY of ESCONDIDO

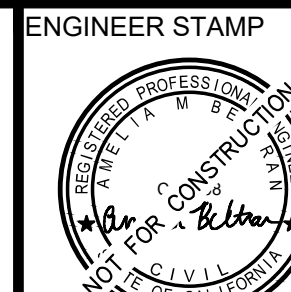
PRELIMINARY SITE PLAN -
MASTER

ADDRESS: 1525 TANGLEWOOD LN, ESCONDIDO, CA 92029

APPROVED

FOR CITY ENGINEER _____ RCE EXP. LIC. DATE _____ DATE _____ SHEET C10

BENCH MARK: _____



AMELIA BELTRAN 87468 09/30/2023 9/21/2022
ENGINEER OF WORK RCE EXP. LIC. DATE DATE

APPROVED CHANGES

NO.	DESCRIPTION	CITY	DATE	VID	DATE

Kimley»Horn

1100 W TOWN AND COUNTRY ROAD, SUITE 700
ORANGE, CA 92668
PH: (714) 939-1030

PREPARED UNDER THE DIRECT SUPERVISION OF:

DATE: 09/30/2023
AMELIA BELTRAN, R.C.E. NO. 87468

DVS

DRAWN BY AB

CHECKED BY AB

RECOMMENDED

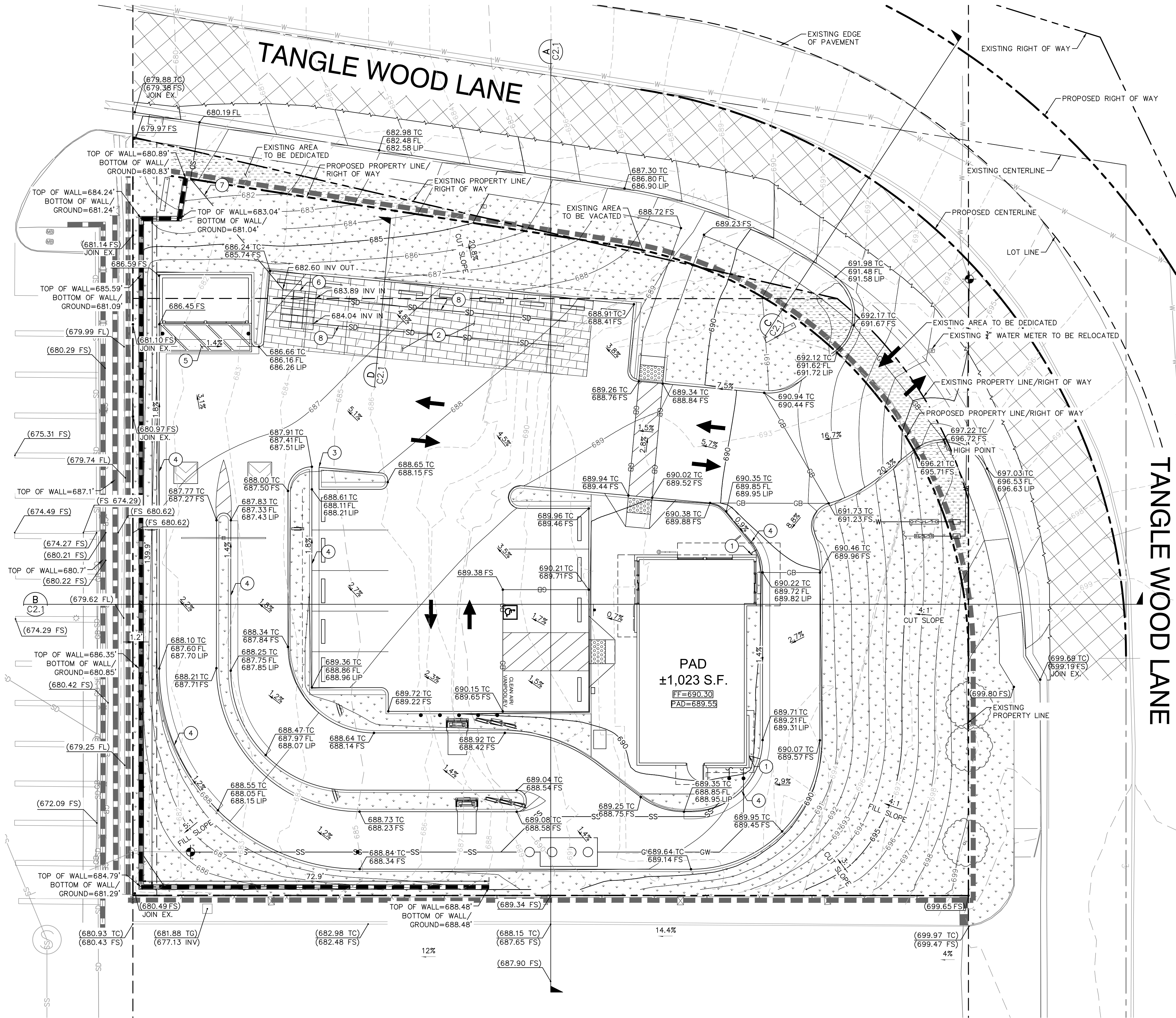
NMM ESCONDIDO
STARBUCKS
ESCONDIDO, CA



Know what's below.
Call before you dig.

P.C.: _____ LD#: _____ DWG#: _____

Drawing name: K:\04A_LDEV\Newmark_Merrill\094581015 - NMM Tanglewood\CAD\Exhibits\C2.0 - Preliminary Grading Plan.dwg Sep 21, 2022 10:56am by: Julia Chang
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LEGEND

- EXISTING CENTER LINE
- PROPOSED CENTER LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- LOT LINE
- SETBACK LINE
- APPROXIMATE LIMIT OF WORK LINE
- PROPOSED RIDGE LINE
- PROPOSED GRADE BREAK LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW LINE
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- REMOVE AND REPLACE PAVEMENT
MINIMUM 2 INCHES TO CENTERLINE
- DEDICATION/VACATION AREA

GRADING AND DRAINAGE NOTES

- ROOF DOWNSPOUTS. CONNECT TO 4" SDR-35 PVC STORM DRAIN PIPE AND DRAIN THRU CURB FACE.
- PROPOSED PERMEABLE PAVERS PER SECTION D, SHEET C2.1.
- PROPOSED 1.5' CURB CUT.
- CONCRETE CURB AND GUTTER.
- CONCRETE VALLEY GUTTER.
- R-TANKHD SYSTEM.
- 4" SDR-26 PVC STORM DRAIN PIPE. DRAIN THRU CURB FACE.
- 4" PERFORATED PIPE.

ESTIMATED EARTHWORK QUANTITIES

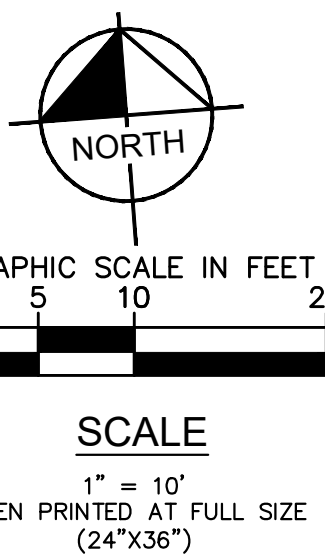
CUT: 1,123 CY
FILL: 1,188 CY
NET: 65 CY (IMPORT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER- EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

PROJECT INFORMATION

SITE AREA = 23,082 S.F. = 0.53 AC



SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY: WDDID NO.

CITY of ESCONDIDO

**PRELIMINARY GRADING
PLAN**

ADDRESS: 1525 TANGLEWOOD LN, ESCONDIDO, CA 92029

APPROVED

FOR CITY ENGINEER RCE EXP. LIC. DATE DATE

BENCH MARK:

SHEET C2.0

ENGINEER STAMP



AMELIA BELTRAN 87468 09/30/2023 9/21/2022
ENGINEER OF WORK RCE EXP. LIC. DATE DATE

NO. DESCRIPTION CITY DATE VID DATE
APPROVED CHANGES

Kimley»Horn

1100 W TOWN AND COUNTRY ROAD, SUITE 700
ORANGE, CA 92668
PH: (714) 939-1030

PREPARED UNDER THE DIRECT SUPERVISION OF:
DATE: EXP. 09/30/2023

AMELIA BELTRAN, R.C.E. NO. 87468

DVS

DRAWN BY AB

CHECKED BY AB

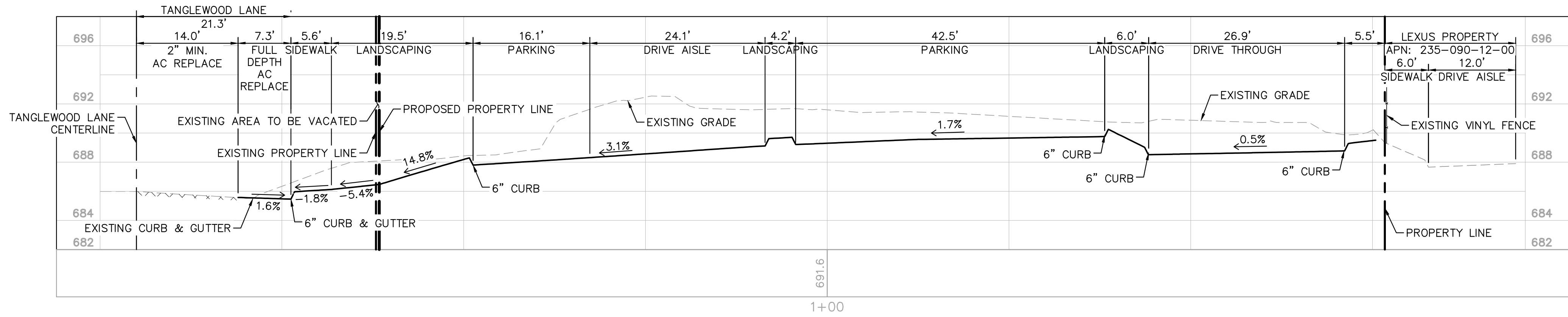
RECOMMENDED

**NMM ESCONDIDO
STARBUCKS
ESCONDIDO, CA**



Know what's below.
Call before you dig.

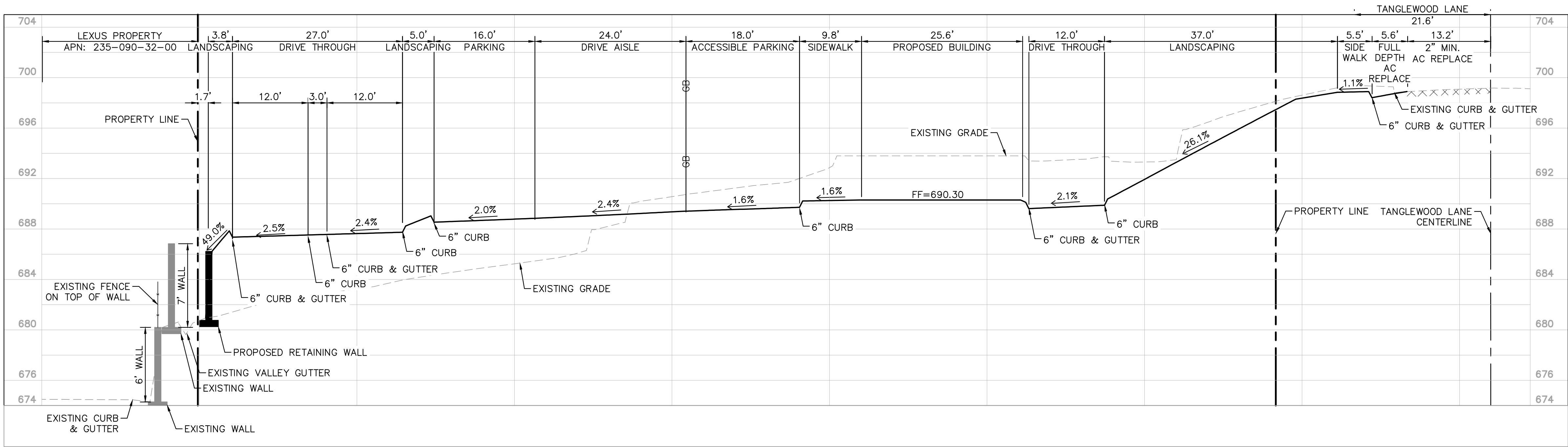
Drawing name: K:\GRA_LDEV\Newmark_Merrill\094581015 - NMM Tanglewood\CAD\Exhibits\C2.0 - Preliminary Grading Plan.dwg C2.1 Preliminary Grading Sections Sep 21, 2022 11:03pm by: Julia.Chang
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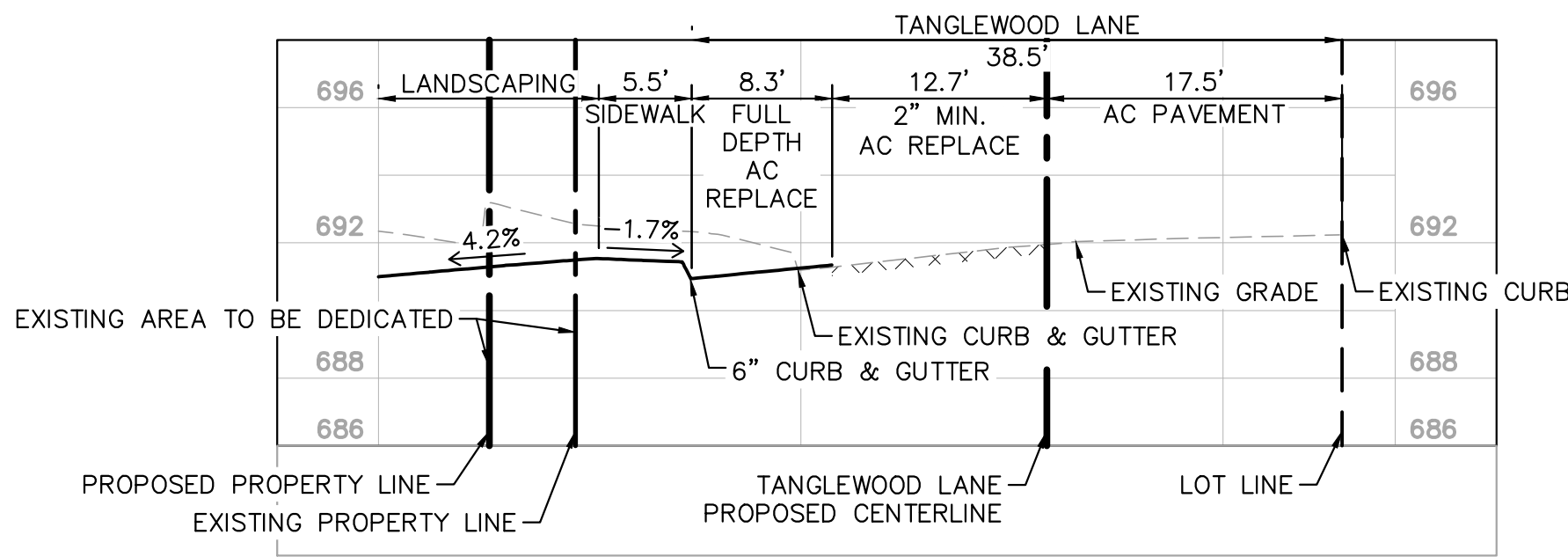
SECTION A
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")

LEGEND

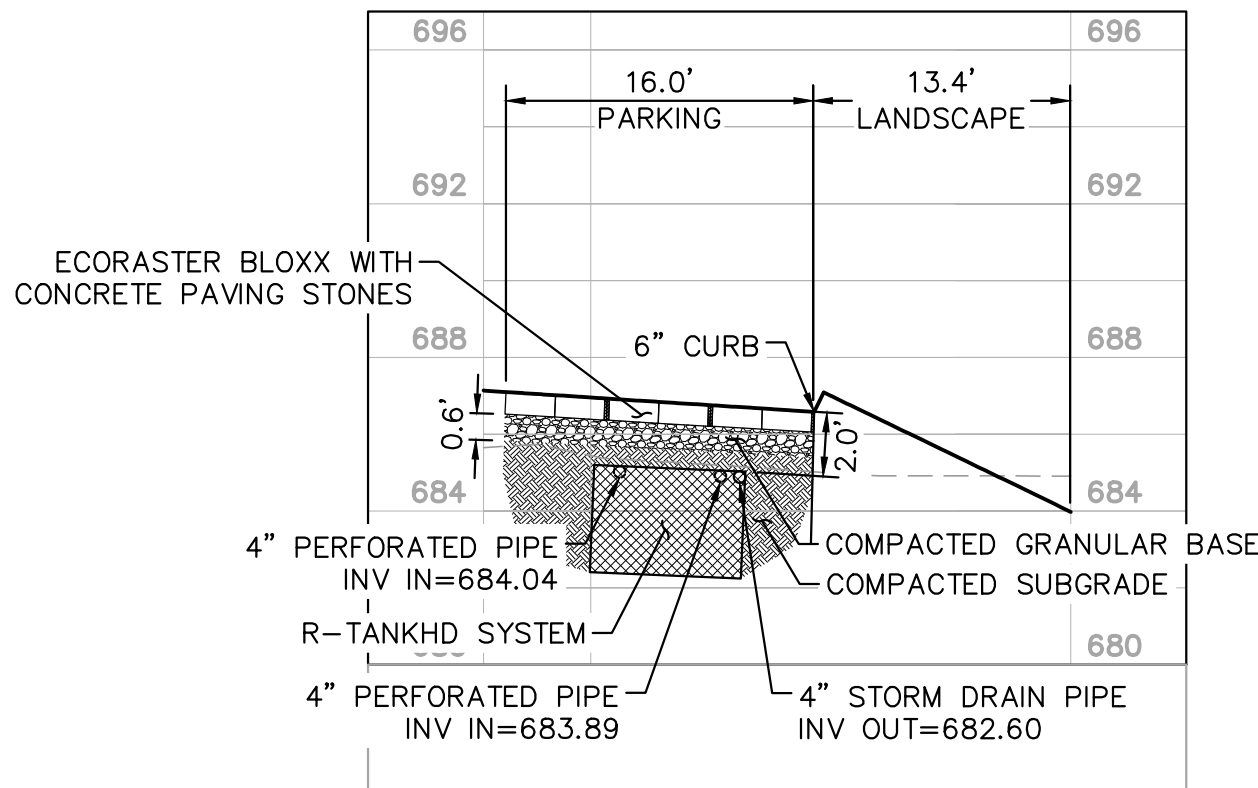
- GB PROPOSED GRADE BREAK LINE
- REMOVE AND REPLACE PAVEMENT MINIMUM 2 INCHES



SECTION B
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")



SECTION C
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")



SECTION D - PERMEABLE PAVERS
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY: WDDID NO.

CITY of ESCONDIDO

PRELIMINARY GRADING
SECTIONS

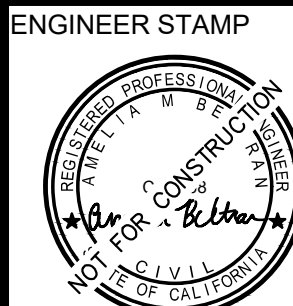
ADDRESS: 1525 TANGLEWOOD LN, ESCONDIDO, CA 92029

APPROVED

FOR CITY ENGINEER RCE EXP. LIC. DATE DATE

BENCH MARK:

SHEET C2.1



NMM ESCONDIDO
STARBUCKS
ESCONDIDO, CA

DVS
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RECOMMENDED

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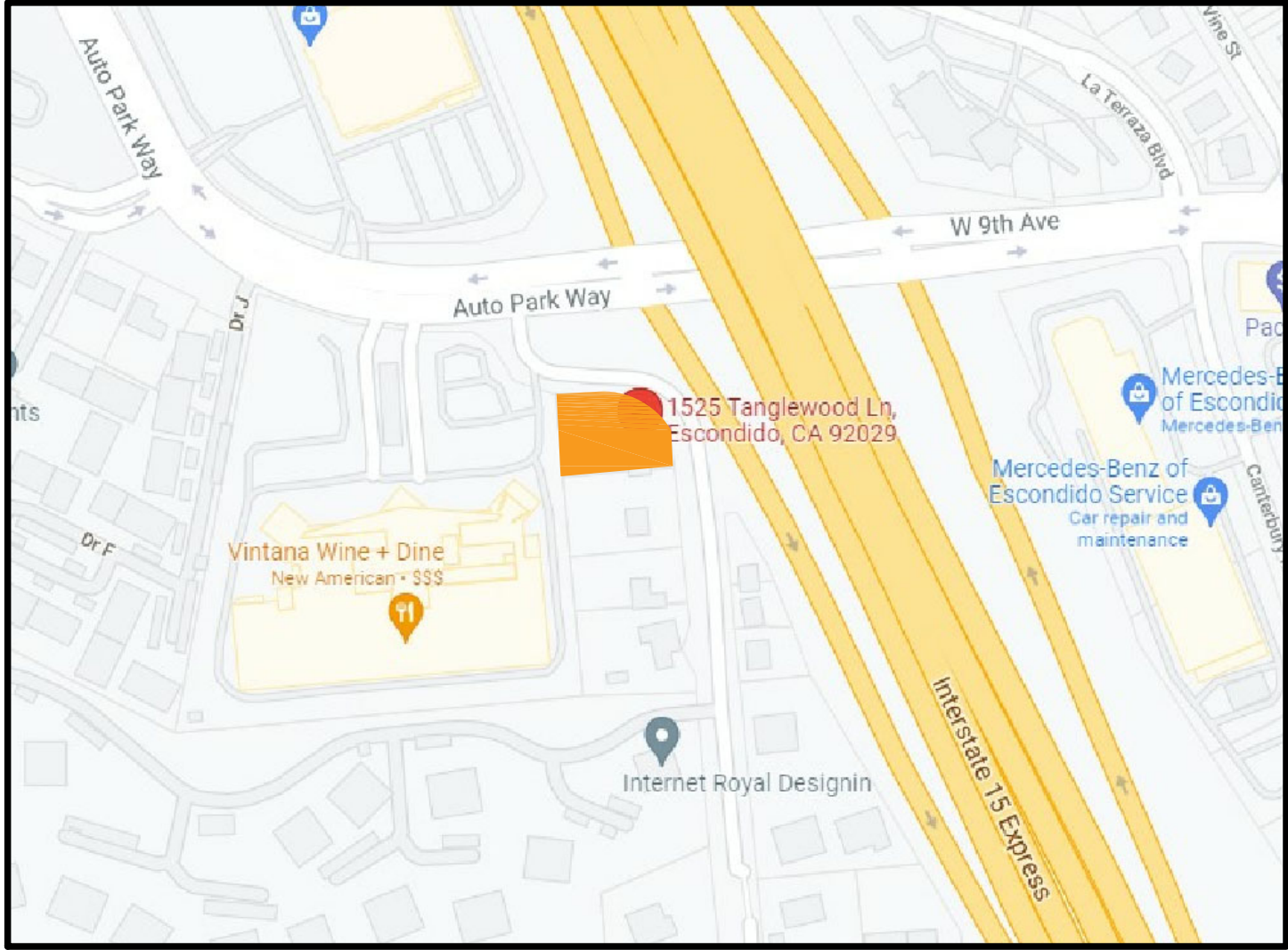
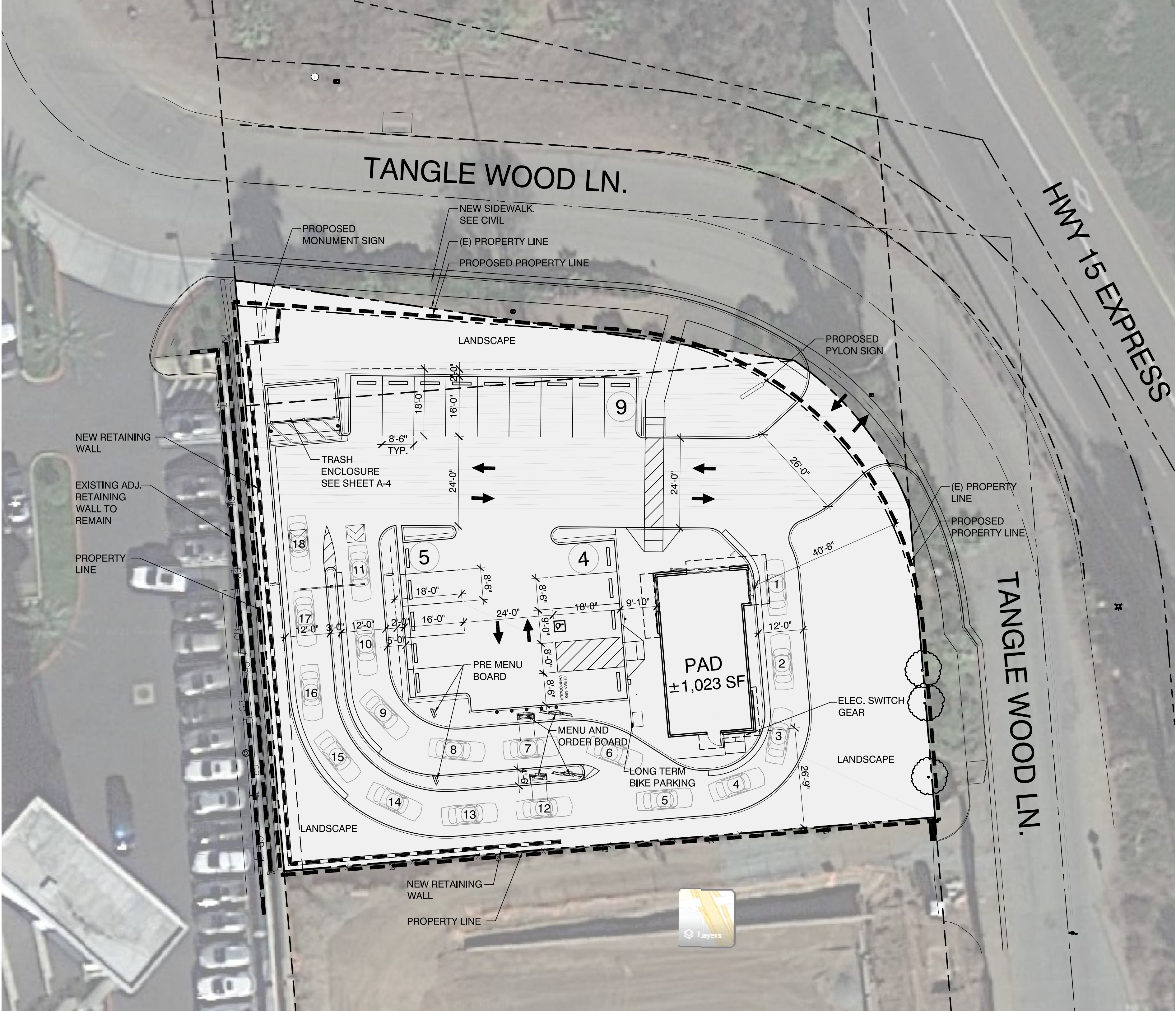
PREPARED UNDER THE DIRECT SUPERVISION OF:

AMELIA BELTRAN, R.C.E. NO. 87468
DATE: EXP. 09/30/2023

NO.	DESCRIPTION	CITY	DATE	VID	DATE

APPROVED CHANGES

AMELIA BELTRAN 87468 09/30/2023 9/21/2022
ENGINEER OF WORK RCE EXP. LIC. DATE DATE



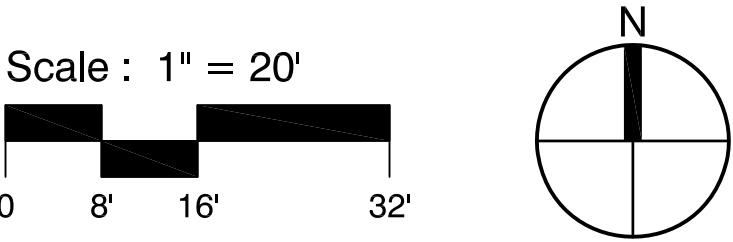
LOCATION PLAN

SITE SUMMARY

LAND:	+/-1.66 AC	+/- 23,910 S.F.
TOTAL BLDG. AREA		± 1,023 SF
LAND TO BLDG. RATIO		22.37 /1
BUILDING COVERAGE		4.27 %
BUILDING AREA		
PAD BUILDING		+/- 1,023 S.F.
TOTAL BUILDING AREA:		+/- 1,023 S.F.
PARKING REQUIRED:		
PAD BLDG. ±1,023 SF		20 STALLS
PARKING PROVIDED :		18 STALLS
PARKING RATIO :		19.33 /1000

1525 TANGLE WOOD LANE.
ESCONDIDO, CA

PRELIMINARY SITE PLAN



DATE: 09.23.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

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SHEET A-1

CLEVELAND
DENVER
GLEN DORA
IRVINE
ORLANDO
PHOENIX
SAN FRANCISCO



mcgarchitecture.com

-
A

SW 7757 "HIGH REFLECTIVE WHITE"
BY: SHERWIN WILLIAMS

-
B

SW 7075 "WEB GRAY"
BY: SHERWIN WILLIAMS

-
C

SW 9154 "PERLE NOIR"
BY: SHERWIN WILLIAMS

-
D

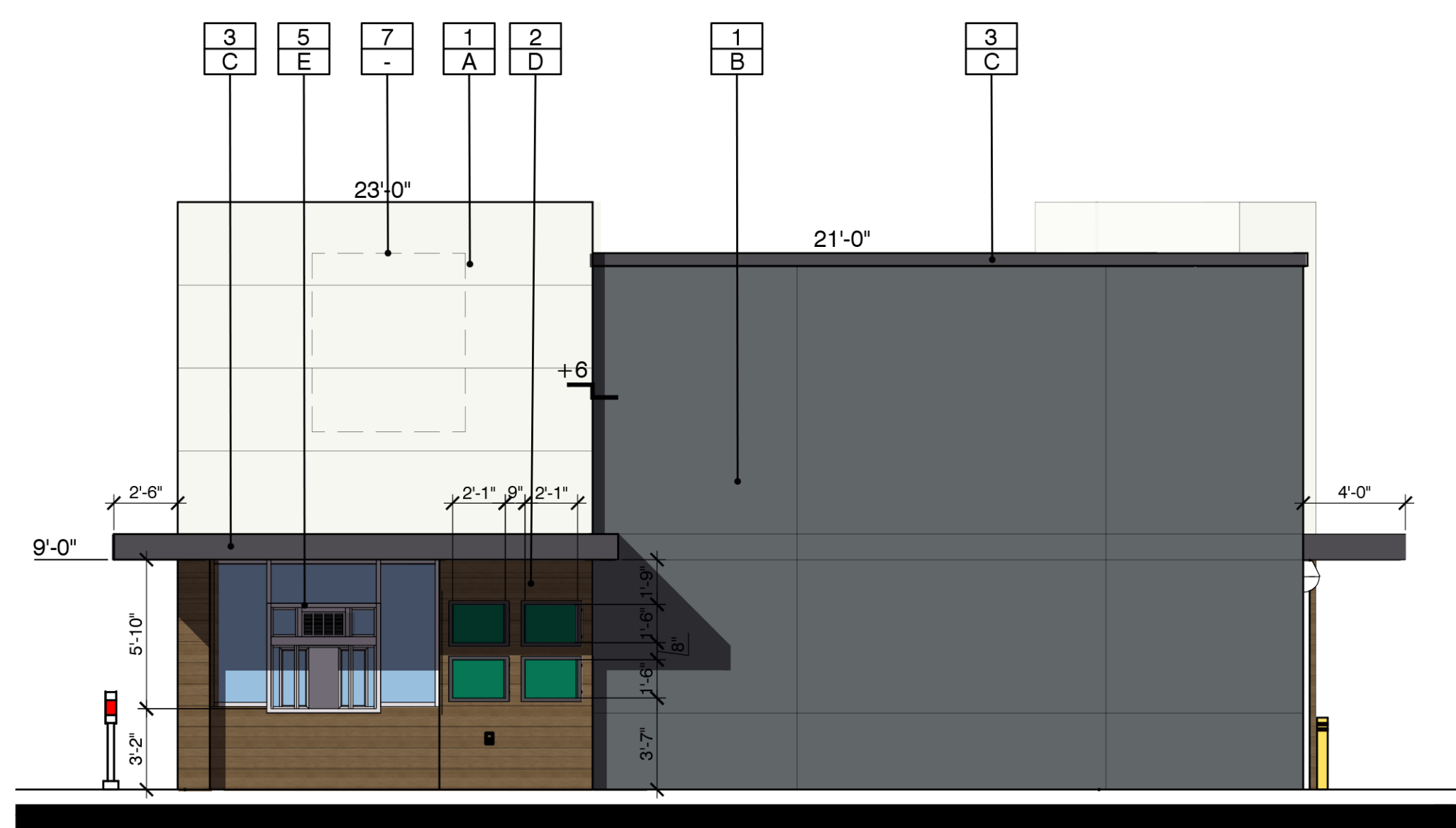
VINTAGE WOOD "CEDAR"
BY: NICHIIHA

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E

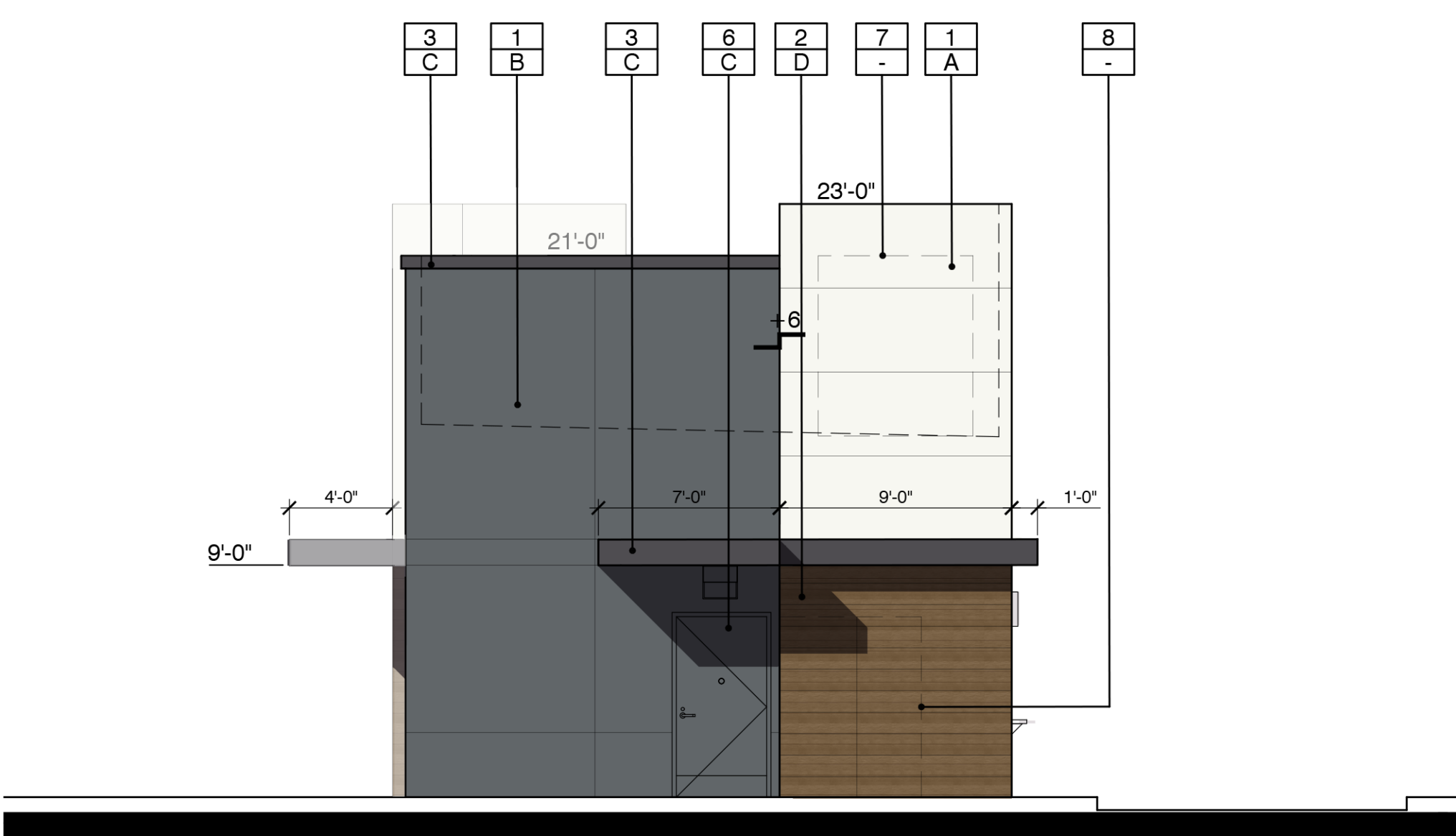
ALUMINUM CLEAR # 14
BY: KAWNEER

-
F

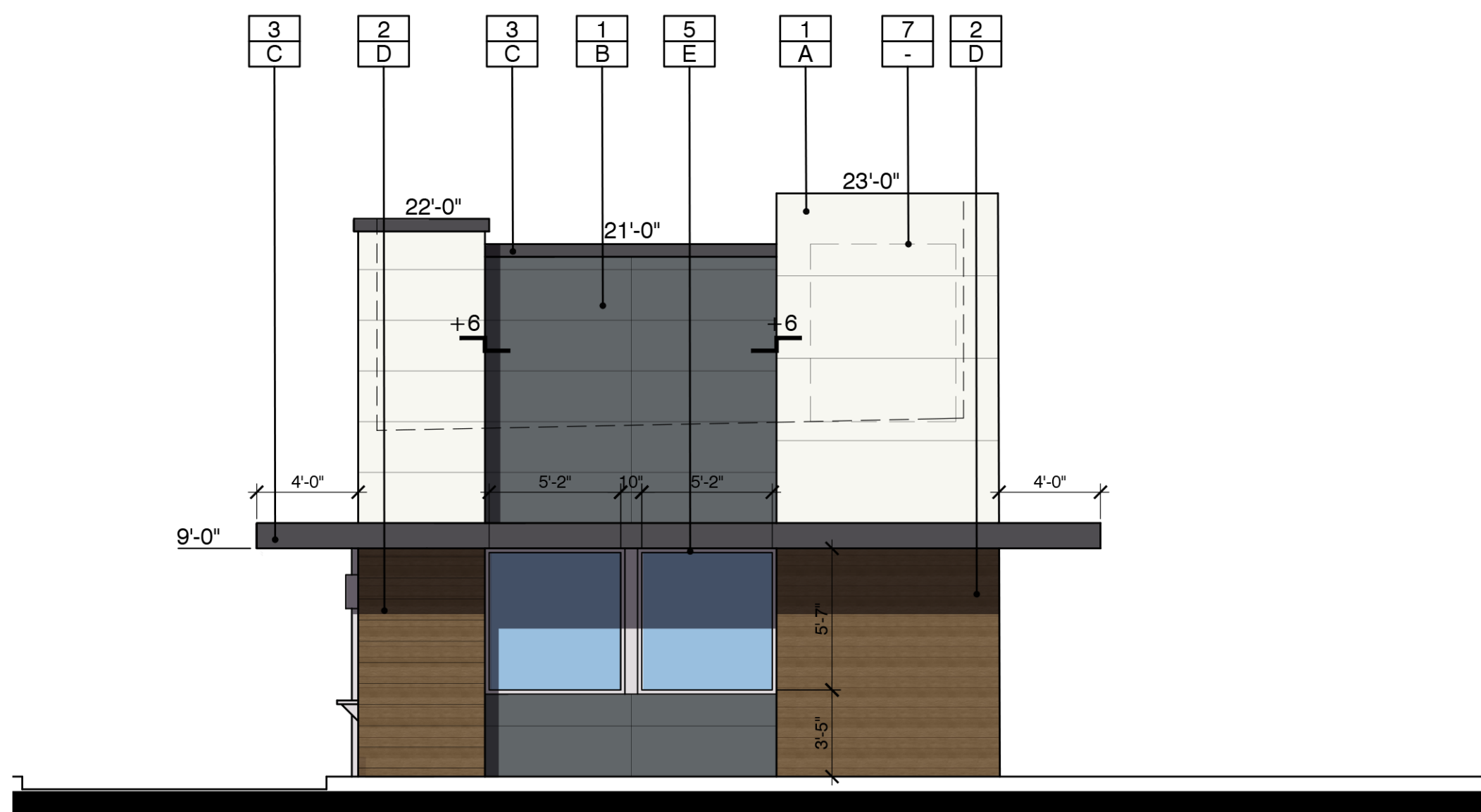
SPLIT-FACE CMU
COLOR: NATURAL GRAY
BY: ANGELUS BLOCK



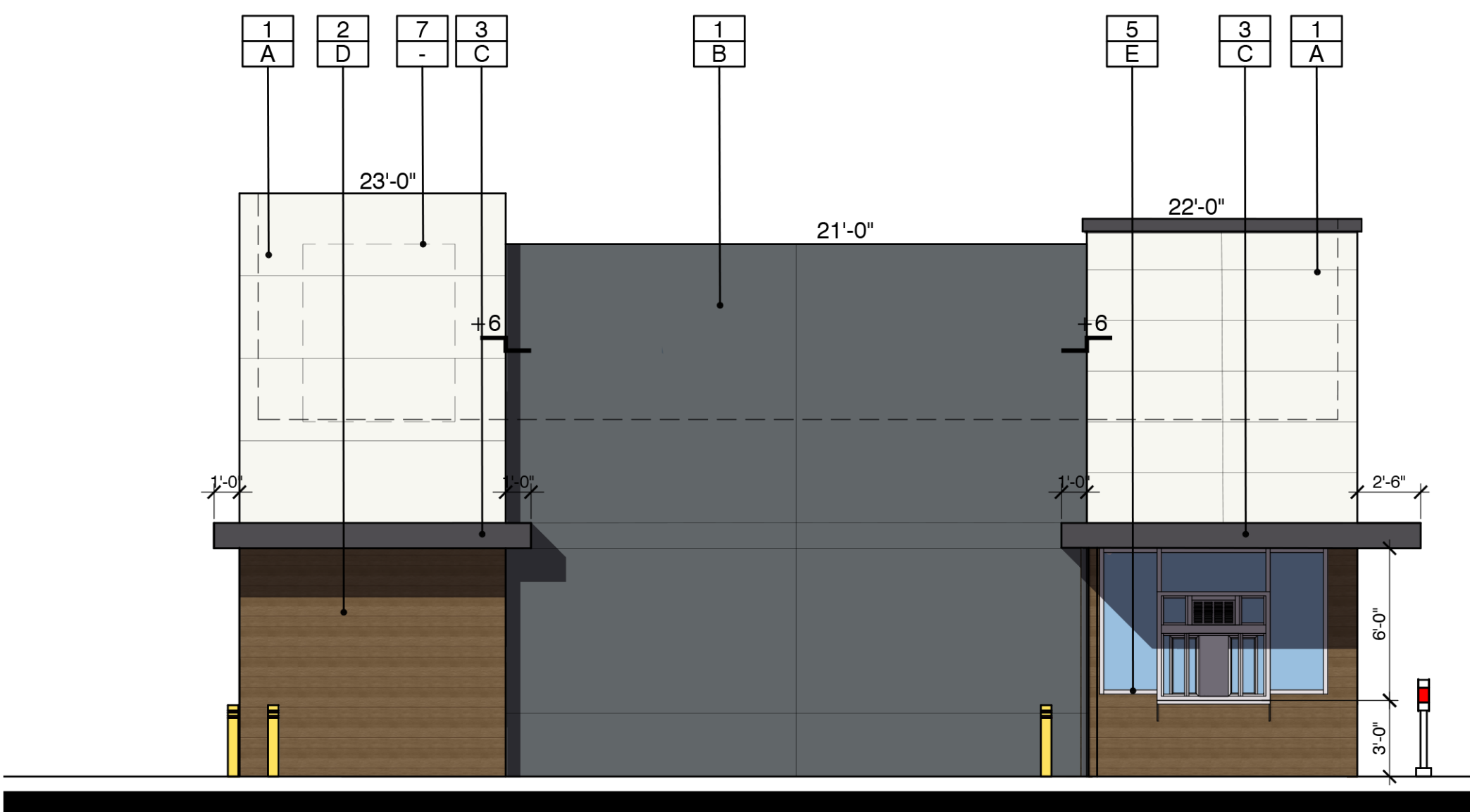
WEST ELEVATION



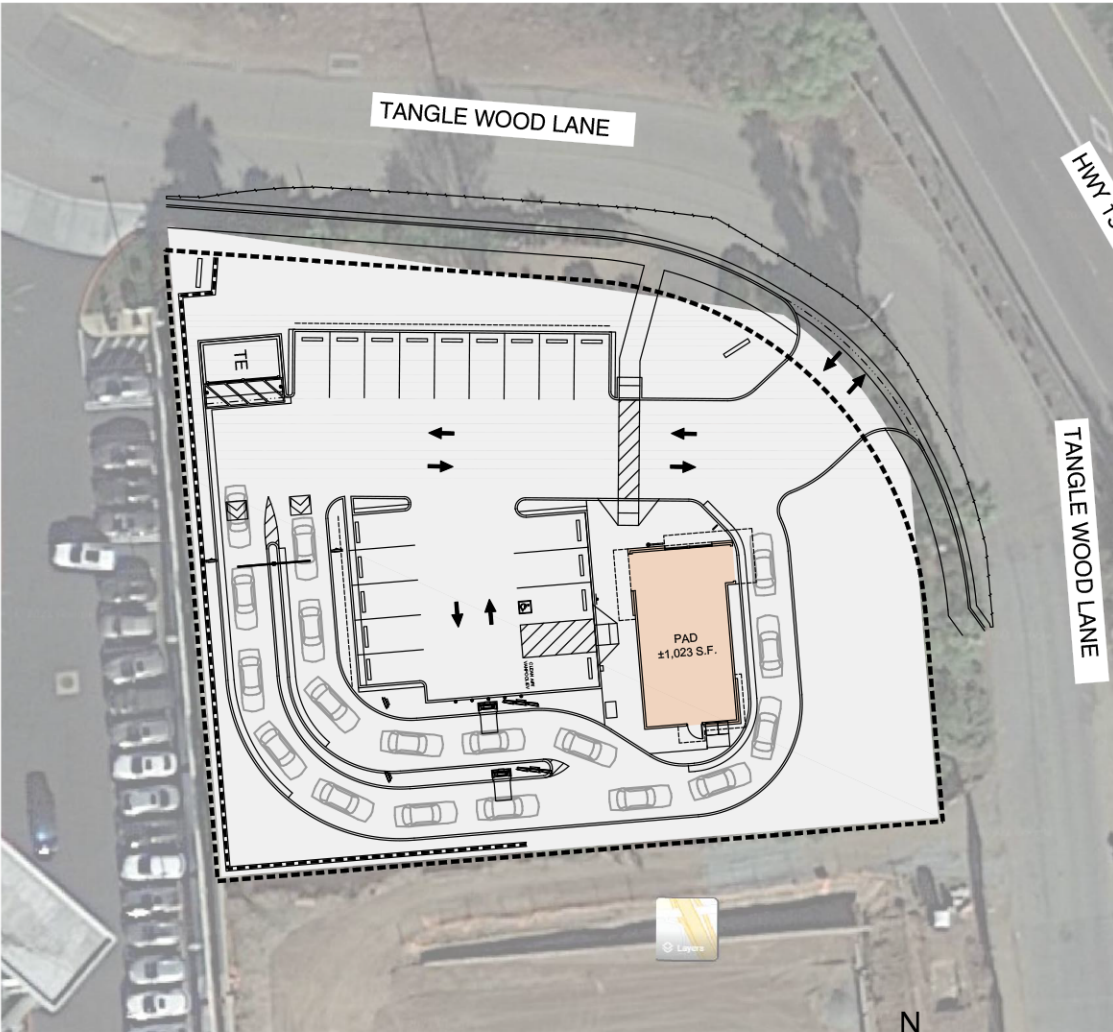
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



KEY PLAN

FINISHES:

- 1 - EXTERIOR CEMENT PLASTER FINISH
- 2 - COMPOSITE WOOD SIDING
- 3 - METAL CANOPY/COPING
- 4 - BRAKE METAL
- 5 - ALUMINUM STOREFRONT
- 6 - METAL DOOR
- 7 - SIGNAGE BY OTHERS UNDER A SEPARATE PERMIT
- 8 - ELEC. SWITCH GEAR

COLORS:

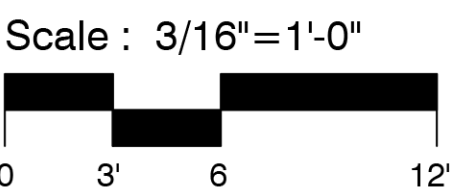
- SW 7757 "HIGH REFLECTIVE WHITE"
A BY: SHERWIN WILLIAMS
- SW 7075 "WEB GRAY"
B BY: SHERWIN WILLIAMS
- SW 9154 "PERLE NOIR"
C BY: SHERWIN WILLIAMS
- VINTAGE WOOD "CEDAR"
D BY: NICHIIHA
- ALUMINUM CLEAR # 14
E BY: KAWNEER
- SPLIT-FACE CMU
F COLOR: NATURAL GRAY
BY: ANGELUS BLOCK

DATE: 09.19.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

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EXTERIOR ELEVATION
PAD BUILDING



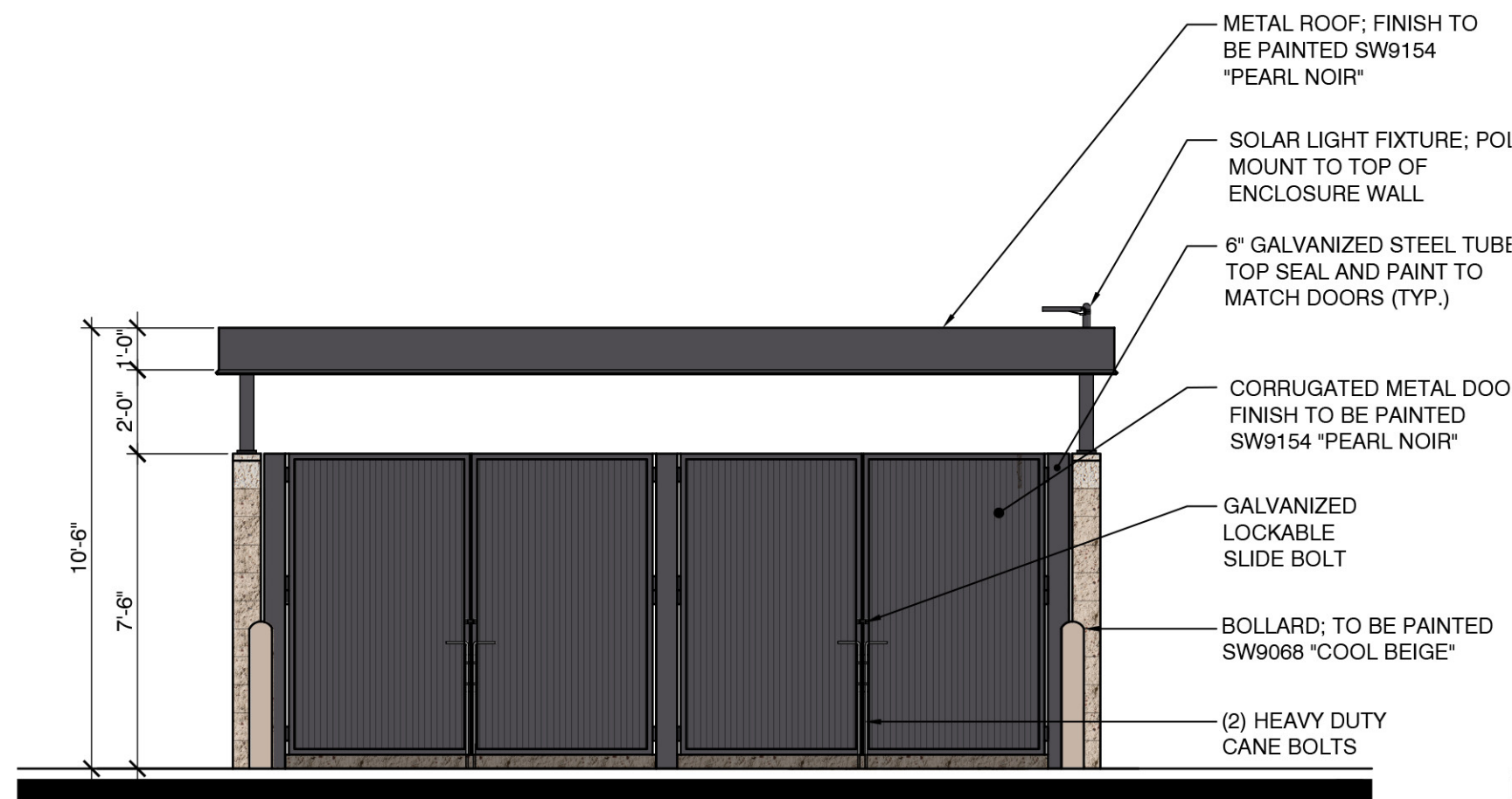
1525 TANGLE WOOD LANE.
ESCONDIDO, CA

SHEET A-3

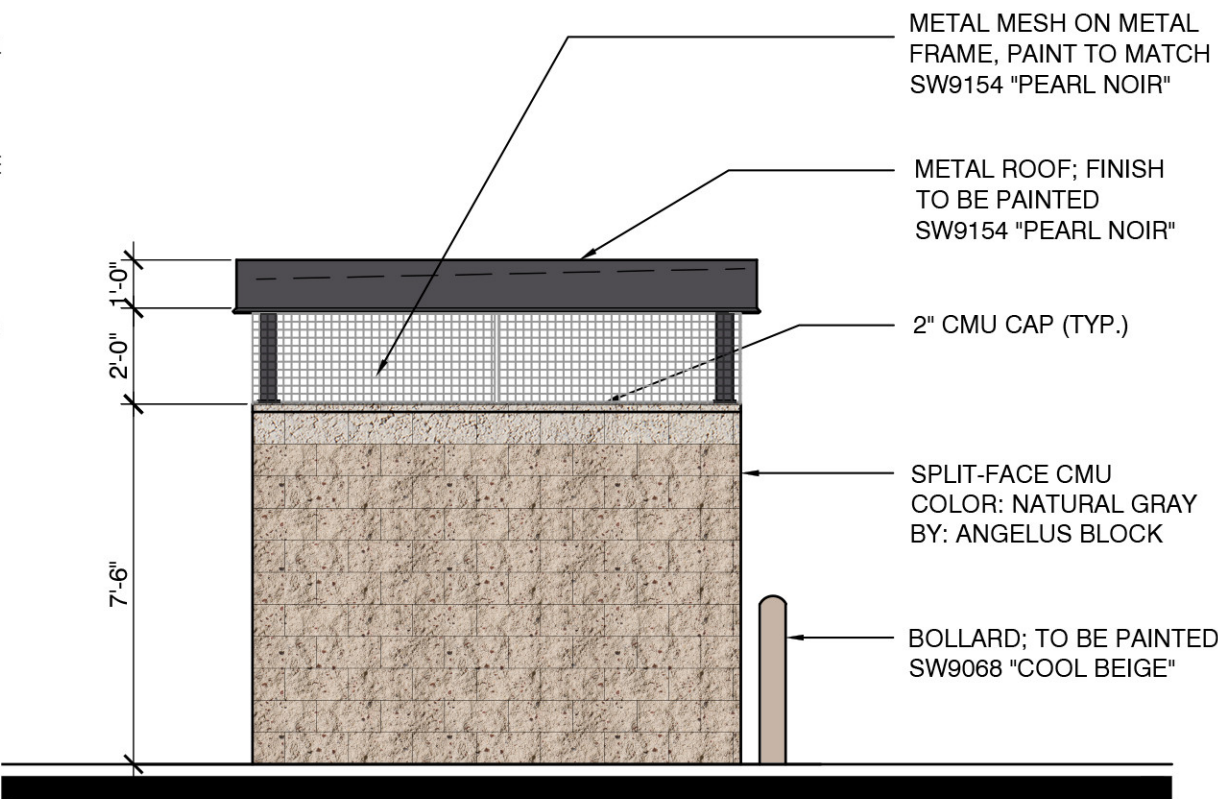
CLEVELAND
DENVER
GLENDDORA
IRVINE
ORLANDO
PHOENIX
SAN FRANCISCO



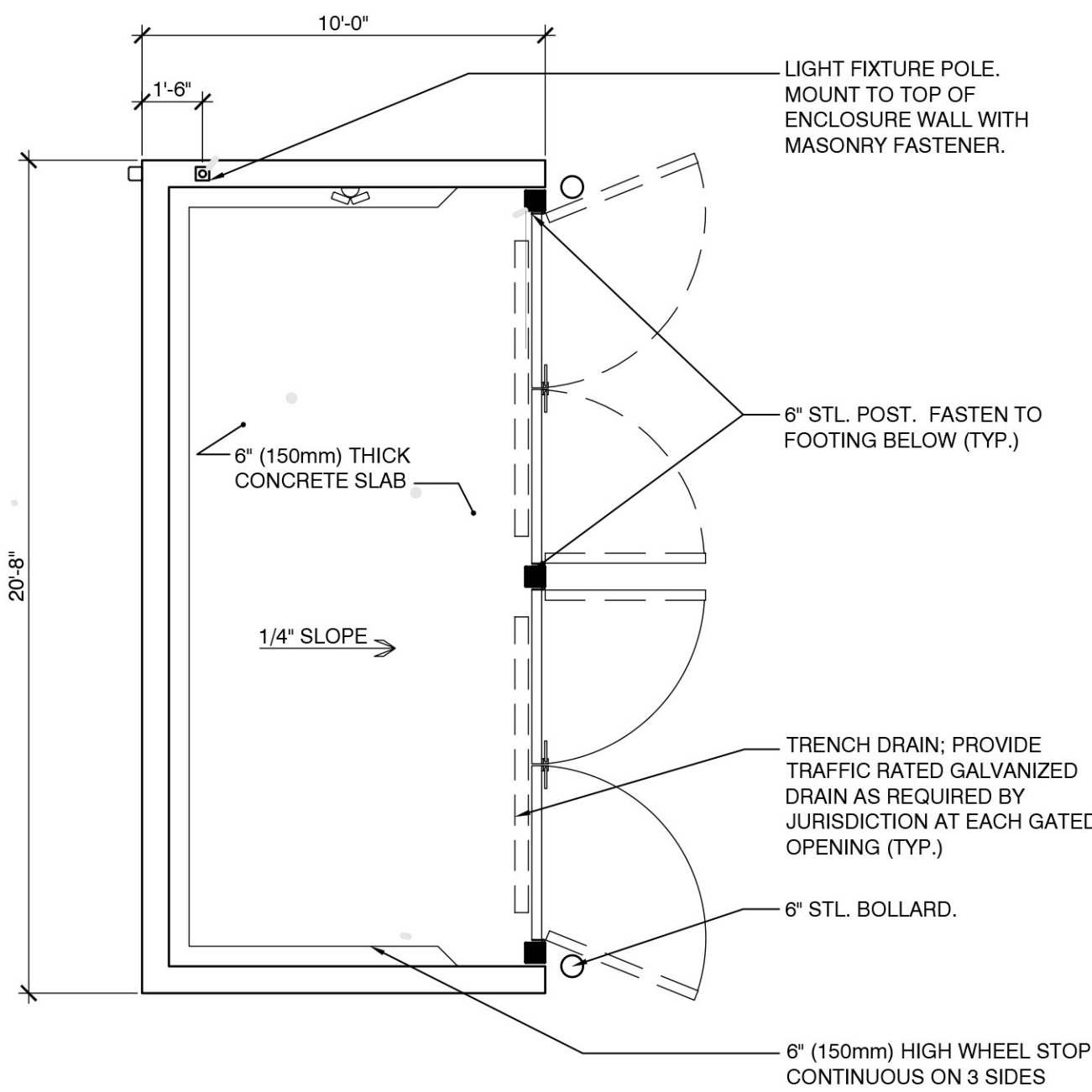
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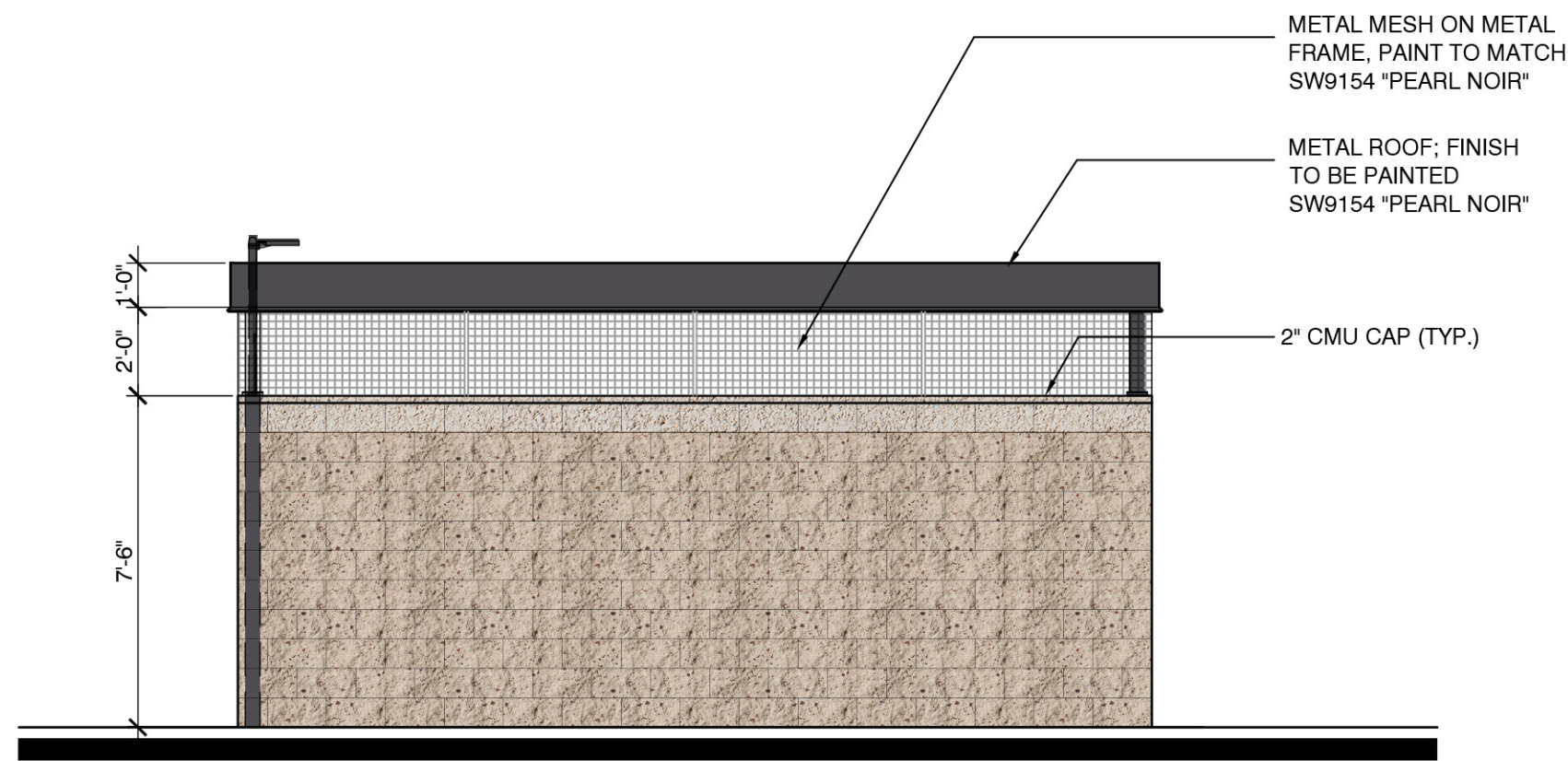
SOUTH ELEVATION



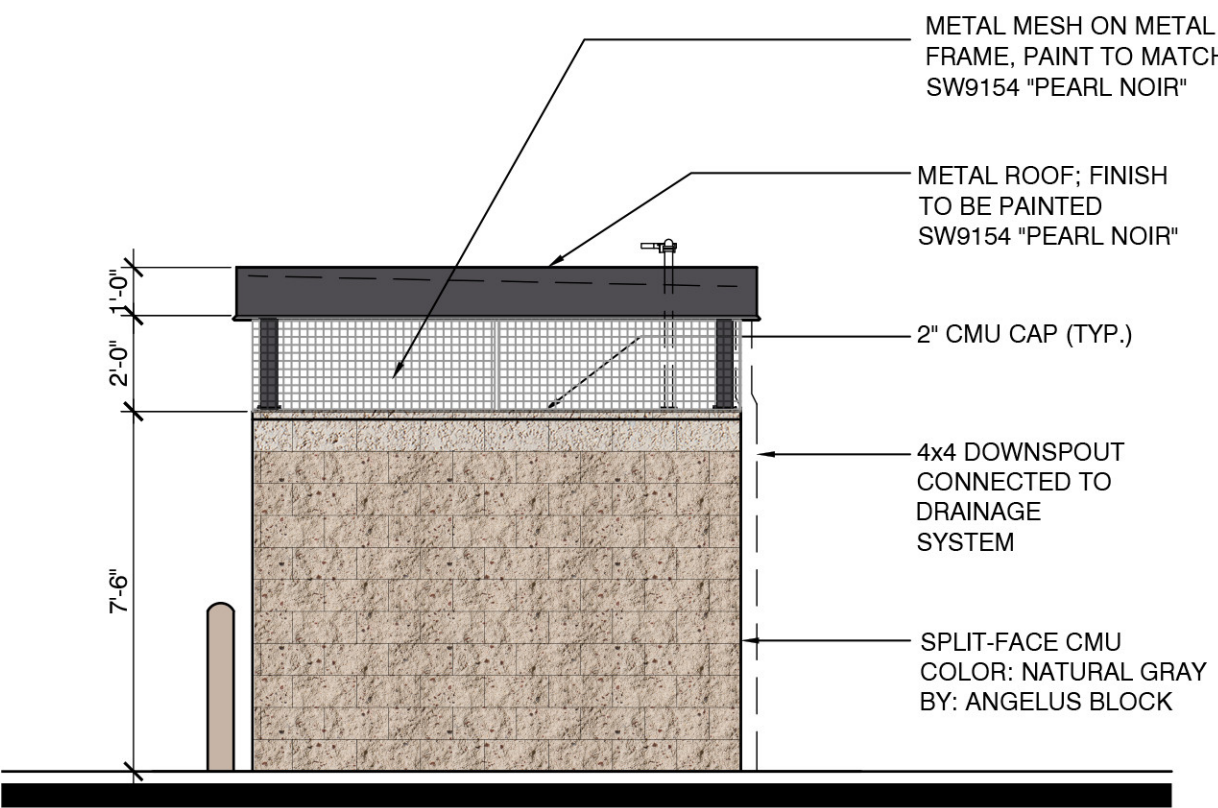
WEST ELEVATION



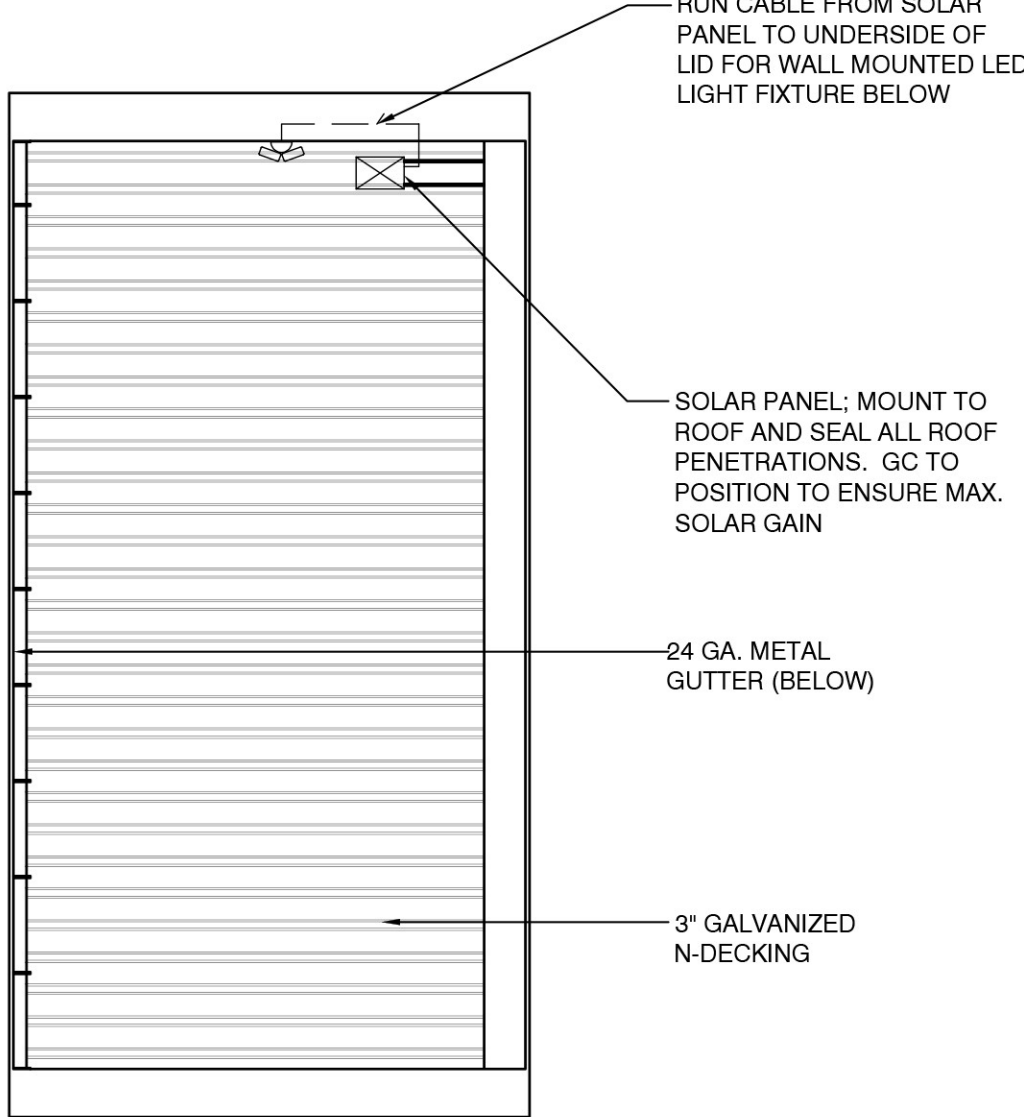
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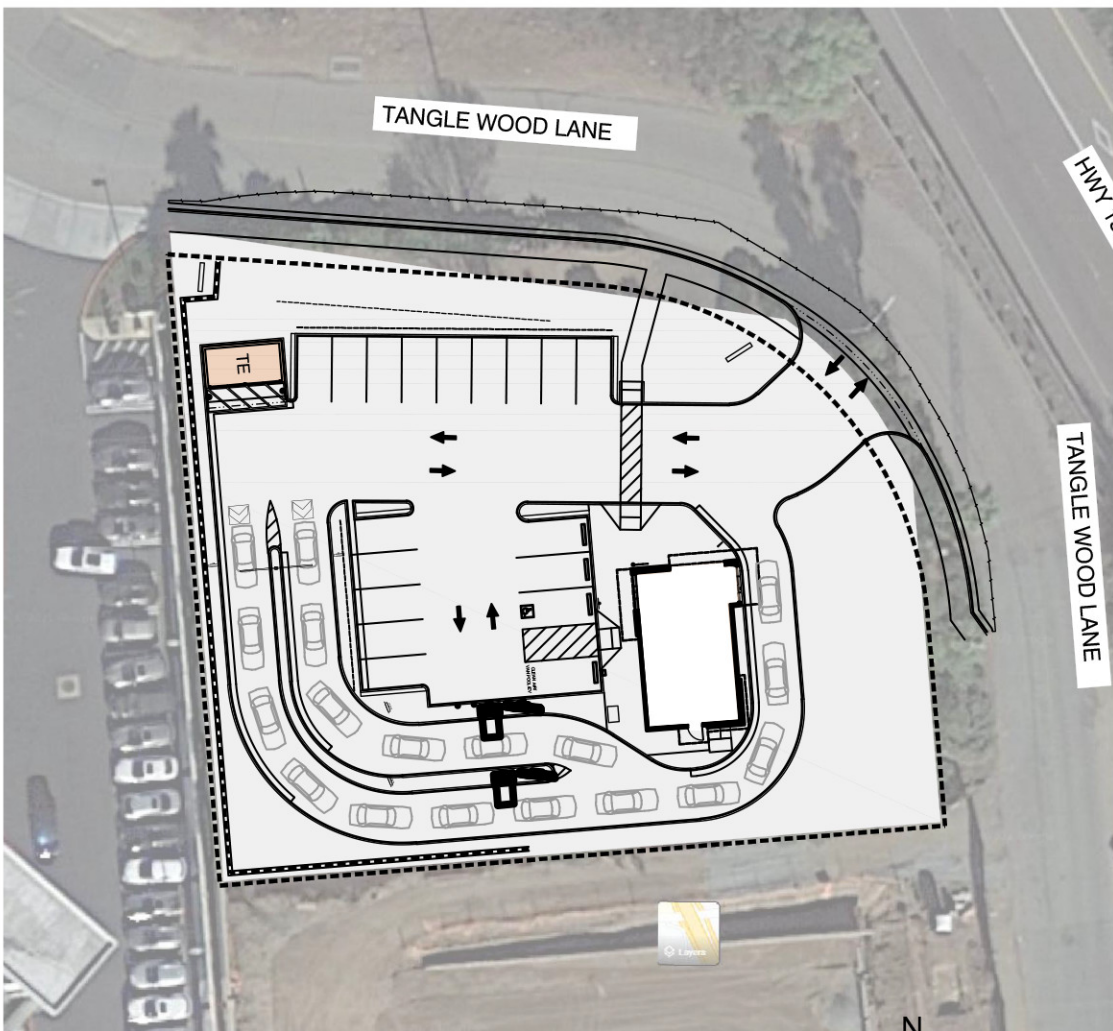
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EAST ELEVATION

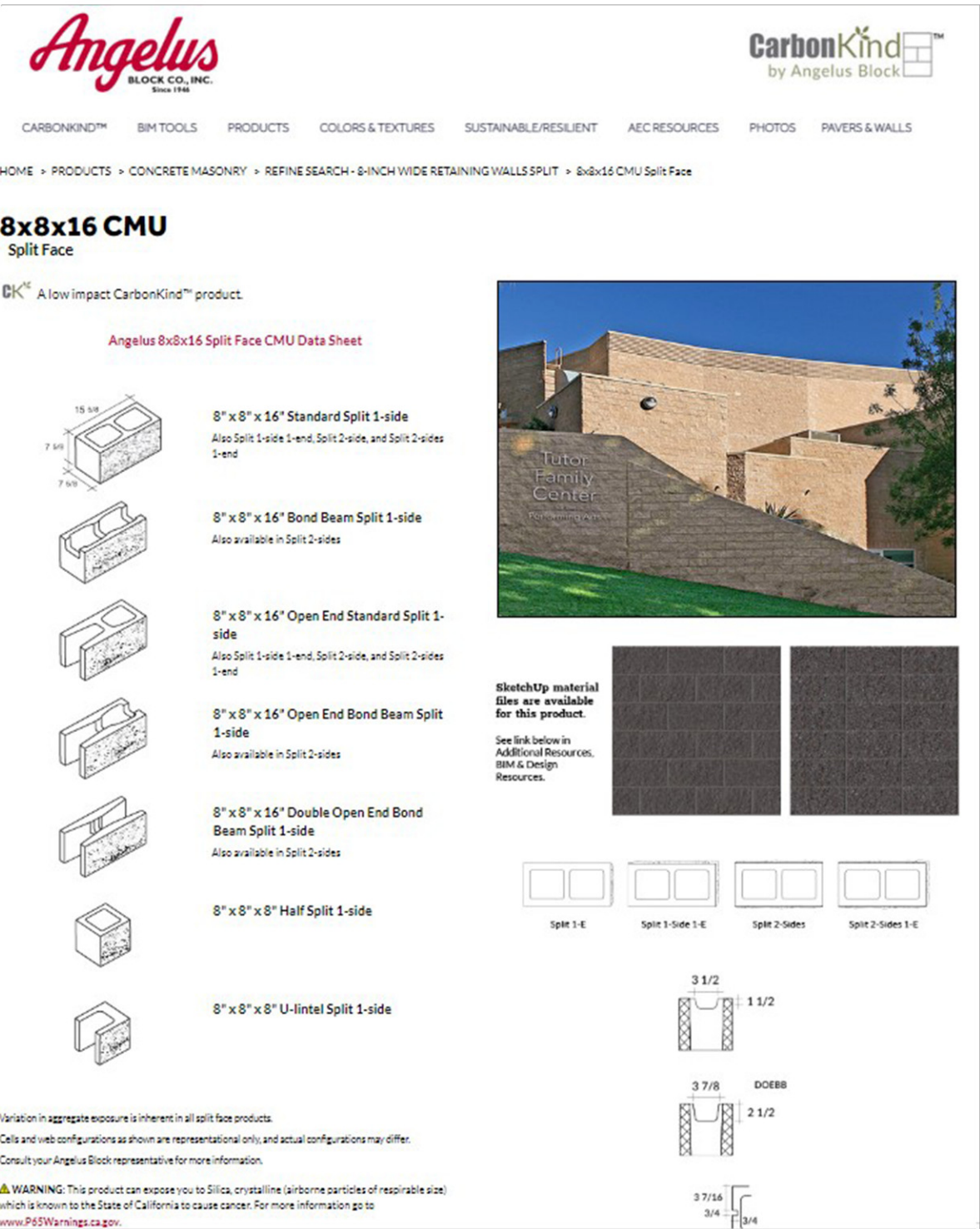


ROOF PLAN



KEY PLAN

CMU BLOCK CUT SHEET



1525 TANGLE WOOD LANE.
ESCONDIDO, CA

DATE: 08.18.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

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EXTERIOR ELEVATION
TRASH ENCLOSURE

Scale : 1/4"=1'-0"
0 2' 4' 8'

SHEET A-4

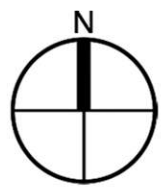
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KEY PLAN
N.T.S.



1525 TANGLE WOOD LANE.
ESCONDIDO, CA

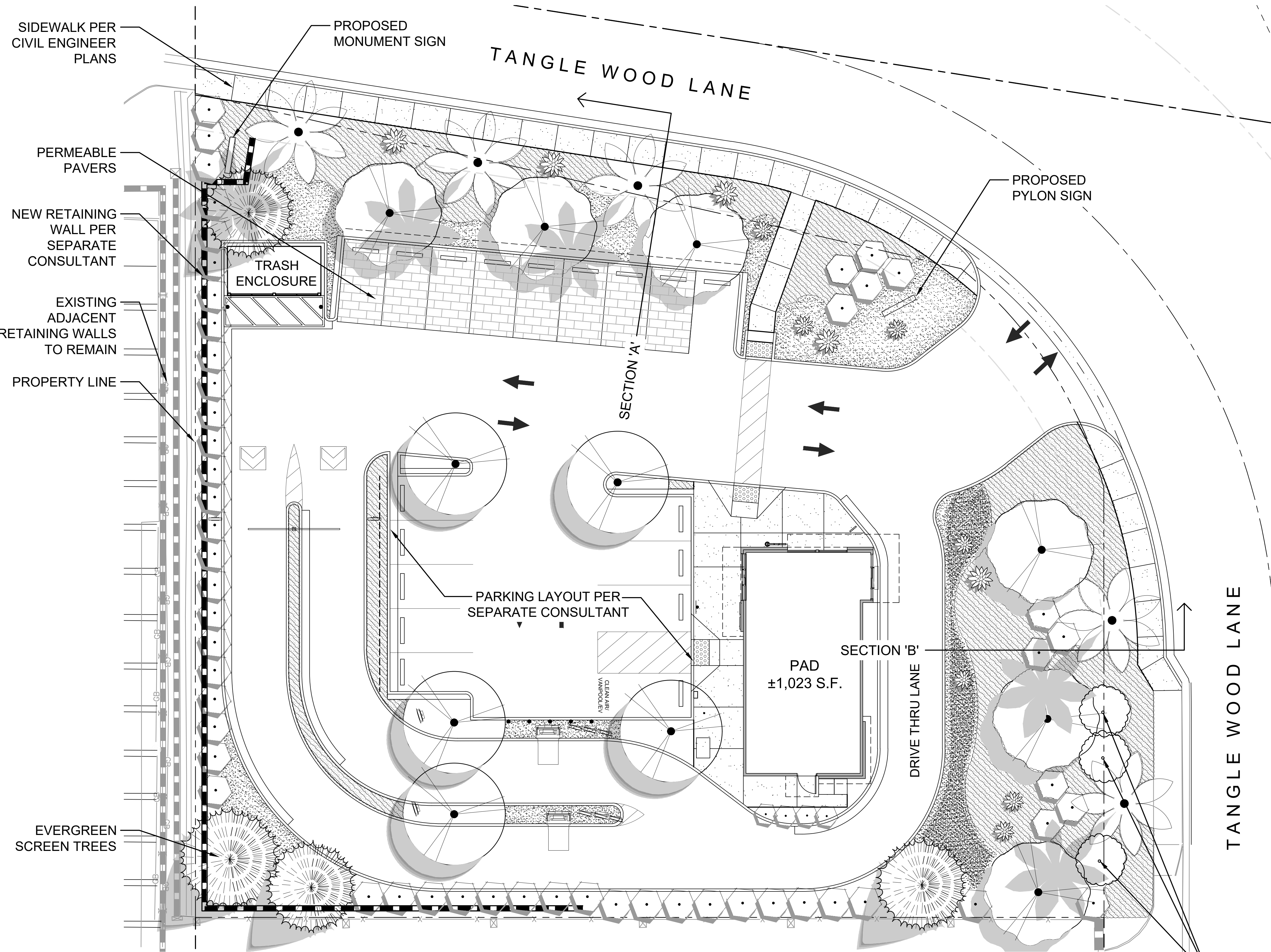
EXISTING SITE PHOTOS

SHEET A-5

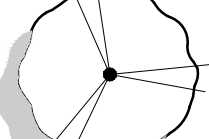
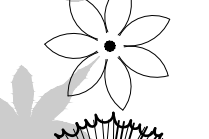
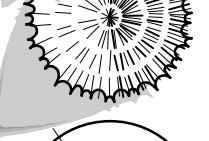
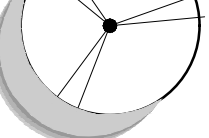
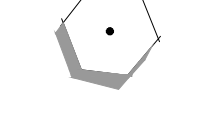

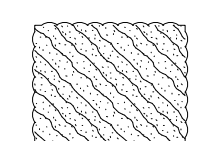
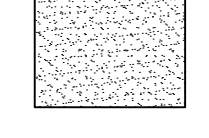
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CONCEPT PLANT SCHEDULE

	FRONTAGE TREES Cercidium x 'Desert Museum' / Desert Museum Palo Verde	6	15 Gal., L
	PALM TREES Washingtonia x filibusta / Hybrid Fan Palm	5	10' BTH, L
	EVERGREEN SCREEN TREE Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia Pinus canariensis / Canary Island Pine	4	24" Box, M 24" Box, M
	PARKING LOT TREES Geijera parviflora / Australian Willow Rhus lancea / African Sumac	5	15 Gal., M 15 Gal, M
	HEDGE SCREEN Heteromeles arbutifolia 'Davis Gold' / Davis Gold Toyon Prunus caroliniana 'Monus' / Bright 'N Tight Carolina Laurel Cherry Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary	56	15 Gal., L 15 Gal., L 15 Gal., L
	ACCENT Agave attenuata 'Huntington Blue' / Huntington Blue Foxtail Agave Agave x 'Blue Glow' / Blue Glow Agave Dasylirion wheeleri / Grey Desert Spoon Furcraea foetida 'Mediopicta' / Mauritius Hemp	11	5 Gal., L 5 Gal., L 5 Gal., L 5 Gal., L
	SHRUBS Baccharis pilularis pilularis / Coast Coyote Brush Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush Echium candicans / Pride Of Madeira Hesperaloe parviflora 'Yellow Sun' / Yellow Sun Yucca Lantana montevidensis 'Spreading White' / White Trailing Lantana Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary	2,359 sf	1 Gal., L 5 Gal., L 5 Gal., L 1 Gal., L 1 Gal., L 5 Gal., L 1 Gal., L 1 Gal., L
	GROUNDCOVERS Carissa macrocarpa 'Green Carpet' / Green Carpet Natal Plum Ceanothus hearstiorum / Hearst Ceanothus Senecio mandraliscae 'Blue Chalk Sticks' / Senecio	1,683 sf	5 Gal., M 5 Gal., L 1 Gal., L

PRELIMINARY WATER USE CALCULATIONS:

M.A.W.A. = 54.2) (0.62) [(0.45 x 9,358)] = 141,510 gal / yr.

E.T.W.U. = (54.2) (0.62) [(0.35 x 9,358)] = 136,583 gal / yr.
0.81

IRRIGATION SYSTEM DESIGN STATEMENT:

A PERMANENT AUTOMATIC SUB-SURFACE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO IRRIGATE ALL PLANTING AREAS. THE IRRIGATION CONTROLLER(S) SHALL BE EQUIPPED FROM THE MANUFACTURER WITH WEATHER/EVAPOTRANSPIRATION (ET) SENSING CAPABILITIES TO AUTOMATICALLY ADJUST WATERING SCHEDULES AND AMOUNTS. THE DESIGN OF THE IRRIGATION SYSTEM SHALL EMPHASIZE WATER CONSERVATION AND PROVIDE EFFICIENT AND UNIFORM DISTRIBUTION OF IRRIGATION WATER. DRIP AND/OR BUBBLER IRRIGATION, OR OTHER LOW-VOLUME, LOW-PRESSURE MICRO-IRRIGATION- SYSTEM PER CITY OF CHINO HILLS DEVELOPMENT CODE 16 AND ORD. 316 AND SHALL BE INSTALLED IN PLANTER AREAS TO PROVIDE WATER DIRECTLY TO THE ROOT ZONE OF PLANTS.

NOTES:

TREES WITHIN 5 FEET OF HARDSCAPE SHALL BE INSTALLED WITH APPROVED ROOT CONTROL BARRIER (16 FEET LENGTH TOTAL MIN. EACH TREE)

ALL GROUND-MOUNTED ELECTRICAL/MECHANICAL EQUIPMENT SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING

(3) EXISTING TREES OUSTIDE OF R.O.W. TO REMAIN. PROTECT IN PLACE

1525 TANGLE WOOD LANE.
ESCONDIDO, CA

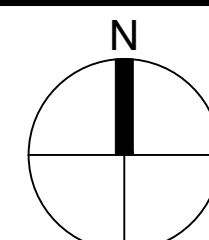
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PRELIMINARY SITE PLAN

Scale : 1" = 10'



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Riverside, CA 92503
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HEDGE SCREEN SHRUBS:



Westringia fruticosa
'Wynabbie Gem' Coast Rosema



Prunus caroliniana 'Monus'
Bright 'N Tight Carolina
Laurel Cherry



Heteromeles arbutifolia
'Davis Gold'
Davis Gold Toyon

TREES / PALMS:



Washingtonia x filibusta
Hybrid Fan Palm



Cercidium x 'Desert Museum'
Desert Museum Palo Verde

ACCENT SHRUBS:



Furcraea foetida 'Mediopicta' / Mauritius Hemp



Dasylirion wheeleri / Grey Desert Spoon



Agave x 'Blue Glow' / Blue Glow Agave

SHRUBS:



Rosmarinus officinalis
'Huntington Carpet'
Huntington Carpet Rosemary



Lantana montevidensis
'Spreading White'
White Trailing Lantana



Hesperaloe parviflora
Yellow Sun Yucca



Echium candicans
Pride Of Madeira



Callistemon viminalis
'Little John'
Weeping Bottlebrush



Baccharis pilularis pilularis
Coast Coyote Brush

GROUNDCOVERS:



Senecio mandraliscae 'Blue
Chalk Sticks' / Senecio



Ceanothus hearstiorum
Hearst Ceanothus



Carissa macrocarpa 'Green Carpet'
Green Carpet Natal Plum

PALM TREES AT FRONTAGE

SIDEWALK PER CIVIL
ENGINEERING PLANS

TANGLE WOOD LANE

PARKING STALL

VISUAL PLANTED SCREEN OF
THREE (3) TO FOUR (4) FEET
HIGH WITHIN TWO (2) YEARS
OF PLANTING

SECTION 'A'

Scale : 1/4" = 1' - 0"



FRONTAGE TREE
SEE PRELIMINARY LANDSCAPE PLAN
FOR TYPE AND QUANTITY

PALM TREES AT FRONTAGE

VISUAL PLANTED SCREEN OF
THREE (3) TO FOUR (4) FEET
HIGH WITHIN TWO (2) YEARS
OF PLANTING

BUILDING WALL

DRIVE-THRU LANE

TANGLE WOOD LANE

SECTION 'B'

SIDEWALK PER
CIVIL
ENGINEERING
PLANS

Scale : 1/4" = 1' - 0"



1525 TANGLE WOOD LANE.
ESCONDIDO, CA

DATE: 09.23.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

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PRELIMINARY ELEVATIONS

Scale : 1/4" = 1' - 0"



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TANGLEWOOD STARBUCKS

COMPREHENSIVE SIGN PROGRAM

1525 Tanglewood Ln.
Escondido CA



CITY SUBMITTAL
DATE: 10.24.2022



ARCHITECTURAL DESIGN & SIGNS
1160 RAILROAD STREET, CORONA CA 92882
5470 WYNN ROAD #600, LAS VEGAS NV 89118
WWW.AD-S.COM



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SIGN DESIGNER
AD/S | Architectural Design & Signs, Inc.
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Corona, CA 92882
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Contact Name: Robin Bell
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OBJECTIVE

The objective of the following sign criteria is to provide standards and specifications that assure consistent quality, size, variety and placement for the Tenant signs throughout this project. This criteria is also intended to stimulate creative invention and achieve the highest standard of excellence in environmental graphic communication. Such excellence is best achieved through open and frequent dialogue between Tenant, Landlord, and the project’s graphic design consultant. Signage at Tanglewood Starbucks is an integral part of the center’s image and appeal, so signs must be thoughtfully designed, placed and proportioned to the individual architectural facade on which they are placed. Care in the design and installation of store signs will enhance customer appreciation.

OVERVIEW

The overview of this criteria is to assist the Landlord/Tenant and City relationship.
The Landlord will be responsible to:

- Provide base building design and construction information requested by Tenant’s sign design consultant.
- Review, comment and approve Tenant sign submission.

In return, the Tenant will be responsible for:

- Design, fabrication, permitting and installation of signs, including any structural support and electrical service and any special installation requiring addition or modification to the shell building approved by the Landlord.



TENANT WALL SIGNS

- Sign area allowed for Tenant shall be calculated as follows: One and one-half (1.5) square feet of sign area per each linear foot of Tenant’s leased storefront. Tenant is allowed one (1) primary sign on each elevation. Maximum sign area per elevation shall not exceed one hundred (100) square feet.
- The maximum width of the Tenant’s storefront sign may not exceed 75% of the leased storefront.
- One (1) or two (2) lines of copy permitted and may consist of upper and/or lower case letters.
- In no case may a sign extend beyond the roof parapet or adjacent building eave line.
- Signs are not allowed on or against any roof structures.
- All signs shall be measured for area by drawing a shape (rectangular or other) around each element of the individual sign. For example, measure the area of letters and area of icon and/or logo separately. Ascender and descenders will not be calculated in the overall sign area except capital letters.
- Note: It is specifically noted that the size of all Tenant storefront signs is not regulated by any height limit / maximum. It is governed as stated above, being square feet of allowable area and stretch-out (width) limitations.

CALCULATING SQUARE FOOT:



WALL SIGN STYLES

There are many acceptable sign treatments, however a Mixed Media *three-dimensional approach combining several different fabrication and lighting techniques is preferred. Tenant is strongly encouraged to consider the specific architectural style of their facade, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront.

Note that specific locations and surrounding architectural treatments can limit the maximum sign height and length, which may differ from the general guidelines proposed above. The Landlord reserves the right to approve or reject any proposed sign on the basis of the size and placement.

* Mixed Media signs are signs employing two or more illumination and fabrication methods.

For example: Halo lit reverse channel letters with exposed neon accents.

Also, although simple rectangular cabinet signs are not allowed, mixed media signs may be composed of elements, one of which may be a panel or cabinet. However, the panel / cabinet sign should not exceed 50% of the total sign area. With the Landlord approval, complex shaped (i.e Polyhedron) sign cabinets which is part of a national logo, may be used alone if they incorporate dimensional elements such as push-through letters.

- Acceptable sign styles for wall mounted signs:
1. Standard front-illuminated channel letters
 2. Halo-illuminated channel letters, 3” deep, minimum
 3. Mixed media / dimensional signs using images, icons, logos, etc.



*SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

TYPE/FONT STYLES & LOGOS

The use of logos and distinctive type styles is encouraged for all Tenant signs. Sign lettering may be combined with other graphics and / or dimensional elements denoting the type of business. The Tenant may adapt established styles, logos and / or images that are in use on similar buildings operated by the Tenant in California, provided that these images are architecturally compatible and approved by the Landlord. The typeface may be arranged in one (1) or two (2) lines of copy and may consist of upper and/or lower case letters. The Tenant should identify trademark protected type and marks in their sign submission to assist the Landlord in the review process.

COLORS

The following guidelines are for selecting colors of Tenant’s signage:

- Signs may incorporate regionally and nationally recognized logo colors
- Sign colors should be selected to provide sufficient contrast against building background colors
- Sign colors should be compatible with and complement building background colors
- Sign colors should provide variety, sophistication and excitement.

LIGHTING

Tenant signs should be creatively illuminated using a variety of lighting techniques. One or more of the following are allowed:

- Light Emitting Diodes (LED’s)
- Cove Lighting (Indirect Illumination)
- Incandescent light bulb

If it is determined by Landlord at any time that the primary lighting of Tenant’s wall sign is too intense, the Landlord may require at Tenant’s expense to install a dimmer switch.

Externally illuminated signs must be lighted by hidden light sources.

WINDOW SIGNS

The Tenant is allowed a limited amount of window signage on their storefront windows.

1. Tenant is allowed signage in the window of their primary storefront. Note: Exposed neon is not permitted in windows.
2. No more than 25% of a window shall be used for the display of window signs.
3. Acceptable window signs include vinyl graphics and internally-illuminated signs. All illuminated window signs shall be placed at least 3’-0” behind the window surface.
4. Alcohol & tobacco advertisements will not be permitted, unless specifically approved by Landlord.
5. All window signs to be installed second-surface.
6. Window sign area shall not be counted toward the Tenant’s allowable wall sign area.

NOTE: All of the above requires approval from the Landlord and the content will be at the sole discretion of the Landlord. It is preferred that County Health Cards are displayed on an interior wall rather than a window, unless required by Health Code.



*SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

BUILDING ADDRESS NUMBERS

12” tall (minimum) address numbers per building. Address numbers shall be fabricated out of 1/2” deep painted acrylic and pin mounted into fascia. Color to be contrasting to the fascia it is installed on.
(Note: stroke of number may not be less that 1/2” in accordance to CBC section 501.2)

SPECIFICATIONS:
- 1/2" THICK PAINTED ACRYLIC NUMBERS.
(Note; stroke of letter to be no less than 1/2" - CBC section 501.2)
- PAINT COLOR TO MATCH PROJECT (CONTRASTING TO BUILDING FASCIA COLOR).
- NUMBERS TO BE STUD MOUNTED TO BUILDING FASCIA.

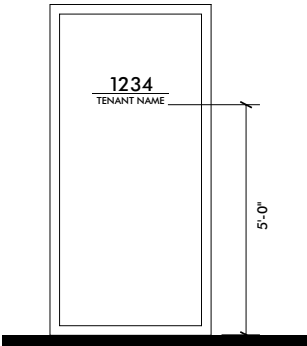


REAR ENTRANCE SIGNS

- 4” High vinyl address numbers
- 2” High vinyl tenant name
- 2 Sq ft maximum sign area

Vinyl to be applied to door and to be contrasting to door color.

SPECIFICATIONS:
- 4" AND 2" HIGH VINYL NUMBERS/LETTERS ON REAR ENTRY DOOR.
- COLOR TO BE IN CONTRASTING COLOR TO DOOR.
- 2 SQ. FT. MAXIMUM SIGN AREA.



TYPICAL REAR ENTRY ELEVATION
SCALE: 3/8"= 1'-0"

DRIVE-THRU SIGNAGE

Tenants featuring a drive-thru service, as approved by the City and the Landlord, shall be allowed signs necessary for the safe use and operation of the drive-thru. These signs shall be designed to easily and safely identify, navigate, and use the drive-thru, while maintaining a clean design which is in keeping with the Tenant’s brand.

Two (2) preview menu board and two (2) menu boards are allowed, per the tenant’s established standard menu board dimensions, but shall not exceed 6’-0” in height and 40 square feet of area.

Two (2) digital order screen systems are allowed, per the tenant’s established standard sign dimensions, but shall not exceed 50 square feet of area.

Two (2) clearance canopy systems are allowed, per the tenant’s established standard dimensions. The canopy system may not project more than 4’-0” from the curb.

A maximum of three (3) directional and wayfinding signs identifying the drive-thru and exit located within the center are permitted. Directional / wayfinding signs may be double-faced and internally illuminated, at a maximum of 4’-0” in height and 8 square feet of sign area.

Audio for menu boards and interactive display boards shall be able to be remotely programmed and kept to a reasonable volume as approved by the Landlord, and in compliance with the City’s Noise Ordinance.

Drive-thru signs’ square footage calculations and totals shall not be counted toward the Tenants’s allowable wall sign area.



*SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

FREEWAY ORIENTED PYLON SIGNS

One (1) freeway oriented pylon / pole sign is permitted for the tenant per the following guidelines:

- Maximum sign area per side not to exceed 80 square feet. Sign height not to exceed 65'-0".
- Tenant is permitted their established type font, logo, and colors.
- Sign shall be internally LED illuminated.



SCALE: 1/4" = 1'-0"

MONUMENT SIGNS

- One (1) single-tenant monument sign is permitted per the following guidelines:
- Maximum sign area per side not to exceed 30 square feet. Sign height not to exceed 6'-0".
 - Tenant is permitted their established type font, logo, and colors.
 - Sign shall be internally LED illuminated.



SCALE: 3/8" = 1'-0"

THE FOLLOWING SIGNS AND ELEMENTS ARE PROHIBITED

1. A sign that consists of only an unadorned rectangular cabinet signs with translucent or opaque faces.
2. Gold leaf treatments on windows, box signs and exposed neon window displays without Landlord’s written approval. Note: Approval is at Landlord’s discretion.
3. Off the shelf signs are discouraged.
4. Banner signs.
5. Exposed junction boxes, wires, plug in wires on window signs, transformers, lamps, tubing, conduits, raceways or neon crossovers of any type.
6. Signs using trim-cap retainers that do not match the color of the letter and logo returns (polished gold, silver or bronze trim caps are NOT permitted).
7. Pre-manufactured signs, such as franchise signs that have not been modified to meet these criteria.
8. Paper, cardboard, or Styrofoam signs, stickers, or decals hung around or behind storefronts. (Except those required by governmental agencies)
9. Exposed fasteners, unless decorative fasteners are essential to the sign design concept.
10. Simulated materials such as wood grained plastic laminates or wall coverings.
11. Flashing, oscillating, animated lights or other moving sign components.
12. Roof signs and signs on mansard roofs or equipment screens.
13. Advertising or promotional signs on parked vehicles.
14. Sign company decals in full view (limit to one placement only).
15. Wind-activated, inflatable, and balloon signs.
16. Outdoor advertising structures (billboards).
17. Abandoned and/or dilapidated signs and sign structures.
18. Obscene or offensive signs, determined at Landlord discretion.
19. Signs erected in a manner that a portion of its surface or supports will interfere in any way with the free use of a fire escape, exit, or standpipe or obstruct a required ventilator, door, stairway, or window.
20. Signs emitting audible sounds, odors, or visible matter.
21. Signs on public property or projecting within the public right-of-way, except with an encroachment permit issued by the City of Escondido.
22. Signs that constitute a hazard to the safe and free flow of traffic by obstructing or restricting the vision of drivers of motor vehicles, pedestrians, and equestrians.
23. Noncompliant signs are to be removed immediately upon request.

APPROVAL PROCESS

At least thirty (30) days prior to the Landlord’s scheduled delivery of the premises, Tenant shall provide the following information to the Landlord for review. Note: This information is separate from sign approval submission and store design and drawing submissions, and will be used to begin the sign design process.

- Store Name;
- Store Logo (in color with colors identified);
- Store exterior materials, colors and finishes.

Allowing reasonable time for Landlord’s review and Tenant’s revision of submission in advance of sign fabrication, Tenant shall submit for Landlord’s approval, complete and fully dimensioned shop drawings of the Tenant’s sign to the Landlord’s designated representative.

Shop drawings shall include at least the following:

- Tenant’s entire building facade elevation, showing the proposed sign, in color drawing to scale.
- A site plan with the marked locations of the proposed sign(s).
- Storefront (partial building) elevation showing the location, size, color, construction and installation details of the Tenant’s proposed sign. Typical “section-thought” letter and/or sign panel showing the dimensioned projection of the letter or panel face and the illumination method.
- Color and material samples together with a photograph (if possible) of a similar installation.

Within thirty (30) days of receipt of the sign submission, the Landlord will approve, as noted, or disapprove with comments the Tenant’s sign design. Tenant must respond to the Landlord’s comments and re-submit within fourteen calendar days, and repeat this process until all sign design, fabrication and installation issues are resolved to the Landlord’s satisfaction.

Upon receipt of final sign approval, Tenant may submit the proposed sign to the governing agency for review for consistency with the Sign Program and the required fabrication and installation permits. Tenants are required to provide one (1) set of the Landlord approved drawings to the City of Escondido, California as applicable: when submitting for building and electrical permits.

All signs are subject to City of Escondido’s approval.

FABRICATION

The Tenant must ensure that his sign fabricator and installer understand their responsibilities before they begin the sign fabrication. The Tenant’s sign contractor is responsible for the following:

- 1. Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials.
- 2. Dissimilar metals used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally stainless steel fasteners shall be used to attach dissimilar metals.
- 3. Threaded rods or anchor bolts shall be used to mount sign letters which are held off the background panel. Angle clips attached to letter sides will NOT be permitted.
- 4. Colors, materials, finishes shall exactly match those submitted to and approved by the Landlord.
- 5. Visible welds and seams shall be ground smooth and filled with auto body compound before painting.
- 6. No fasteners, rivets, screws or other attachment devise shall be visible from any public vantage point.
- 7. Finished metal surfaces shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have a uniform surface conforming to the highest industry standards.

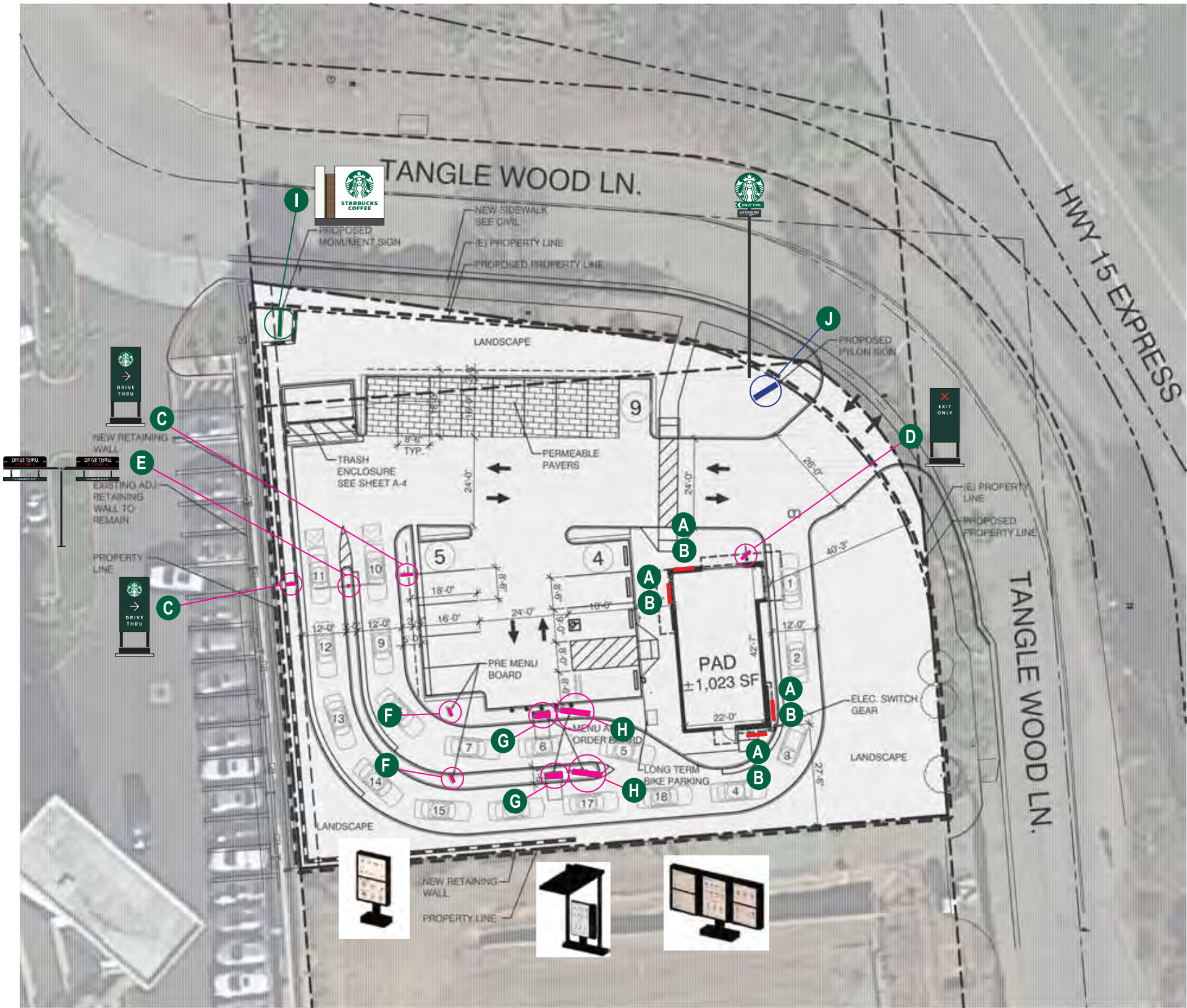
INSTALLATION

The Tenant’s sign installer will provide the following:

- 1. Provide the Landlord with an original certificate of insurance naming the Landlord as an additional insured for liability coverage in an amount required by Landlord.
- 2. Obtain all required sign permits from the City of Escondido, California as applicable and deliver copies to the Landlord before installing the sign(s).
- 3. Keep a Landlord approved set of sign drawings on site when installing the sign(s).
- 4. Warrant the sign(s) against latent defects in materials and workmanship for a minimum of one (1) year.

MAINTENANCE OF THE SIGN

The Tenant shall employ professional sign fabricators and installers approved by the Landlord who are well qualified in the techniques and procedures required to implement the sign design concept. The Tenant will abide by all provisions, guidelines and criteria contained within this “Tanglewood Starbucks” Comprehensive Sign Program. Only those sign types provided for and specifically approved by the Landlord in Tenant’s sign submission documents will be allowed. The Landlord may, at his discretion and at the Tenant’s expense and after proper notice to Tenant, replace or remove any sign that is installed without Landlord’s written consent, or that is not executed in conformance with the approved submission. Tenant shall furnish the Landlord with a copy of all sign fabrication and installation permits prior to installation. It will be the responsibility of the Tenant to remove its storefront sign and to satisfactorily repair and patch holes of their storefront sign area should they vacate the premises.



KEY LEGEND

A

60" SIREN LOGO DISC

B

7" DT CHANNEL LETTERS

C

DF D/T DIRECTIONAL

D

DF D/T THANK/EXIT DIRECTIONAL

E

CLEARANCE BAR

F

PRE MENU

G

DIGITAL ORDER SCREEN w/ CANOPY

H

DT 5 PANEL MENU SIGN

I

EXISTING MONUMENT SIGN

J

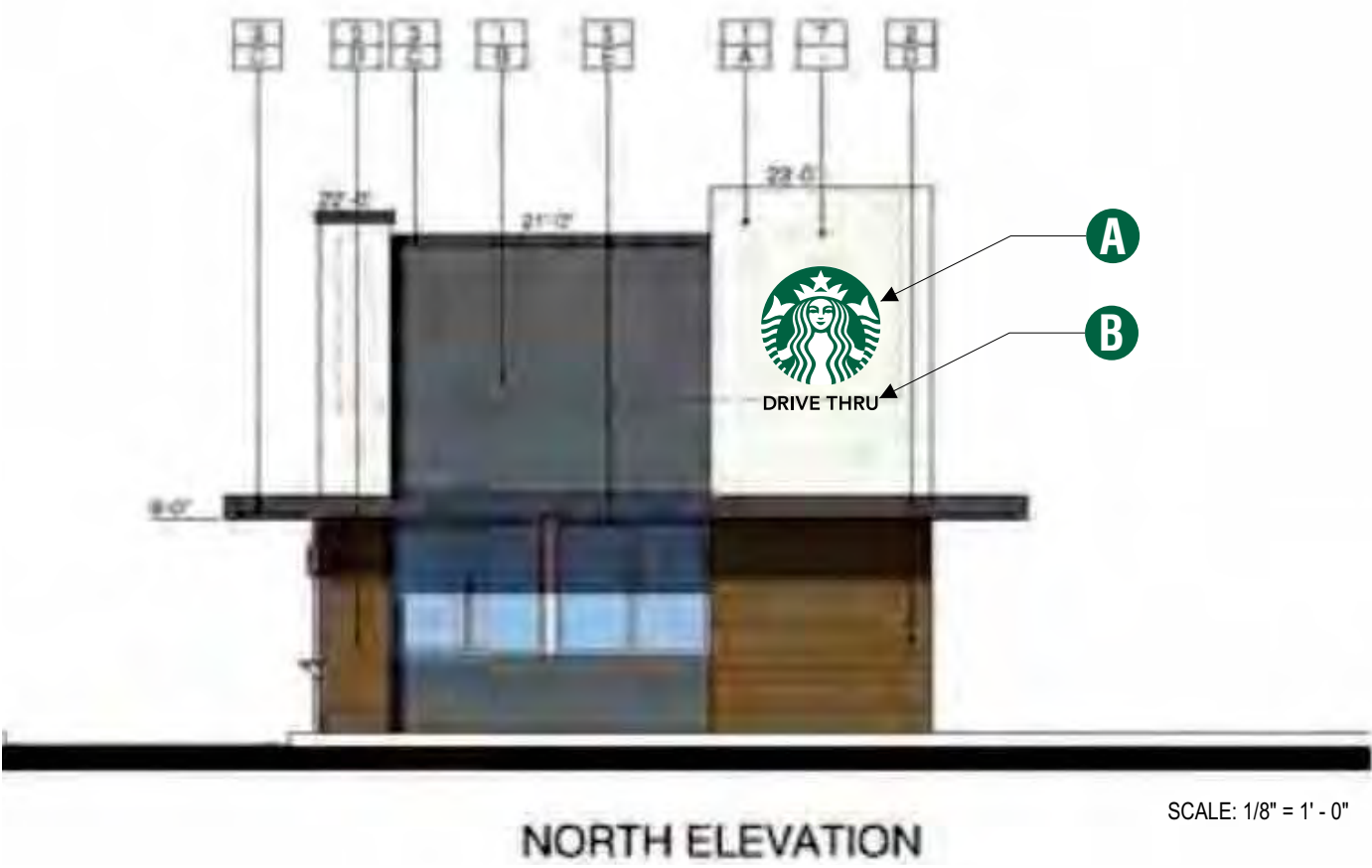
PYLON SIGN

SCALE: 1" = 40'-0"



KEY LEGEND

- A** 60" SIREN LOGO
- B** 7" DT CHANNEL LETTERS



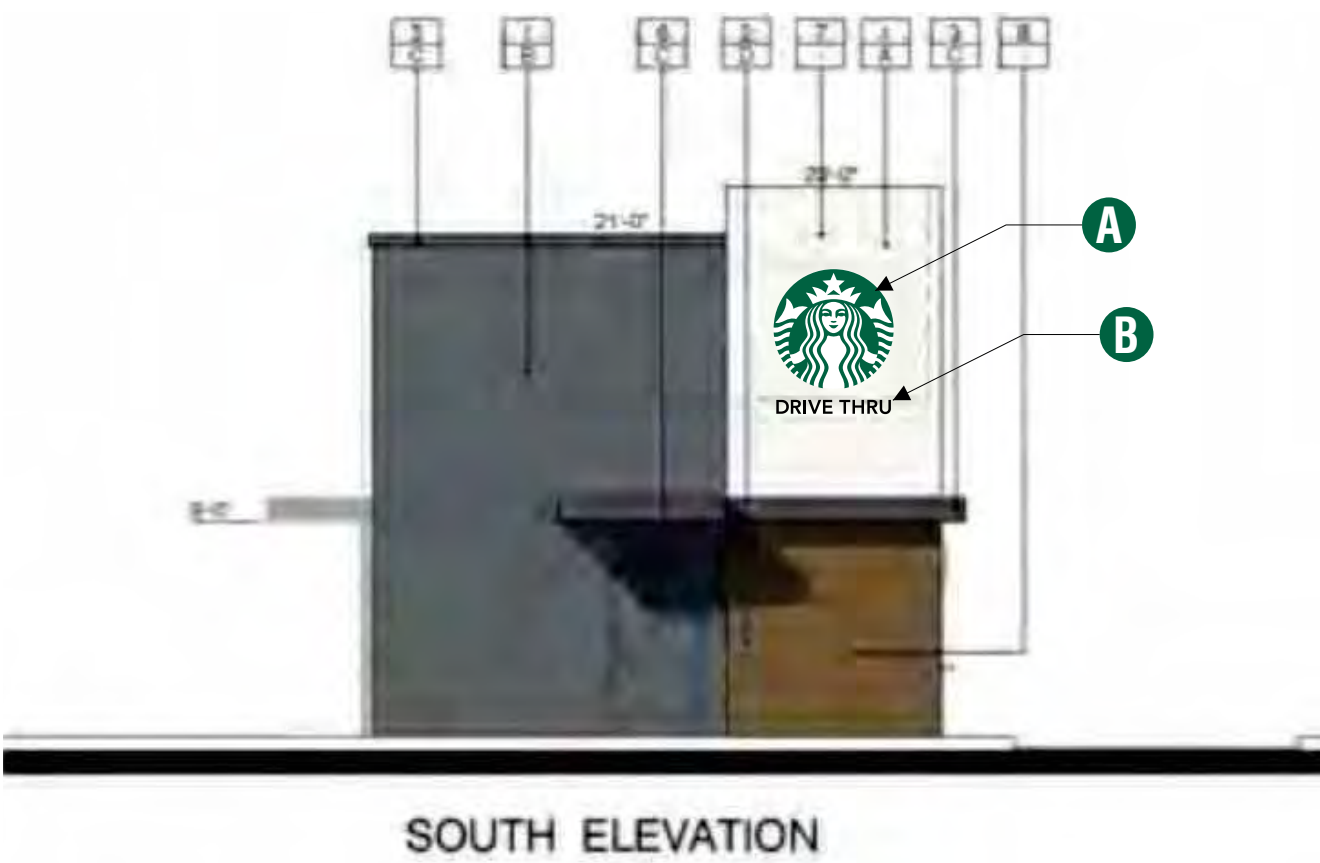
KEY LEGEND

A

60" SIREN LOGO

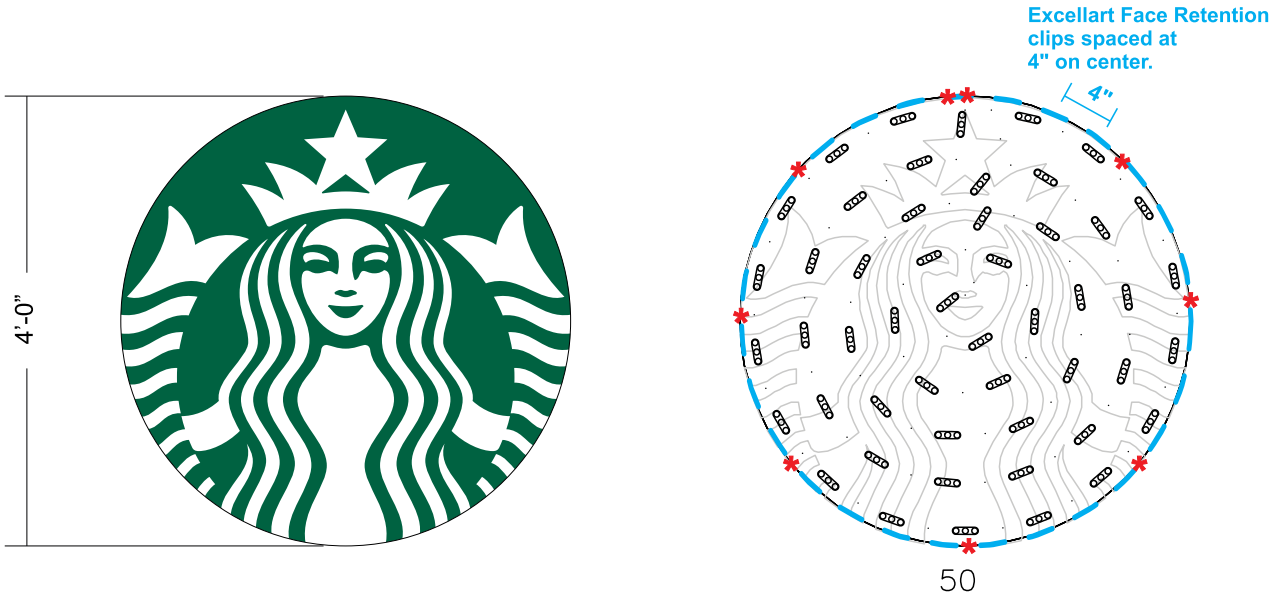
B

7" DT CHANNEL LETTERS



A 48" S/F EXTERIOR ILLUMINATED FLEX FACE SIREN WALL SIGN- TRIMLESS
QTY - 3

DESIGN ID # 13163



- 1) ACTUAL CHANNEL LETTER POPULATION AND PRODUCT PLACEMENT MAY VARY FROM THIS LAYOUT
 - 2) PRISM ENLIGHTEN WHITE 6500K LAID OUT AT 1.5 MODULES PER FOOT, 5.0" ON CENTER
 - 3) EACH 60W3 POWER SUPPLY CAN RUN UP TO 72 PRISM ENLIGHTEN WHITE 6500K MODULES
 - 4) LAYOUT BASED ON A 2.125" CAN DEPTH
 - 5) DIMENSIONS ARE IN INCHES UNLESS STATED OTHERWISE
 - 6) 701269-6WEJ1-MB WATTS PER MODULE: .75
 - 7) PRIMARY SYSTEM POWER: 46.88 WATTS
 - 8) LED MODULE POWER USAGE (secondary): 57.90 WATTS
- ESTIMATED PRODUCT B.O.M. PER SIGN:
50 Each Prism Enlighten White 6500K Modules - 34'
PN: 701269-6WEJ1-MB
1 Each 60C2 (Damp/Dry locations) or 60W3 (Wet location) 60W Power Supply 12VDC
1 Each 100' Roll of Jacketed Cable

1 FRONT VIEW

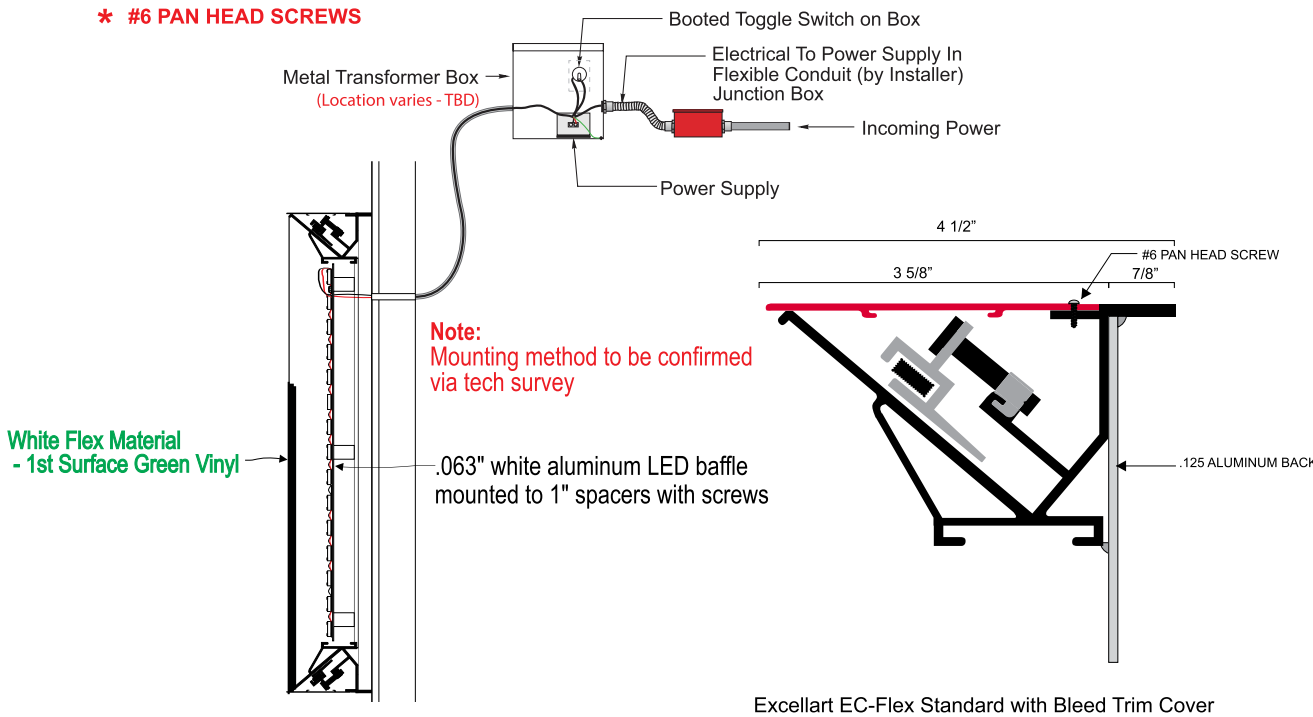
Scale: 3/4" = 1' (11x17 Paper)

Specifications:

- A** Single face internally illuminated Excellart EC-Flex Standard flex face cabinet with bleed trim cover.
- B** White Flex faces with 3M 3630-126 Dark Emerald Green vinyl. Face retention clips spaced every 4".
- C** Interior of cabinet painted reflective white and exterior painted satin black.
- D** Internally illuminated with 6500K Sloan Prism Enlighten LEDs with remote power supply.
- E** 1/4" drain holes located at the bottom of cabinet as required by UL 48 for Electric Signs.
- F** Drain holes to be covered with drain hole covers to reduce light leaks.

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-126
	SATIN BLACK	NA
	PMS WHITE	NA

* #6 PAN HEAD SCREWS



Siren Detail

Excellart EC-Flex Standard with Bleed Trim Cover



Project:

Location:

Client Approval:

Date of Approval:

Sales Rep:
Paul L.

Date: Drawn by:
L.S.

1		
2		
3		
4		
5		
6		

Electrical Requirement:
☐ 120 Volts ☐ 277 Volts

Sign Industries
INCORPORATED

2101 Carrillo Privado, Ontario, CA 91761
(909) 930-0303 Fax: (909) 930-0308
E-mail: design@signindustries.tv
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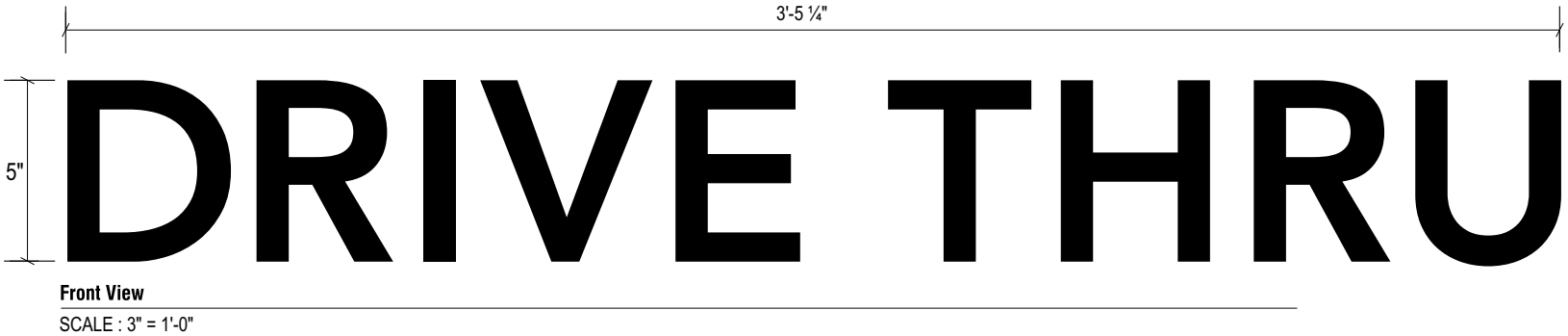
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Drawing No
22-256

Page: **1.0**

B TRIMLESS DAY/NITE CHANNEL LETTERS - REMOTE

QTY - 3



- Specifications:
- A

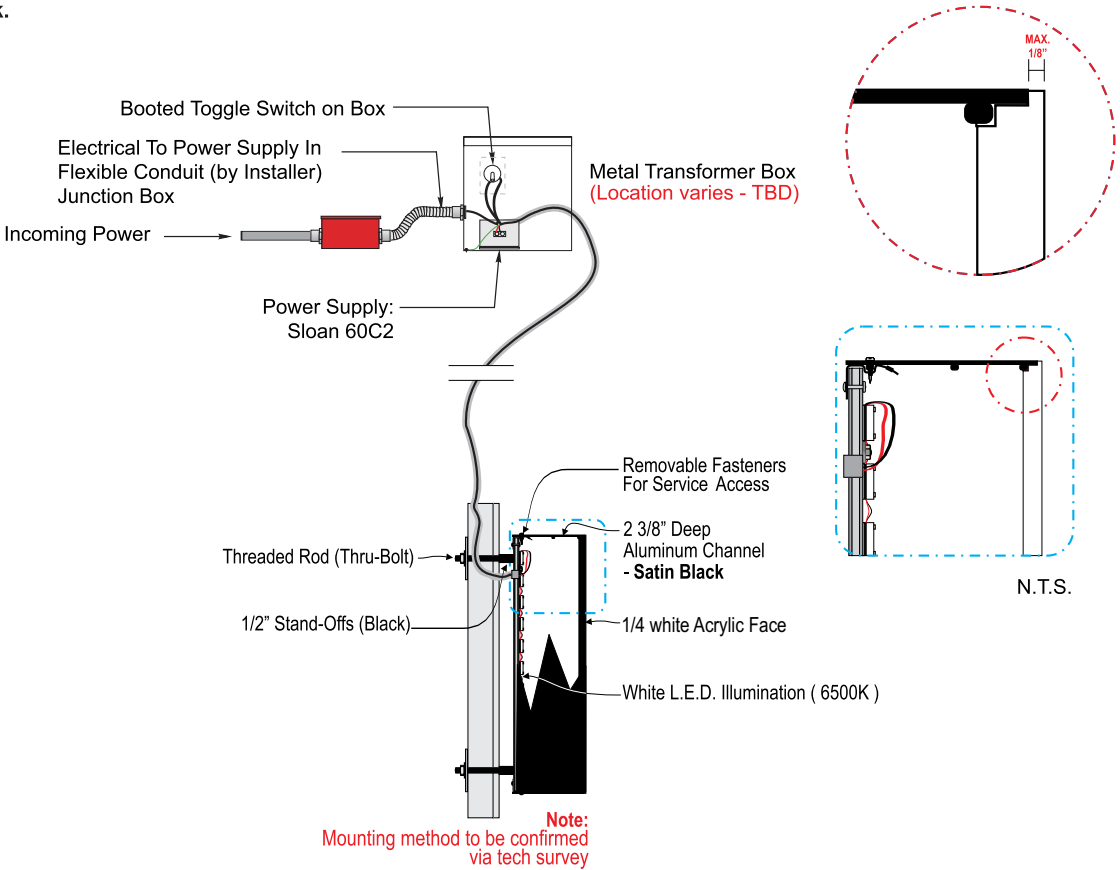
Internally illuminated SDS LetterForm trimless channel letter with returns painted **satín black**.
- B

Faces letters 1/4" white acrylic with 3M day/nite perforated vinyl overlay, with white 3M diffuser second surface.
- C

Internally illuminated letters with 6500K Sloan white LED
- D

1/4" drain holes located at the bottom of each letter as required by UL 48 for Electric Signs.
- E

Drain holes to be covered with drain hole covers to reduce light leaks.



Project:

Location:

Client Approval:

Date of Approval:

Sales Rep:
Paul L.

Date: Drawn by:
L.S.

1		
2		
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6		

Electrical Requirement:
☐ 120 Volts ☐ 277 Volts

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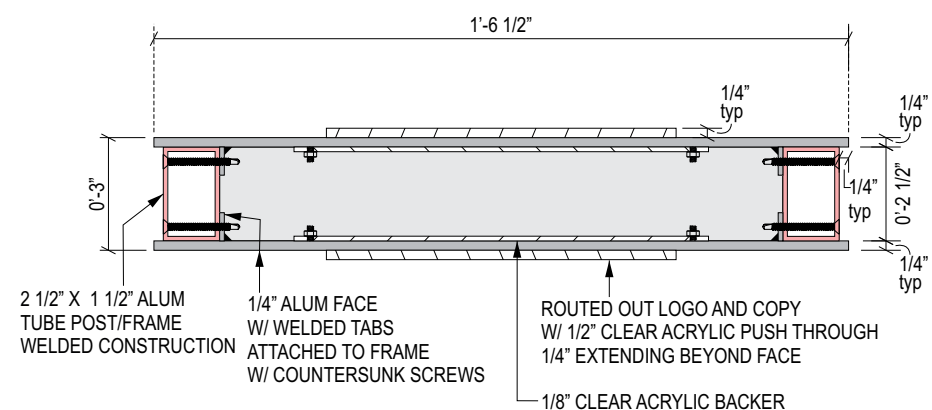
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Drawing No
22-256

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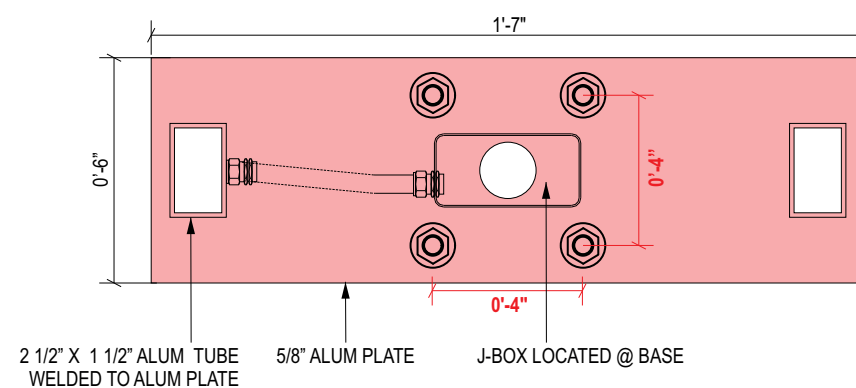
Page: 2.0





1 CABINET SECTION DRAWING

Scale: 3" = 1'



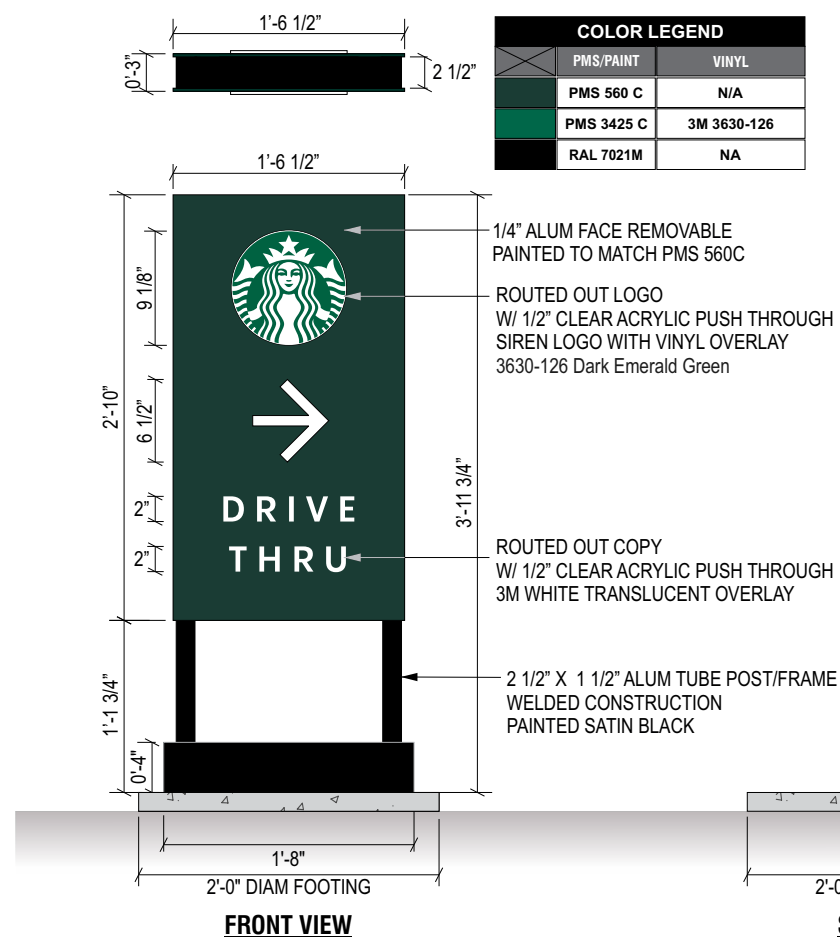
2 PLATE DETAIL

Scale: 3" = 1'



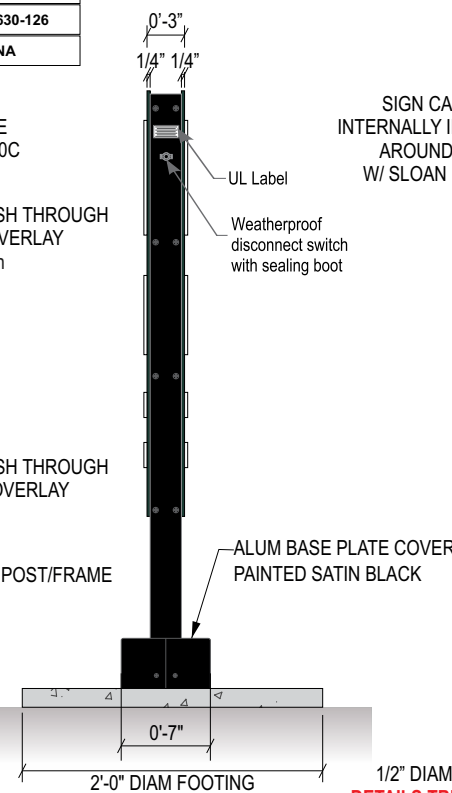
BACK VIEW

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 560 C	N/A
	PMS 3425 C	3M 3630-126
	RAL 7021M	NA

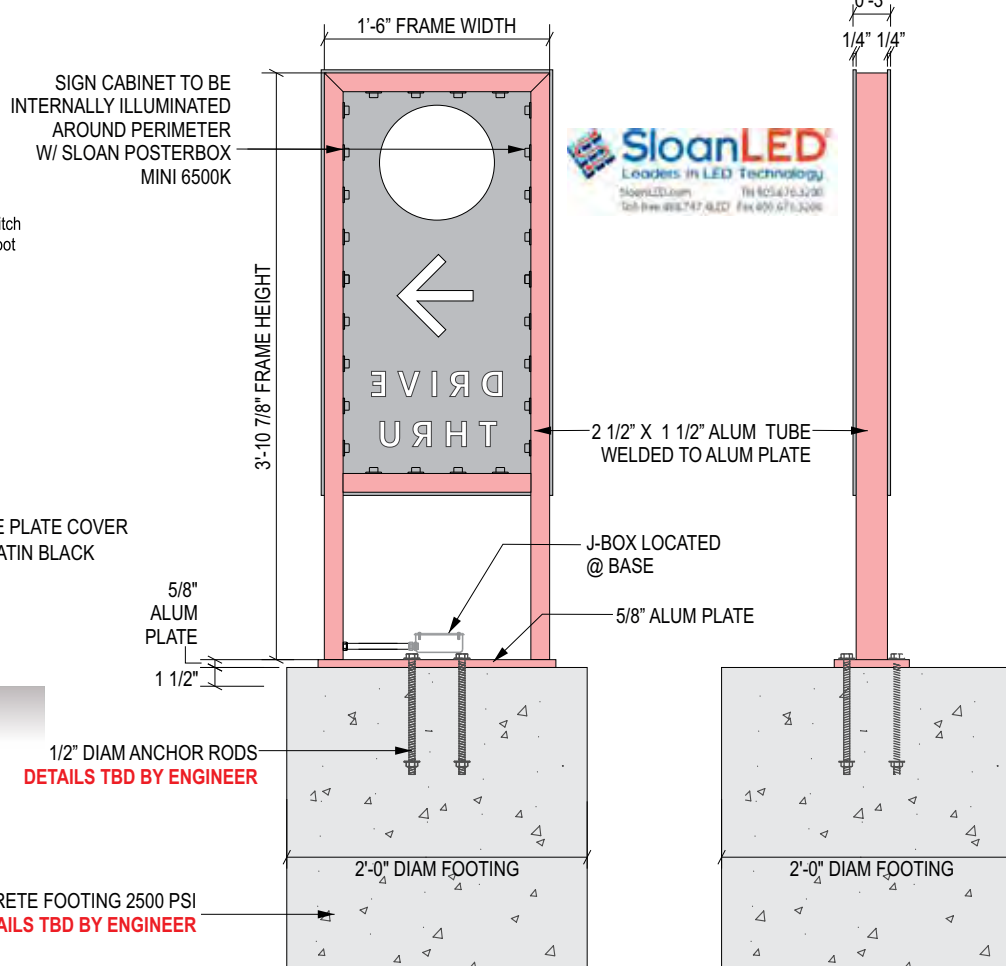


C D/F DRIVE THRU ILLUMINATED DIRECTIONAL SIGNS~ Qty (1)

Scale: 1"= 1'



SIDE VIEW



CONCRETE FOOTING 2500 PSI
DETAILS TBD BY ENGINEER

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:
L.S.

<u>1</u>		
<u>2</u>		
<u>3</u>		
<u>4</u>		
<u>5</u>		
<u>6</u>		

Electrical Requirement:

☐ 120 Volts☐ 277 Volts

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Drawing No

22-256

Page: **3.0**

Project:



Location:

Client Approval:

Sales Rep:

Paul L.

Date:

Date: _____ Drawn by
L.S.

 Δ

1

$$\frac{\Delta}{\Delta}$$

2

$$\frac{1}{\Delta}$$

3

△

4

△

5

c

Electrical Requirement:

☐ 120 Volts

277 Volts



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Page: 4.1



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$$\frac{\triangle 4}{\triangle}$$
$$\frac{\triangle J}{\triangle}$$

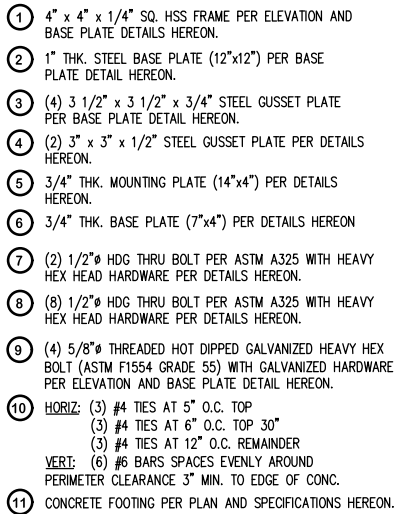
Elect

☐ 277 Volts



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22-256

Page: **7.1**

ELEVATION VIEW

$$3/8'' = 1'-0''$$

CONNECTION DETAIL (TOP VIEW)

$$1\ 1/2'' = 1'-0''$$

ENLARGEMENT DETAIL

$$1\ 1/2'' = 1'-0''$$

BASE PLATE DETAIL (PLAN VIEW)

$$1'' = 1' - 0''$$

CONNECTION DETAIL (SIDE VIEW)

$$1\ 1/2'' = 1'-0''$$

1. STRUCTURE IS DESIGNED IN ACCORDANCE WITH
ASCE 7-16
BASIC WIND SPEED: 150 MPH
RISK CATEGORY: II
EXPOSURE CATEGORY: C
SITE CLASS: D
OCCUPANCY CATEGORY: II
SEISMIC DESIGN CATEGORY: D
TYP. IMPORTANCE FACTOR: 1.0
RESPONSE MODIFICATION FACTOR: $R_p=3.0$
AMPLIFICATION FACTOR: $A_p=2.5$

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE 2019 CALIFORNIA BUILDING CODE (CBC), AND 2018 INTERNATIONAL BUILDING CODE (IBC).
2. ANY CONFLICTS BETWEEN THESE DRAWINGS, STANDARDS NOTED HEREIN, PROJECT REQUIREMENTS, AND/OR OTHER REFERENCE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER, WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
3. PROVIDE ISOLATION OF DISSIMILAR MATERIALS

1. SQUARE/REC HSS STEEL: ASTM A500GR. B
Fy=46 KSI
2. PLATE STEEL: ASTM A36 Fy=36 KSI
3. STRUCTURAL STEEL MEMBERS SHALL BE
SHEARED, FORMED, PUNCHED, WELDED, AND
PAINTED BY THE MANUFACTURER. ALL SHOP
CONNECTIONS SHALL BE WELDED IN
CONFORMANCE WITH STANDARDS BASED UPON
THE CURRENT EDITION OF ANSI/AWS D1.1.
WELDERS AND WELDING OPERATORS SHALL BE
QUALIFIED AS PROVIDED IN THE CODE.

1. DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
2. STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
3. COMPRESSIVE STRENGTH AT 28 DAYS: $f'_c=2500$ PSI MIN.
4. PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
5. CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH SOIL.
6. SOIL PASSIVE PRESSURE PER CBC CLASS 5 (100 PCF).

STARBUCKS DRIVE THRU SIGNAGE
CLEARANCE BAR DETAILS
VARIOUS LOCATIONS, CALIFORNIA

PREPARED FOR: SIGN INDUSTRIES, INC.

CHECKED BY: YR

JOB NO: 2204-00

SHEET: 1 OF 2

DISREGARD PRINTS BEARING
EARLIER REVISION DATES —

02-24-22

--	--	--

COMPREHENSIVE SIGN PROGRAM | CITY SUBMITTAL | 10.24.22
TANGLEWOOD STARBUCKS | ESCONDIDO, CA



HEET
20



2' - 5 1/8"

3' - 5 3/8"

STEEL MOUNTING BASE WELDED TO POST

NON-STRUCTURAL BASE COVER

HOT DIPPED GALVANIZED LEVELING NUTS (4) REQUIRED

NATURAL GRADE OR ENGINEERED FILL

6" MIN.

CONDUIT

1 1/2"

3" MIN.

2' - 0" DIA.

**SEE SHEET 8.1
FOR FOOTING/REBAR
DETAILS**

HEET
21



- ① 6"x3"x3/16" REC. HSS FRAME PER ELEVATION AND BASE PLATE DETAIL HEREON.
- ② 3/4" THK. STEEL BASE PLATE (17"x12") PER BASE PLATE DETAIL HEREON.
- ③ (4) 1/2" Ø THREADED HOT DIPPED GALVANIZED ANCHOR RODS (ASTM F1554 GRADE 55) WITH GALVANIZED HARDWARE PER ELEVATION AND BASE PLATE DETAIL HEREON.
- ④ HORIZ. (3) #3 TIES AT 4" O.C. AND THEN (5) #3 TIES AT 9" O.C.
VERT. (6) #5 BARS SPACES EVENLY AROUND PERIMETER CLEARANCE 3" MIN. TO EDGE OF CONC.
- ⑤ CONCRETE FOOTING PER PLAN AND SPECIFICATIONS HEREON.

YR ENGINEERING LP
424 E. MAITLAND ST. STE. A
ONTARIO, CA 91761
PHONE: (626) 374-5881
EMAIL: YRAMOS@YRENGINEERING.COM

CHECKED BY: YR	JOB NO: 2131-00	SHEET: 1 OF 1
REGARD PRINTS BEARING REVISION DATES	10-12-21	



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Drawing No

22-256

Page: **8.1**

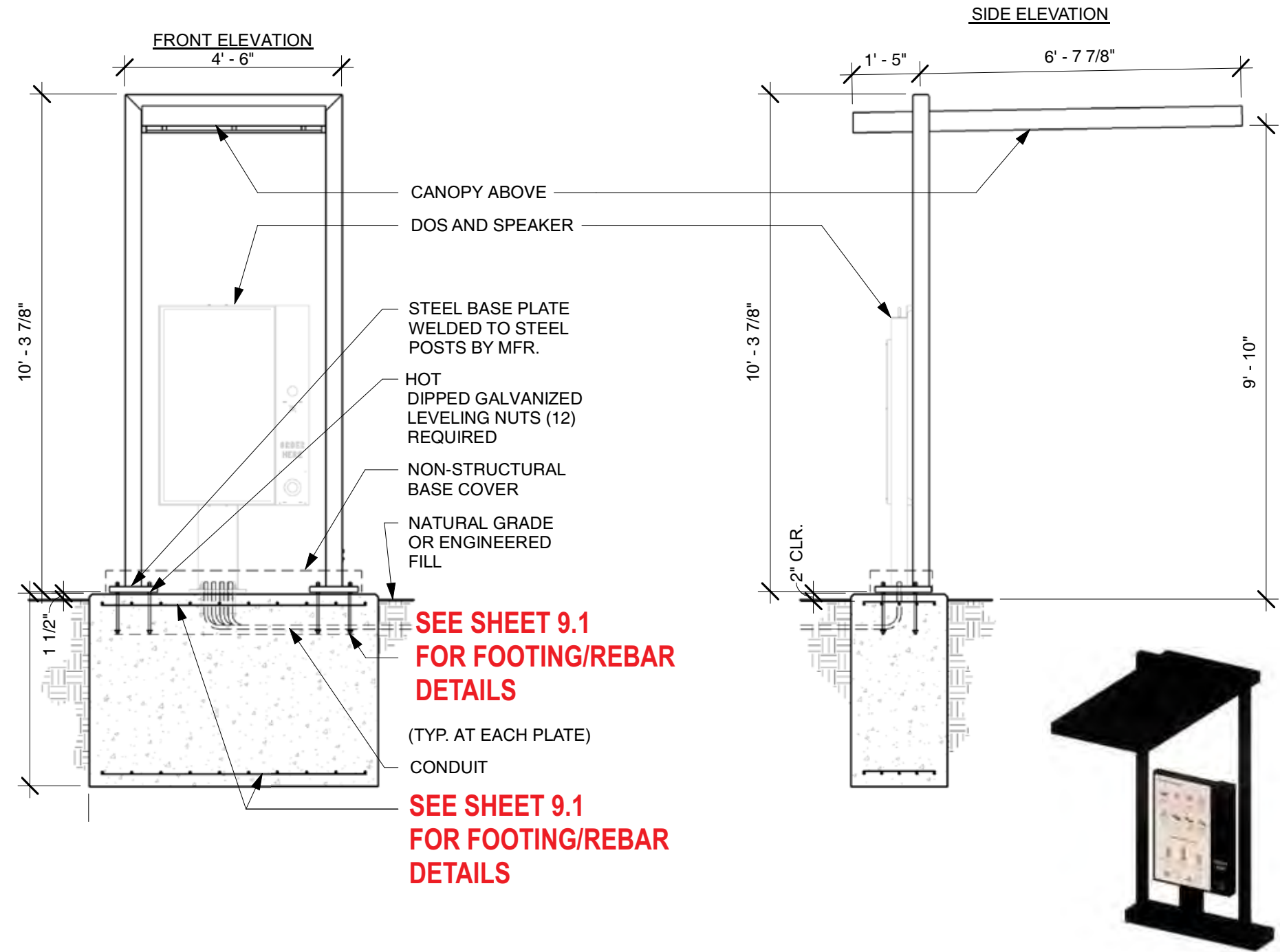
DRIVE-THRU CANOPY WITH DIGITAL ORDER SCREEN

Design ID#22543



Design ID#22546






H DRIVE THRU CANOPY WITH DIGITAL ORDER SCREEN~ Qty (1)
INSTALLATION ONLY

NTS

CANOPY WITH DOS

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.


Date:

Drawn by:
L.S.

1		
2		
3		
4		
5		
6		

Electrical Requirement:


☐ 120 Volts ☐ 277 Volts



2101 Carrillo Privado, Ontario, CA 91761
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Web: www.signindustries.tv

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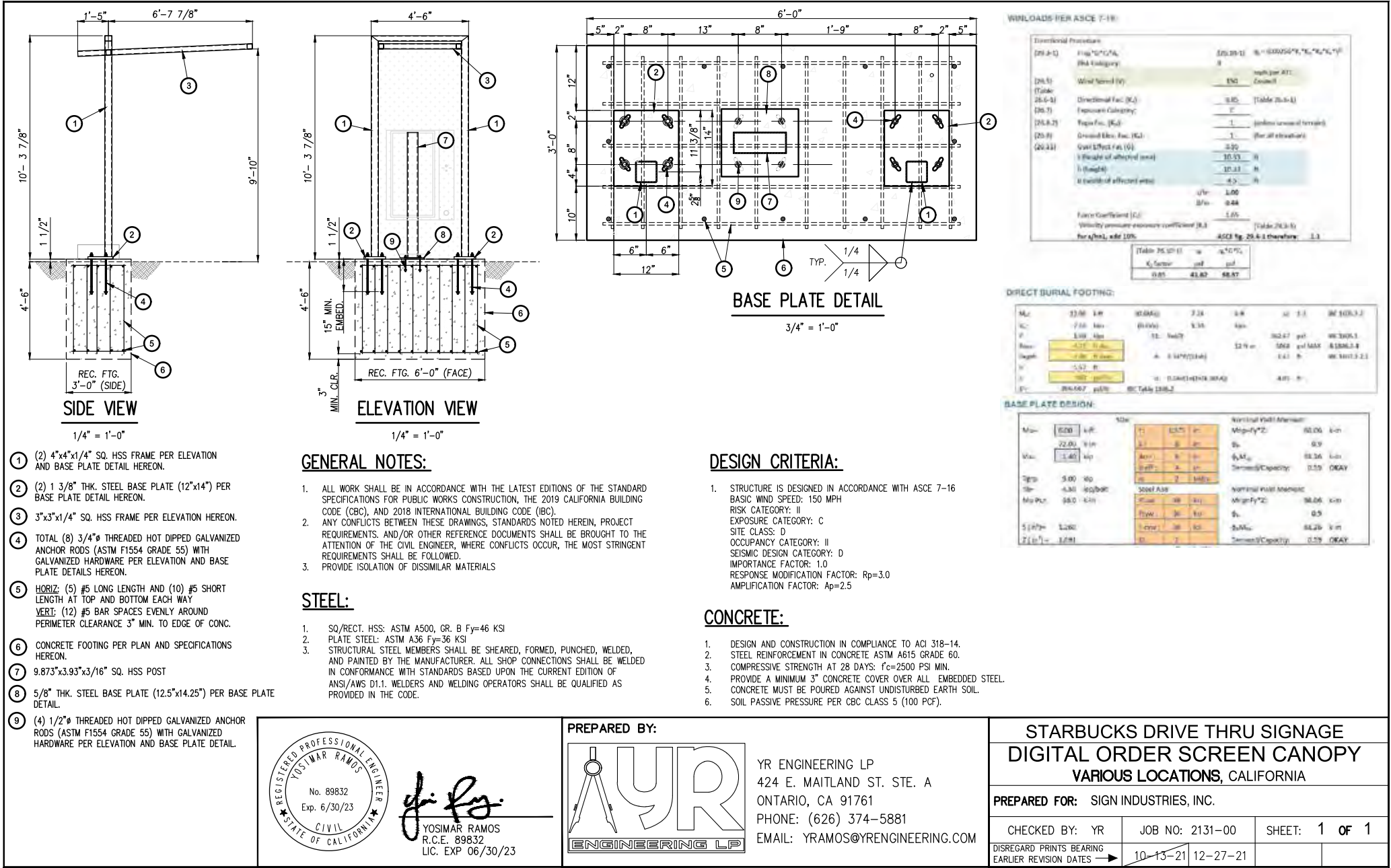
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22-256 

Page

9.0

DRIVE-THRU CANOPY WITH DIGITAL ORDER SCREEN



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

1		
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Electrical Requirement:

☐ 120 Volts ☐ 277 Volts



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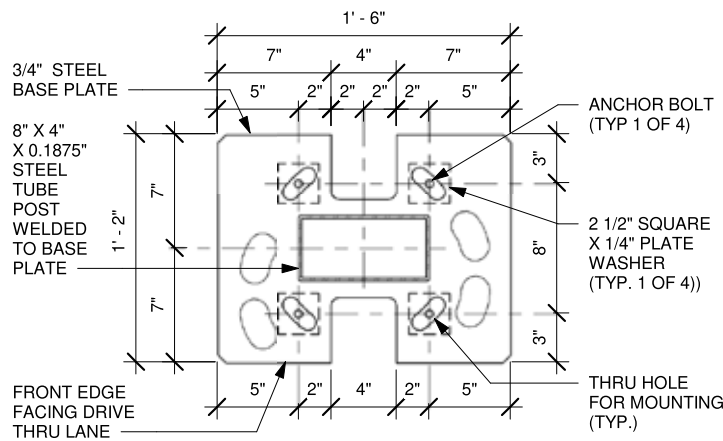
Page: 9.1

DRIVE-THRU 5-PANEL MENU SIGN

Design ID#22540

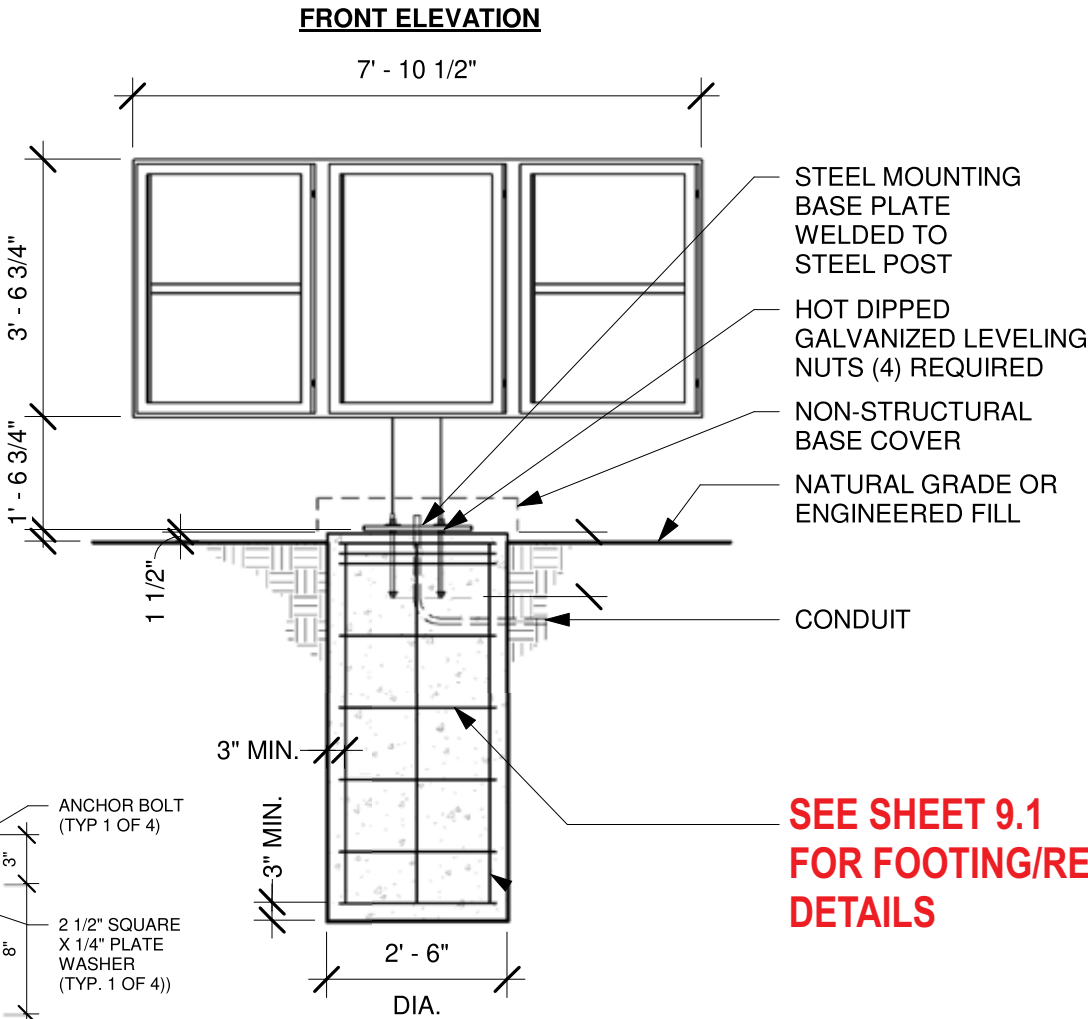


5- PANEL MENU SIGN

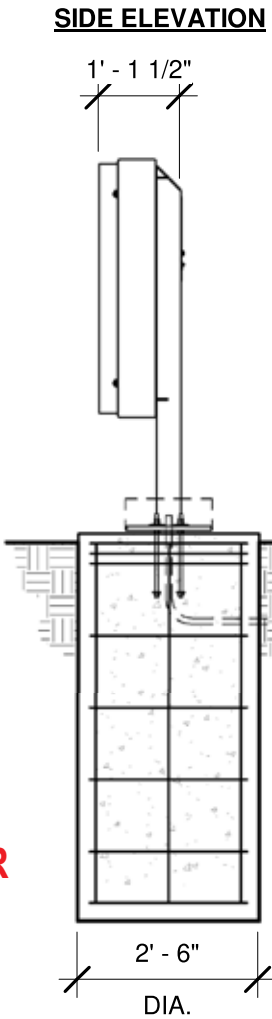


2 BASE PLATE
Scale: 1 1/2" = 1'-0"

1 DRIVE THRU 5-PANEL MENU SIGN~ Qty (1)
INSTALLATION ONLY



SEE SHEET 9.1
FOR FOOTING/REBAR
DETAILS



Scale: 1" = 3/4"

Sq. Ft.
36

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

1		
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Electrical Requirement:

☐ 120 Volts

☐ 277 Volts



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