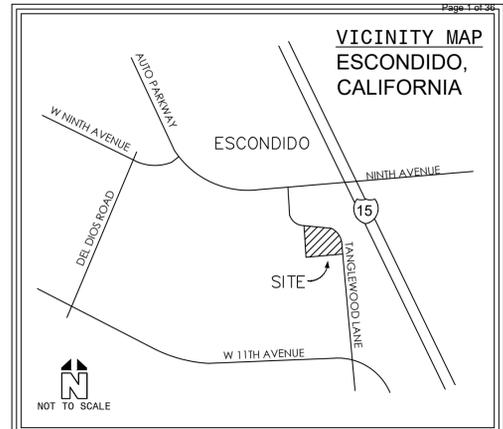


EXHIBIT B
PROJECT PLANS

MASTER PLAN



LEGEND:

- EXISTING CENTER LINE
- PROPOSED CENTER LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY/RIGHT OF WAY LINE
- LOT LINE
- SETBACK LINE
- APPROXIMATE LIMIT OF WORK LINE
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPE/PLANTER AREA
- HEAVY DUTY ASPHALT PAVEMENT
- DETECTABLE WARNING SYSTEM
- PERMEABLE PAVERS
- DEDICATION/VACATION AREA
- REMOVE AND REPLACE PAVEMENT
- MINIMUM 2 INCHES TO CENTERLINE
- SIGN POST
- RETAINING WALL
- ACCESSIBLE PARKING SPACE
- ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
- NUMBER OF PARKING SPACES
- EXISTING BUILDING

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE SOUTHERLY 125.00 FEET OF THE NORTHERLY 300.00 FEET OF THE EASTERLY 175.00 FEET OF LOT 2, BLOCK 312 AS SHOWN ON SHEET "B" OF THE RE-SURVEY OF A PORTION OF RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 724, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, AUGUST 13, 1892, THE SOUTHERLY AND NORTHERLY LINE OF THE ABOVE DESCRIBED PARCEL TO BE PARALLEL WITH THE NORTHERLY LINE OF SAID LOT 2 AND THE WESTERLY LINE TO BE PARALLEL WITH THE EASTERLY LINE OF SAID LOT 2; SAID DISTANCE TO BE MEASURED AT RIGHT ANGLES TO THE NORTHERLY AND EASTERLY LINES OF SAID LOT.

TOGETHER WITH THAT PORTION OF THE EASTERLY 175.00 FEET OF THE NORTHERLY 175.00 FEET OF LOT 2 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE EASTERLY 175.00 FEET OF THE NORTHERLY 175.00 FEET OF SAID LOT 2; THENCE ALONG THE FOLLOWING NUMBERED COURSES: (1) PARALLEL TO THE EASTERLY LINE OF SAID LOT 2, N. 44°44'02" W., 33.77 FEET; (2) S. 81°49'25" E., 151.35 FEET TO THE SOUTH LINE OF THE NORTHERLY 175.00 FEET OF SAID LOT 2; (3) ALONG SAID SOUTH LINE S. 85°16'59" W., 147.52 FEET TO THE POINT OF BEGINNING.

EXCEPT FROM THE FIRST HEREBY DESCRIBED PROPERTY THAT CERTAIN PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHERLY 125.00 FEET OF THE NORTHERLY 300.00 FEET OF THE EASTERLY 175.00 FEET OF SAID LOT 2; THENCE ALONG THE EASTERLY LINE OF SAID LOT 2, 04°44'02" EAST, 42.15 FEET; THENCE LEAVING SAID EASTERLY LINE FROM A TANGENT WHICH BEARS NORTH 20°10'20" WEST, ALONG A CURVE TO THE LEFT, WITH A RADIUS OF 83.00 FEET, THROUGH AN ANGLE OF 35°17'15" A DISTANCE OF 51.12 FEET TO SAID NORTHERLY LINE OF SAID SOUTHERLY 125.00 FEET; THENCE ALONG SAID NORTHERLY LINE NORTH 85°16'59" EAST, 27.46 FEET TO THE POINT OF BEGINNING.

TITLE REPORT EXCEPTIONS

- 7 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM FREEWAY AND ADJACENT FRONTAGE ROAD HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED OCTOBER 08, 1971 AS INSTRUMENT NO. 231985 OF OFFICIAL RECORDS. PLOTTED HEREON.
- 8 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM ADJACENT STATE FREEWAY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED JANUARY 13, 1972 AS INSTRUMENT NO. 9958 OF OFFICIAL RECORDS. PLOTTED HEREON.

SITE DATA

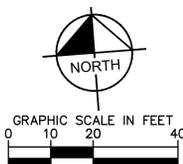
PROJECT DESCRIPTION:	DEMOLITION OF EXISTING DRIVEWAY AND BUILDING. NEW CONSTRUCTION OF A STARBUCKS DRIVE THRU AND PARKING LOT.		
ADDRESS:	1525 TANGLEWOOD LANE, ESCONDIDO, CA 92029		
APN:	235-090-35-00		
ZONING DISTRICT:	PD-C - PLANNED DEVELOPMENT COMMERCIAL (EXISTING)	SE: R-2-12 - LIGHT MULTIPLE RESIDENTIAL	
	PD-C - PLANNED DEVELOPMENT COMMERCIAL (PROPOSED)	S: PD-C - PLANNED DEVELOPMENT COMMERCIAL	
ADJACENT ZONING DISTRICTS:		W: PD-C - PLANNED DEVELOPMENT COMMERCIAL	
LAND USE:	COMMERCIAL		
ADJACENT LAND USE:	SE: U2 - URBAN II	S: PC - PLANNED COMMERCIAL	W: PC - PLANNED COMMERCIAL
FLOOD ZONE:	ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.		
TOTAL DISTURBED AREA:	23,082 S.F.	(0.53 AC)	
TOTAL PAD AREA:	931 S.F.	(0.02 AC)	
TOTAL LOT AREA:	23,082 S.F.	(0.53 AC)	
LOT COVERAGE:			
TOTAL SITE AREA:	23,082 S.F.	(0.53 AC)	100%
BUILDING AREA:	931 S.F.	(0.02 AC)	4.0%
IMPERVIOUS AREA:	13,188 S.F.	(0.30 AC)	57.1%
LANDSCAPE AREA:	7,883 S.F.	(0.18 AC)	34.2%
PERMEABLE PAVERS:	1,080 S.F.	(0.03 AC)	4.7%
PARKING / LANDSCAPE BUFFER:			
FRONT:	0.0'		
REAR:	0.0'		
SIDE (W):	5.0'		
SIDE (S):	5.0'		
PARKING SUMMARY:	STARBUCKS: 931 S.F.		
	• ADA PARKING FOR 1-25 PARKING STALLS = 1 ADA PARKING STALL REQUIRED, PER 2019 CBC.		
	• FUTURE EV FOR 10-25 PARKING STALLS = 1 FUTURE EV STALLS REQUIRED PER 2019 CALGREEN		
	• 1 FUTURE EV STALL MUST BE VAN ACCESSIBLE.		
	• NUMBER OF REQUIRED DESIGNATED STALLS FOR LOW-EMITTING, FUEL-EFFICIENT, CARPOOL/VANPOOL, AND ELECTRIC VEHICLES (PER 2019 CALIFORNIA GREEN BUILDING STANDARDS) = 1.		
PARKING TABLE:	PROVIDED		
STANDARD	16		
DESIGNATED	1	(EV STALLS ARE ALSO DESIGNATED FOR VANPOOL)	
EV CHARGING	1		
ACCESSIBLE	1		
TOTAL:	18		
BIKE PARKING:	1 BIKE PARKING SPACE/2,500 S.F. = 1 BIKE PARKING SPACE REQUIRED PER CITY CODE		

CONSTRUCTION NOTES:

- 1 CONCRETE CURB
- 2 CONCRETE CURB AND GUTTER
- 3 18" WALK-OFF CURB
- 4 VAN ACCESSIBLE PARKING STALL SIGN
- 5 DIRECTIONAL MARKING PER PLAN
- 6 ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED DOMES)
- 7 JOIN EXISTING CURB, CURB & GUTTER, SIDEWALK.
- 8 COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE
- 9 STANDARD 90° PARKING STALL STRIPING.
- 10 PREVIEW MENU BOARD PER SIGN PROGRAM
- 11 DIGITAL ORDER SCREEN PER SIGN PROGRAM
- 12 CLEARANCE BAR PER SIGN PROGRAM
- 13 INSTALL BOLLARDS
- 14 INSTALL LONG TERM BIKE RACK
- 15 PROPOSED CMU RETAINING WALL TO MATCH PROPOSED BUILDING FINISH AND/OR CONSTRUCTED IN DECORATIVE MATERIAL.
- 16 CONSTRUCT 0" CONCRETE CURB
- 17 ACCESSIBLE PATH OF TRAVEL STRIPING.
- 18 ACCESSIBLE PARKING STALL STRIPING.
- 19 FUTURE E/V CHARGING STATION. CONDUIT TO BE RAN TO STALL FOR FUTURE CONNECTION.
- 20 "CLEAN AIR/VAN POOL/EV" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL
- 21 EXISTING FENCE TO REMAIN
- 22 EXISTING WALL TO REMAIN
- 23 EXISTING TREES TO REMAIN
- 24 EXISTING VALLEY GUTTER TO REMAIN
- 25 PROPOSED VALLEY GUTTER
- 26 PROPOSED CURB CUT PER PLAN
- 27 PROPOSED DRIVE-THRU ENTRANCE SIGN PER SIGN PROGRAM
- 28 INSTALL SHORT TERM BIKE RACK.
- 29 DRIVE-THRU PANEL MENU SIGN PER SIGN PROGRAM
- 30 INSTALL WHEEL STOP
- 31 PROPOSED MONUMENT SIGN
- 32 PROPOSED 65' PYLON SIGN
- 33 PROPOSED DRIVE-THRU EXIT ONLY/THANK YOU DIRECTIONAL SIGN PER SIGN PROGRAM

NOTE:
ALL WATER SERVICES AND FIRE HYDRANT SERVICES, CUT OR DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED FROM THE WATER MAIN TO THE METER/FIRE HYDRANT, PER CITY OF ESCONDIDO STANDARD DRAWING W-1-E, W-2-E AND/OR W-3-E.

NOTE:
MINIMUM FIRE FLOW REQUIRED IS 1,500 GPM AT 20 PSI FOR 2 HRS.



SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY: _____
WDID NO. _____

CITY of ESCONDIDO

PRELIMINARY SITE PLAN - MASTER

ADDRESS: 1525 TANGLEWOOD LN, ESCONDIDO, CA 92029

APPROVED

FOR CITY ENGINEER: _____ RCE EXP. LIC. DATE: _____ DATE: _____ SHEET C1.0

BENCH MARK: _____

Drawing name: K:\ORA_LDEV\Newmark Merrill\094581015 - NMM Tanglewood\CAD\Exhibits\C1.0 - Preliminary Site Plan.dwg C1.0 Preliminary Site Plan - Master Sep 21, 2022 11:12pm by: Julia Chang



NMM ESCONDIDO
STARBUCKS
ESCONDIDO, CA

Kimley»Horn

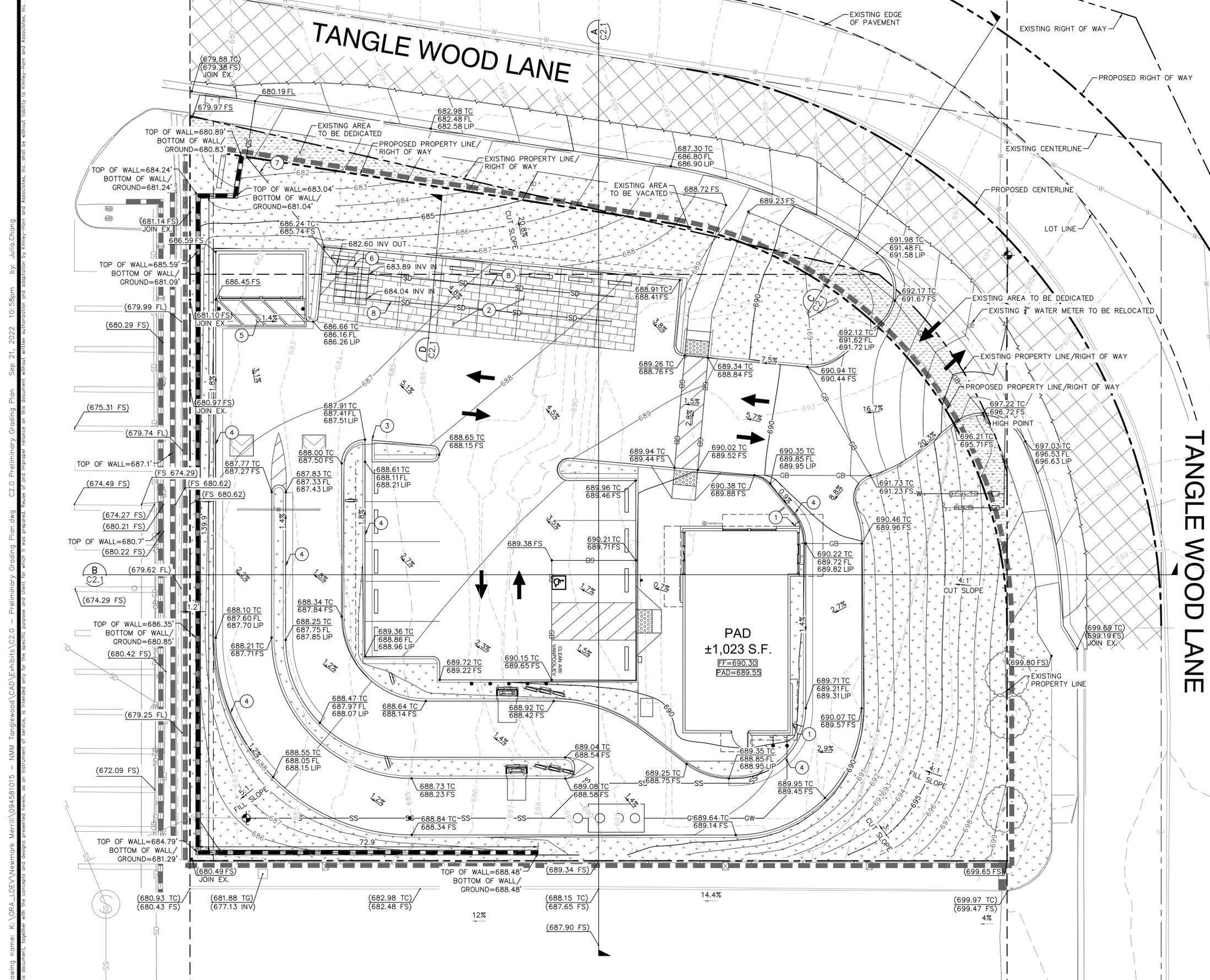
1100 W TOWN AND COUNTRY ROAD, SUITE 700
ORANGE, CA 92668
PH: (714) 939-1030

PREPARED UNDER THE DIRECT SUPERVISION OF:
DATE: _____
EXP: 09/30/2023

NO.	DESCRIPTION	CITY	DATE	VID	DATE

AMELIA BELTRAN 87468 09/30/2023 9/21/2022
ENGINEER OF WORK RCE EXP. LIC. DATE DATE





LEGEND

- EXISTING CENTER LINE
- PROPOSED CENTER LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- LOT LINE
- SETBACK LINE
- APPROXIMATE LIMIT OF WORK LINE
- PROPOSED RIDGE LINE
- PROPOSED GRADE BREAK LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW LINE
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- REMOVE AND REPLACE PAVEMENT MINIMUM 2 INCHES TO CENTERLINE
- DEDICATION/VACATION AREA

- ### GRADING AND DRAINAGE NOTES
- 1 ROOF DOWNSPOUTS. CONNECT TO 4" SDR-35 PVC STORM DRAIN PIPE AND DRAIN THRU CURB FACE.
 - 2 PROPOSED PERMEABLE PAVERS PER SECTION D, SHEET C2.1.
 - 3 PROPOSED 1.5" CURB CUT.
 - 4 CONCRETE CURB AND GUTTER.
 - 5 CONCRETE VALLEY GUTTER.
 - 6 R-TANKHD SYSTEM.
 - 7 4" SDR-26 PVC STORM DRAIN PIPE. DRAIN THRU CURB FACE.
 - 8 4" PERFORATED PIPE.

ESTIMATED EARTHWORK QUANTITIES

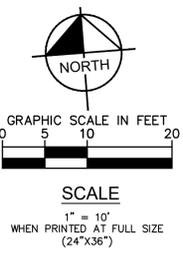
CUT: 1,123 CY
 FILL: 1,188 CY
 NET: 65 CY (IMPORT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER- EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

PROJECT INFORMATION

SITE AREA = 23,082 S.F. = 0.53 AC



SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY: _____ WDDID NO. _____

CITY of ESCONDIDO

PRELIMINARY GRADING PLAN

ADDRESS: 1525 TANGLEWOOD LN, ESCONDIDO, CA 92029

APPROVED _____ FOR CITY ENGINEER RCE EXP. LIC. DATE _____ DATE _____ SHEET C2.0

BENCH MARK: _____

Drawing name: K:\ORA_LDEV\Newmark_Merrill\094581015 - NMM Tanglewood\CAD\Exhibits\C2.0 - Preliminary Grading Plan.dwg Sep 21, 2022 10:58pm by: Julia Chang
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NMM ESCONDIDO STARBUCKS ESCONDIDO, CA

DVS
DRAWN BY: AB
CHECKED BY: AB
RECOMMENDED: _____

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ORANGE, CA 92668
PH: (714) 939-1030

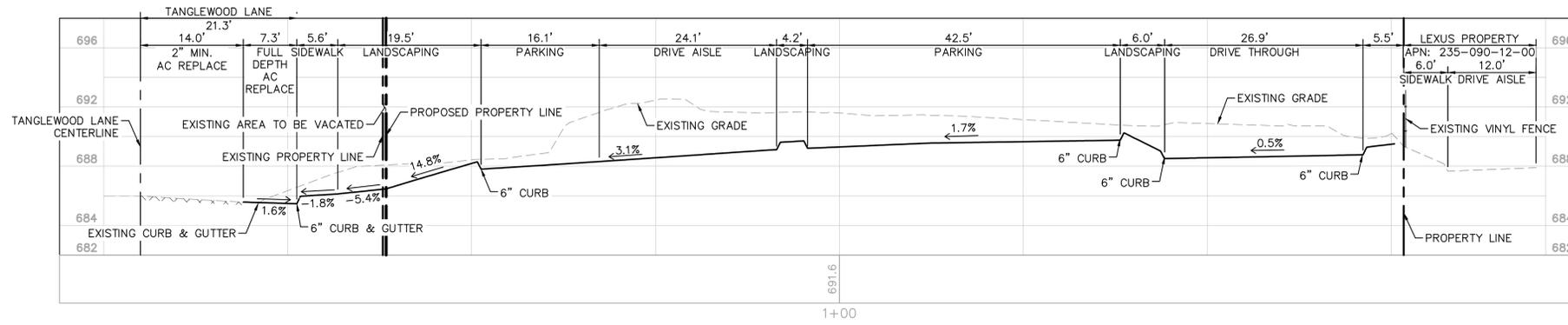
PREPARED UNDER THE DIRECT SUPERVISION OF:
DATE: 09/30/2023
AMELIA BELTRAN, R.C.E. NO. 87468

NO.	DESCRIPTION	CITY	DATE	VID	DATE

AMELIA BELTRAN 87468 09/30/2023 9/21/2022
ENGINEER OF WORK RCE EXP. LIC. DATE DATE

ENGINEER STAMP

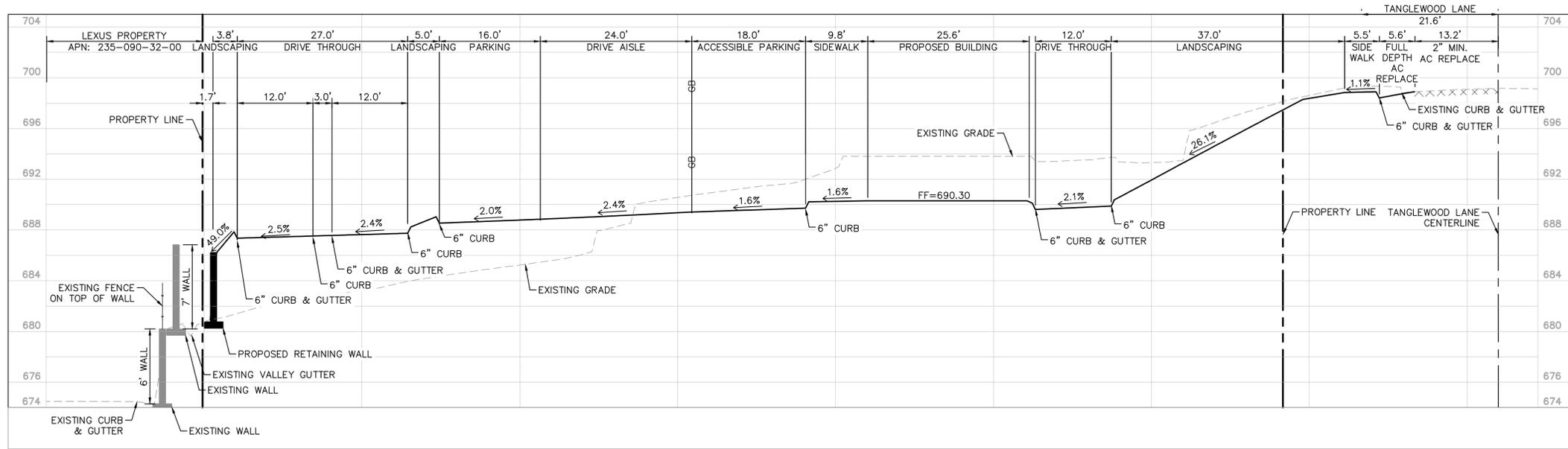
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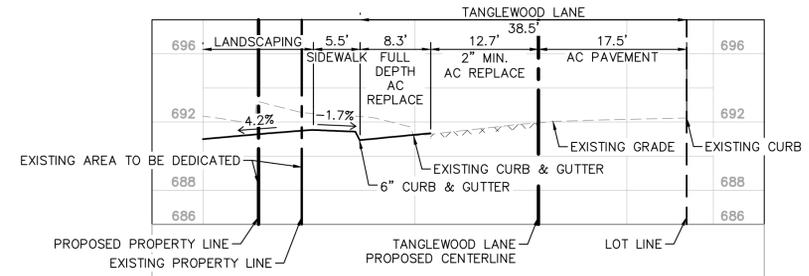
SECTION A
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")

LEGEND

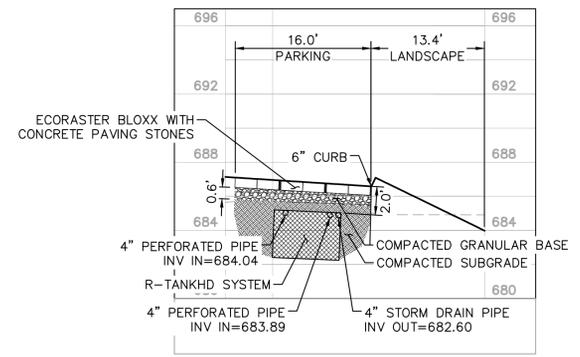
- GB — PROPOSED GRADE BREAK LINE
- [Hatched Box] REMOVE AND REPLACE PAVEMENT MINIMUM 2 INCHES



SECTION B
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")



SECTION C
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")



SECTION D - PERMEABLE PAVERS
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 2' WHEN PRINTED AT FULL SIZE (24" X 36")

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY: _____ WDDID NO. _____

CITY of ESCONDIDO

PRELIMINARY GRADING SECTIONS

ADDRESS: 1525 TANGLEWOOD LN, ESCONDIDO, CA 92029

APPROVED
FOR CITY ENGINEER RCE EXP. LIC. DATE DATE SHEET C2.1
BENCH MARK:



NO.	DESCRIPTION	CITY	DATE	VID	DATE

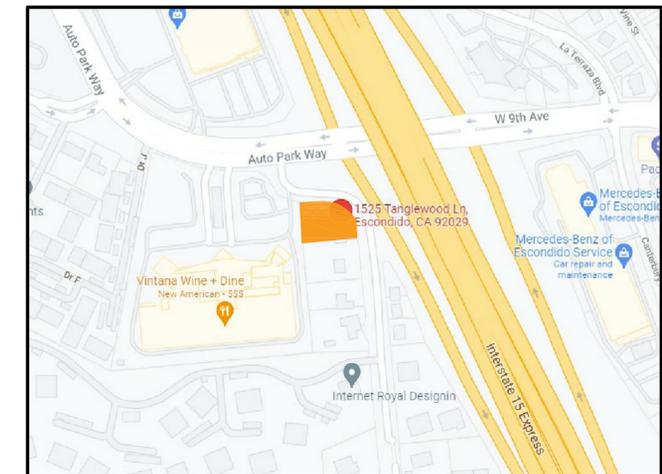
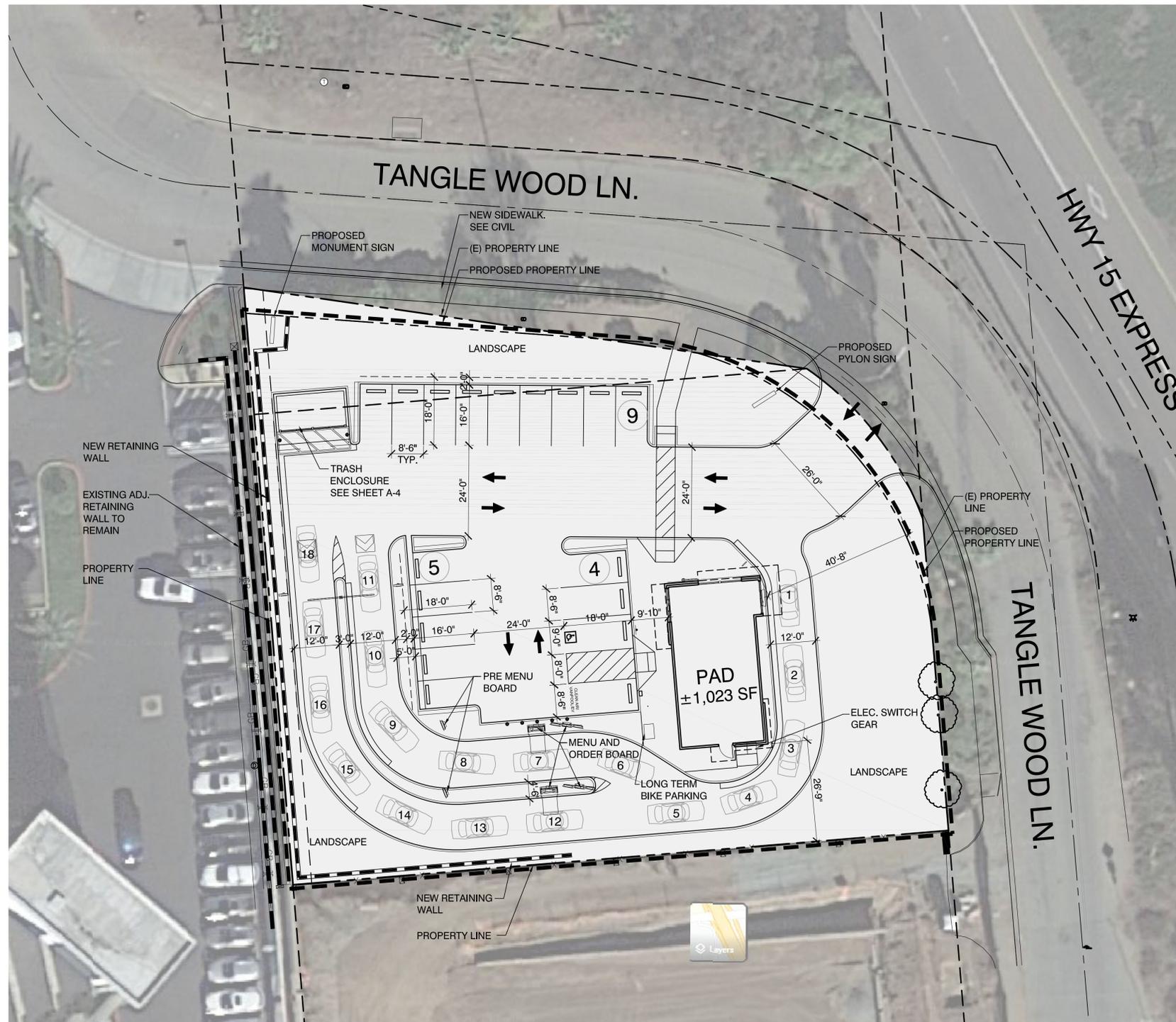
APPROVED CHANGES

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DATE: 9/30/2023
AMELIA BELTRAN, R.C.E. NO. 87468

DVS
DRAWN BY: AB
CHECKED BY: AB
RECOMMENDED

**NMM ESCONDIDO
STARBUCKS
ESCONDIDO, CA**





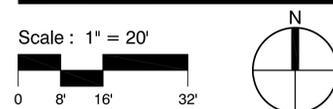
LOCATION PLAN 

SITE SUMMARY

LAND:	+/-1.66 AC	+/- 23,910 S.F.
TOTAL BLDG. AREA		±1,023 SF
LAND TO BLDG. RATIO		22.37 /1
BUILDING COVERAGE		4.27 %
BUILDING AREA		
PAD BUILDING		+/- 1,023 S.F.
TOTAL BUILDING AREA:		+/- 1,023 S.F.
PARKING REQUIRED:		
PAD BLDG. ±1,023 SF		20 STALLS
PARKING PROVIDED :		18 STALLS
PARKING RATIO :		19.33 /1000

1525 TANGLE WOOD LANE. ESCONDIDO, CA

PRELIMINARY SITE PLAN



DATE: 09.23.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

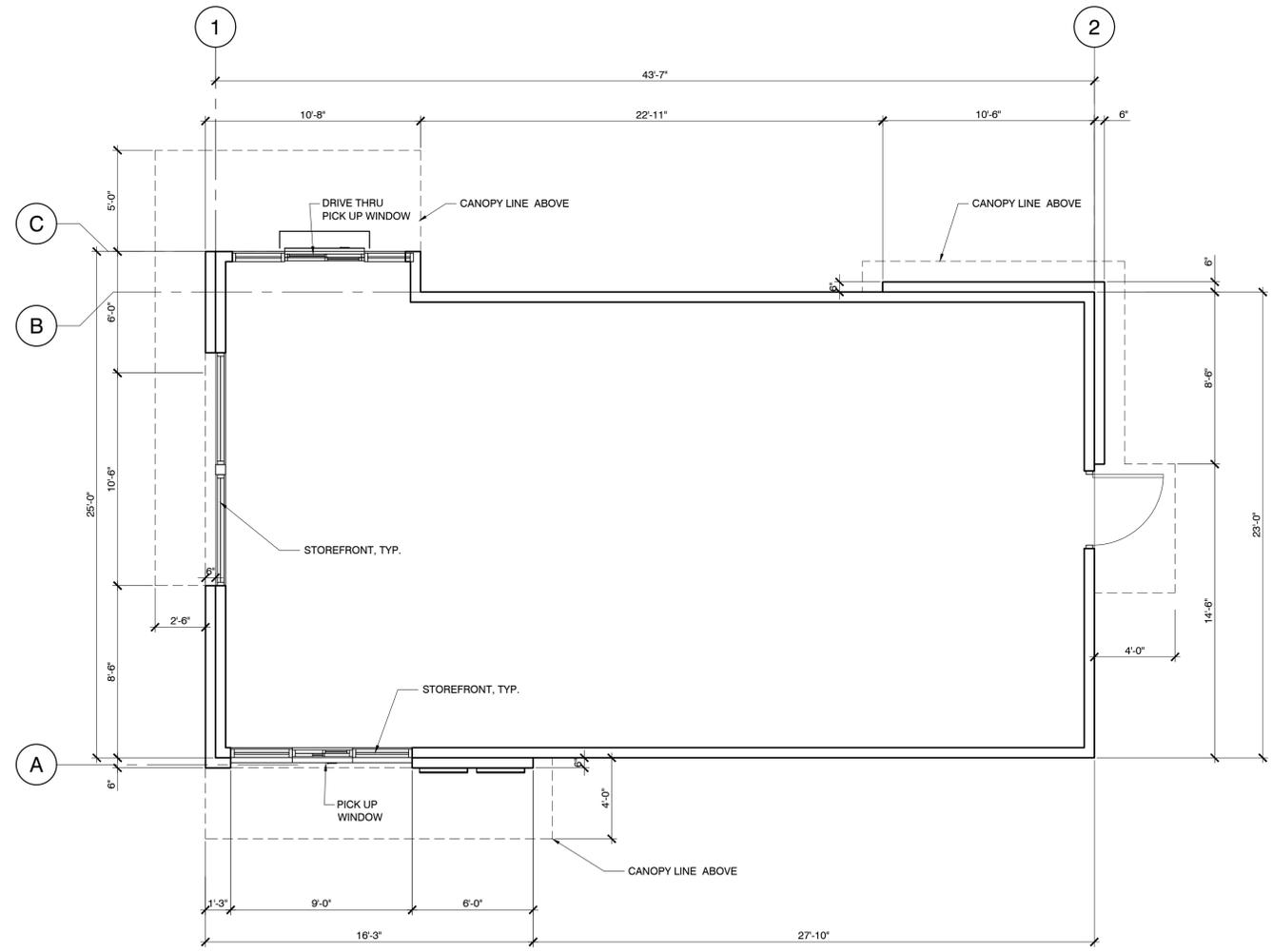
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SHEET A-1

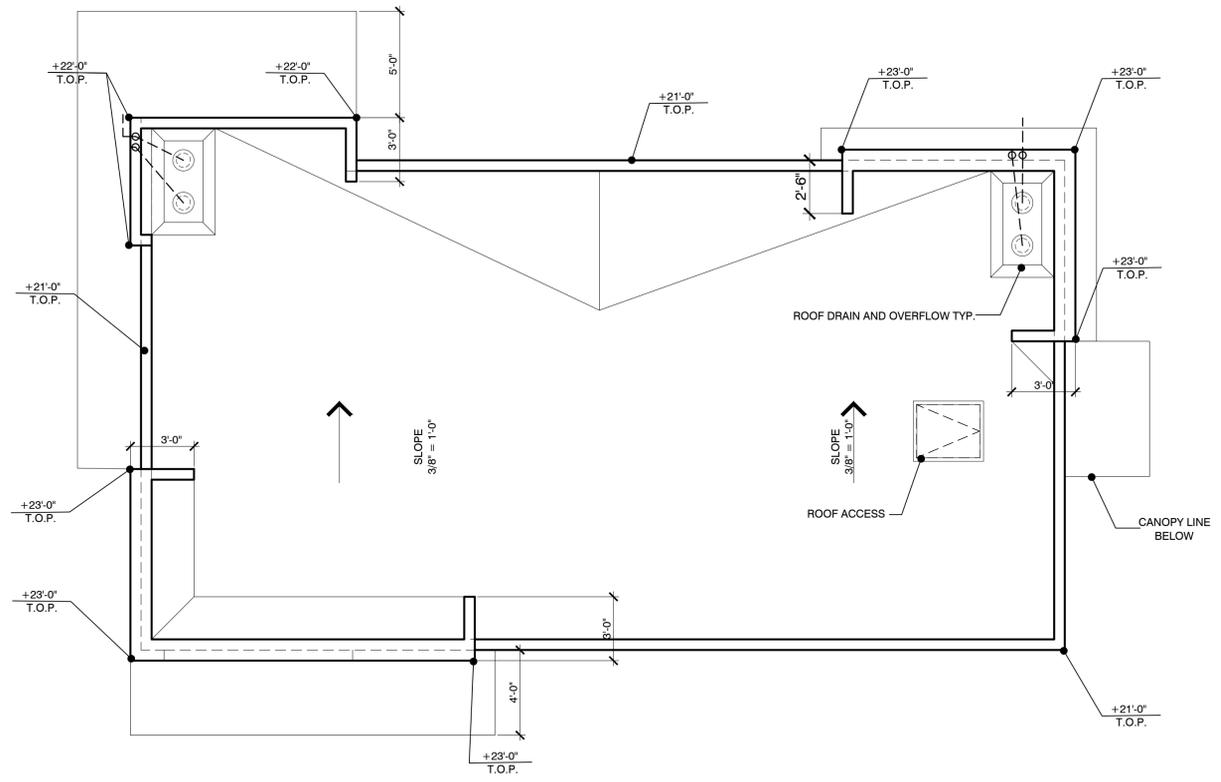
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DENVER
GLENORA
IRVINE
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PHOENIX
SAN FRANCISCO



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SHELL FLOOR PLAN



ROOF PLAN

1525 TANGLE WOOD LANE. ESCONDIDO, CA

CONCEPTUAL FLOOR & ROOF PLAN
PAD BUILDING (1,023 SF)

SHEET A-2

DATE: 09.16.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

Scale : 1/4" = 1'-0"

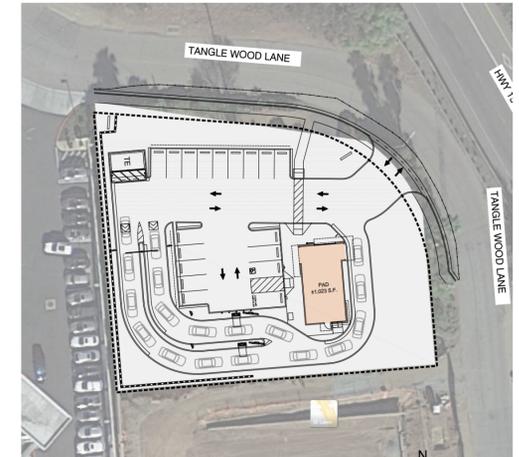


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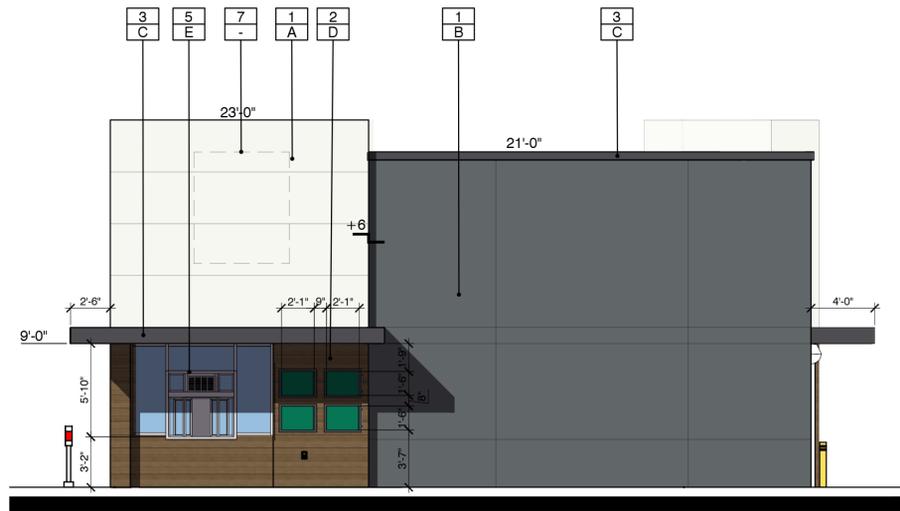
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PHOENIX
SAN FRANCISCO



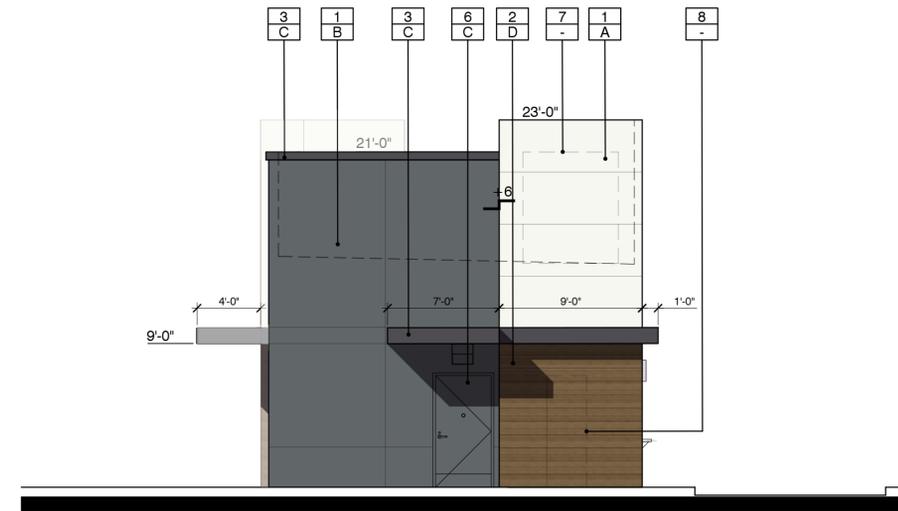
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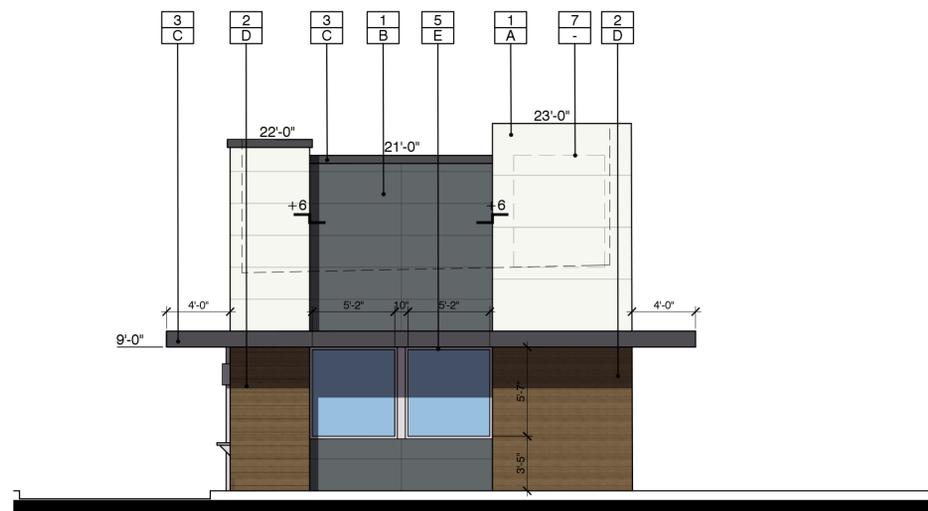
KEY PLAN



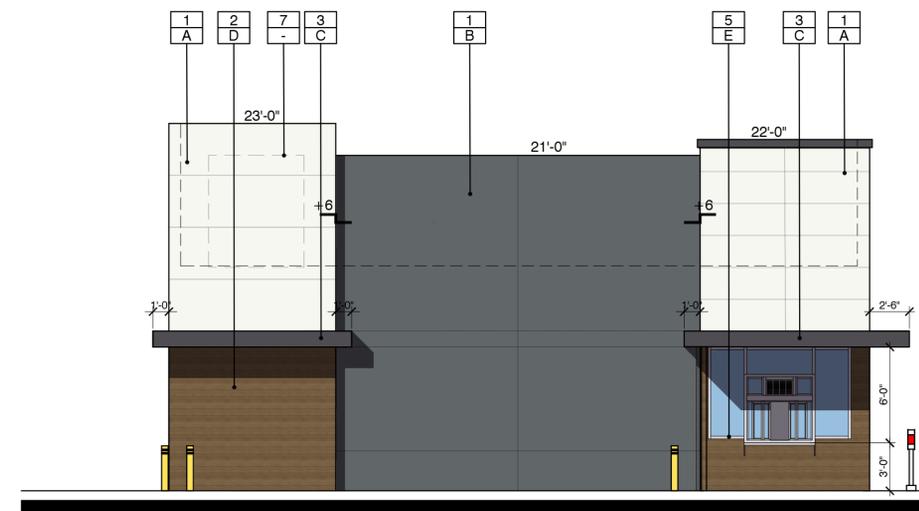
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

FINISHES:

- 1 - EXTERIOR CEMENT PLASTER FINISH
- 2 - COMPOSITE WOOD SIDING
- 3 - METAL CANOPY/COPING
- 4 - BRAKE METAL
- 5 - ALUMINUM STOREFRONT
- 6 - METAL DOOR
- 7 - SIGNAGE BY OTHERS UNDER A SEPARATE PERMIT
- 8 - ELEC. SWITCH GEAR

COLORS:

- SW 7757 "HIGH REFLECTIVE WHITE" BY: SHERWIN WILLIAMS
- SW 7075 "WEB GRAY" BY: SHERWIN WILLIAMS
- SW 9154 "PERLE NOIR" BY: SHERWIN WILLIAMS
- VINTAGE WOOD "CEDAR" BY: NICHIIHA
- ALUMINUM CLEAR # 14 BY: KAWNEER
- SPLIT-FACE CMU COLOR: NATURAL GRAY BY: ANGELUS BLOCK

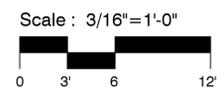
1525 TANGLE WOOD LANE.
ESCONDIDO, CA

EXTERIOR ELEVATION
PAD BUILDING

SHEET A-3

DATE: 09.19.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

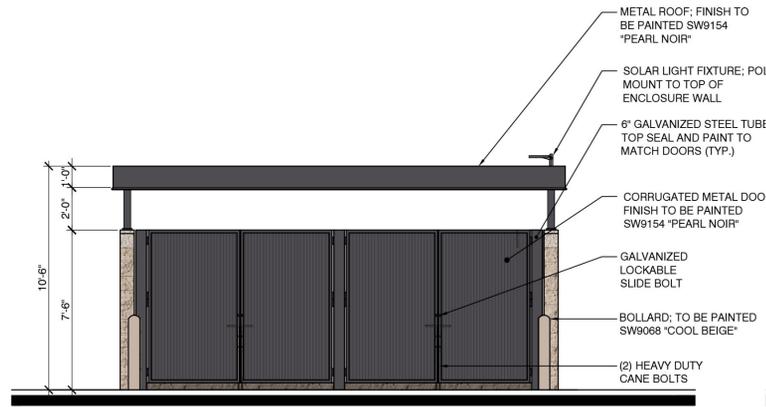


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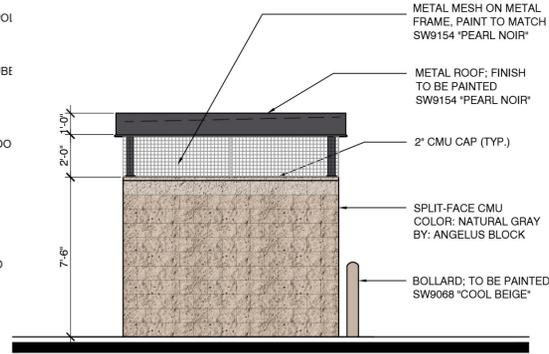
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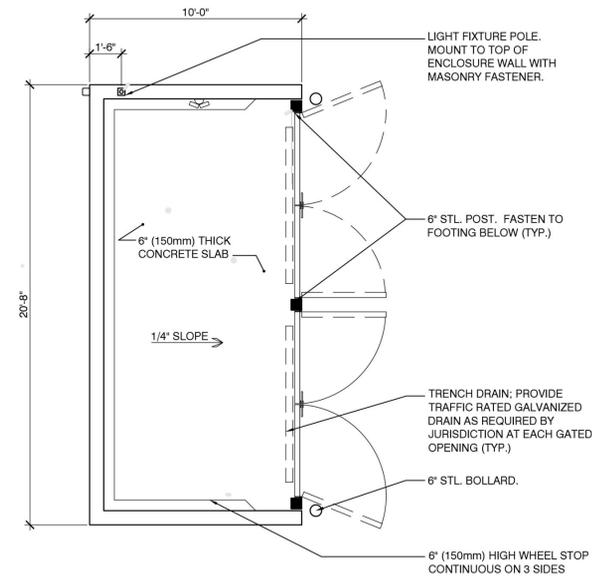
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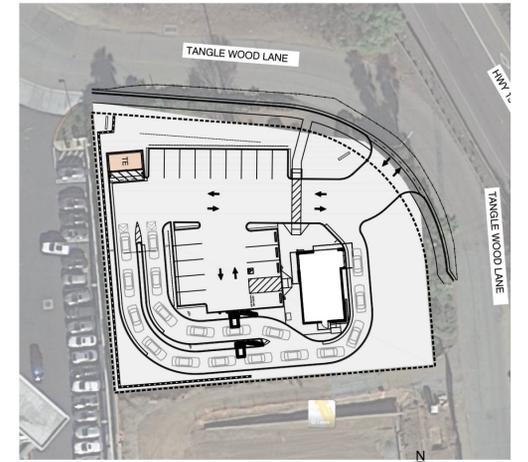
SOUTH ELEVATION



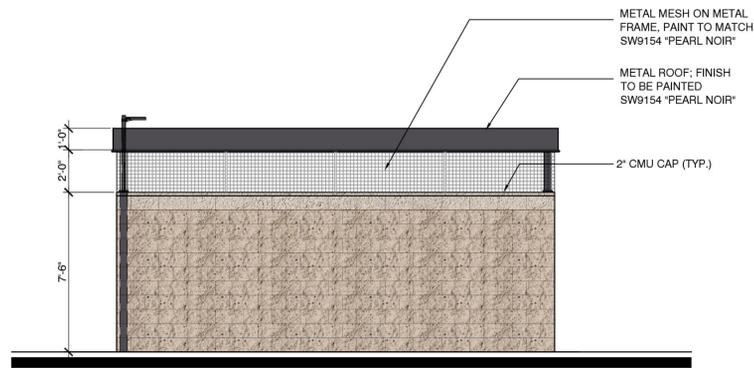
WEST ELEVATION



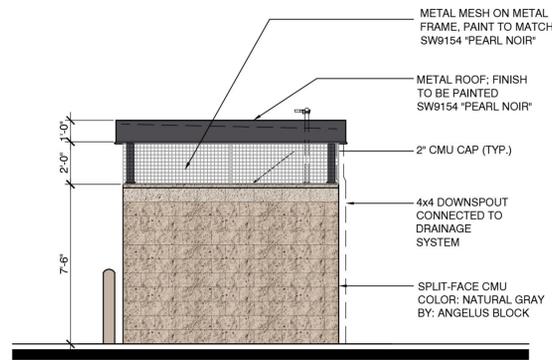
FLOOR PLAN



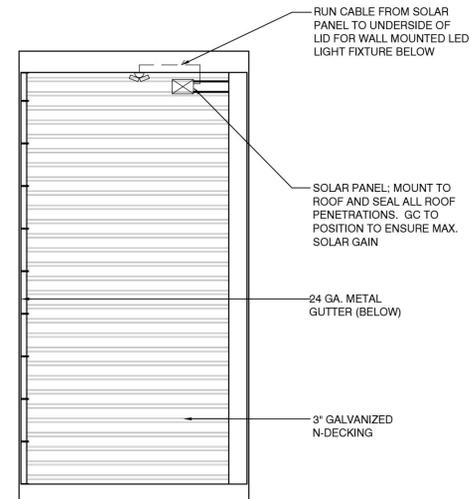
KEY PLAN



NORTH ELEVATION



EAST ELEVATION



ROOF PLAN

CMU BLOCK CUT SHEET

1525 TANGLE WOOD LANE.
ESCONDIDO, CA

SHEET A-4

DATE: 08.18.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

EXTERIOR ELEVATION
TRASH ENCLOSURE

Scale : 1/4" = 1'-0"



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KEY PLAN
N.T.S.



1525 TANGLE WOOD LANE. ESCONDIDO, CA

EXISTING SITE PHOTOS

SHEET A-5

DATE: 08.12.2022
MCG JOB #: 21.629.01

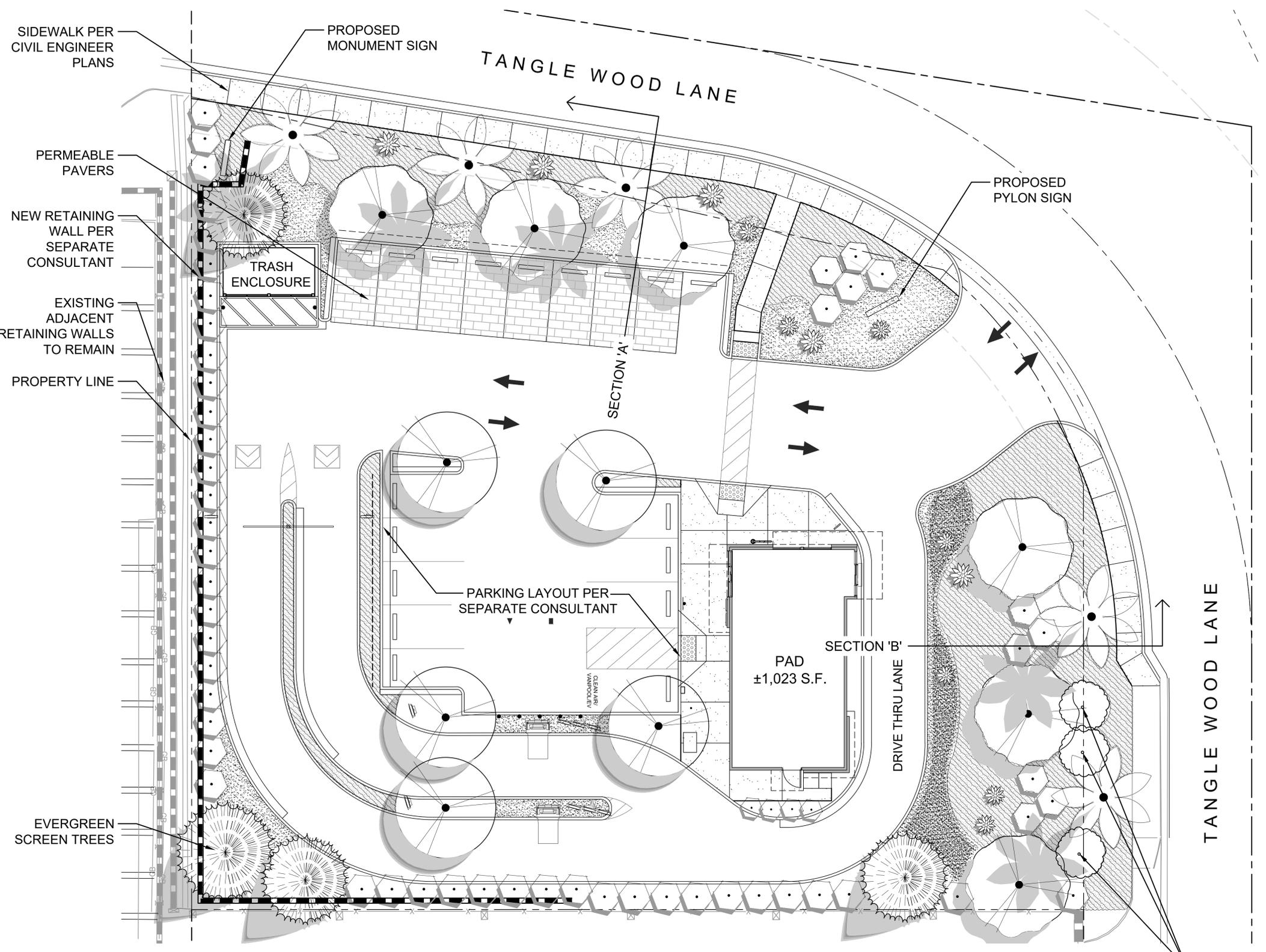
DATE	REVISIONS

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CONCEPT PLANT SCHEDULE			
	FRONTAGE TREES Cercidium x 'Desert Museum' / Desert Museum Palo Verde	6	15 Gal., L
	PALM TREES Washingtonia x filibusta / Hybrid Fan Palm	5	10' BTH, L
	EVERGREEN SCREEN TREE Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia Pinus canariensis / Canary Island Pine	4	24" Box, M 24" Box, M
	PARKING LOT TREES Geijera parviflora / Australian Willow Rhus lancea / African Sumac	5	15 Gal., M 15 Gal., M
	HEDGE SCREEN Heteromeles arbutifolia 'Davis Gold' / Davis Gold Toyon Prunus caroliniana 'Monus' / Bright 'N Tight Carolina Laurel Cherry Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary	56	15 Gal., L 15 Gal., L 15 Gal., L
	ACCENT Agave attenuata 'Huntington Blue' / Huntington Blue Foxtail Agave Agave x 'Blue Glow' / Blue Glow Agave Dasylirion wheeleri / Grey Desert Spoon Furcraea foetida 'Mediopia' / Mauritius Hemp	11	5 Gal., L 5 Gal., L 5 Gal., L 5 Gal., L
	SHRUBS Baccharis pilularis pilularis / Coast Coyote Brush Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush Echium candicans / Pride Of Madeira Hesperaloe parviflora 'Yellow Sun' / Yellow Sun Yucca Lantana montevidensis 'Spreading White' / White Trailing Lantana Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary	2,359 sf	1 Gal., L 5 Gal., L 5 Gal., L 1 Gal., L 1 Gal., L 5 Gal., L 1 Gal., L 1 Gal., L
	GROUNDCOVERS Carissa macrocarpa 'Green Carpet' / Green Carpet Natal Plum Ceanothus hearstiorum / Hearst Ceanothus Senecio mandraliscae 'Blue Chalk Sticks' / Senecio	1,683 sf	5 Gal., M 5 Gal., L 1 Gal., L

PRELIMINARY WATER USE CALCULATIONS:

M.A.W.A. = 54.2 (0.62) [(0.45 x 9,358)] = 141,510 gal / yr.

E.T.W.U. = (54.2) (0.62) [(0.35 x 9,358)] = 136,583 gal / yr.
0.81

IRRIGATION SYSTEM DESIGN STATEMENT:

A PERMANENT AUTOMATIC SUB-SURFACE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO IRRIGATE ALL PLANTING AREAS. THE IRRIGATION CONTROLLER(S) SHALL BE EQUIPPED FROM THE MANUFACTURER WITH WEATHER/EVAPOTRANSPIRATION (ET) SENSING CAPABILITIES TO AUTOMATICALLY ADJUST WATERING SCHEDULES AND AMOUNTS. THE DESIGN OF THE IRRIGATION SYSTEM SHALL EMPHASIZE WATER CONSERVATION AND PROVIDE EFFICIENT AND UNIFORM DISTRIBUTION OF IRRIGATION WATER. DRIP AND/OR BUBBLER IRRIGATION, OR OTHER LOW-VOLUME, LOW-PRESSURE MICRO-IRRIGATION- SYSTEM PER CITY OF CHINO HILLS DEVELOPMENT CODE 16 AND ORD. 316 AND SHALL BE INSTALLED IN PLANTER AREAS TO PROVIDE WATER DIRECTLY TO THE ROOT ZONE OF PLANTS.

NOTES:

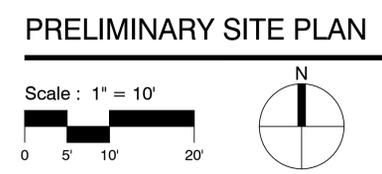
TREES WITHIN 5 FEET OF HARDSCAPE SHALL BE INSTALLED WITH APPROVED ROOT CONTROL BARRIER (16 FEET LENGTH TOTAL MIN. EACH TREE)

ALL GROUND-MOUNTED ELECTRICAL/MECHANICAL EQUIPMENT SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING

(3) EXISTING TREES OUTSIDE OF R.O.W. TO REMAIN. PROTECT IN PLACE

1525 TANGLE WOOD LANE. ESCONDIDO, CA

DATE:	09.23.2022
MCG JOB #:	21.629.01
DATE	REVISIONS



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HEDGE SCREEN SHRUBS:



Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosema
Prunus caroliniana 'Monus' / Bright 'N Tight Carolina Laurel Cherry
Heteromeles arbutifolia 'Davis Gold' / Davis Gold Toyon

TREES / PALMS:



Washingtonia x filibusta / Hybrid Fan Palm
Cercidium x 'Desert Museum' / Desert Museum Palo Verde

ACCENT SHRUBS:



Furcraea foetida 'Mediopicta' / Mauritius Hemp
Dasylirion wheeleri / Grey Desert Spoon
Agave x 'Blue Glow' / Blue Glow Agave

SHRUBS:

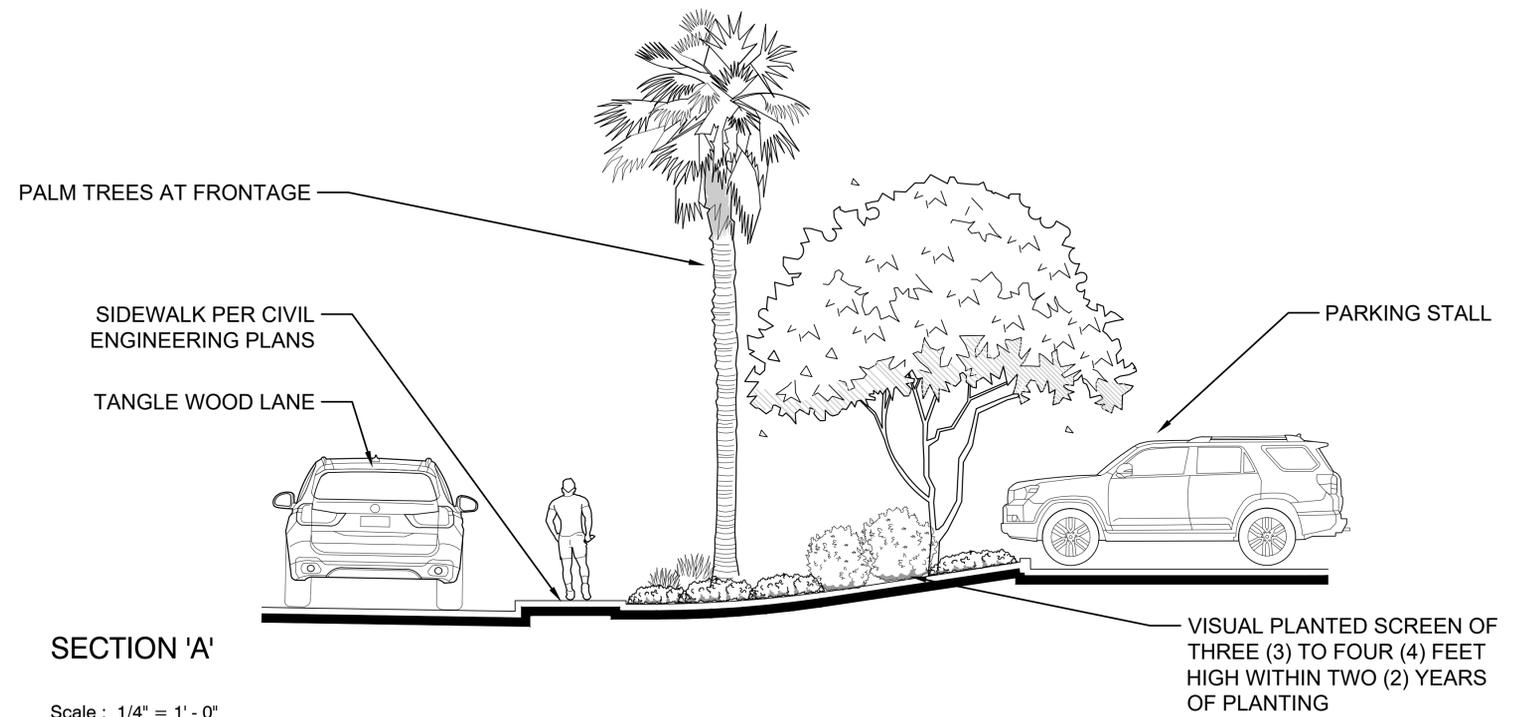


Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary
Lantana montevidensis 'Spreading White' / White Trailing Lantana
Hesperaloe parviflora / Yellow Sun Yucca
Echium candicans / Pride Of Madeira
Callistemon viminalis 'Little John' / Weeping Bottlebrush
Baccharis pilularis pilularis / Coast Coyote Brush

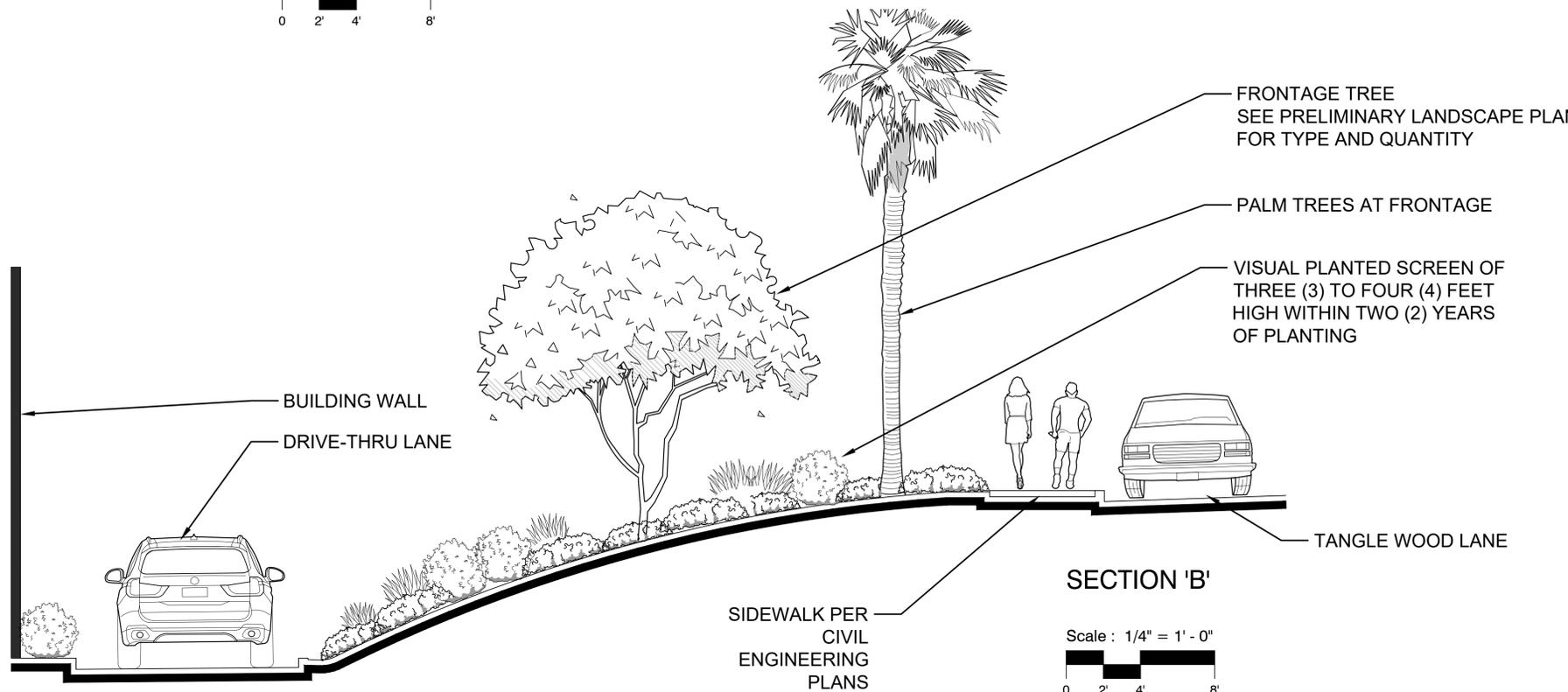
GROUNDCOVERS:



Senecio mandraliscae 'Blue Chalk Sticks' / Senecio
Ceanothus hearstiorum / Hearst Ceanothus
Carissa macrocarpa 'Green Carpet' / Green Carpet Natal Plum



SECTION 'A'
Scale : 1/4" = 1' - 0"
0 2' 4' 8'



SECTION 'B'
Scale : 1/4" = 1' - 0"
0 2' 4' 8'

**1525 TANGLE WOOD LANE.
ESCONDIDO, CA**

DATE: 09.23.2022
MCG JOB #: 21.629.01

DATE	REVISIONS

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PRELIMINARY ELEVATIONS

Scale : 1/4" = 1' - 0"
0 2' 4' 8'

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TANGLEWOOD STARBUCKS

COMPREHENSIVE SIGN PROGRAM

1525 Tanglewood Ln.
Escondido CA



CITY SUBMITTAL
DATE: 10.24.2022



ARCHITECTURAL DESIGN & SIGNS
1160 RAILROAD STREET, CORONA CA 92882
5470 WYNN ROAD #600, LAS VEGAS NV 89118
WWW.AD-S.COM

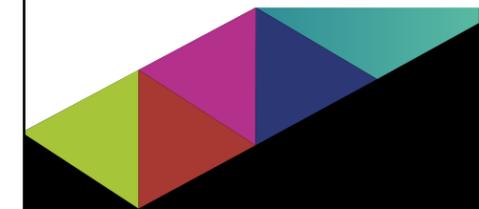


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PROPERTY OWNER

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SIGN DESIGNER

AD/S | Architectural Design & Signs, Inc.
1160 Railroad St.
Corona, CA 92882
www.ad-s.com
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Contact Name: Robin Bell
rbell@ad-s.com

OBJECTIVE

The objective of the following sign criteria is to provide standards and specifications that assure consistent quality, size, variety and placement for the Tenant signs throughout this project. This criteria is also intended to stimulate creative invention and achieve the highest standard of excellence in environmental graphic communication. Such excellence is best achieved through open and frequent dialogue between Tenant, Landlord, and the project's graphic design consultant. Signage at Tanglewood Starbucks is an integral part of the center's image and appeal, so signs must be thoughtfully designed, placed and proportioned to the individual architectural facade on which they are placed. Care in the design and installation of store signs will enhance customer appreciation.

OVERVIEW

The overview of this criteria is to assist the Landlord/Tenant and City relationship.

The Landlord will be responsible to:

- Provide base building design and construction information requested by Tenant's sign design consultant.
- Review, comment and approve Tenant sign submission.

In return, the Tenant will be responsible for:

- Design, fabrication, permitting and installation of signs, including any structural support and electrical service and any special installation requiring addition or modification to the shell building approved by the Landlord.

TENANT WALL SIGNS

- Sign area allowed for Tenant shall be calculated as follows: One and one-half (1.5) square feet of sign area per each linear foot of Tenant's leased storefront. Tenant is allowed one (1) primary sign on each elevation. Maximum sign area per elevation shall not exceed one hundred (100) square feet.
- The maximum width of the Tenant's storefront sign may not exceed 75% of the leased storefront.
- One (1) or two (2) lines of copy permitted and may consist of upper and/or lower case letters.
- In no case may a sign extend beyond the roof parapet or adjacent building eave line.
- Signs are not allowed on or against any roof structures.
- All signs shall be measured for area by drawing a shape (rectangular or other) around each element of the individual sign. For example, measure the area of letters and area of icon and/or logo separately. Ascender and descenders will not be calculated in the overall sign area except capital letters.
- Note: It is specifically noted that the size of all Tenant storefront signs is not regulated by any height limit / maximum. It is governed as stated above, being square feet of allowable area and stretch-out (width) limitations.

CALCULATING SQUARE FOOT:



WALL SIGN STYLES

There are many acceptable sign treatments, however a Mixed Media *three-dimensional approach combining several different fabrication and lighting techniques is preferred. Tenant is strongly encouraged to consider the specific architectural style of their facade, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront.

Note that specific locations and surrounding architectural treatments can limit the maximum sign height and length, which may differ from the general guidelines proposed above. The Landlord reserves the right to approve or reject any proposed sign on the basis of the size and placement.

* Mixed Media signs are signs employing two or more illumination and fabrication methods.

For example: Halo lit reverse channel letters with exposed neon accents.

Also, although simple rectangular cabinet signs are not allowed, mixed media signs may be composed of elements, one of which may be a panel or cabinet. However, the panel / cabinet sign should not exceed 50% of the total sign area. With the Landlord approval, complex shaped (i.e Polyhedron) sign cabinets which is part of a national logo, may be used alone if they incorporate dimensional elements such as push-through letters.

Acceptable sign styles for wall mounted signs:

1. Standard front-illuminated channel letters
2. Halo-illuminated channel letters, 3" deep, minimum
3. Mixed media / dimensional signs using images, icons, logos, etc.

*SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

COMPREHENSIVE SIGN PROGRAM | CITY SUBMITTAL | 10.24.22
TANGLEWOOD STARBUCKS | ESCONDIDO, CA

TYPE/FONT STYLES & LOGOS

The use of logos and distinctive type styles is encouraged for all Tenant signs. Sign lettering may be combined with other graphics and / or dimensional elements denoting the type of business. The Tenant may adapt established styles, logos and / or images that are in use on similar buildings operated by the Tenant in California, provided that these images are architecturally compatible and approved by the Landlord. The typeface may be arranged in one (1) or two (2) lines of copy and may consist of upper and/or lower case letters. The Tenant should identify trademark protected type and marks in their sign submission to assist the Landlord in the review process.

COLORS

The following guidelines are for selecting colors of Tenant's signage:

- Signs may incorporate regionally and nationally recognized logo colors
- Sign colors should be selected to provide sufficient contrast against building background colors
- Sign colors should be compatible with and complement building background colors
- Sign colors should provide variety, sophistication and excitement.

LIGHTING

Tenant signs should be creatively illuminated using a variety of lighting techniques. One or more of the following are allowed:

- Light Emitting Diodes (LED's)
- Cove Lighting (Indirect Illumination)
- Incandescent light bulb

If it is determined by Landlord at any time that the primary lighting of Tenant's wall sign is too intense, the Landlord may require at Tenant's expense to install a dimmer switch.

Externally illuminated signs must be lighted by hidden light sources.

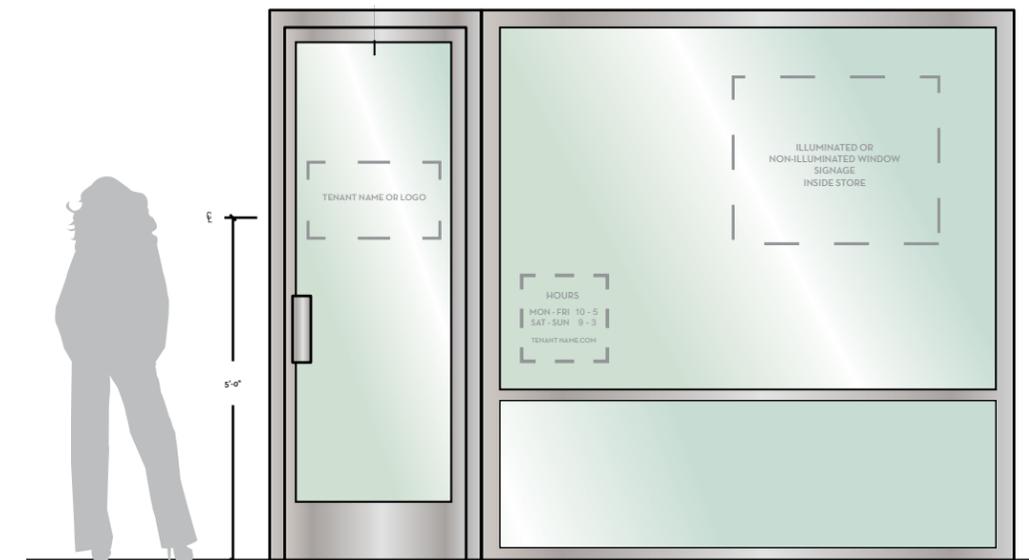
WINDOW SIGNS

The Tenant is allowed a limited amount of window signage on their storefront windows.

1. Tenant is allowed signage in the window of their primary storefront. Note: Exposed neon is not permitted in windows.
2. No more than 25% of a window shall be used for the display of window signs.
3. Acceptable window signs include vinyl graphics and internally-illuminated signs. All illuminated window signs shall be placed at least 3'-0" behind the window surface.
4. Alcohol & tobacco advertisements will not be permitted, unless specifically approved by Landlord.
5. All window signs to be installed second-surface.
6. Window sign area shall not be counted toward the Tenant's allowable wall sign area.

NOTE: All of the above requires approval from the Landlord and the content will be at the sole discretion of the Landlord.

It is preferred that County Health Cards are displayed on an interior wall rather than a window, unless required by Health Code.



*SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

COMPREHENSIVE SIGN PROGRAM | CITY SUBMITTAL | 10.24.22
TANGLEWOOD STARBUCKS | ESCONDIDO, CA

BUILDING ADDRESS NUMBERS

12" tall (minimum) address numbers per building. Address numbers shall be fabricated out of 1/2" deep painted acrylic and pin mounted into fascia. Color to be contrasting to the fascia it is installed on.
 (Note: stroke of number may not be less than 1/2" in accordance to CBC section 501.2)

SPECIFICATIONS:
 - 1/2" THICK PAINTED ACRYLIC NUMBERS.
 (Note; stroke of letter to be no less than 1/2" - CBC section 501.2)
 - PAINT COLOR TO MATCH PROJECT (CONTRASTING TO BUILDING FASCIA COLOR).
 - NUMBERS TO BE STUD MOUNTED TO BUILDING FASCIA.

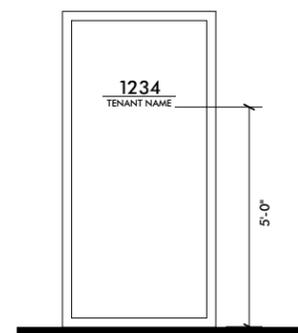


REAR ENTRANCE SIGNS

- 4" High vinyl address numbers
- 2" High vinyl tenant name
- 2 Sq ft maximum sign area

Vinyl to be applied to door and to be contrasting to door color.

SPECIFICATIONS:
 - 4" AND 2" HIGH VINYL NUMBERS/LETTERS ON REAR ENTRY DOOR.
 - COLOR TO BE IN CONTRASTING COLOR TO DOOR.
 - 2 SQ. FT. MAXIMUM SIGN AREA.



TYPICAL REAR ENTRY ELEVATION
 SCALE: 3/8"=1'-0"

DRIVE-THRU SIGNAGE

Tenants featuring a drive-thru service, as approved by the City and the Landlord, shall be allowed signs necessary for the safe use and operation of the drive-thru. These signs shall be designed to easily and safely identify, navigate, and use the drive-thru, while maintaining a clean design which is in keeping with the Tenant's brand.

Two (2) preview menu board and two (2) menu boards are allowed, per the tenant's established standard menu board dimensions, but shall not exceed 6'-0" in height and 40 square feet of area.

Two (2) digital order screen systems are allowed, per the tenant's established standard sign dimensions, but shall not exceed 50 square feet of area.

Two (2) clearance canopy systems are allowed, per the tenant's established standard dimensions. The canopy system may not project more than 4'-0" from the curb.

A maximum of three (3) directional and wayfinding signs identifying the drive-thru and exit located within the center are permitted. Directional / wayfinding signs may be double-faced and internally illuminated, at a maximum of 4'-0" in height and 8 square feet of sign area.

Audio for menu boards and interactive display boards shall be able to be remotely programmed and kept to a reasonable volume as approved by the Landlord, and in compliance with the City's Noise Ordinance.

Drive-thru signs' square footage calculations and totals shall not be counted toward the Tenants's allowable wall sign area.



***SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY**

FREEWAY ORIENTED PYLON SIGNS

One (1) freeway oriented pylon / pole sign is permitted for the tenant per the following guidelines:

- Maximum sign area per side not to exceed 80 square feet. Sign height not to exceed 65'-0".
- Tenant is permitted their established type font, logo, and colors.
- Sign shall be internally LED illuminated.



SCALE: 3/32" = 1'-0"



9' DIA. = 63 SQ.FT

9' x 1'-10" = 17 SQ.FT

SCALE: 1/4" = 1'-0"

MONUMENT SIGNS

One (1) single-tenant monument sign is permitted per the following guidelines:

- Maximum sign area per side not to exceed 30 square feet. Sign height not to exceed 6'-0".
- Tenant is permitted their established type font, logo, and colors.
- Sign shall be internally LED illuminated.



SCALE: 3/8" = 1'-0"

THE FOLLOWING SIGNS AND ELEMENTS ARE PROHIBITED

1. A sign that consists of only an unadorned rectangular cabinet signs with translucent or opaque faces.
2. Gold leaf treatments on windows, box signs and exposed neon window displays without Landlord's written approval. Note: Approval is at Landlord's discretion.
3. Off the shelf signs are discouraged.
4. Banner signs.
5. Exposed junction boxes, wires, plug in wires on window signs, transformers, lamps, tubing, conduits, raceways or neon crossovers of any type.
6. Signs using trim-cap retainers that do not match the color of the letter and logo returns (polished gold, silver or bronze trim caps are NOT permitted).
7. Pre-manufactured signs, such as franchise signs that have not been modified to meet these criteria.
8. Paper, cardboard, or Styrofoam signs, stickers, or decals hung around or behind storefronts. (Except those required by governmental agencies)
9. Exposed fasteners, unless decorative fasteners are essential to the sign design concept.
10. Simulated materials such as wood grained plastic laminates or wall coverings.
11. Flashing, oscillating, animated lights or other moving sign components.
12. Roof signs and signs on mansard roofs or equipment screens.
13. Advertising or promotional signs on parked vehicles.
14. Sign company decals in full view (limit to one placement only).
15. Wind-activated, inflatable, and balloon signs.
16. Outdoor advertising structures (billboards).
17. Abandoned and/or dilapidated signs and sign structures.
18. Obscene or offensive signs, determined at Landlord discretion.
19. Signs erected in a manner that a portion of its surface or supports will interfere in any way with the free use of a fire escape, exit, or standpipe or obstruct a required ventilator, door, stairway, or window.
20. Signs emitting audible sounds, odors, or visible matter.
21. Signs on public property or projecting within the public right-of-way, except with an encroachment permit issued by the City of Escondido.
22. Signs that constitute a hazard to the safe and free flow of traffic by obstructing or restricting the vision of drivers of motor vehicles, pedestrians, and equestrians.
23. Noncompliant signs are to be removed immediately upon request.

APPROVAL PROCESS

At least thirty (30) days prior to the Landlord's scheduled delivery of the premises, Tenant shall provide the following information to the Landlord for review. Note: This information is separate from sign approval submission and store design and drawing submissions, and will be used to begin the sign design process.

- Store Name;
- Store Logo (in color with colors identified);
- Store exterior materials, colors and finishes.

Allowing reasonable time for Landlord's review and Tenant's revision of submission in advance of sign fabrication, Tenant shall submit for Landlord's approval, complete and fully dimensioned shop drawings of the Tenant's sign to the Landlord's designated representative.

Shop drawings shall include at least the following:

- Tenant's entire building facade elevation, showing the proposed sign, in color drawing to scale.
- A site plan with the marked locations of the proposed sign(s).
- Storefront (partial building) elevation showing the location, size, color, construction and installation details of the Tenant's proposed sign. Typical "section-through" letter and/or sign panel showing the dimensioned projection of the letter or panel face and the illumination method.
- Color and material samples together with a photograph (if possible) of a similar installation.

Within thirty (30) days of receipt of the sign submission, the Landlord will approve, as noted, or disapprove with comments the Tenant's sign design. Tenant must respond to the Landlord's comments and re-submit within fourteen calendar days, and repeat this process until all sign design, fabrication and installation issues are resolved to the Landlord's satisfaction.

Upon receipt of final sign approval, Tenant may submit the proposed sign to the governing agency for review for consistency with the Sign Program and the required fabrication and installation permits. Tenants are required to provide one (1) set of the Landlord approved drawings to the City of Escondido, California as applicable: when submitting for building and electrical permits.

All signs are subject to City of Escondido's approval.

FABRICATION

The Tenant must ensure that his sign fabricator and installer understand their responsibilities before they begin the sign fabrication. The Tenant's sign contractor is responsible for the following:

1. Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials.
2. Dissimilar metals used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally stainless steel fasteners shall be used to attach dissimilar metals.
3. Threaded rods or anchor bolts shall be used to mount sign letters which are held off the background panel. Angle clips attached to letter sides will NOT be permitted.
4. Colors, materials, finishes shall exactly match those submitted to and approved by the Landlord.
5. Visible welds and seams shall be ground smooth and filled with auto body compound before painting.
6. No fasteners, rivets, screws or other attachment devise shall be visible from any public vantage point.
7. Finished metal surfaces shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have a uniform surface conforming to the highest industry standards.

INSTALLATION

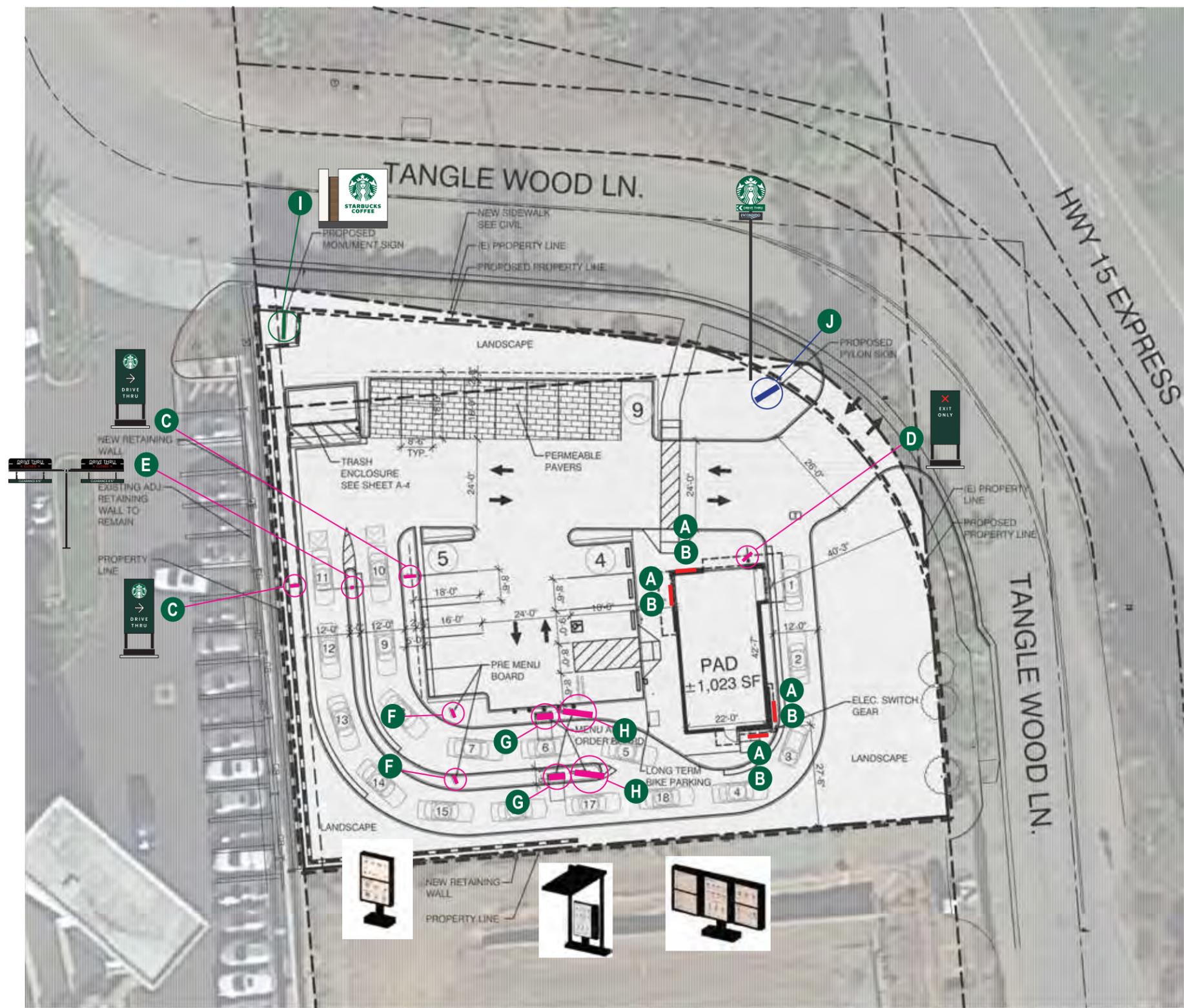
The Tenant's sign installer will provide the following:

1. Provide the Landlord with an original certificate of insurance naming the Landlord as an additional insured for liability coverage in an amount required by Landlord.
2. Obtain all required sign permits from the City of Escondido, California as applicable and deliver copies to the Landlord before installing the sign(s).
3. Keep a Landlord approved set of sign drawings on site when installing the sign(s).
4. Warrant the sign(s) against latent defects in materials and workmanship for a minimum of one (1) year.

MAINTENANCE OF THE SIGN

The Tenant shall employ professional sign fabricators and installers approved by the Landlord who are well qualified in the techniques and procedures required to implement the sign design concept. The Tenant will abide by all provisions, guidelines and criteria contained within this "Tanglewood Starbucks" Comprehensive Sign Program. Only those sign types provided for and specifically approved by the Landlord in Tenant's sign submission documents will be allowed. The Landlord may, at his discretion and at the Tenant's expense and after proper notice to Tenant, replace or remove any sign that is installed without Landlord's written consent, or that is not executed in conformance with the approved submission. Tenant shall furnish the Landlord with a copy of all sign fabrication and installation permits prior to installation. It will be the responsibility of the Tenant to remove its storefront sign and to satisfactorily repair and patch holes of their storefront sign area should they vacate the premises.

SITE PLAN



KEY LEGEND

- A** 60" SIREN LOGO DISC
- B** 7" DT CHANNEL LETTERS
- C** DF D/T DIRECTIONAL
- D** DF D/T THANK/EXIT DIRECTIONAL
- E** CLEARANCE BAR
- F** PRE MENU
- G** DIGITAL ORDER SCREEN w/ CANOPY
- H** DT 5 PANEL MENU SIGN
- I** EXISTING MONUMENT SIGN
- J** PYLON SIGN

SCALE: 1" = 40'-0"



COMPREHENSIVE SIGN PROGRAM | CITY SUBMITTAL | 10.24.22
 TANGLEWOOD STARBUCKS | ESCONDIDO, CA

KEY LEGEND

- A** 60" SIREN LOGO
- B** 7" DT CHANNEL LETTERS



WEST ELEVATION

SCALE: 1/8" = 1' - 0"

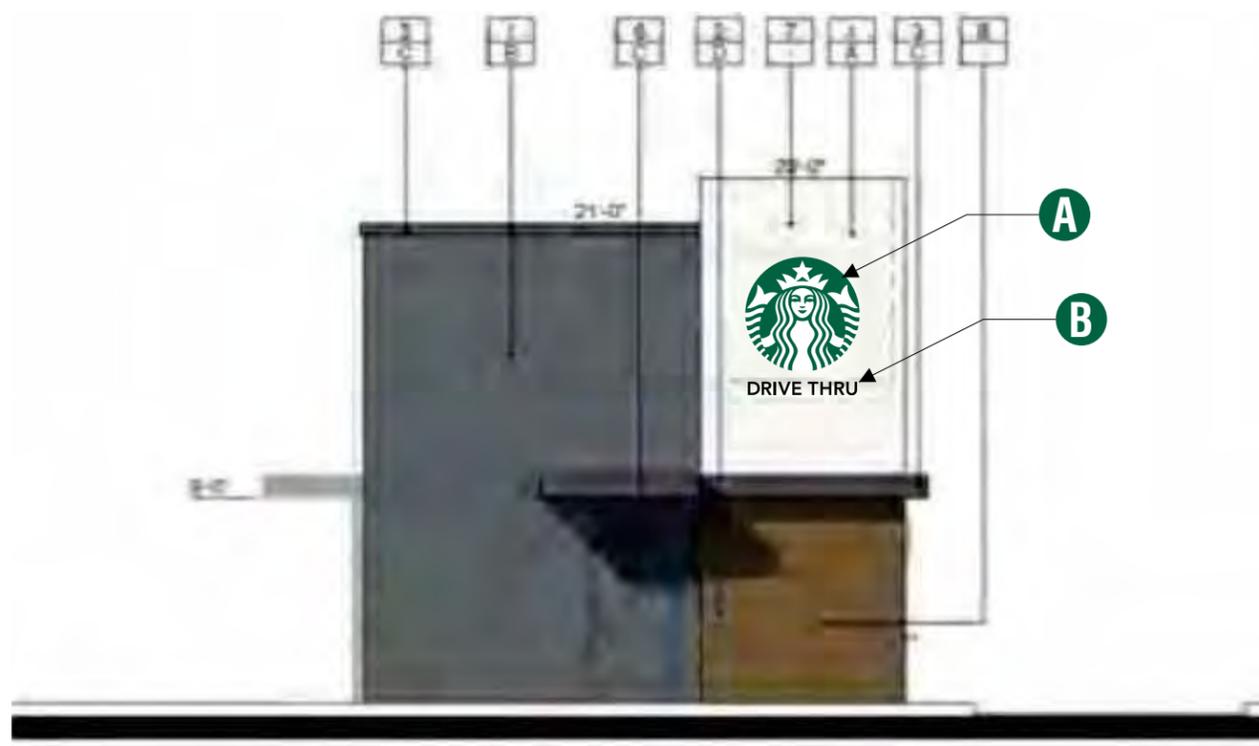


NORTH ELEVATION

SCALE: 1/8" = 1' - 0"

KEY LEGEND

- A** 60" SIREN LOGO
- B** 7" DT CHANNEL LETTERS



SOUTH ELEVATION



EAST ELEVATION

A 48" S/F EXTERIOR ILLUMINATED FLEX FACE SIREN WALL SIGN- TRIMLESS
 QTY - 3

DESIGN ID # 13163



Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

1		
2		
3		
4		
5		
6		

Electrical Requirement:

120 Volts 277 Volts



2101 Carrillo Privado, Ontario, CA 91761
 (909) 930-0303 Fax: (909) 930-0306
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Drawing No

22-256



Page: 1.0



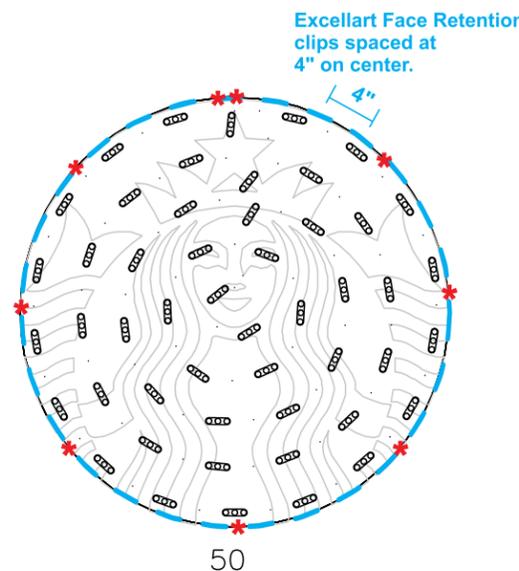
1 FRONT VIEW

Scale: 3/4" = 1' (11x17 Paper)

Specifications:

- A** Single face internally illuminated Excellart EC-Flex Standard flex face cabinet with bleed trim cover.
- B** White Flex faces with 3M 3630-126 Dark Emerald Green vinyl. Face retention clips spaced every 4".
- C** Interior of cabinet painted reflective white and exterior painted satin black.
- D** Internally illuminated with 6500K Sloan Prism Enlighten LEDs with remote power supply.
- E** 1/4" drain holes located at the bottom of cabinet as required by UL 48 for Electric Signs.
- F** Drain holes to be covered with drain hole covers to reduce light leaks.

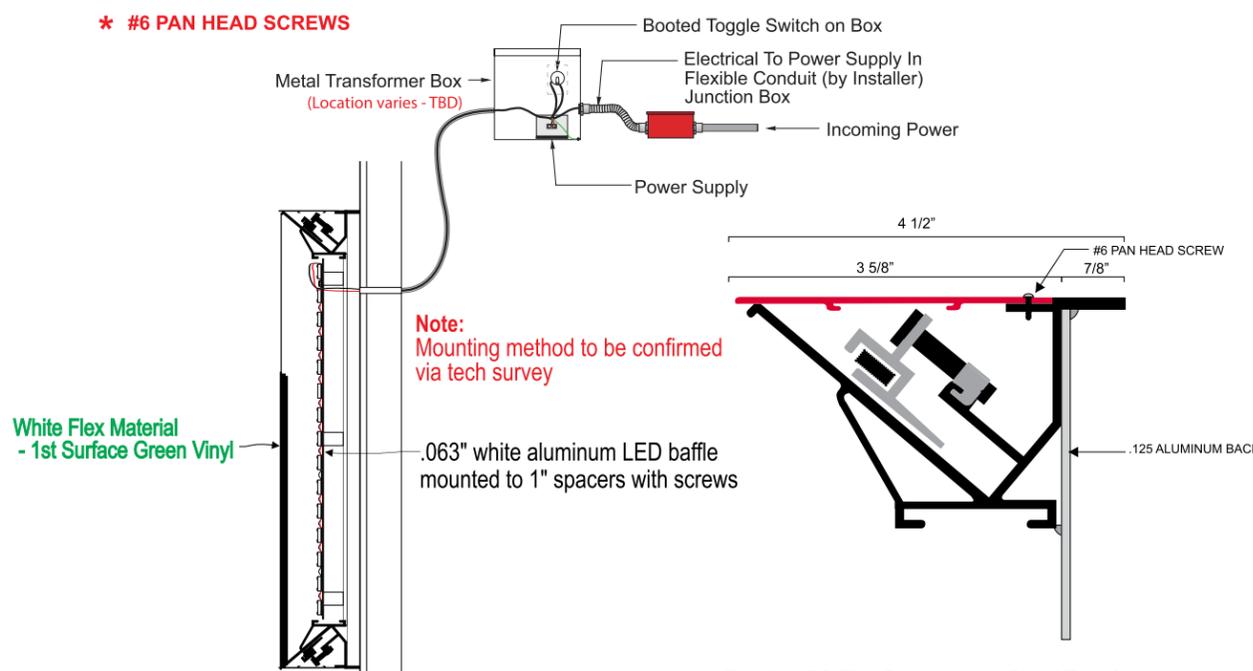
COLOR LEGEND	
PMS/PAIN	VINYL
PMS 3425 C	3M 3630-126
SATIN BLACK	NA
PMS WHITE	NA



- 1) ACTUAL CHANNEL LETTER POPULATION AND PRODUCT PLACEMENT MAY VARY FROM THIS LAYOUT
- 2) PRISM ENLIGHTEN WHITE 6500K LAID OUT AT 1.5 MODULES PER FOOT, 5.0" ON CENTER
- 3) EACH 60W3 POWER SUPPLY CAN RUN UP TO 72 PRISM ENLIGHTEN WHITE 6500K MODULES
- 4) LAYOUT BASED ON A 2.125" CAN DEPTH
- 5) DIMENSIONS ARE IN INCHES UNLESS STATED OTHERWISE
- 6) 701269-6WEJ1-MB WATTS PER MODULE: .75
- 7) PRIMARY SYSTEM POWER: 46.88 WATTS
- 8) LED MODULE POWER USAGE (secondary): 57.90 WATTS

ESTIMATED PRODUCT B.O.M. PER SIGN:
 50 Each Prism Enlighten White 6500K Modules - 34'
 PN: 701269-6WEJ1-MB
 1 Each 60C2 (Damp/Dry locations) or 60W3 (Wet location) 60W Power Supply 12VDC
 1 Each 100' Roll of Jacketed Cable

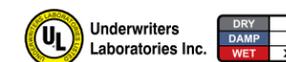
* #6 PAN HEAD SCREWS



Note:
 Mounting method to be confirmed via tech survey

Siren Detail

Excellart EC-Flex Standard with Bleed Trim Cover



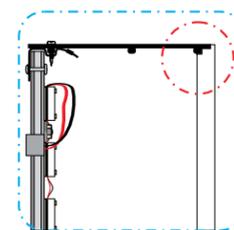
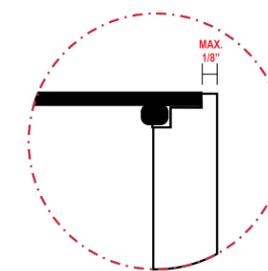
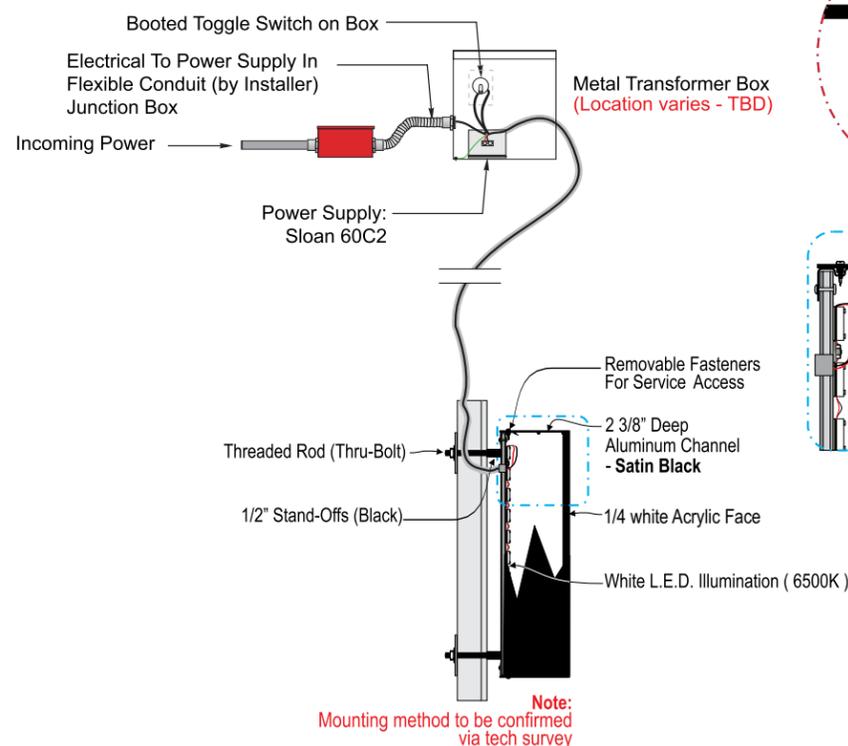
B TRIMLESS DAY/NITE CHANNEL LETTERS - REMOTE
 QTY - 3



Front View
 SCALE : 3" = 1'-0"

Specifications:

- A** Internally illuminated SDS LetterForm trimless channel letter with returns painted **satın black**.
- B** Faces letters 1/4" white acrylic with 3M day/nite perforated vinyl overlay, with white 3M diffuser second surface.
- C** Internally illuminated letters with 6500K Sloan white LED
- D** 1/4" drain holes located at the bottom of each letter as required by UL 48 for Electric Signs.
- E** Drain holes to be covered with drain hole covers to reduce light leaks.



N.T.S.



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

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Electrical Requirement:

120 Volts 277 Volts



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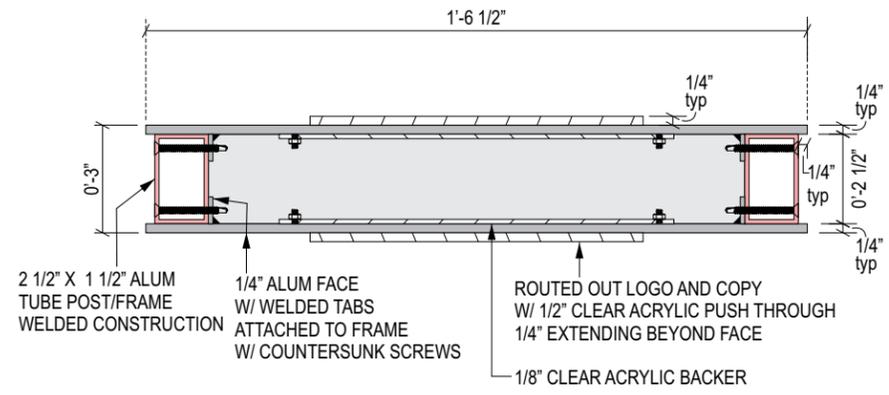
Drawing No

22-256

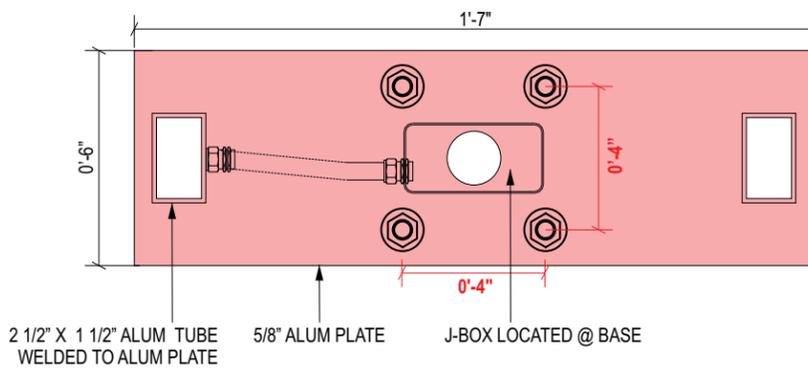


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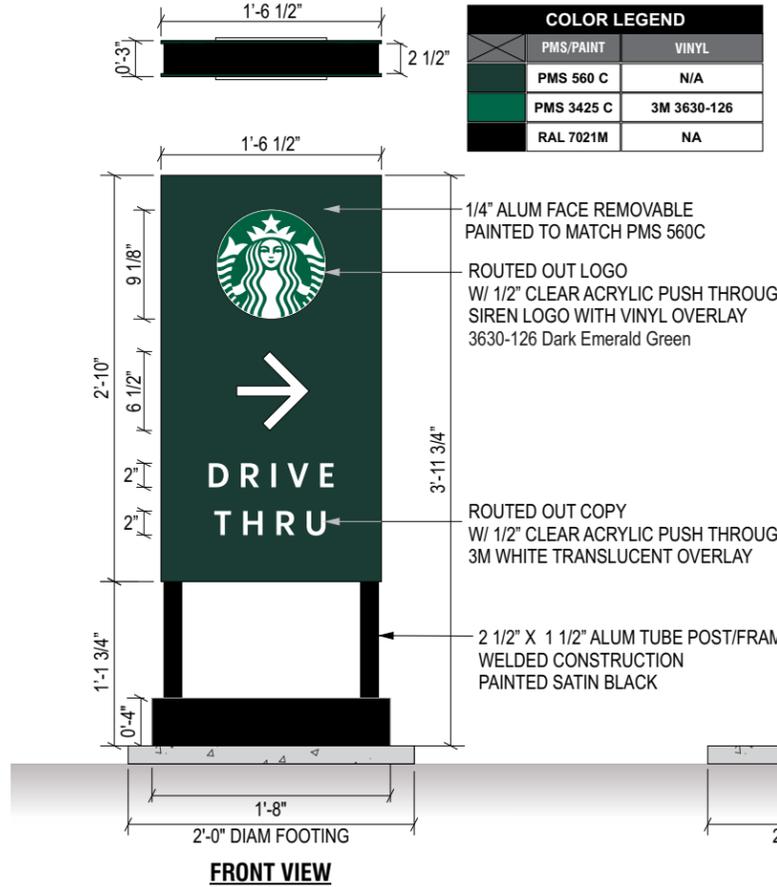
1 CABINET SECTION DRAWING
 Scale: 3" = 1'



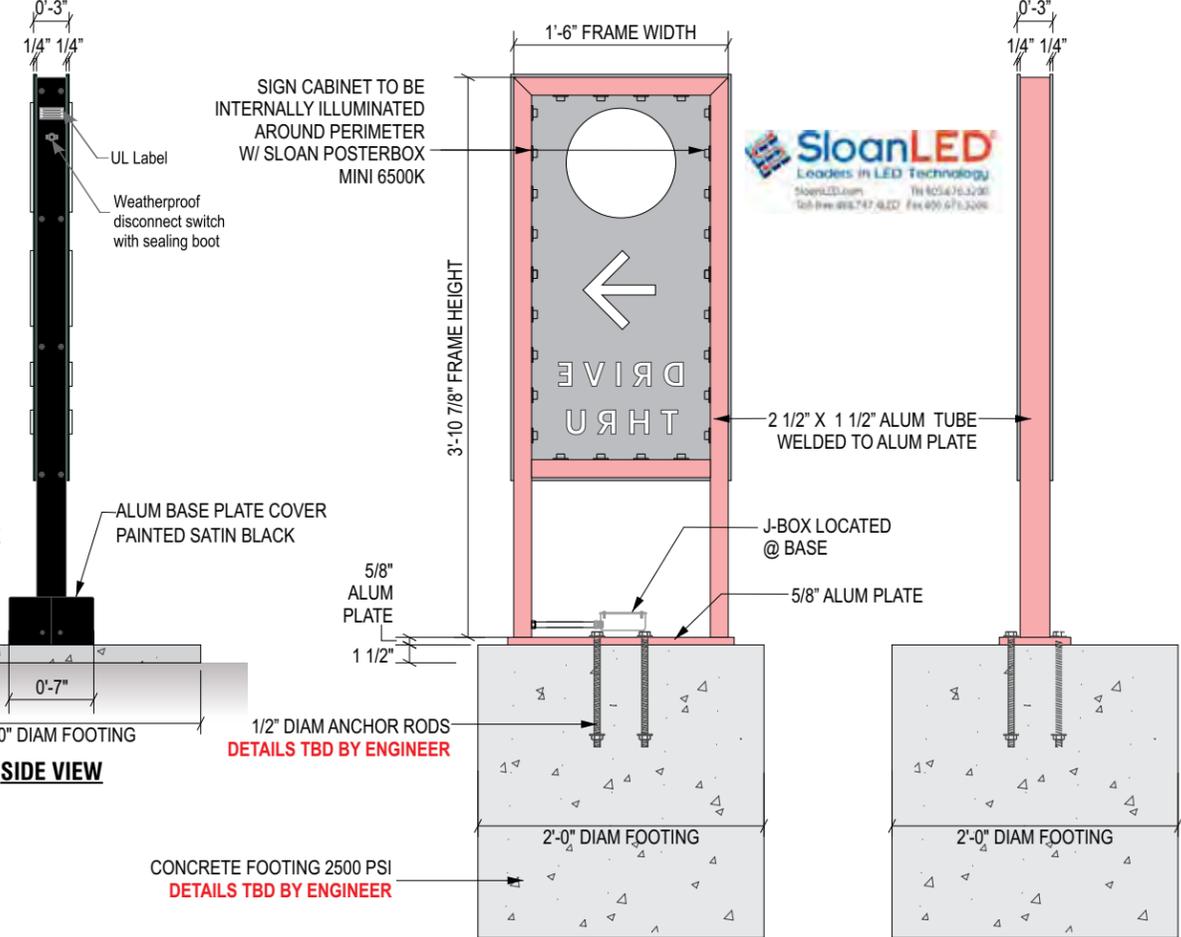
2 PLATE DETAIL
 Scale: 3" = 1'



BACK VIEW



C D/F DRIVE THRU ILLUMINATED DIRECTIONAL SIGNS~ Qty (1)
 Scale: 1" = 1'



Project:

Location:

Client Approval: _____

Date of Approval: _____

Sales Rep: Paul L.

Date: _____ Drawn by: L.S.

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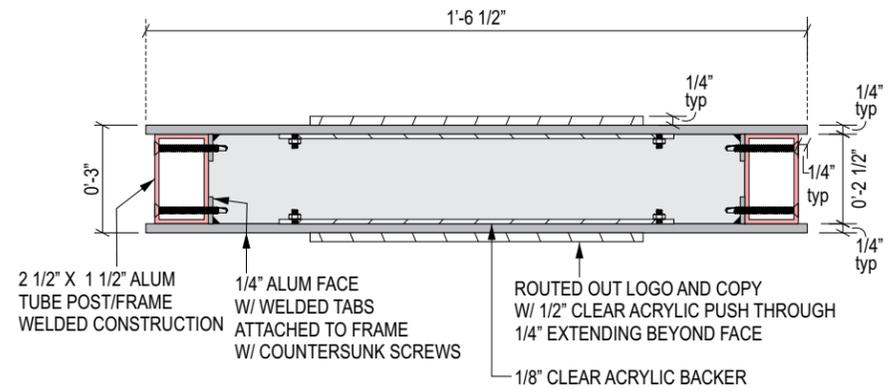
Electrical Requirement:
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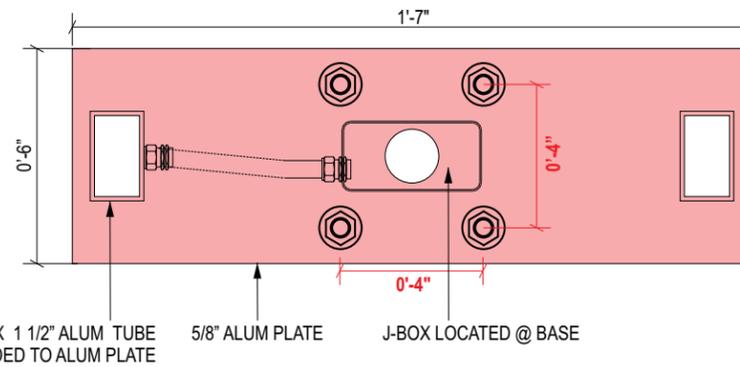
Drawing No
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1 CABINET SECTION DRAWING

Scale: 3" = 1'

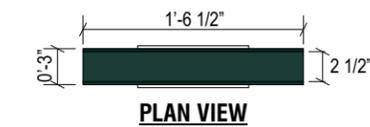


2 PLATE DETAIL

Scale: 3" = 1'

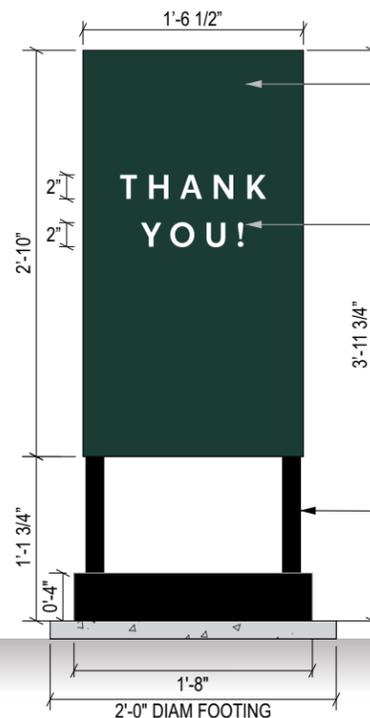


BACK VIEW



PLAN VIEW

COLOR LEGEND	
PMS/PAINT	VINYL
PMS 560 C	N/A
PMS 3425 C	3M 3630-126
RAL 7021M	NA
TBV	TBV



FRONT VIEW

1/4" ALUM FACE REMOVABLE PAINTED TO MATCH PMS 560C

ROUTED OUT COPY W/ 1/2" CLEAR ACRYLIC PUSH THROUGH 3M WHITE TRANSLUCENT OVERLAY

2 1/2" X 1 1/2" ALUM TUBE POST/FRAME WELDED CONSTRUCTION PAINTED SATIN BLACK



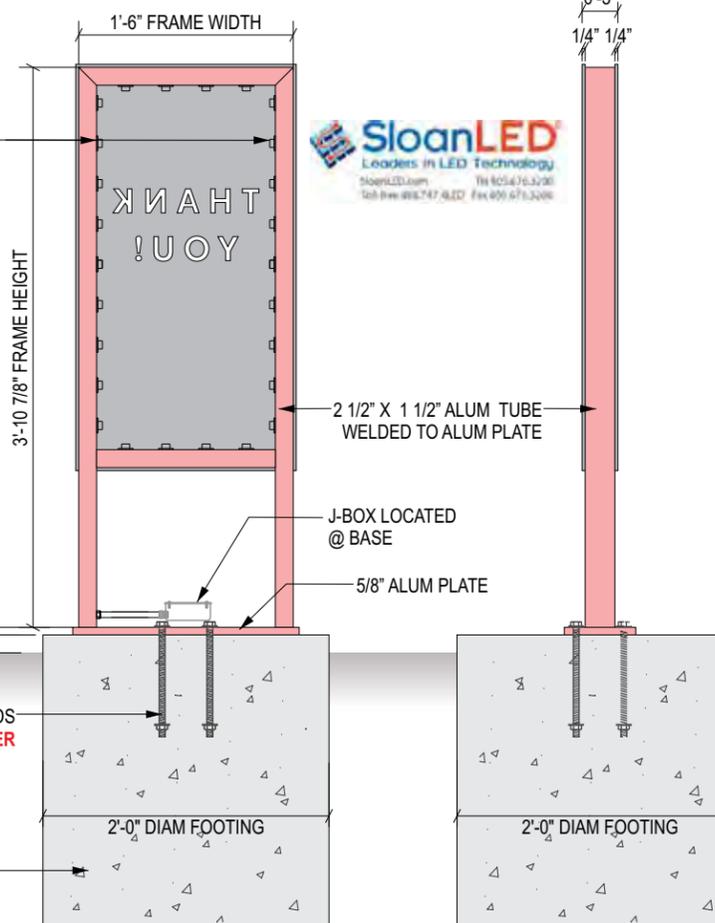
SIDE VIEW

SIGN CABINET TO BE INTERNALLY ILLUMINATED AROUND PERIMETER W/ SLOAN POSTERBOX MINI 6500K

ALUM BASE PLATE COVER PAINTED SATIN BLACK

1/2" DIAM ANCHOR RODS
 DETAILS TBD BY ENGINEER

CONCRETE FOOTING 2500 PSI
 DETAILS TBD BY ENGINEER



D D/F DRIVE THRU ILLUMINATED DIRECTIONAL SIGNS~ Qty (1)

Scale: 1" = 1'

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

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Electrical Requirement:

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ELEVATION VIEW
1/2" = 1'-0"

BASE PLATE DETAIL
1/2" = 1'-0"

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE 2019 CALIFORNIA BUILDING CODE (CBC), AND 2018 INTERNATIONAL BUILDING CODE (IBC).
- ANY CONFLICTS BETWEEN THESE DRAWINGS, STANDARDS NOTED HEREIN, PROJECT REQUIREMENTS, AND/OR OTHER REFERENCE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER, WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- PROVIDE ISOLATION OF DISSIMILAR MATERIALS

DESIGN CRITERIA:

- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16
 BASIC WIND SPEED: 150 MPH
 RISK CATEGORY: II
 EXPOSURE CATEGORY: C
 SITE CLASS: D
 OCCUPANCY CATEGORY: II
 SEISMIC DESIGN CATEGORY: D
 IMPORTANCE FACTOR: 1.0
 RESPONSE MODIFICATION FACTOR: $R_p=3.0$
 AMPLIFICATION FACTOR: $A_p=2.5$

CONCRETE:

- DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
- STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
- COMPRESSIVE STRENGTH AT 28 DAYS: $f'_c=2,500$ PSI MIN.
- PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
- CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH SOIL.
- SOIL PASSIVE PRESSURE PER CBC CLASS 5 (100 PCF).

ALUMINUM

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE MOST CURRENT ALUMINUM ASSOCIATION ALUMINUM DESIGN MANUAL 1.
- ALUMINUM ELEMENTS 6061-T6
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AISC QUALITY CERTIFIED FABRICATOR.
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE OF WELD TO MATCH SMALLEST MEMBER/MATERIAL SIZE.
- ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.2. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.

WIND LOADS NEW ASCE 7-16:

(29.5.1) Vel, ft/min	120.00	$V_e = 0.00155 V_b V_{h,z} V_{e,z} V_{e,g}$
(29.5.2) Risk Category	II	
(29.5.3) Wind Speed (V), mph	150	mph (see ASCE 7-16)
(Table 29.5-1) Directional Ex. (K _d)	0.85	(Table 29.5-1)
(29.5.4) Exposure Category	E	
(29.5.5) Topog. Ex. (K _t)	1	(unless otherwise noted)
(29.5.6) Ground Eff. Ex. (K _z)	1	(if all elevated)
(29.5.7) Gust Eff. Ex. (K _g)	1.00	
(29.5.8) Ex. (height of affected wind)	2.50	ft
(29.5.9) Ex. (width of affected wind)	4.10	ft
(29.5.10) Ex. (height of affected wind)	1.50	ft
(29.5.11) Ex. (width of affected wind)	0.89	ft
(29.5.12) Ex. (height of affected wind)	N/A	0.84
(29.5.13) Ex. (width of affected wind)	1.00	
Force Coefficient (C _f)		
Velocity pressure exposure coefficient (K _z)		(Table 29.1-1)
for V _e (ft/min), with 30% W (2-year, gusting velocities)		ASCE Eq. 29.4-2 therefore: 1.0
W (2-year, gusting velocities)	3.07	psf

BASE PLATE DESIGN:

Base Plate Check:

Max. Moment (k-in)	0.87	Min. Yield Moment (k-in)	2.20
Max. Shear (k)	0.44	Min. Yield Shear (k)	0.9
Max. Torsion (k-in)	0.00	Min. Yield Torsion (k-in)	0.32
Max. Axial (k)	0.00	Min. Yield Axial (k)	0.0
Max. Combined (k)	0.87	Min. Yield Combined (k)	0.42

DIRECT BURIAL FOOTING:

Max. Moment (k-in)	0.87	Min. Yield Moment (k-in)	2.20
Max. Shear (k)	0.44	Min. Yield Shear (k)	0.9
Max. Torsion (k-in)	0.00	Min. Yield Torsion (k-in)	0.32
Max. Axial (k)	0.00	Min. Yield Axial (k)	0.0
Max. Combined (k)	0.87	Min. Yield Combined (k)	0.42

ALUMINUM CONNECTION DESIGN:

Check Aluminum Rectangular Tube:

Max. Moment (k-in)	0.87	Min. Yield Moment (k-in)	2.20
Max. Shear (k)	0.44	Min. Yield Shear (k)	0.9
Max. Torsion (k-in)	0.00	Min. Yield Torsion (k-in)	0.32
Max. Axial (k)	0.00	Min. Yield Axial (k)	0.0
Max. Combined (k)	0.87	Min. Yield Combined (k)	0.42

Project:

Location:

Client Approval:

Date of Approval:

Sales Rep:
Paul L.

Date: _____ **Drawn by:**
L.S.

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Electrical Requirement:

120 Volts 277 Volts

YOSIMAR RAMOS
R.C.E. 89832
LIC. EXP 06/30/23

PREPARED BY:

YR ENGINEERING LP
424 E. MAITLAND ST. STE. A
ONTARIO, CA 91761
PHONE: (626) 374-5881
EMAIL: YRAMOS@YRENGINEERING.COM

STARBUCKS DRIVE THRU SIGNAGE
DIRECTIONAL SIGNAGE
VARIOUS LOCATIONS, CALIFORNIA

PREPARED FOR: SIGN INDUSTRIES, INC.

CHECKED BY:	YR	JOB NO:	2202-00	SHEET:	1 OF 1
DISREGARD PRINTS BEARING EARLIER REVISION DATES			02-03-22		

2101 Camillo Privado, Ontario, CA 91761
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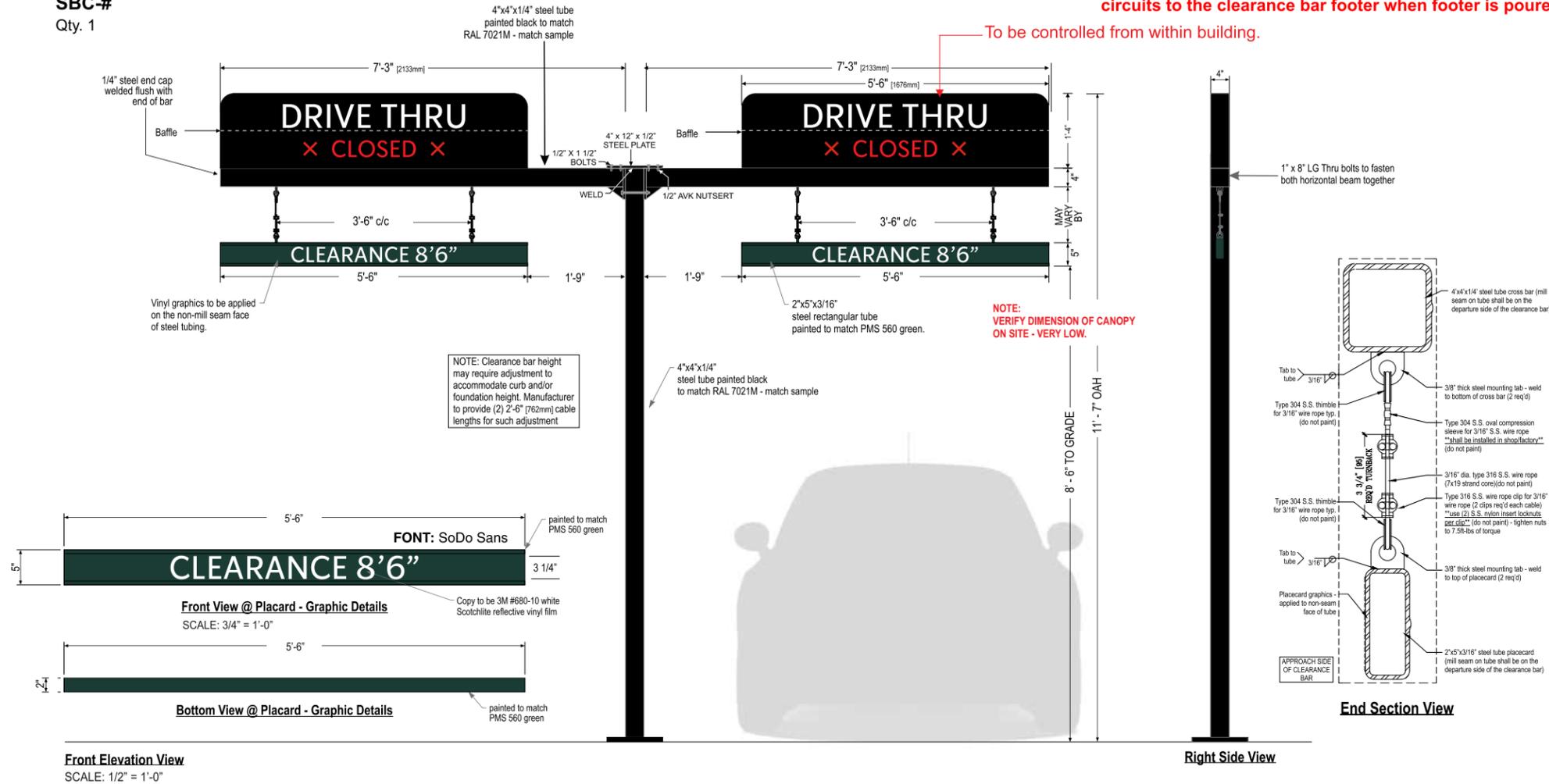
Drawing No
22-256

Page: **4.1**

F CLEARANCE BAR - ILLUMINATED

SBC-#
 Qty. 1

Note: GC responsible for placing qty. two (2) 3 position switches inside of the building adjacent to the pick up window and responsible for running the 4 switch controlled circuits to the clearance bar footer when footer is poured.
 To be controlled from within building.



Front Elevation View
 SCALE: 1/2" = 1'-0"

SIGN SPECIFICATIONS:

Scraper Bar:

- 2" x 5'-6" x 5" steel tube painted to match PMS 560 green.
- Flush steel end caps painted to match PMS 560 green.
- Copy and chevrons to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film.
- Bottom striping to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film. Striping extends 3/8" [10mm] onto front face.
- Suspend from support with SS cable & hardware. Cable provided requires field adjustment for proper clearance height.

DT Cabinet(s):

- 16" x 66" x 4" w/ 3" Radius Top Corners Fabricated .090" [2mm] aluminum housing painted black to match RAL 7021M
- Drive Thru copy backed up with .125" white polycarb. All polycarb face elements to be attached to aluminum face panel with weld studs. The red "X Closed X" copy is routed and backed with 2423 Red acrylic with light diffuser on 2nd surface. A baffle will be located between "Drive Thru" and "X CLOSED X". "Drive Thru" copy will be illuminated when the lane is open. "Drive Thru" copy will turn off and "X CLOSED X" copy will be illuminated when the lane is closed.
- Welded aluminum construction with no visible fasteners.
- All fasteners used in the assembly of internal components shall be coated to prevent corrosion.
- Internal structure of cabinet shall be per approved shop drawings.
- Graphic elements are internally illuminated using Sloan Prism Enlighten LEDs. LED's to be mounted on back of cabinet with self-contained power supply. All electrical components are removable for service.

Support:

- Supporting structure will be all welded steel tube construction painted black to match RAL 7021M as per approved shop drawings.
- New foundation may be required.
- Clearance bar will be mounted on a concrete pedestal. Will be attached with anchor bolts and base plate (engineering to be confirmed)

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 560 C	NA
	RAL 7021M	3M 3630-22
	REFL. WHITE	3M 680-10

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

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Electrical Requirement:

- 120 Volts 277 Volts



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Page: **7.0**



DESIGN CRITERIA:

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 BASIC WIND SPEED: 150 MPH
 RISK CATEGORY: II
 EXPOSURE CATEGORY: C
 SITE CLASS: D
 OCCUPANCY CATEGORY: II
 SEISMIC DESIGN CATEGORY: D
 IMPORTANCE FACTOR: 1.0
 RESPONSE MODIFICATION FACTOR: $R_p=3.0$
 AMPLIFICATION FACTOR: $A_p=2.5$

GENERAL NOTES:

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STEEL:

- SQUARE/REC HSS STEEL: ASTM A500GR. B $F_y=46$ KSI
- PLATE STEEL: ASTM A36 $F_y=36$ KSI
- STRUCTURAL STEEL MEMBERS SHALL BE SHEARED, FORMED, PUNCHED, WELDED, AND PAINTED BY THE MANUFACTURER. ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.1. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.

CONCRETE:

- DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
- STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
- COMPRESSIVE STRENGTH AT 28 DAYS: $f'_c=2500$ PSI MIN.
- PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
- CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH SOIL.
- SOIL PASSIVE PRESSURE PER CBC CLASS 5 (100 PCF).

LEGEND:

- 4" x 4" x 1/4" SQ. HSS FRAME PER ELEVATION AND BASE PLATE DETAILS HEREON.
- 1" THK. STEEL BASE PLATE (12"x12") PER BASE PLATE DETAIL HEREON.
- (4) 3 1/2" x 3 1/2" x 3/4" STEEL GUSSET PLATE PER BASE PLATE DETAIL HEREON.
- (2) 3" x 3" x 1/2" STEEL GUSSET PLATE PER DETAILS HEREON.
- 3/4" THK. MOUNTING PLATE (14"x4") PER DETAILS HEREON.
- 3/4" THK. BASE PLATE (7"x4") PER DETAILS HEREON.
- (2) 1/2" HDG THRU BOLT PER ASTM A325 WITH HEAVY HEX HEAD HARDWARE PER DETAILS HEREON.
- (8) 1/2" HDG THRU BOLT PER ASTM A325 WITH HEAVY HEX HEAD HARDWARE PER DETAILS HEREON.
- (4) 5/8" THREADED HOT DIPPED GALVANIZED HEAVY HEX BOLT (ASTM F1554 GRADE 55) WITH GALVANIZED HARDWARE PER ELEVATION AND BASE PLATE DETAIL HEREON.
- HORIZ: (3) #4 TIES AT 5" O.C. TOP
 (3) #4 TIES AT 6" O.C. TOP 30"
 (3) #4 TIES AT 12" O.C. REMAINDER
 VERT: (6) #6 BARS SPACES EVENLY AROUND PERIMETER CLEARANCE 3" MIN. TO EDGE OF CONC.
- CONCRETE FOOTING PER PLAN AND SPECIFICATIONS HEREON.

Project:

Location:

Client Approval:

Date of Approval:

Sales Rep: Paul L.

Date: Drawn by: L.S.

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Electrical Requirement:
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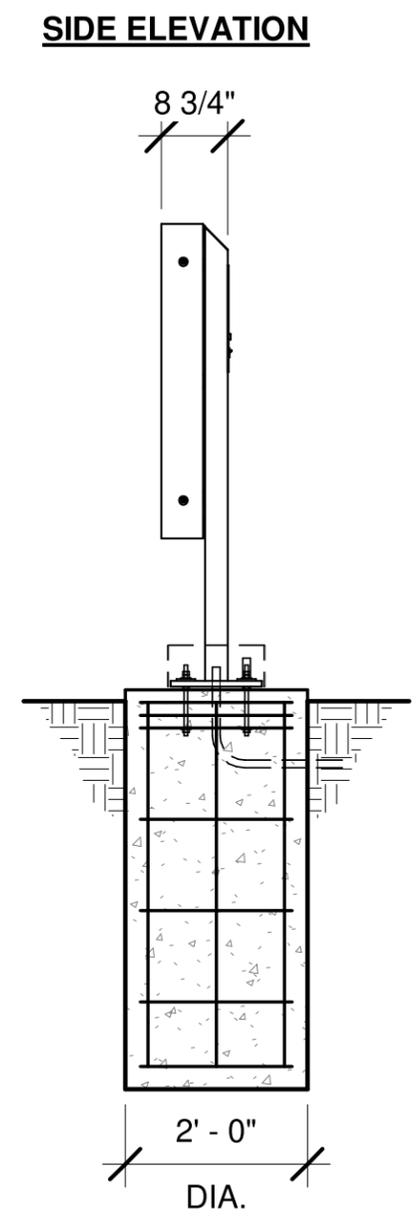
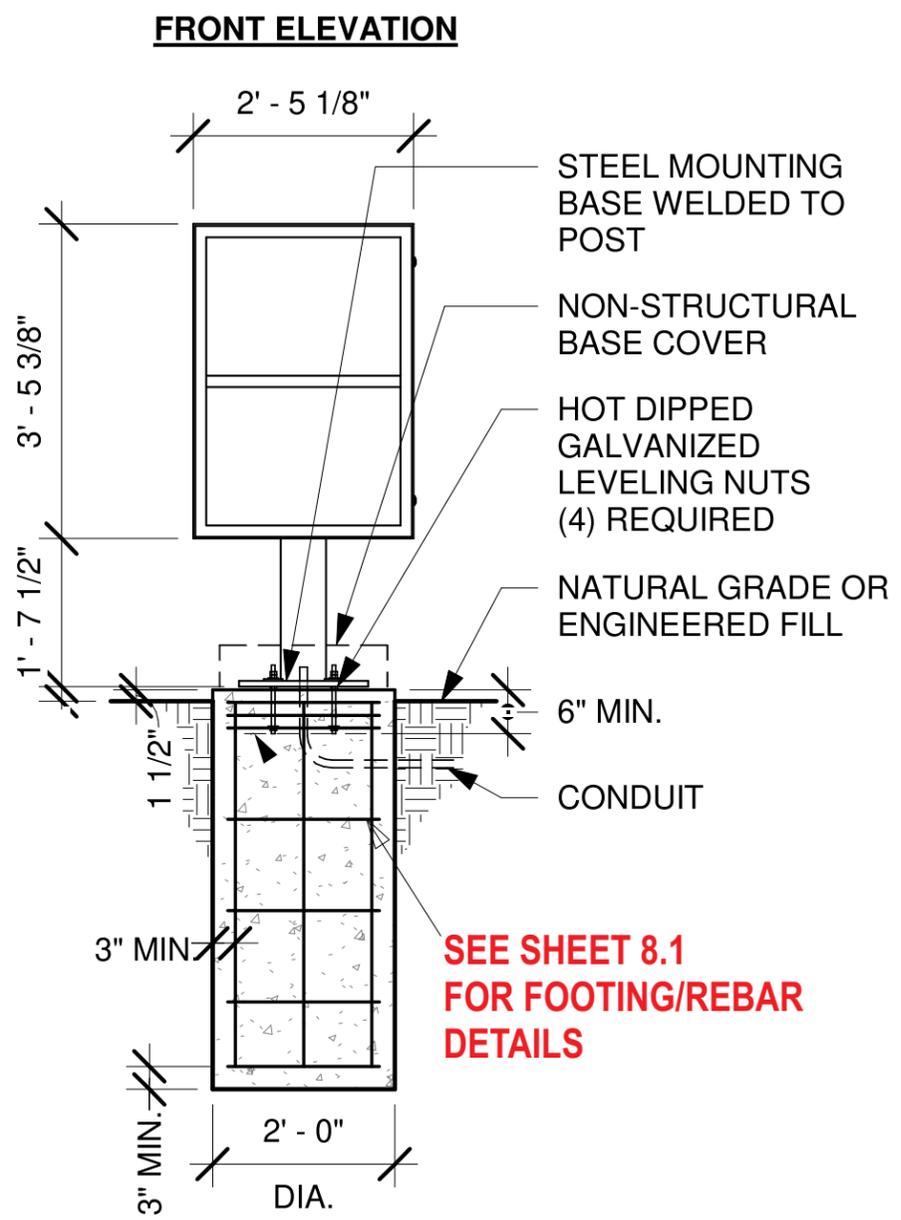
Page: **7.1**

DRIVE-THRU PRE-MENU SIGN

Design ID#22542 



PRE-MENU SIGN



Project: 

Location: _____

Client Approval: _____

Date of Approval: _____

Sales Rep: Paul L.

Date: _____ Drawn by: L.S.

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Electrical Requirement:
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Sign Industries
INCORPORATED

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Drawing No
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Page: **8.0**

G DRIVE THRU PRE-MENU SIGN~ Qty (1)
 INSTALLATION ONLY

DRIVE-THRU PRE-MENU SIGN

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

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Page 8.1

ELEVATION VIEW
1/2" = 1'-0"

BASE PLATE DETAIL
1 1/2" = 1'-0"

WINDLOADS PER ASCE 7-16:

Wind Dir.	Exposure Category	Basic Wind Speed (mph)	Basic Wind Stress (psf)	Exposure Category	Wind Directionality Factor	Wind Tunnel Factor	Wind Amplification Factor	Final Wind Stress (psf)
1	II	120	41.60	II	1.0	1.0	1.0	41.60
2	II	120	41.60	II	1.0	1.0	1.0	41.60
3	II	120	41.60	II	1.0	1.0	1.0	41.60

DIRECT BURIAL FOOTING:

Wind Dir.	Exposure Category	Basic Wind Speed (mph)	Basic Wind Stress (psf)	Exposure Category	Wind Directionality Factor	Wind Tunnel Factor	Wind Amplification Factor	Final Wind Stress (psf)
1	II	120	41.60	II	1.0	1.0	1.0	41.60
2	II	120	41.60	II	1.0	1.0	1.0	41.60
3	II	120	41.60	II	1.0	1.0	1.0	41.60

STEEL COLUMN DESIGN:

Wind Dir.	Exposure Category	Basic Wind Speed (mph)	Basic Wind Stress (psf)	Exposure Category	Wind Directionality Factor	Wind Tunnel Factor	Wind Amplification Factor	Final Wind Stress (psf)
1	II	120	41.60	II	1.0	1.0	1.0	41.60
2	II	120	41.60	II	1.0	1.0	1.0	41.60
3	II	120	41.60	II	1.0	1.0	1.0	41.60

BASE PLATE DESIGN:

Wind Dir.	Exposure Category	Basic Wind Speed (mph)	Basic Wind Stress (psf)	Exposure Category	Wind Directionality Factor	Wind Tunnel Factor	Wind Amplification Factor	Final Wind Stress (psf)
1	II	120	41.60	II	1.0	1.0	1.0	41.60
2	II	120	41.60	II	1.0	1.0	1.0	41.60
3	II	120	41.60	II	1.0	1.0	1.0	41.60

STEEL:

- SQ/RECT. HSS: ASTM A500, GR. B Fy=46 KSI
- PLATE STEEL: ASTM A36 Fy=36 KSI
- STRUCTURAL STEEL MEMBERS SHALL BE SHEARED, FORMED, PUNCHED, WELDED, AND PAINTED BY THE MANUFACTURER. ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.1. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.

CONCRETE:

- DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
- STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
- COMPRESSIVE STRENGTH AT 28 DAYS: f'c=2500 PSI MIN.
- PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
- CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH SOIL.
- SOIL PASSIVE PRESSURE PER CBC CLASS 5 (100 PCF).

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE 2019 CALIFORNIA BUILDING CODE (CBC), AND 2018 INTERNATIONAL BUILDING CODE (IBC).
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- PROVIDE ISOLATION OF DISSIMILAR MATERIALS.

DESIGN CRITERIA:

- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16
BASIC WIND SPEED: 150 MPH
RISK CATEGORY: II
EXPOSURE CATEGORY: C
SITE CLASS: D
OCCUPANCY CATEGORY: II
SEISMIC DESIGN CATEGORY: D
IMPORTANCE FACTOR: 1.0
RESPONSE MODIFICATION FACTOR: R_p=3.0
AMPLIFICATION FACTOR: A_p=2.5

YOSIMAR RAMOS
R.C.E. 89832
LIC. EXP 06/30/23

PREPARED BY:

YR ENGINEERING LP
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PHONE: (626) 374-5881
EMAIL: YRAMOS@YRENGINEERING.COM

STARBUCKS DRIVE THRU SIGNAGE

PRE-MENU BOARD

VARIOUS LOCATIONS, CALIFORNIA

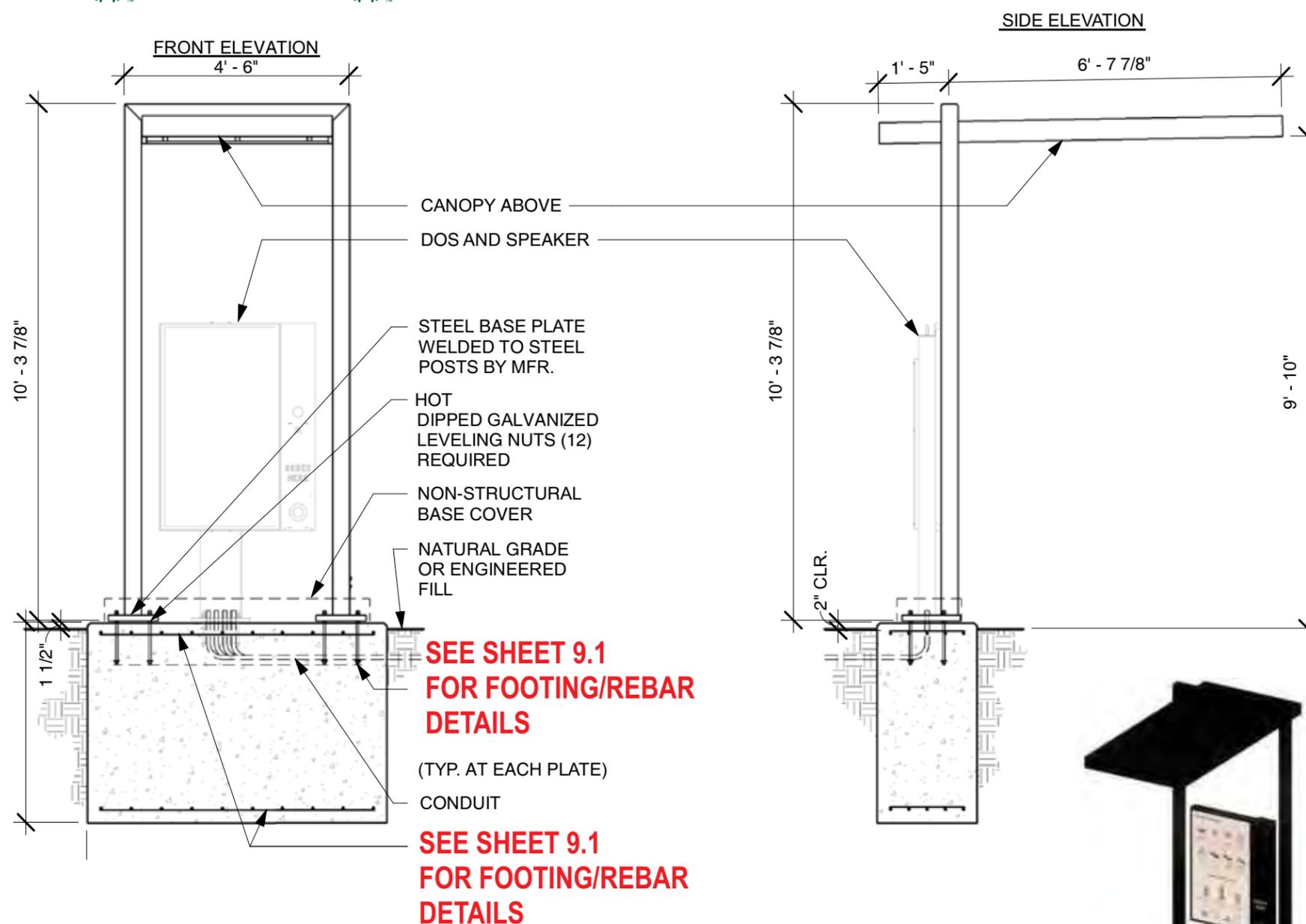
PREPARED FOR: SIGN INDUSTRIES, INC.

CHECKED BY: YR	JOB NO: 2131-00	SHEET: 1 OF 1
DISREGARD PRINTS BEARING EARLIER REVISION DATES		



DRIVE-THRU CANOPY WITH DIGITAL ORDER SCREEN

Design ID#22543  Design ID#22546 



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

1		
2		
3		
4		
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6		

Electrical Requirement:

120 Volts 277 Volts



2101 Carrillo Privado, Ontario, CA 91761
 (909) 930-0303 Fax: (909) 930-0308
 E-mail: design@signindustries.tv
 Web: www.signindustries.tv

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Drawing No

22-256



Page: 9.0

H DRIVE THRU CANOPY WITH DIGITAL ORDER SCREEN~ Qty (1)
 INSTALLATION ONLY

NTS

CANOPY WITH DOS



DRIVE-THRU CANOPY WITH DIGITAL ORDER SCREEN

SIDE VIEW
10'-3 7/8" height, 6'-7 7/8" width, 4'-6" depth.

ELEVATION VIEW
10'-3 7/8" height, 4'-6" width, 3" MIN. EMBED.

BASE PLATE DETAIL
3'-0" width, 10'-0" length, 3/4" = 1'-0" scale.

WINLOADS PER ASCE 7-16:

Directional Procedure	(20.6-1)	1.0	(20.6-1)	1.0	(20.6-1)
Wind Speed (V)	115 mph	(20.6-1)	115 mph	(20.6-1)	115 mph
Directional Ex. Coeff.	0.85	(20.6-4)	0.85	(20.6-4)	0.85
Exposure Category	C	(20.6-1)	C	(20.6-1)	C
Topo Ex. Coeff.	1.0	(20.6-7)	1.0	(20.6-7)	1.0
Ground Ex. Coeff.	1.0	(20.6-7)	1.0	(20.6-7)	1.0
Wind Dir. Ex. Coeff.	0.85	(20.6-7)	0.85	(20.6-7)	0.85
Wind Dir. Ex. Coeff.	0.85	(20.6-7)	0.85	(20.6-7)	0.85
Exposure Coefficient	0.85	(20.6-7)	0.85	(20.6-7)	0.85
Velocity pressure exposure coefficient	0.85	(20.6-7)	0.85	(20.6-7)	0.85
For a flat roof, add 15%		(20.6-7)		(20.6-7)	

DIRECT BURIAL FOOTING:

ML	12.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
KL	7.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
PL	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
SL	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
TL	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
BL	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
BR	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
BR	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
BR	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
BR	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00

BASE PLATE DESIGN:

Max	620	4.00	10.00	3.25	4.00	1.0	1.0	100.00
Min	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
Typ	5.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
Min	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
Max	620	4.00	10.00	3.25	4.00	1.0	1.0	100.00
Min	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
Typ	5.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00
Min	1.00	4.00	10.00	3.25	4.00	1.0	1.0	100.00

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- PROVIDE ISOLATION OF DISSIMILAR MATERIALS

STEEL:

- SQ/RECT. HSS: ASTM A500, GR. B Fy=46 KSI
- PLATE STEEL: ASTM A36 Fy=36 KSI
- STRUCTURAL STEEL MEMBERS SHALL BE SHEARED, FORMED, PUNCHED, WELDED, AND PAINTED BY THE MANUFACTURER. ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.1. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.

CONCRETE:

- DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
- STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
- COMPRESSIVE STRENGTH AT 28 DAYS: f_c=2500 PSI MIN.
- PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
- CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH SOIL.
- SOIL PASSIVE PRESSURE PER CBC CLASS 5 (100 PCF).

PREPARED BY:

YR ENGINEERING LP
424 E. MAITLAND ST. STE. A
ONTARIO, CA 91761
PHONE: (626) 374-5881
EMAIL: YRAMOS@YRENGINEERING.COM

STARBUCKS DRIVE THRU SIGNAGE
DIGITAL ORDER SCREEN CANOPY
VARIOUS LOCATIONS, CALIFORNIA

PREPARED FOR: SIGN INDUSTRIES, INC.

CHECKED BY: YR JOB NO: 2131-00 SHEET: 1 OF 1

DISREGARD PRINTS BEARING EARLIER REVISION DATES → 10-13-21 12-27-21

YOSIMAR RAMOS
R.C.E. 89832
LIC. EXP 06/30/23

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

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6		

Electrical Requirement:

120 Volts 277 Volts



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Drawing No

22-256



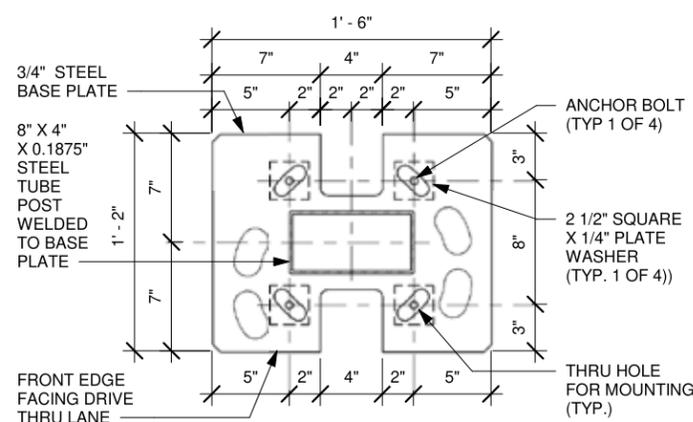
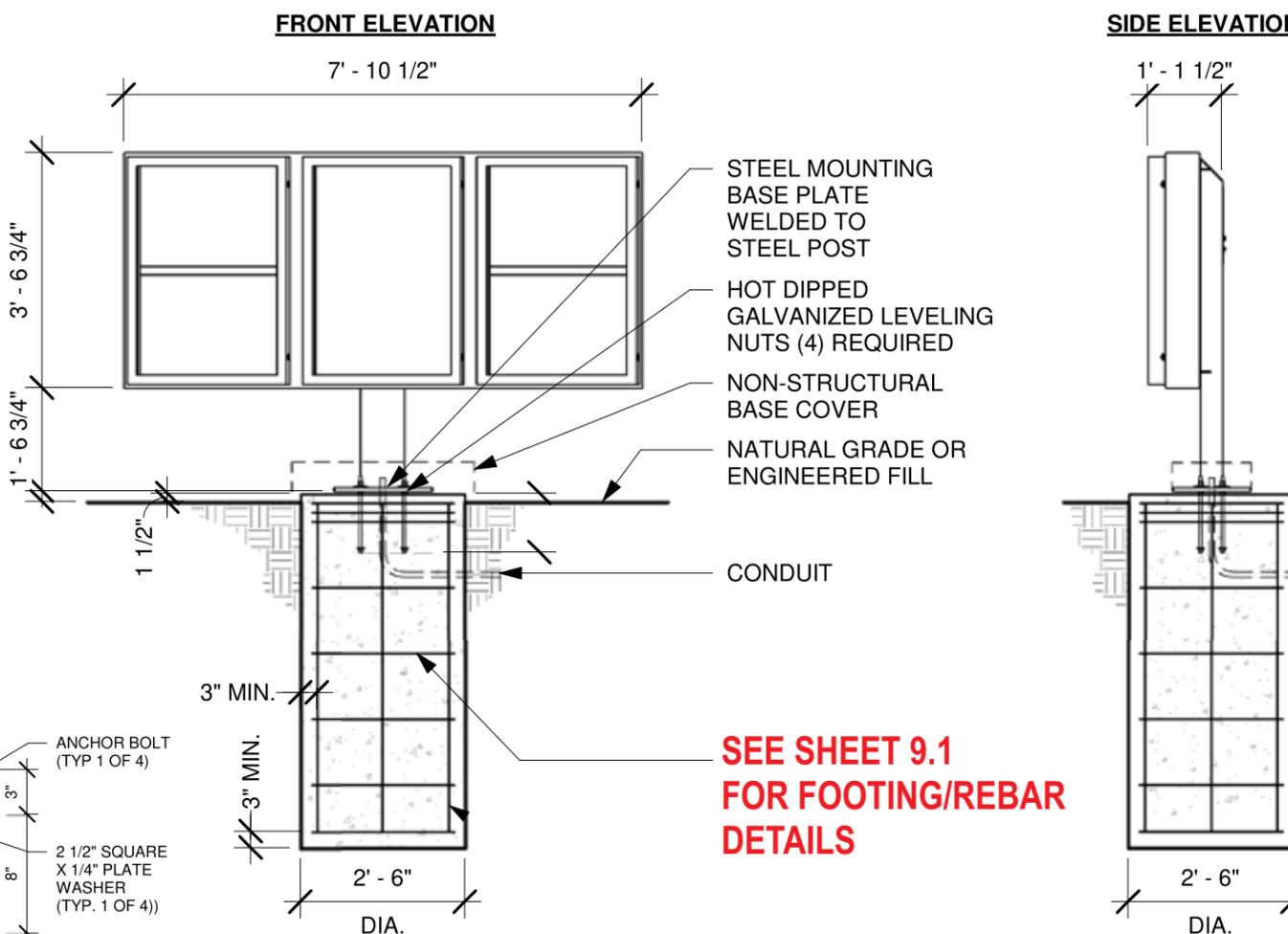
Page 9.1



DRIVE-THRU 5-PANEL MENU SIGN



5-PANEL MENU SIGN



SEE SHEET 9.1 FOR FOOTING/REBAR DETAILS

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

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Drawing No

22-256



Page: 10.0

Scale: 1" = 3/4"

Sq. Ft.
36

1 DRIVE THRU 5-PANEL MENU SIGN ~ Qty (1)
INSTALLATION ONLY



DRIVE-THRU 5-PANEL MENU SIGN

Project:



Location:

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

Drawn by:

L.S.

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Drawing No

22-256



Page: 10.1

ELEVATION VIEW
3/8" = 1'-0"

BASE PLATE DETAIL
1" = 1'-0"

DESIGN CRITERIA:

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 BASIC WIND SPEED: 150 MPH
 RISK CATEGORY: II
 EXPOSURE CATEGORY: C
 SITE CLASS: D
 OCCUPANCY CATEGORY: II
 SEISMIC DESIGN CATEGORY: D
 IMPORTANCE FACTOR: 1.0
 RESPONSE MODIFICATION FACTOR: R_p=3.0
 AMPLIFICATION FACTOR: A_p=2.5

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 VARIOUS LOCATIONS, CALIFORNIA

PREPARED FOR: SIGN INDUSTRIES, INC.

CHECKED BY: YR	JOB NO: 2131-00	SHEET: 1 OF 1
DISREGARD PRINTS BEARING EARLIER REVISION DATES	10-11-21	

YOSIMAR RAMOS
 R.C.E. 89632
 LIC. EXP 06/30/23

