Record No: CU-26-28

Conditional Use Permit

Status: Active

Submitted On: 6/28/2026

Primary Location

464 Fourth Street Extension
Guyton, GA 31312

Owner

TESSANNE CASEY ROXANNE
P O BOX 591 GUYTON, GA 31312

Applicant

Steve Watkins

[redacted]

ComSite, LLC
2538 Manor Walk
Decatur, GA 30030

Staff Review

Board of Commissioner Meeting Date*

08/18/2026

Notification Letter Description*

TO ALLOW A TELECOMMUNICATION TOWER

Stipulations

Property Location*

464 FOURTH STREET EXTENSION

Map #*

320

Parcel #*

11

Commissioner District*

3rd

Has Business License been applied for?*

No

Public Notification Letters Mailed

08/03/2026

Board of Commissioner Ads

07/29/2026

Request Approved or Denied

–

Applicant Information

Who is applying for the Conditional Use?*

Agent

Applicant / Agent Name*

Steve Watkins

Applicant Email Address*

[redacted]

Applicant Phone Number*

[redacted]

Applicant Mailing Address*

2538 Manor Walk

Applicant City*

Decatur

Applicant State*

GA

Applicant Zip Code*

30030

Property Owner Information

Owner's Name*

Casey Roxanne Tessanne

Owner's Email Address*

[redacted]

Owner's Phone Number*

[redacted]

Owner's Mailing Address*

P.O. Box 591

Owner's City*

Guyton

Owner's State*

GA

Owner's Zip Code*

31312

Property Information

Property Location*

464 Fourth St. Ext.

Present Zoning of Property*

AR-1

Map/Parcel Number*

03200011

Total Acres of Property*

4.57

Water Connection*

Private Water

Sewer Connection*

Private Septic System

Conditional Use Requested

Conditional Use*

Other

Status of Business License?*

Need to apply

Detailed Description of Type of Business*

Gulfsouth Towers is a national Telecommunications provider.

Reason:*

License, construct, and maintain an unlighted 195' monopole telecom tower, with T-Mobile as the initial wireless carrier, and providing the structural capability for at least an additional three carriers, to supply safe reliable wireless coverage for the residents, businesses, travelers, and emergency services providers in this area of the County.

How does request meet criteria of Section 7.1.6 (see Attachment C):

N/A

Attachment C - Site Plan Requirements

All Conditional Use submissions shall be accompanied by a site plan. This site plan shall be made on a scale in conformance with appropriate County Tax Maps and contain the following elements, as applicable (consult with Planning & Zoning staff to determine what features are required):

A.) Dimensions of the property involved. B.) Location and dimensions of existing and/or proposed structures with the type of usage designated. C.) Requested variance in relation to existing structures and surrounding parcels and uses. D.) Access road or easement. E.) Setbacks. F.) Right-of-way. G.) Proposed or existing water, sewer, and drainage facilities. H.) Buffers. I.) Off-street parking. J.) Wetlands. K.) Floodplain. L.) Loading areas, parking, signage, and outdoor lighting.

Appendix C – Zoning Ordinance, Article VII. – Planning Board, Section 7.1. Organization 7.1.6 Conditional uses. It shall be the responsibility of the planning board to review and recommend to county commission on all requests for interpretation of conditional use. The initial application for a conditional use shall be made to the zoning administrator who shall determine whether the use is allowed as a conditional use in the particular zone. If such use is allowed, then the zoning administrator shall submit the application to the planning board. After review by the planning board, recommendations shall be presented to the county commission as to additional restraints, restrictions, qualifications, or limiting factors that are felt to be desirable. The county commission shall review all recommendations and approve or disapprove the conditional use upon review by the planning board. Considerations for determining additional requirements for conditional use: (a) Approval of a conditional use shall not adversely affect the economic values or the physical appearance of the neighborhood or areas surrounding the site or lot in question. (b) The physical and environmental effects of allowing the conditional use shall be considered. (c) Buffer zones, where necessary to shield any adverse factors, shall be considered. (d) Additional space for parking, landscaping, building, loading zones, and setback shall be considered if necessary to protect adjacent structures or lots from any adverse impact.

Signature*

Stephen Baxter Watkins
Feb 10, 2026

3230622615
PARTICIPANT ID

BK:29 PG:102-102

P2021000138

FILED IN OFFICE
CLERK OF COURT
07/16/2021 10:07 AM
JASON C. BRAGG, CLERK
SUPERIOR COURT
EFFINGHAM COUNTY, GA

Jason E. Bragg

SURVEYOR'S CERTIFICATE

THIS PLAT IS EXEMPT FROM REVIEW BY THE GOVERNING AUTHORITY BECAUSE IT IS A RETRACEMENT SURVEY.

O.C.G.A. Section 15-6-67 (c)(2)(D)
This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

LAND SURVEYOR — DATE: 5/21/21

GEORGIA REGISTERED NO. 3280 5/21/21 LAND SURVEYOR JAMES MATTHEW ANDERSON

NOTES:

1. PLAT E.O.C. – 1' IN 305,981' AVERAGE
2. FIELD E.O.C. – 1' IN 130,802'
3. ANGULAR ERROR – 03.8" PER POINT
4. ADJUSTMENT METHOD – LEAST SQUARES
5. EQUIPMENT USED : 10" THEODOLITE
   100' STEEL TAPE
   E.D.M.
6. A PORTION OF THIS SURVEY WAS COMPLETED USING GPS EQUIPMENT.
7. THE GPS RECEIVERS USED WERE CARLSON BR6+ RECEIVERS USING L1, L2, & L5 FREQUENCIES WITH 5 CONSTELLATIONS.
8. THE SURVEY WAS DONE USING GPS BASE AND ROVER REAL TIME KINEMATIC.
9. ALL POINTS COLLECTED HAD A POSITIONAL TOLERANCE LEVEL OF 0.05 OR LESS WITH A 95% CONFIDENCE LEVEL.
10. NO N.G.S. MON. FND. WITHIN 500' OF THIS SURVEY.
11. CERTIFICATE OF AUTHORIZATION # – LSF000094
12. CURRENT OWNER IS DAVID N. HURST & PATRICIA H. HURST.
13. SUBJECT PROPERTY PLAT REFERENCES: P.B. "E" PG. 296 & P.B. "F" PG. 140
14. COORDINATES SHOWN ARE STATE PLANE COORDINATES, NAD 83, AS PER SURVEY GRADE GPS OBSERVATIONS.
15. NO WETLAND DELINEATION WAS DONE FOR THIS SURVEY. FIELD VERIFICATION IS RECOMMENDED.
16. THESE PARCELS ARE IN EFFINGHAM COUNTY, PARCEL ID 03200008, 03200008, AND 03200011.

FLOOD STATEMENT

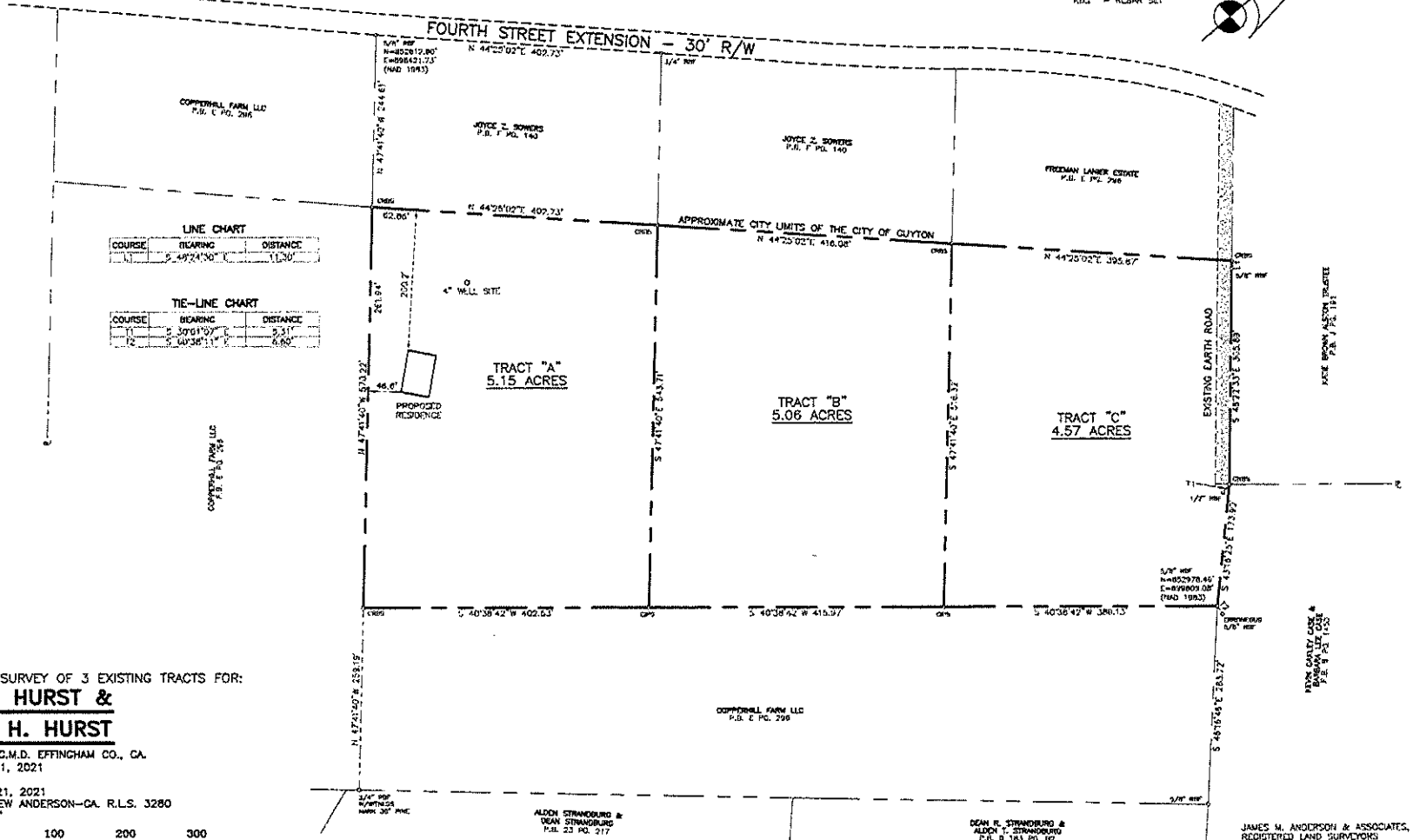
THIS LOT IS NOT LOCATED IN A FLOOD HAZARD ZONE, AS PER MAPS PREPARED FOR THE NATIONAL FLOOD INSURANCE PROGRAM, FIRM #13103C0235E, MAP EFFECTIVE ON MARCH 16, 2015.

WETLAND STATEMENT

A PORTION OF THIS PROPERTY MAY BE CONSIDERED WETLANDS UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS. OWNERS MAY BE SUBJECT TO PENALTY BY THE LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.

LEGEND

CIPS – CAPPED IRON PIPE SET
CMF – CONCRETE MONUMENT FOUND
CMP – CORRUGATED METAL PIPE
CMS – CONCRETE MONUMENT SET
CRBS – CAPPED REBAR SET
IPF – IRON PIPE FOUND
IPS – IRON PIPE SET
NS – MAG NAIL SET
RBF – REBAR FOUND
RBS – REBAR SET



RETRACEMENT SURVEY OF 3 EXISTING TRACTS FOR:

DAVID N. HURST &

PATRICIA H. HURST

LOCATION: 10TH. G.M.D. EFFINGHAM CO., GA.
SURVEYED: MAY 21, 2021

PLAT DATE: MAY 21, 2021
BY: JAMES MATTHEW ANDERSON–GA. R.L.S. 3280
SCALE: 1" = 100'

100 0 100 200 300
GRAPHIC SCALE – FEET

JN21014.CRD & JN21014_TRACTS.DWG

JAMES M. ANDERSON & ASSOCIATES, INC.
REGISTERED LAND SURVEYORS
P.O. BOX 894 104 OAK STREET
STATESBORO, GA. 30459
PHONE: (912) 764-2002

CONSTRUCTION DRAWINGS

PROPOSED 195-FT MONOPOLE

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526

SITE OVERVIEW

TYPE OF OCCUPANCY:	TELECOMMUNICATIONS
PROJECT TYPE:	COVERAGE STRATEGY
TOWER TYPE:	MONOPOLE
TOWER HEIGHT:	195-FT +/-
TOWER LATITUDE:	32.342391° (32° 20' 32.61" N)
TOWER LONGITUDE:	-81.378601° (81° 22' 42.97" W)
GROUND ELEVATION:	96.5-FT +/- AMSL (NAVD 88)
ZONING JURISDICTION:	EFFINGHAM COUNTY
COUNTY:	EFFINGHAM
PARCEL ID:	03200011
ZONED:	AR-1
PROJECT AREA:	0.72 ACRES (31,457 SF)
DISTURBED AREA:	0.74 ACRES (32,431 SF)
POWER COMPANY:	GEORGIA POWER SOUTHERN CO. (912) 665-4216
TELCO/FIBER COMPANY:	PLANTERS BROADBAND CO-OP (912) 857-4411

PROJECT CONTACT DIRECTORY

LAND OWNER:	TESSANNE CASEY ROXANNE P O BOX 591 GUYTON, GA 31312
PREPARED FOR:	GST CAPITAL PARTNERS, LLC 25387 FRIENDSHIP RD., STE B DAPHNE, AL 36526 OFFICE: (251) 270-9267
SITE ENGINEER:	DELTA OAKS GROUP, PLLC 2724 DISCOVERY DRIVE, SUITE 110-120 RALEIGH, NC 27616 CONTACT: RHETT BUTLER, PE (919) 342-8247
APPLICANT:	T-MOBILE 1110 MOUNTLIMA DR SUITE 900, MOBILE, AL 36609

SCALE NOTE:

ALL DRAWINGS INCLUDED IN THIS SET USE 11" X 17" SHEETS FOR PRINTING PURPOSES.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

1. ANSI/TIA-222-H
2. LOCAL BUILDING CODE
3. CITY/COUNTY ORDINANCES
4. 2018 INTERNATIONAL RESIDENTIAL CODE
5. 2018 INTERNATIONAL BUILDING CODE
6. 2018 INTERNATIONAL FIRE CODE
7. 2018 INTERNATIONAL PLUMBING CODE
8. 2018 INTERNATIONAL MECHANICAL CODE
9. 2018 INTERNATIONAL FUEL GAS CODE
10. 2015 INTERNATIONAL ENERGY CONSERVATION CODE
11. 2023 NATIONAL ELECTRICAL CODE

GEORGIA 811
www.Georgia811.com
KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.
CALL GEORGIA 811
3 WORKING DAYS BEFORE YOU DIG
811 OR 1-800-282-7411

GENERAL NOTES

- THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, THEREFORE HANDICAP ACCESS IS NOT REQUIRED.
- A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE (APPROX. 1 TRIP PER MONTH).
- THE PROJECT WILL NOT RESULT IN SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE.
- NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED.
- NO COMMERCIAL SIGNAGE IS PROPOSED.

SHEET INDEX

SHEET NO.	DESCRIPTION	SHEET NO.	DESCRIPTION
T-1	TITLE SHEET	C-15	CIVIL DETAILS
C-1	OVERALL PARCEL VIEW	C-16	CIVIL DETAILS
C-2	SITE PLAN	C-17	CIVIL DETAILS
C-3.1	GRADING AND EROSION CONTROL PLAN	E-1	UTILITY LAYOUT
C-3.2	GRADING AND EROSION CONTROL PLAN	E-2	ELECTRICAL DETAILS
C-3.3	GRADING AND EROSION CONTROL PLAN	E-3	ELECTRICAL DETAILS
C-4	TOWER PROFILE AND COMPOUND PLAN	G-1	GROUNDING PLAN
C-5	EQUIPMENT PLAN AND ANTENNA PLAN	G-2	GROUNDING DETAILS
C-6	CIVIL DETAILS	G-3	GROUNDING DETAILS
C-7.1	CIVIL DETAILS	G-4	GROUNDING DETAILS
C-7.2	CIVIL DETAILS	G-5	GROUNDING DETAILS
C-8	CIVIL DETAILS	GN-1	GENERAL NOTES
C-9	CIVIL DETAILS	RF-1	ANTENNA SCHEDULE & RFDS INFO
C-10	CIVIL DETAILS	RF-2	MW LINK DESIGN
C-11	CIVIL DETAILS	REF	SURVEY SHEETS
C-12	CIVIL DETAILS	–	–
C-13	CIVIL DETAILS	–	–
C-14	CIVIL DETAILS	–	–

T-MOBILE / GST SITE NAME
GUYTON-BTS / GUYTON-TESSANNE

PROJECT TYPE
COVERAGE STRATEGY

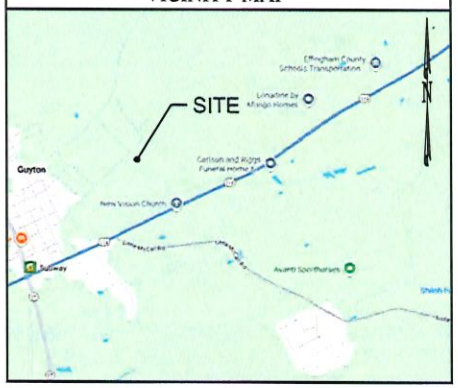
T-MOBILE / GST SITE ID
9SA1871B / GA2520

SITE COORDINATES
32.342391°, -81.378601°

SITE ADDRESS
TBD FOURTH ST EXT
GUYTON, GA 31312

RAN TEMPLATE
4SEC-67E5D998E 6160 - RP6672 NSD

VICINITY MAP



LOCAL MAP

DIRECTIONS

FROM SAVANNAH/HILTON HEAD INTERNATIONAL AIRPORT:

FOLLOW AIRWAYS AVE TO POOLER PKWY. USE THE RIGHT LANE TO TAKE THE US-80 RAMP TO POOLER. KEEP RIGHT, FOLLOW SIGNS FOR BLOOMINGDALE AND MERGE ONTO US-80 W/LOUISVILLE RD. CONTINUE TO FOLLOW US-80 W. TURN RIGHT ONTO GA-17 N/GA-30 E. CONTINUE TO FOLLOW GA-17 N. AT THE TRAFFIC CIRCLE, TAKE THE 2ND EXIT AND STAY ON GA-17 N. AT THE TRAFFIC CIRCLE, TAKE THE 1ST EXIT ONTO GA-119 N/SPRINGFIELD AVE. TURN LEFT ONTO MAGNOLIA ST. TURN RIGHT ONTO 4TH AVE. CONTINUE TO FOLLOW 4TH ST EXT FOR 0.8 MILES. DESTINATION WILL BE ON THE RIGHT.

PREPARED FOR:
GULFSOUTH TOWERS
GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:
T-Mobile
T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:
DELTA OAKS
DELTA OAKS GROUP, PLLC
2724 DISCOVERY DRIVE, SUITE 110-120
RALEIGH, NC 27616
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED PROFESSIONAL ENGINEER No. PE037873 WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TGL
CHECKED BY:	GSB
APPVD:	WRB
PROJECT NO:	25-27472

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5-11-26	FOR CONSTRUCTION	0	TGL

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR CLAIMING TO BE REPRODUCED THE WHOLE OR ANY PART OF THESE DRAWINGS WITHOUT THE PERMISSION OF THE DELTA OAKS GROUP, PLLC, IS PROHIBITED.

T-MOBILE / GST SITE NAME:
GUYTON-BTS / GUYTON-TESSANNE

SITE ADDRESS:
TBD FOURTH ST EXT,
GUYTON, GA 31312

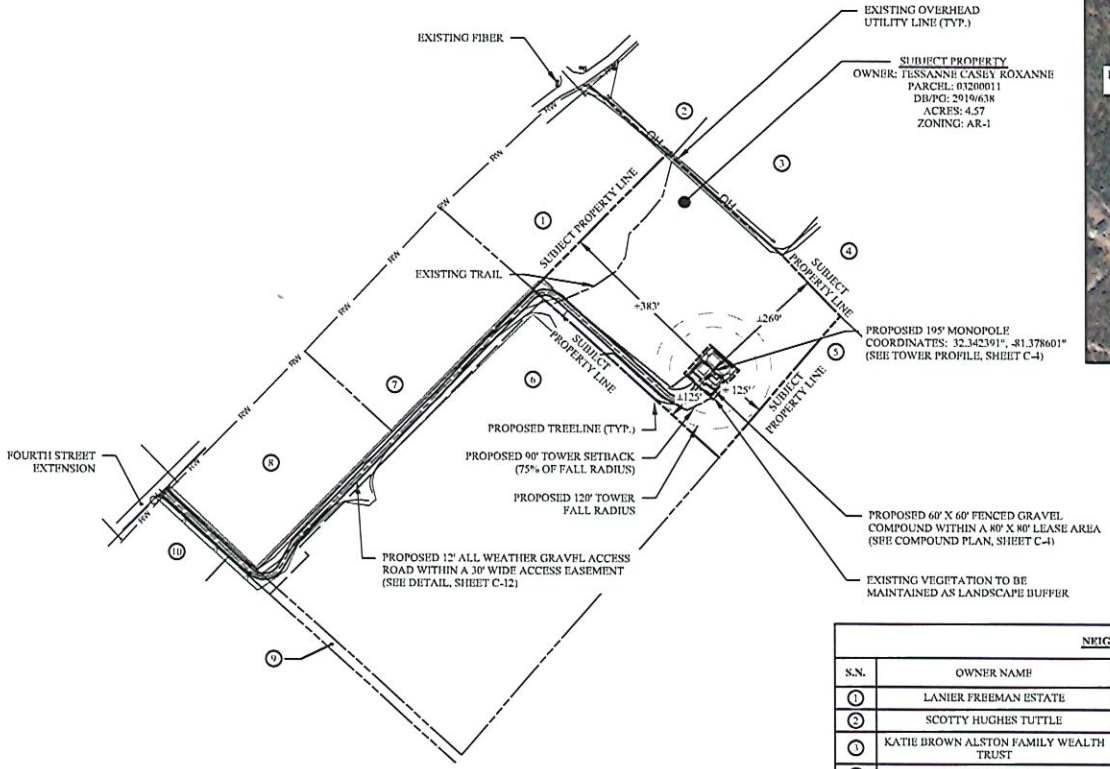
T-MOBILE / GST SITE ID:
9SA1871B / GA2520

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

NOTES

1. SEE GENERAL NOTES ON SHEET GN-1
2. EXISTING TOPOGRAPHIC, UTILITY, PLANIMETRIC, AND BOUNDARY INFORMATION IS TAKEN FROM A DRAWING ENTITLED "SPECIFIC PURPOSE SURVEY - GUYTON-TESSANNE SITE NUMBER: GA2520" AND DATED 03/12/2026 BY THE LAND CONSULTANTS, LLC.



OVERALL PARCEL VIEW

11" X 17": 1" = 250'

125 0 250 500

AERIAL IMAGE

NEIGHBORING PROPERTY OWNERS

S.N.	OWNER NAME	PARCEL NUMBER	DEED BOOK / PG #
1	LANIER FREEMAN ESTATE	G0180005	99 / 167
2	SCOTTY HUGHES TUTTLE	G0180006	2909 / 48
3	KATIE BROWN ALSTON FAMILY WEALTH TRUST	3200013	2295 / 790
4	KEVIN OAKLEY CASE	3200014	2240 / 616
5	JAMES E. PHILLIPS	03200023TPO	2939 / 942
6	DAVID HURST	03200008TPO	2686 / 498
7	JOYCE SOWERS	G0180004	2516 / 808
8	JOYCE SOWERS	G0180003	2367 / 328
9	DAVID AND PATRICIA HURST	03200023CUV	2939 / 954
10	JAMES E PHILLIPS	G0180001TPO	2939 / 492

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

DELTA OAKS

DELTA OAKS GROUP, PLLC
2724 DISCOVERY DRIVE, SUITE 110-120
RALEIGH, NC 27616
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TSL
CHECKED BY:	WRB
APPROVED:	WRB
PROJECT NO:	25-274*2

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
3/31/26	FOR CONSTRUCTION	0	TSL

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T-MOBILE / GST SITE NAME:

GUYTON-BTS / GUYTON-TESSANNE

SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

OVERALL PARCEL VIEW

SHEET NUMBER

C-1

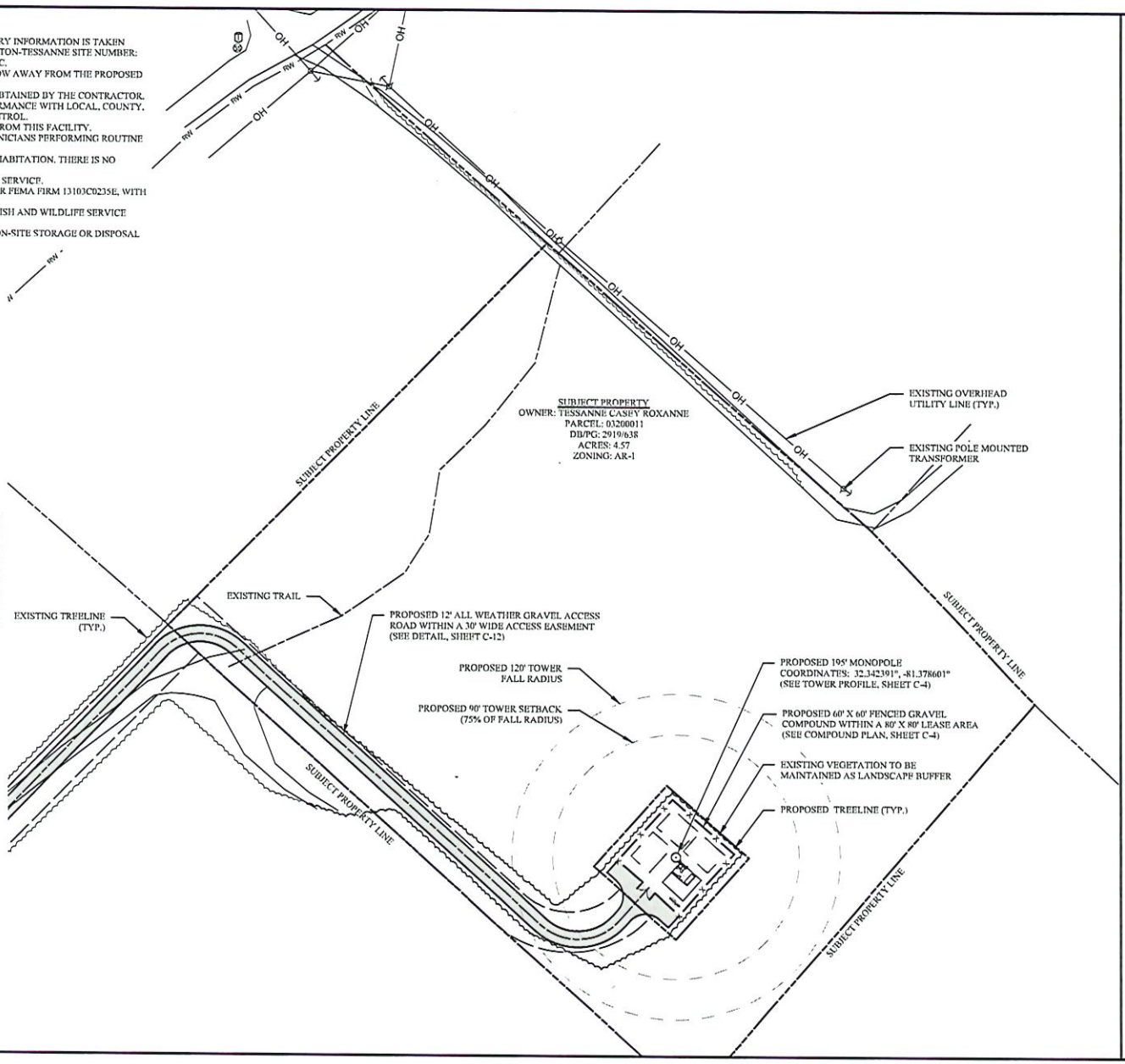
NOTES

1. SEE GENERAL NOTES ON SHEET GN-1
2. EXISTING TOPOGRAPHIC, UTILITY, PLANIMETRIC, AND BOUNDARY INFORMATION IS TAKEN FROM A DRAWING ENTITLED "SPECIFIC PURPOSE SURVEY - GUYTON-TESSANNE SITE NUMBER: GA2520" AND DATED 03/12/2026 BY THE LAND CONSULTANTS, LLC.
3. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE PROPOSED EQUIPMENT & TOWER AREA.
4. AUTHORIZATION FOR WORK WITHIN PUBLIC R.O.W. SHALL BE OBTAINED BY THE CONTRACTOR.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL, COUNTY, AND STATE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
6. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
7. THE SITE WILL GENERATE APPROX. 1 TRIP PER MONTH BY TECHNICIANS PERFORMING ROUTINE MAINTENANCE.
8. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION. THERE IS NO HANDICAP ACCESS REQUIRED.
9. THE FACILITY DOES NOT REQUIRE WATER OR SANITARY SEWER SERVICE.
10. THE PROPOSED TOWER LEASE AREA IS LOCATED IN "ZONE X" PER FEMA FIRM 13103C0235E, WITH EFFECTIVE DATE OF 03/16/2015.
11. THERE ARE NO WETLANDS WITHIN THE PROJECT AREA PER US FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.
12. THE FACILITY DOES NOT GENERATE SOLID WASTE REQUIRING ON-SITE STORAGE OR DISPOSAL SERVICES.

LEGEND

- PROPERTY LINE/ROW
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED LEASE AREA
- WATERBODY
- EXISTING FENCE
- PROPOSED FENCE
- ROADWAY CENTERLINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- OVERHEAD UTILITY
- EXISTING TRAIL
- EXISTING TREELINE
- PROPOSED TREELINE

SITE DATA TABLE	
PROJECT AREA:	0.72 ACRES (31,457 SF)
DISTURBED AREA:	0.74 ACRES (32,431 SF)
PARCEL AREA:	4.57 ACRES
ZONING:	AR-1
PROPOSED USE:	195-FT MONOPOLE TELECOM. FACILITY



SITE PLAN
11" X 17" 1" = 75'
37.5 0 75 150

PREPARED FOR:
GULFSOUTH TOWERS
GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:
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GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TGL
CHECKED BY:	GSB
APPVD:	WRB
PROJECT NO:	25-25472

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
3.31.26	90% CONSTRUCTION	0	TGL

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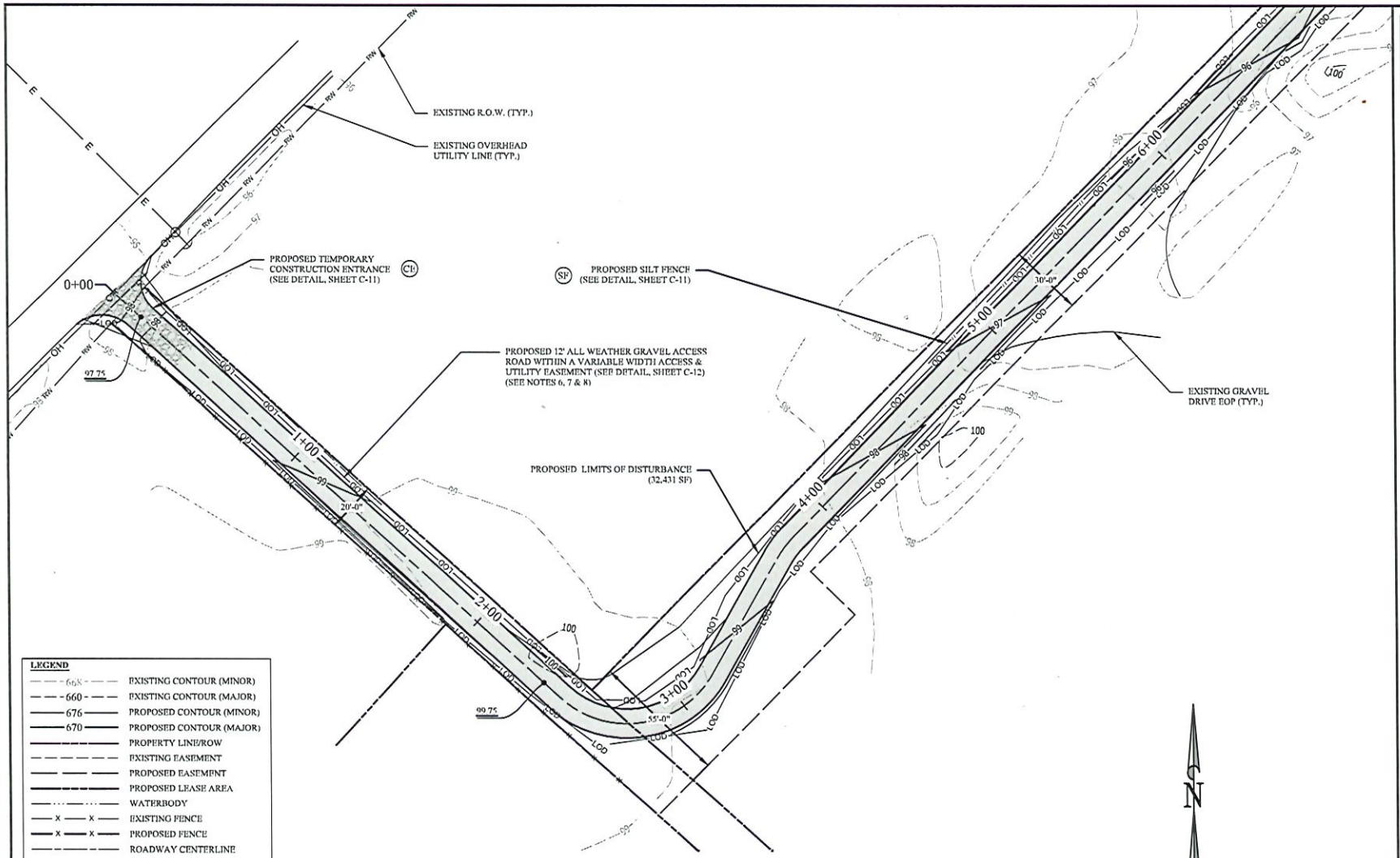
T-MOBILE / GST SITE NAME:
GUYTON-BTS / GUYTON-TESSANNE

SITE ADDRESS:
TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:
9SA1871B / GA2520

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-2



LEGEND

668	EXISTING CONTOUR (MINOR)
660	EXISTING CONTOUR (MAJOR)
676	PROPOSED CONTOUR (MINOR)
670	PROPOSED CONTOUR (MAJOR)
	PROPERTY LINE/ROW
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	WATERBODY
x x	EXISTING FENCE
x x	PROPOSED FENCE
	ROADWAY CENTERLINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
	EXISTING SLOPE/DRAINAGE
1.7%	PROPOSED SLOPE/DRAINAGE
	PROPOSED DITCH
670.20	PROPOSED SPOT ELEV
× 662.20	EXISTING SPOT ELEV

EROSION AND SEDIMENT CONTROL LEGEND

SF	PROPOSED SILT FENCE
OP	PROPOSED OUTLET PROTECTION
CE	PROPOSED CONSTRUCTION ENTRANCE
LOD	LIMITS OF DISTURBANCE

NOTES

1. SEE GENERAL NOTES ON SHEET GN-1.
2. ALL FILL SLOPES SHOULD HAVE A MAXIMUM GRADE OF 2H:1V.
3. ALL CUT SLOPES SHOULD HAVE A MAXIMUM GRADE OF 2H:1V.
4. SEE SEEDING SCHEDULE ON SHEET C-14.
5. CONTRACTOR TO ADHERE TO ALL GEORGIA DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND SPECIFICATIONS DURING CONSTRUCTION.
6. CONTRACTOR TO ENSURE PROPOSED GRADE IS AT LEAST 0.5-FT ABOVE EXISTING GRADE.
7. CONTRACTOR TO ADD 2H:1V MAXIMUM SLOPE TO TIE-IN EXISTING GRADE.
8. ALL IMPROVED AREA NOT COVERED BY GRAVEL SHALL BE SEEDED AND FERTILIZED IN ACCORDANCE WITH GADOT SPECIFICATIONS.

GRADING AND EROSION CONTROL PLAN

11" X 17": 1" = 40'

20 0 40 80

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

DELTA OAKS

DELTA OAKS GROUP, PLLC
2724 DISCOVERY DRIVE, SUITE 110-120
RALEIGH, NC 27616
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	[illegible]
CHECKED BY:	[illegible]
APPVD:	WRB
PROJECT NO:	23-25872

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5-11-26	PERMIT CONSTRUCTION	0	[illegible]

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GUYTON-BTS / GUYTON-TESSANNE

SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

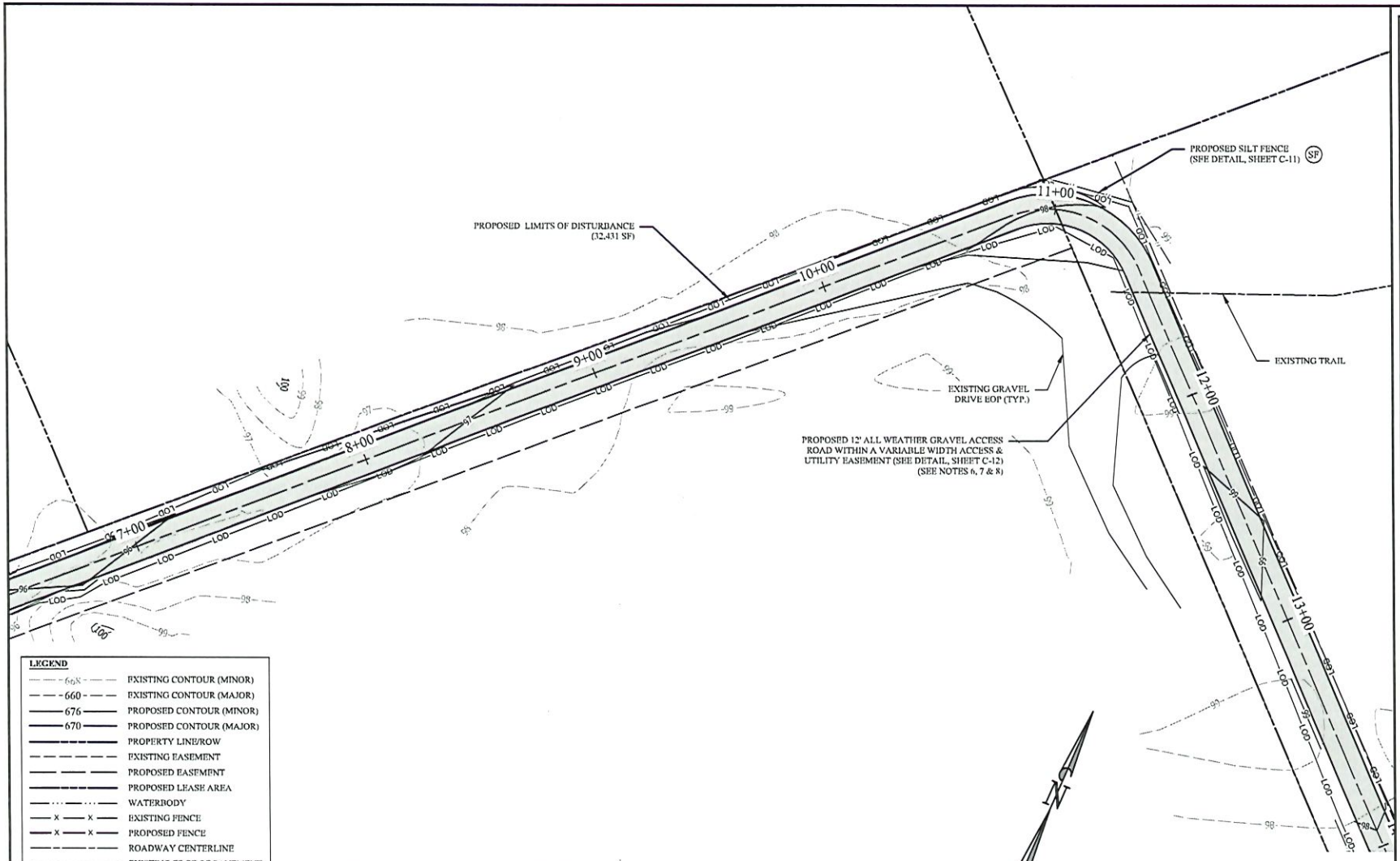
9SA1871B / GA2520

SHEET TITLE

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER

C-3.1



LEGEND

668	EXISTING CONTOUR (MINOR)
660	EXISTING CONTOUR (MAJOR)
676	PROPOSED CONTOUR (MINOR)
670	PROPOSED CONTOUR (MAJOR)
	PROPERTY LINE/ROW
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	WATERBODY
x x	EXISTING FENCE
x x	PROPOSED FENCE
	ROADWAY CENTERLINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
	EXISTING SLOPE/DRAINAGE
1.7%	PROPOSED SLOPE/DRAINAGE
	PROPOSED DITCH
670.20	PROPOSED SPOT ELEV
× 662.20	EXISTING SPOT ELEV

EROSION AND SEDIMENT CONTROL LEGEND

SF	PROPOSED SILT FENCE
OP	PROPOSED OUTLET PROTECTION
CE	PROPOSED CONSTRUCTION ENTRANCE
LOD	LIMITS OF DISTURBANCE

NOTES

1. SEE GENERAL NOTES ON SHEET GN-1.
2. ALL FILL SLOPES SHOULD HAVE A MAXIMUM GRADE OF 2H:1V.
3. ALL CUT SLOPES SHOULD HAVE A MAXIMUM GRADE OF 2H:1V.
4. SEE SEEDING SCHEDULE ON SHEET C-14.
5. CONTRACTOR TO ADHERE TO ALL GEORGIA DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND SPECIFICATIONS DURING CONSTRUCTION.
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GRADING AND EROSION CONTROL PLAN

11" X 17": 1" = 40'

20 0 40 80

PREPARED FOR:

GULFSOUTH TOWERS

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25367 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

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110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	[illegible]
CHECKED BY:	[illegible]
APPVD:	WRB
PROJECT NO:	[illegible]

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
[illegible]	[illegible]	[illegible]	[illegible]

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SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

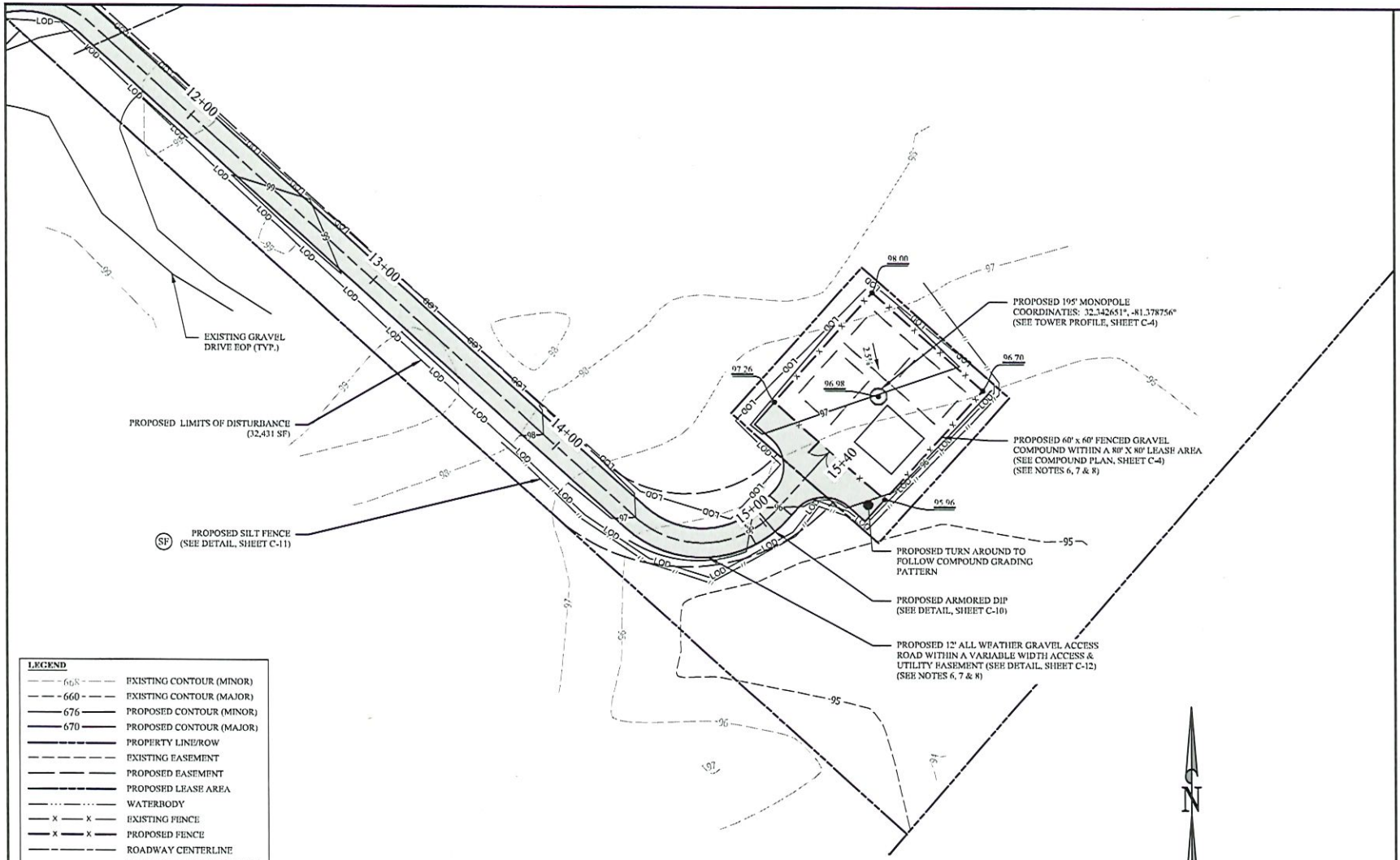
9SA1871B / GA2520

SHEET TITLE

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER

C-3.2



LEGEND

660	EXISTING CONTOUR (MINOR)
660	EXISTING CONTOUR (MAJOR)
676	PROPOSED CONTOUR (MINOR)
670	PROPOSED CONTOUR (MAJOR)
	PROPERTY LINE/ROW
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	WATERBODY
X	EXISTING FENCE
X	PROPOSED FENCE
	ROADWAY CENTERLINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
	EXISTING SLOPE/DRAINAGE
1.7%	PROPOSED SLOPE/DRAINAGE
	PROPOSED DITCH
670.20	PROPOSED SPOT ELEV
× 662.20	EXISTING SPOT ELEV

EROSION AND SEDIMENT CONTROL LEGEND

SF	PROPOSED SILT FENCE
OP	PROPOSED OUTLET PROTECTION
CE	PROPOSED CONSTRUCTION ENTRANCE
LOD	LIMITS OF DISTURBANCE

NOTES

1. SEE GENERAL NOTES ON SHEET GN-1.
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GRADING AND EROSION CONTROL PLAN

11" X 17": 1" = 40'

20 0 40 80

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25367 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

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PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TAL
CHECKED BY:	GSH
APPV'D:	WRB
PROJECT NO:	24-2472

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5-11-26	FOR CONSTRUCTION	0	TAL

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SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

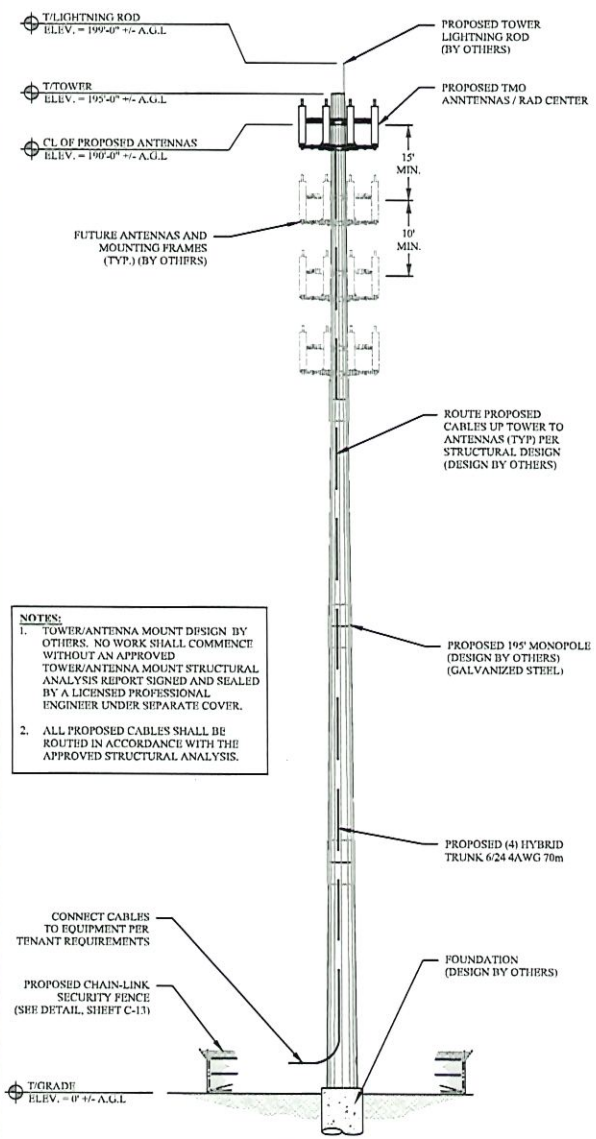
9SA1871B / GA2520

SHEET TITLE

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER

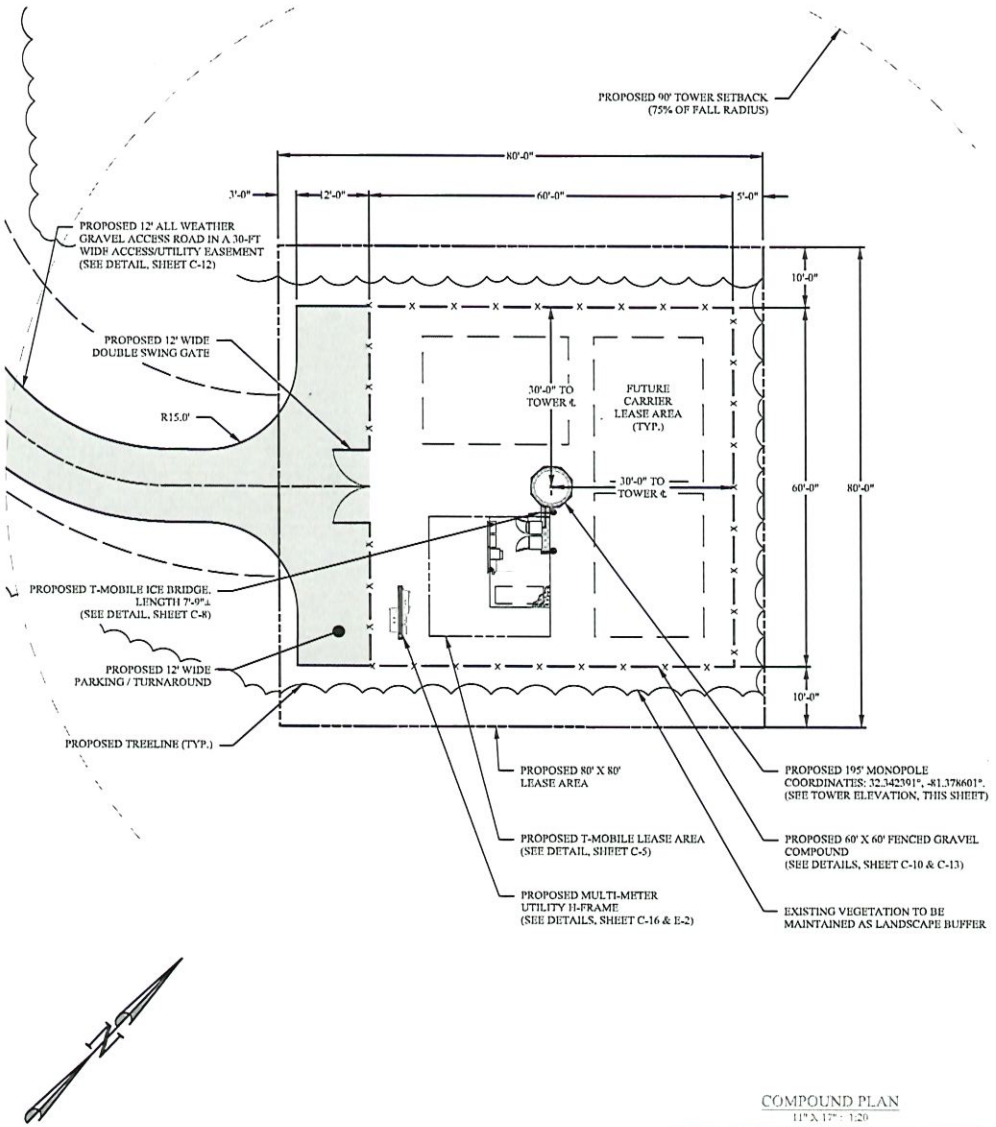
C-3.3



NOTES:

1. TOWER/ANTENNA MOUNT DESIGN BY OTHERS. NO WORK SHALL COMMENCE WITHOUT AN APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER UNDER SEPARATE COVER.
2. ALL PROPOSED CABLES SHALL BE ROUTED IN ACCORDANCE WITH THE APPROVED STRUCTURAL ANALYSIS.

TOWER PROFILE
NTS



COMPOUND PLAN
11" X 17" : 1:20

10 0 20 40

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25367 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
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PREPARED BY:

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RALEIGH, NC 27616
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WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #2684B

DRAWN BY:	TSL
CHECKED BY:	GSH
APPVD:	WRB
PROJECT NO:	24-2472

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5-11-26	FOR CONSTRUCTION	0	TSL

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SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

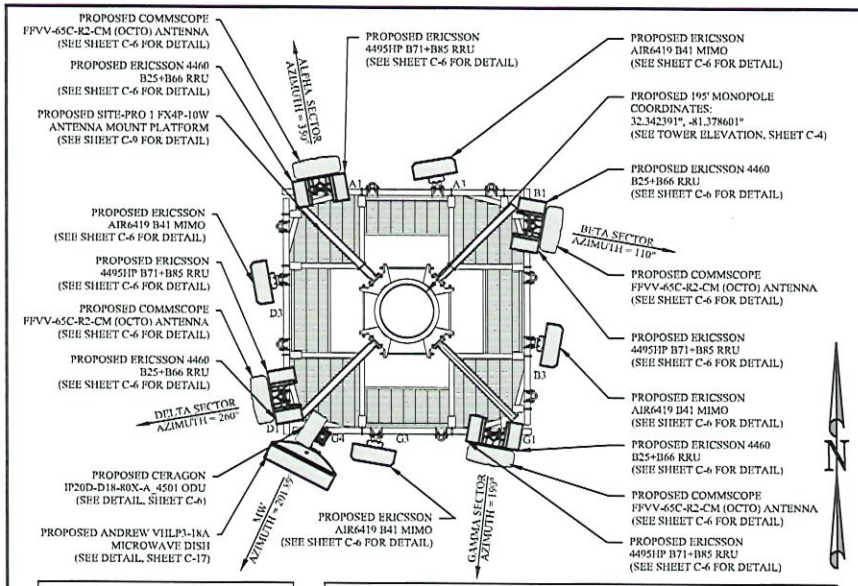
9SA1871B / GA2520

SHEET TITLE

TOWER PROFILE AND COMPOUND PLAN

SHEET NUMBER

C-4



LEGEND

FUTURE EQUIPMENT -

PROPOSED EQUIPMENT -

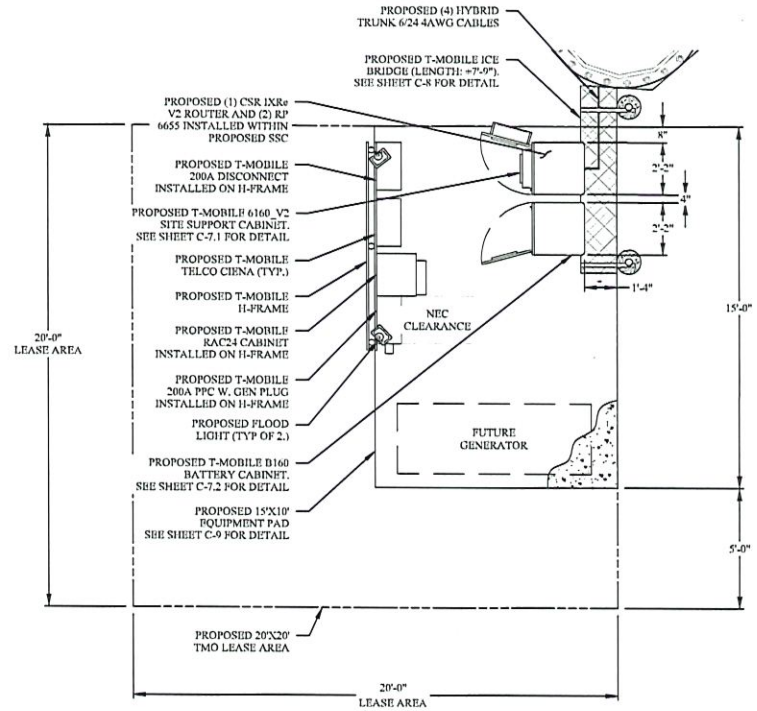
NOTES:

1. NO WORK SHALL COMMENCE WITHOUT APPROVED TOWER STRUCTURAL ANALYSIS REPORTS SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER UNDER SEPARATE COVER.
2. ALL PROPOSED CABLES SHALL BE ROUTED IN ACCORDANCE WITH THE APPROVED STRUCTURAL ANALYSIS AND GENERAL CONTRACTOR TO CONFIRM CABLE LENGTH PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY RF DATA WITH T-MOBILE RF ENGINEER PRIOR TO CONSTRUCTION.

FINAL ANTENNA SCHEDULE

SECTOR	ANTENNA POS.	RAD CENTER	AZ	ANTENNA/MW DISH		RRU MODEL	CABLE QTY & SIZE	CABLE LENGTH
				MANUFACTURER	MODEL			
ALPHA	A1	190'	350°	COMMSCOPE	FFVV-65C-R2-CM	(1) 4460 B25+B66 (1) 4495HP B71+B85	(4) HYBRID TRUNK LINE 6/24 4AWG	±70m
	A3	190'	350°	ERICSSON	AIR6419 B41	-		
BETA	B1	190'	110°	COMMSCOPE	FFVV-65C-R2-CM	(1) 4460 B25+B66 (1) 4495HP B71+B85		
	B3	190'	110°	ERICSSON	AIR6419 B41	-		
GAMMA	G1	190'	190°	COMMSCOPE	FFVV-65C-R2-CM	(1) 4460 B25+B66 (1) 4495HP B71+B85		
	G3	190'	190°	ERICSSON	AIR6419 B41	-		
	G4	191'	201.89°	ANDREW	VHLP3-18A	(1) IP20D-D18-80X-A_4501	(2) CAT5e	
DELTA	D1	190'	260°	COMMSCOPE	FFVV-65C-R2-CM	(1) 4460 B25+B66 (1) 4495HP B71+B85	(4) HYBRID TRUNK LINE 6/24 4AWG	
	D3	190'	260°	ERICSSON	AIR6419 B41	-		

ANTENNA PLAN
NOT TO SCALE



NOTES:

1. CONTRACTOR SHALL PREPARE THE GRADE PRIOR TO PLATFORM INSTALLATION PER GUIDELINE AND T-MOBILE BASIC AE LAYOUT AND DESIGN GUIDELINE REVISION 5.

EQUIPMENT PLAN
11" X 17" 1" = 5'

2.5 0 5 10

N

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9287

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

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GEORGIA REGISTERED PROFESSIONAL ENGINEER No. PE037873 WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	ISE
CHECKED BY:	GSE
APPVD:	WRB
PROJECT NO:	25-25472

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5.11.26	FOR CONSTRUCTION	0	TNT

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SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

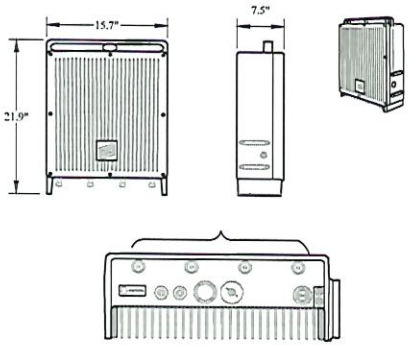
EQUIPMENT PLAN
& ANTENNA PLAN

SHEET NUMBER

C-5

SIZE AND WEIGHT TABLE			
MANUFACTURER	MODEL #	HxWxD	WEIGHT W/O BRACKET
CERAGON	IP20D-D18-80X_4501	12.6"x11.3"x4.2"	26.5 LBS

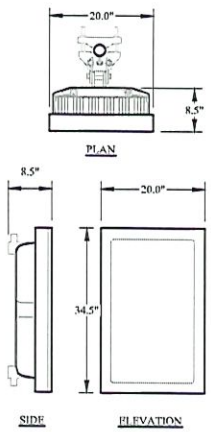
N.T.S. CERAGON IP20D-D18-80X_4501 OUTDOOR UNIT (ODU) 6



SIZE AND WEIGHT TABLE				
RRH	WIDTH	DEPTH	HEIGHT W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET
RADIO 4495HP B71+B85	15.7"	7.5"	21.9"	81 LBS

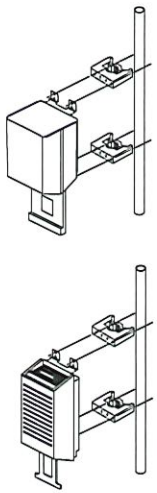
N.T.S. ERICSSON REMOTE RADIO UNIT (RRU) 4495HP 4

ANTENNA WEIGHT: 68.5 LBS

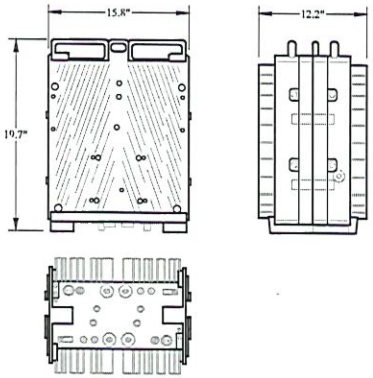


SIZE AND WEIGHT TABLE				
ANTENNA	WIDTH	DEPTH	HEIGHT W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET
ERICSSON 6419 B41	20.0"	8.5"	34.5"	68.5 LBS

N.T.S. ERICSSON AIR 6419 B41 ANTENNA DETAIL 2



N.T.S. RRU PIPE MOUNT DETAILS 5

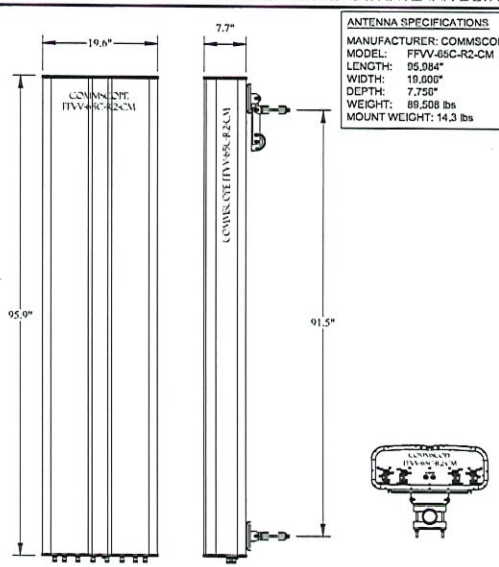


SIZE AND WEIGHT TABLE				
RRH	WIDTH	DEPTH	HEIGHT	WEIGHT W/O BRACKET
RADIO 4460 B25+B66	15.8"	12.2"	19.7"	109 LBS

NOTE:
DIMENSIONS DO NOT INCLUDE MOUNTING BRACKET AND SOLAR SHIELD.

N.T.S. ERICSSON REMOTE RADIO UNIT (RRU) 4460 3

ANTENNA SPECIFICATIONS
MANUFACTURER: COMMSCOPE
MODEL: FFVV-65C-R2-CM
LENGTH: 95.984"
WIDTH: 19.000"
DEPTH: 7.750"
WEIGHT: 89.508 lbs
MOUNT WEIGHT: 14.3 lbs



N.T.S. COMMSCOPE FFVV-65C-R2-CM ANTENNA DETAILS 1

PREPARED FOR:
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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	JSL
CHECKED BY:	GSB
APPVD:	WRB
PROJECT NO:	24-25472

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5.31.26	100% CONSTRUCTION	0	DOB

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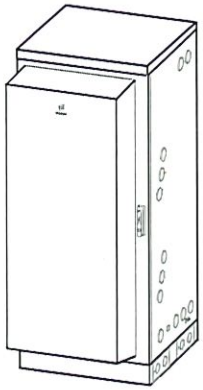
SITE ADDRESS:
TBD FOURTH ST EXT,
GUYTON, GA 31312

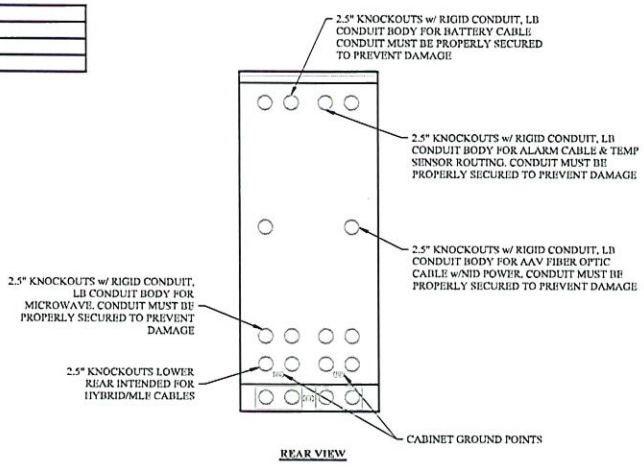
T-MOBILE / GST SITE ID:
9SA1871B / GA2520

SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-6

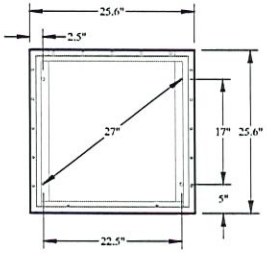
MANUFACTURER:	ERICSSON
MODEL:	6160 SITE SUPPORT CABINET
DIMENSIONS:	63" X 25.6" X 33.6" (H X W X D)
WEIGHT:	373 LBS





REAR VIEW

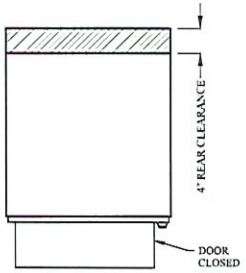
NOTE:
- CORRECT KNOCKOUT TOOL REQUIRED FOR PUNCHING KNOCKOUTS. DO NOT DRILL THROUGH KNOCKOUTS
- CONDUIT MUST BE PROPERLY SECURED TO PREVENT DAMAGE TO CABINETS AND OR CABLING

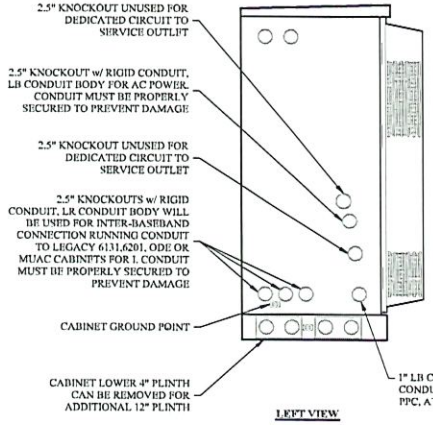


BOLT DOWN PATTERN

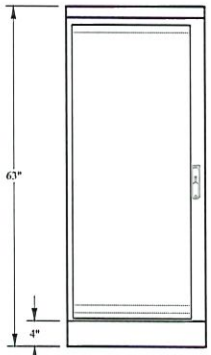
GROUNDING NOTE:

CABINET GROUNDING TO USE A SINGLE, #2 BTCW CONDUCTOR, W/ 2-HOLE, 1" C-C, LONG BARREL, WINDOW LUG, IN 3/4" LFNC TO GROUND RING. PLINTH GROUNDING IS NOT REQUIRED.

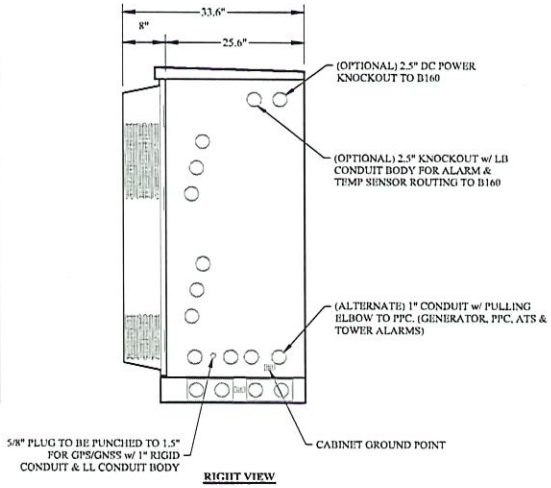




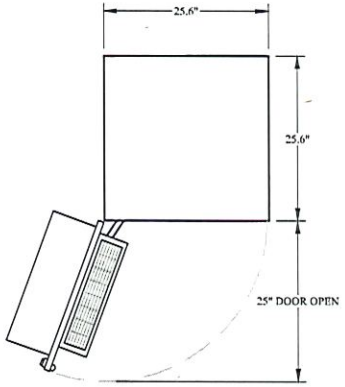
LEFT VIEW



FRONT VIEW



RIGHT VIEW



PLAN VIEW

N.T.S.

6160 ERICSSON SITE SUPPORT CABINET DETAIL | 1

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

DELTA OAKS

DELTA OAKS GROUP, PLLC
2724 DISCOVERY DRIVE, SUITE 110-120
RALEIGH, NC 27616
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED PROFESSIONAL ENGINEER NO. PE037873 WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	DSL
CHECKED BY:	GSH
APPV'D:	WRB
PROJECT NO:	25-2572

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5/31/26	FOR CONSTRUCTION	0	DSL

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T-MOBILE / GST SITE NAME:
GUYTON-BTS / GUYTON-TESSANNE

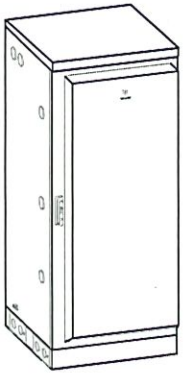
SITE ADDRESS:
TBD FOURTH ST EXT,
GUYTON, GA 31312

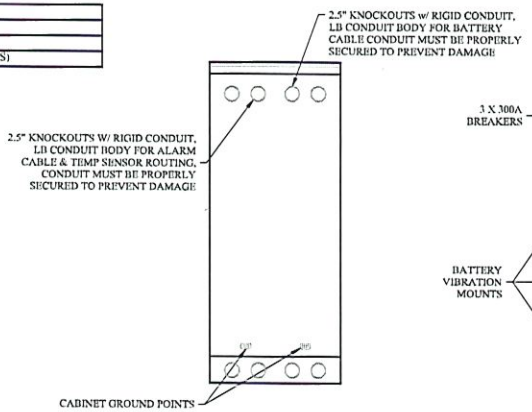
T-MOBILE / GST SITE ID:
9SA1871B / GA2520

SHEET TITLE
CIVIL DETAILS

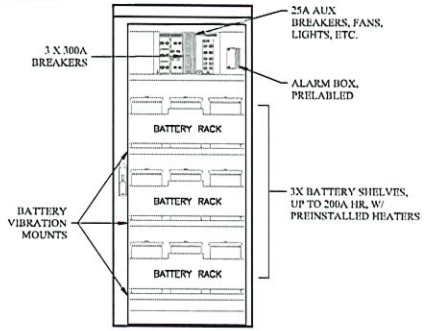
SHEET NUMBER
C-7.1

MANUFACTURER:	ERICSSON
MODEL:	B160 BATTERY CABINET
DIMENSIONS:	63" x 25.6" x 29.5" (H x W x D)
WEIGHT:	295 LBS (WITHOUT BATTERIES)





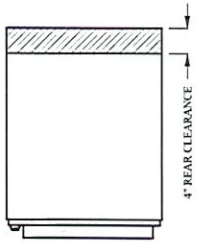
REAR VIEW



FRONT VIEW
(DOOR OPEN)

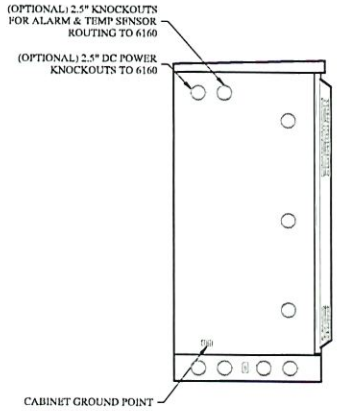
NOTE:

- CORRECT KNOCKOUT TOOL REQUIRED FOR PUNCHING KNOCKOUTS. DO NOT DRILL THROUGH KNOCKOUTS
- CONDUIT MUST BE PROPERLY SECURED TO PREVENT DAMAGE TO CABINETS AND OR CABLING

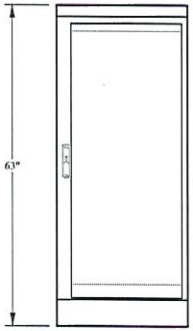


GROUNDING NOTE:

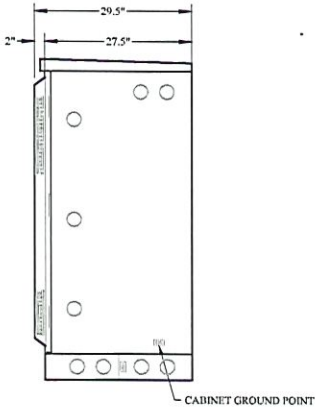
CABINET GROUNDING TO USE A SINGLE, #2 BTCW CONDUCTOR, W/ 2-HOLE, 1" C-C, LONG BARREL, WINDOW LUG, IN 3/4" LFNC TO GROUND RING. PLINTH GROUNDING IS NOT REQUIRED.



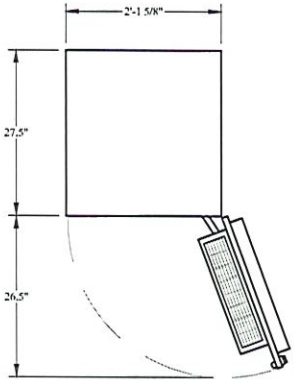
LEFT VIEW



FRONT VIEW



RIGHT VIEW



PLAN VIEW

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25367 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

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GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	DJL
CHECKED BY:	GSH
APPVD:	WRB
PROJECT NO:	24-2672

SUBMITTALS

DATE:	DESCRIPTION	REV	ISSUED BY
5.31.26	FOR CONSTRUCTION	0	DJL

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SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

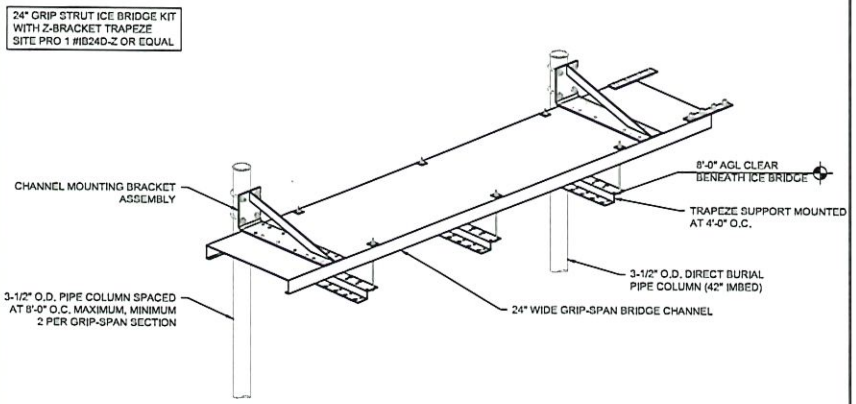
CIVIL DETAILS

SHEET NUMBER

C-7.2

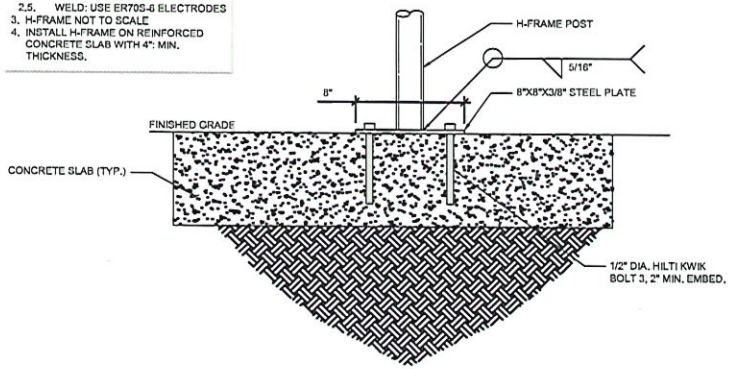
N.T.S.

B160 ERICSSON BATTERY CABINET DETAIL

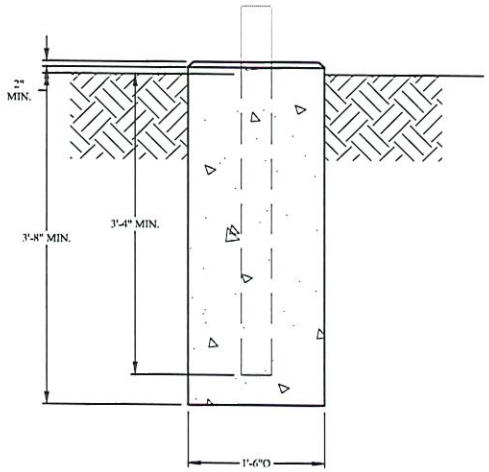


N.T.S. ICE BRIDGE DETAIL 4

NOTE:
1. ALL NEW STEEL SHALL BE HOT DIPPED GALVANIZED.
2. ALL STRUCTURAL STEEL SHALL CONFORM TO THE LISTED REQUIREMENTS U.N.O. IN THESE DRAWINGS:
   - 2.1. PIPE: ASTM A53B (GR35)
   - 2.2. PLATE: ASTM A36 (GR36)
   - 2.3. THRU BOLTS: A325N
   - 2.4. ANCHOR BOLT: 1/2" X 2" EMBED. HILTI KWIK BOLT 3
   - 2.5. WELD: USE ER70S-6 ELECTRODES
3. H-FRAME NOT TO SCALE
4. INSTALL H-FRAME ON REINFORCED CONCRETE SLAB WITH 4": MIN. THICKNESS.



N.T.S. H-FRAME CONNECTION DETAIL 2



N.T.S. ICE BRIDGE POST PIER DETAIL 3

N.T.S. NOT USED 1

PREPARED FOR:

GULFSOUTH TOWERS

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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	[illegible]
CHECKED BY:	[illegible]
APPVD:	[illegible]
PROJECT NO:	[illegible]

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
[illegible]	[illegible]	[illegible]	[illegible]

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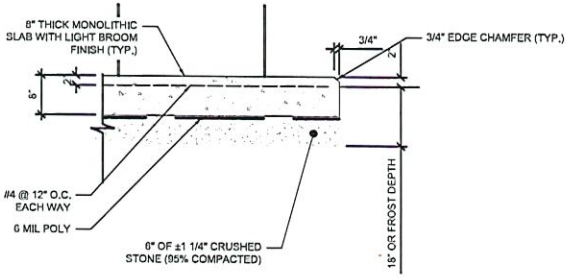
SITE ADDRESS:
TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:
9SA1871B / GA2520

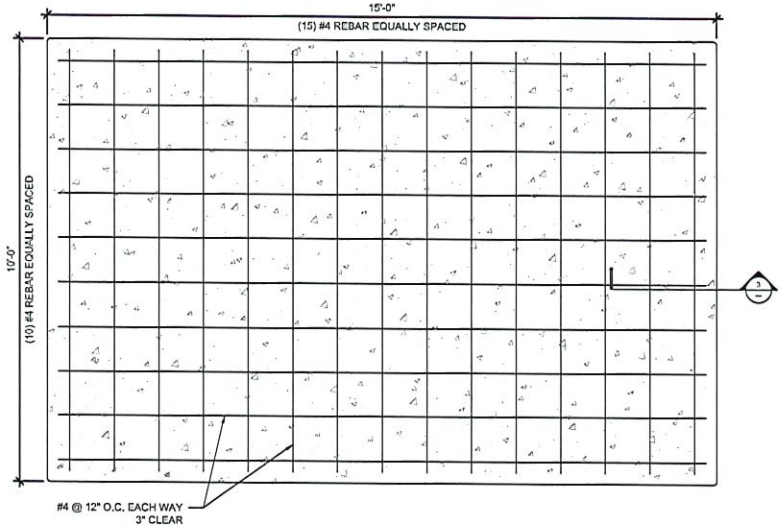
SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-8

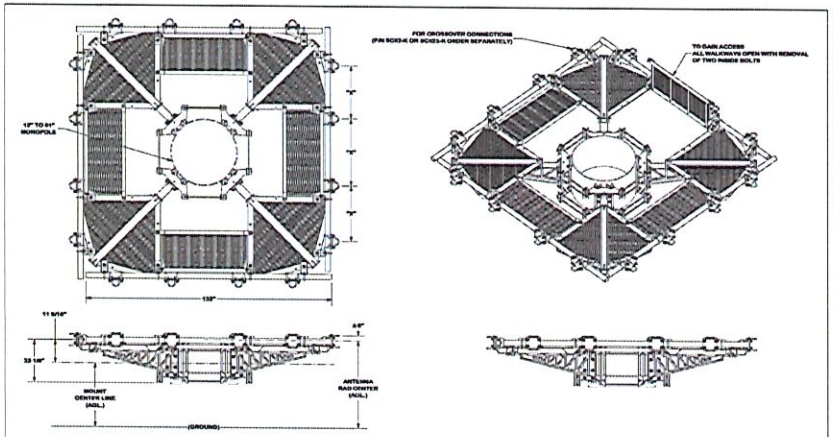
NOTE:
CONTRACTOR SHALL VERIFY THAT SOIL CONDITIONS ALLOW PERIMETER TRENCH TO FORM PERIMETER BEAM OTHERWISE OUTSIDE EDGE FORM WORK SHALL BE REQUIRED.



N.T.S. CONC. SLAB SECTION DETAIL 3



N.T.S. CONCRETE SLAB 2

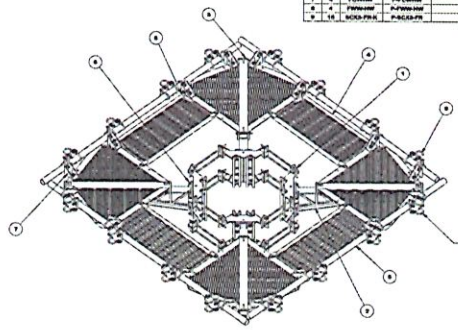


TOLERANCE NOTES

16' FLEX FORTRESS™ QUAD-PLATFORM MOUNT WITH WALKWAY

SITE PRO 1 — Engineering Support Team: sp-fortressengineering@sitepro1.com

DFD SIZE	DRAWN BY	DATE	SHEET SIZE	PART NO.
SPI	MSP	9/25/2024		FX4P-10W
87 02	CUSTOMER	JET 1/2/2025		FX4P-10W



PARTS LIST

ITEM	QTY	PART NO.	BOM NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	1	FLR4-HD		FLEXIBLE RING MOUNT 4-RISER HEAVY DUTY ASSEMBLY		594.09	594.09
2	4	8-LPP-8A10		TRUSS ARM WELDMENT FOR 8' AND 10' LOW PROFILE PLATFORMS		99.32	397.29
3	4	8-LPP-CW		LOW PROFILE PLATFORM CORNER WELDMENT		196.75	786.01
4	4	8-LPP-WT8		WALKWAY FOR 10' LOW PROFILE PLATFORM		85.60	342.42
5	4	P50152		2-7/8" X 152" (7-1/2" SCH. 40) GALVANIZED PIPE	152 in	47.70	190.82
6	4	LPP8A-HW	P-LPP8A-HW	TRUSS ARM CONNECTION HARDWARE		4.14	16.57
7	4	FCW-HW	P-FCW-HW	FORTRESS CORNER WELDMENT HARDWARE KIT		42.94	171.72
8	4	FWW-HW	P-FWW-HW	FORTRESS WALKWAY HARDWARE KIT		7.65	30.60
9	16	SCH2-PIN-K	P-ACES-PIN	2-3/4" x 2-1/4" TO 3-3/4" / 2-1/4" HD CROSSOVER KIT		17.69	282.53
						TOTAL WT. #	2706.66

FINISH:
HOT DIP GALVANIZED.

TOLERANCE NOTES

16' FLEX FORTRESS™ QUAD-PLATFORM MOUNT WITH WALKWAY

SITE PRO 1 — Engineering Support Team: sp-fortressengineering@sitepro1.com

DFD SIZE	DRAWN BY	DATE	SHEET SIZE	PART NO.
SPI	MSP	9/25/2024		FX4P-10W
87 02	CUSTOMER	JET 1/2/2025		FX4P-10W

N.T.S. SITE-PRO 1 FX4P-10W 1

PREPARED FOR:
GULFSOUTH TOWERS
GST CAPITAL PARTNERS, LLC
25357 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:
T-Mobile
T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:
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DELTA OAKS GROUP, PLLC
2724 DISCOVERY DRIVE, SUITE 110-120
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GEORGIA REGISTERED PROFESSIONAL ENGINEER No. PE037873 WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TNL
CHECKED BY:	GMB
APPVD:	WRB
PROJECT NO:	25-2872

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
7/11/26	FOR CONSTRUCTION	0	TNL

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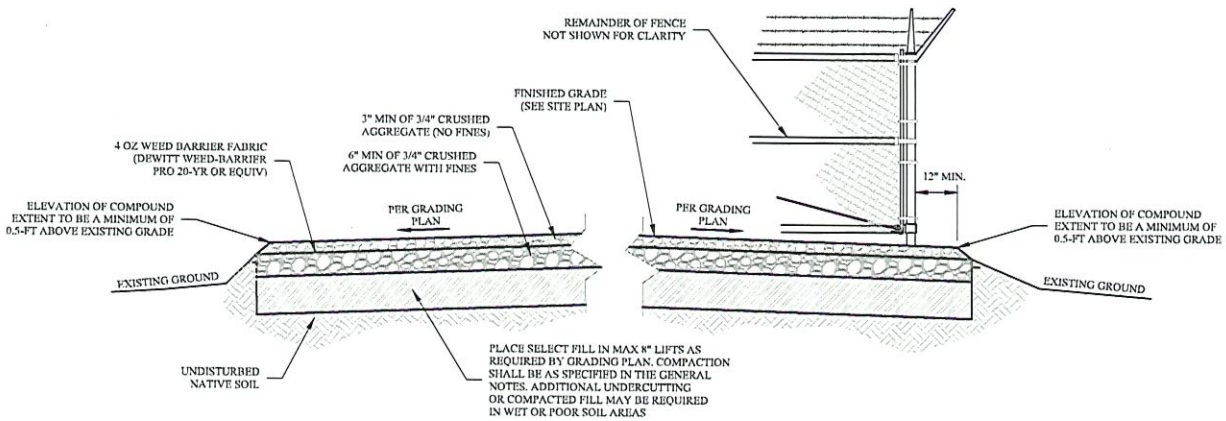
SITE ADDRESS:
TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:
9SA1871B / GA2520

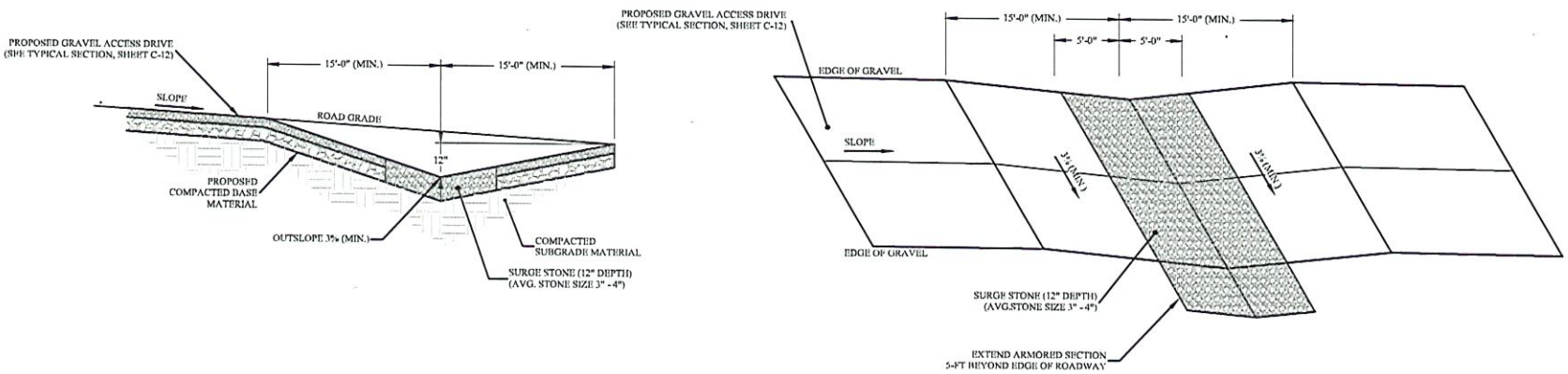
SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-9

COMPOUND SECTION



ARMORED DIP DETAIL



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GULFSOUTH TOWERS

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25357 FRIENDSHIP RD., STE. B
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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	[illegible]
CHECKED BY:	GSB
APPV'D:	WRB
PROJECT NO:	25-254[illegible]

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5/11/26	FOR CONSTRUCTION	0	TNF

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SITE ADDRESS:
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GUYTON, GA 31312

T-MOBILE / GST SITE ID:
9SA1871B / GA2520

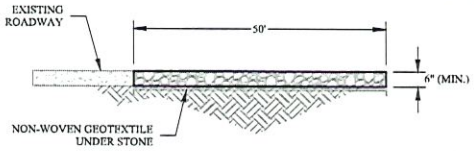
SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-10

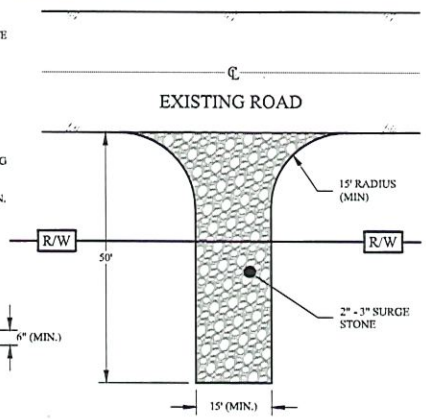
TEMPORARY CONSTRUCTION ENTRANCE

NOTES

1. TURNING RADIUS TO BE INCREASED AS REQUIRED TO ACCOMMODATE CONSTRUCTION TRAFFIC
2. CONSTRUCTION TRAFFIC SHOULD ENTER AND LEAVE SITE AT CONSTRUCTION ENTRANCES ONLY (UTILIZE SILT FENCE OR OTHER BARRIER TO ENCOURAGE USE OF CONSTRUCTION ENTRANCE)
3. MATERIAL TRACKED ONTO THE ADJACENT ROADWAY MUST BE CLEANED IMMEDIATELY
4. CONSTRUCTION ENTRANCE MUST BE MAINTAINED IN GOOD WORKING CONDITION AT ALL TIMES. FAILURE OF THE CONSTRUCTION ENTRANCE TO REMOVE SEDIMENT FROM CONSTRUCTION TRAFFIC PRIOR TO LEAVING THE SITE MAY NECESSITATE A WASHING STATION.

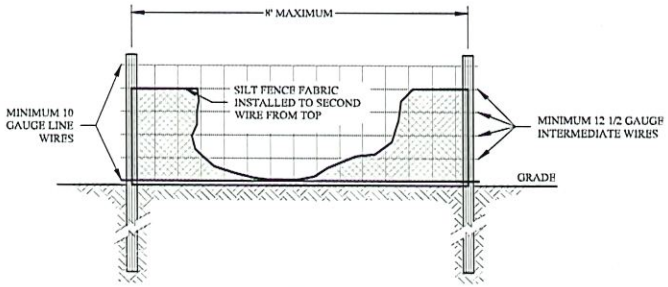


CROSS SECTION

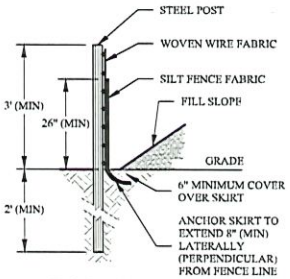


PLAN VIEW

TEMPORARY SILT FENCE



FRONT VIEW



SIDE VIEW

NOTE:

1. USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW.

PREPARED FOR:

GULFSOUTH TOWERS

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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

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APPVD:	WRB
PROJECT NO:	[illegible]

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
[illegible]	FOR CONSTRUCTION	0	[illegible]

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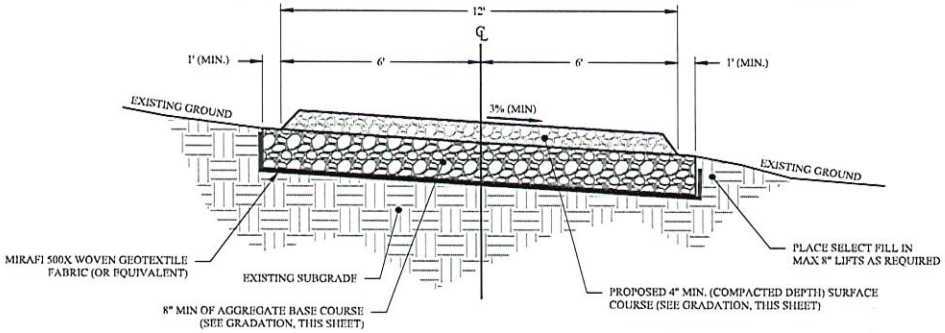
SHEET TITLE

CIVIL DETAILS

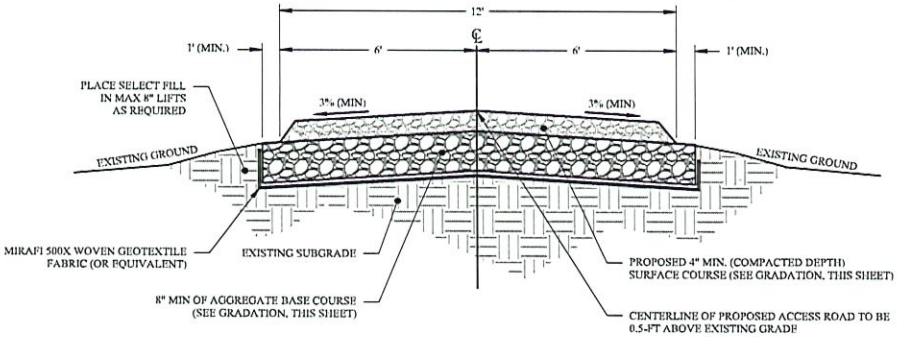
SHEET NUMBER

C-11

TYPICAL OUT-SLOPED GRAVEL ACCESS ROAD SECTION (STA. 0+50 TO 13+50)



TYPICAL GRAVEL ACCESS ROAD SECTION (STA. 13+50 TO 14+45)



NOTES

1. REMOVE ALL TOPSOIL, ORGANIC MATERIAL, AND WET OR POOR SOILS ALONG ACCESS DRIVE. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL (IF AVAILABLE). IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 12", CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.
2. SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR AND VERIFIED BY PROOF-ROLL AND/OR GEOTECHNICAL PROFESSIONAL OBSERVATION AND/OR TESTING.
3. CONSULT GRADING PLAN OR SITE PLAN FOR FINAL SITE GRADES.

ROADBED, GRAVEL COURSE, AND SUBGRADE REQUIREMENTS

1. THICKNESS OF GRAVEL DRIVE BASE COURSE TO BE DETERMINED BASED ON THE EXISTING SOIL BEARING CAPACITY (PER UFC DESIGN RECOMMENDATIONS):

BEARING CAPACITY (PSF)	TOTAL AGGREGATE THICKNESS (IN)
1000	16
1500	12
2000	8

*A HIGH PERFORMANCE, WOVEN GEOTEXTILE FABRIC MAY BE USED TO REPLACE UP TO 50%, OR 6" OF AGGREGATE THICKNESS, WHICHEVER IS LESS (MIRAFI HP 270 OR EQUIVALENT). FOR SITES WITH POOR SOILS, THE EQUIVALENT AGGREGATE THICKNESS SHOULD BE DETERMINED FROM THE GEOTECHNICAL REPORT OR FROM SITE SPECIFIC CALCULATIONS.

2. IF POOR OR WET SOILS ARE PRESENT BELOW BASE COURSE, CONTRACTOR TO INSTALL 6" MIN. WELL-GRADED GRAVEL/SAND SUB-BASE TO FACILITATE ADEQUATE DRAINAGE AND STABILITY.
3. CONSULT GEOTECHNICAL REPORT (AS AVAILABLE) FOR ANTICIPATED SOIL CONDITIONS.
4. AGGREGATE LAYER GRADATIONS SHALL BE AS FOLLOWS:

REQUIREMENT SIEVE	AGGREGATE BASE COURSE % PASSING	GRAVEL SURFACE COURSE % PASSING
2.5"	-	-
2"	100	-
1.5"	-	-
1"	-	-
3/4"	52-85	100
1/2"	-	-
3/8"	36-70	-
No. 4	24-50	50-78
No. 8	16-38	37-67
No. 16	10-30	-
No. 40	-	15-35
No. 200	0-10	4-15
PLASTICITY INDEX	0-6	4-12

NOTES (FOR IMPROVEMENTS TO EXISTING GRAVEL ROADS)

1. PRIOR TO PLACEMENT OF ADDITIONAL SURFACE OR BASE MATERIAL, EXISTING GRAVEL AND/OR DIRT ROADS SHALL BE EXCAVATED AND RESHAPED AS NECESSARY TO REMOVE DEPRESSIONS, POTHOLES, EROSION, RUTTING, WASHBOARDS, OR OTHER SURFACE IRREGULARITIES IN ORDER TO RESTORE THE SPECIFIED ROADWAY SECTION (NORMAL CROWN, SUPER-SLOPED, ETC.).
2. EXISTING ROADWAY SURFACE SHALL BE SCARIFIED PRIOR TO PLACEMENT OF NEW MATERIAL IN ORDER TO ENSURE A SUFFICIENT BOND.
3. FOR AREAS WHERE PAVEMENT IS REMOVED TO CONSTRUCT THE ACCESS ROAD, ALL EXISTING PAVEMENT/AGGREGATE LAYERS SHALL BE REMOVED, AND THE EXISTING SUBGRADE COMPACTED AND REWORKED AS NECESSARY TO PROVIDE THE COMPACTION AND SECTION REQUIREMENTS SPECIFIED HEREIN OR IN THE ASSOCIATED GEOTECHNICAL REPORT, WHICHEVER IS MORE STRINGENT.

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APPVD:	WEB
PROJECT NO:	25-2472

SUBMITTALS

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5-31-26	FOR CONSTRUCTION	0	TSL

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SHEET TITLE
CIVIL DETAILS

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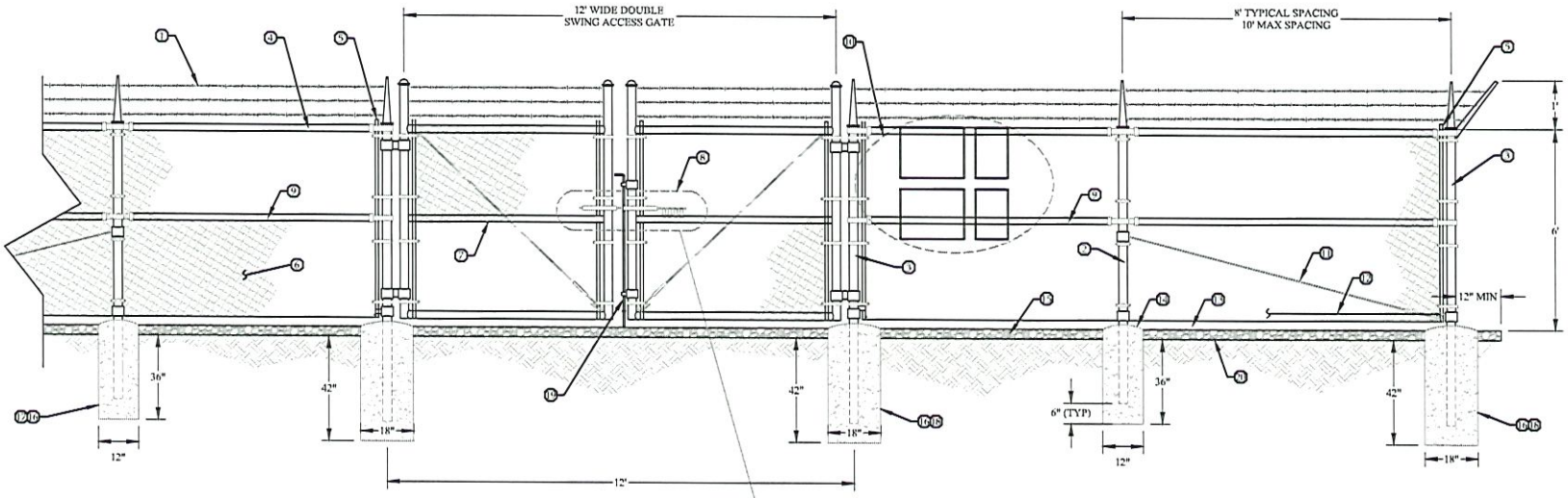
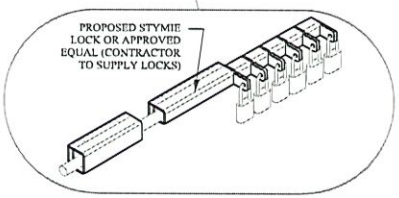
C-12

COMPOUND FENCE





KEYNOTES:

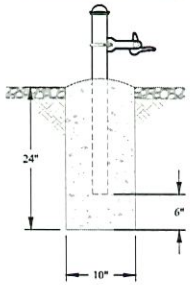
1. 3 STRANDS OF DOUBLE 12-1/2 GAUGE TWISTED STRAND WIRE, WITH 4 POINT 14 GAUGE BARBS SPACED 5" O.C.
2. 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
3. 3" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER AND GATE POSTS (PER ASTM-F1083). IF GATE LEAF WIDTH GREATER THAN OR EQUAL TO 10-FT OR IF FENCE FABRIC EXTENDED OVER 6-FT AND GATE LEAF WIDTH OVER 6-FT, GATE POST SHALL BE 4" O.D. GALVANIZED STEEL SCHEDULE 40 (PER ASTM-F1083).
4. 1-5/8" O.D. SCHEDULE 40 ROUND TOP/BRACE RAIL (PER ASTM-F1083)
5. STRETCHER BAR TO EXTEND FULL HEIGHT OF FENCE FABRIC; NOT LESS THAN $\frac{3}{16}$" X $\frac{3}{4}$" CROSS SECTION; PLACE ON ALL GATES AND POSTS
6. 9 GAUGE 2" x 2" FENCE FABRIC (TO CONFORM TO ASTM-A392)
7. GATE FRAME BRACE
8. STYMIE LOCK OR OTHER APPROVED MULTI-TENANT LOCKING DEVICE
9. 1-5/8" DIAMETER POST BRACE (AS REQUIRED)
10. GATE SIGNS (SEE DETAIL, THIS SHEET)
11. 3/8" DIAGONAL BRACE ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD
12. 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
13. MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE
14. PROVIDE CROWNED/PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS
15. COMPOUND SECTION AND MATERIALS (SEE DETAIL, SHEET C-10)
16. CONCRETE PIER FOUNDATION; TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE AS SPECIFIED HEREIN, AS SPECIFIED BY MANUFACTURER, OR A MINIMUM OF 6" BELOW FROST LINE; WHICHEVER IS GREATER
17. LINE POST CONCRETE PIER FOUNDATION
18. CORNER/GATE POST CONCRETE PIER FOUNDATION
19. COMMERCIAL GRADE DROP ROD AND CENTERSTOP (HOOVER FENCE OR EQUIV)
20. 4 OZ WEED BARRIER FABRIC (DEWITT WEED-BARRIER PRO 20-YR OR EQUIVALENT)

NOTES:

1. FENCE DESIGN AND INSTALLATION NOTES ARE INDUSTRY STANDARDS AND/OR MINIMUM REQUIREMENTS AND ARE FOR GENERAL GUIDANCE ONLY. REFER TO MANUFACTURER'S RECOMMENDATIONS OF THE SPECIFIED PRODUCT AND APPLICABLE GOVERNING CODES FOR FULL INSTALLATION DETAILS. IN THE EVENT OF DISCREPANCIES, MANUFACTURER'S RECOMMENDATIONS OR APPLICABLE CODE SHALL GOVERN, WHICHEVER IS MORE STRINGENT.
2. ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900.
3. BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.
5. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.
6. ALL SIGNS AND SIGN PLACEMENT SHALL ADHERE TO THE REQUIREMENTS OF OSHA 1910.145 AND 1910.200 AND ALL APPLICABLE FCC CODES
7. DROP ROD AND CENTERSTOP REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR GATE LOCK.

GATE SIGNS

GATE KEEPER



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CHECKED BY:	GSH
APPVD:	WRB
PROJECT NO:	25-27872

SUBMITTALS

DATE:	DESCRIPTION	REV	ISSUED BY
5.11.26	FOR CONSTRUCTION	0	DOT

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SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

C-13

PERMANENT SEEDING SPECIFICATION

SEEDING SCHEDULE

1. SHAPE ALL AREAS TO TYPICAL CROSS SECTION AND DRESS SAME AS REQUIRED.
2. SPREAD FERTILIZER AND PREPARE SEED BED (SEE GENERAL NOTES, SHEET GN-1). THE REQUIRED FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE TOP SEEDED. AFTER THE FERTILIZER AND LIMESTONE HAS BEEN SPREAD, THE AREA SHALL BE THOROUGHLY PULVERIZED AND THE FERTILIZER INCORPORATED IN THE TOP FOUR (4) INCHES OF THE GRADED AREAS.
3. FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE APPLIED AT THE FOLLOWING RATES: COMBINATION FERTILIZER (10-10-10) - 1200 LBS. PER ACRE
4. SEEDING AND/OR SODDING IS REQUIRED ON DISTURBED AREAS. ALL AREAS SHOULD RECEIVE SEEDING AS SPECIFIED ON TABLE BELOW.
5. ALL AREAS SHALL BE COVERED WITH A BALED STRAW MULCH (OAT, WHEAT, RICE, BARLEY, ETC.) AT THE RATE OF 1.5 TO 2.0 TONS PER ACRE. THE MULCH SHALL BE DRY AND FREE OF WEEDS. THE MULCH SHALL BE SPREAD AND ANCHORED IN SUCH A MANNER AS TO GIVE A UNIFORM COVER OVER THE ENTIRE AREA.
6. SIXTY (60) DAYS AFTER THE GRASS HAS BEEN PLANTED, VEGETATED AREAS SHALL RECEIVE ADDITIONAL FERTILIZER. REFERTILIZATION SHALL BE APPLIED AT THE RATE OF 600 LBS. OF 10-10-10 PER ACRE.
7. THE CONTRACTOR SHALL MAINTAIN THE GRASSED AREAS IN A SATISFACTORY MANNER UNTIL A GOOD GROWTH IS ASSURED AND FINAL ACCEPTANCE IS MADE BY THE CITY. MAINTENANCE WORK SHALL INCLUDE WATERING (WHEN NECESSARY), RESTORING/ REPLACING GRASS, FILLING WASHES AND MOWING, IF NECESSARY.
8. WHEN GRASS OR GRASSES HAVE OVERLAPPING GROWTH, THE AREA SHALL BE CONSIDERED TO HAVE SATISFACTORY GROWTH.

		Pounds (lbs) Of Seed Per Acre (hectare)									
Planting Zones	Planting Dates	Pure Grass, Wild, Cereal Grass Oats	Common Bermuda Grass Hulled	Common Bermuda Grass Unhulled	Tall Fescue	Weeping Love Grass	Hairy Or Common Crown Vetch	Scarified Interstate Lespedeza	Unscarified Interstate Lespedeza	REQUIRED PERMANENT PLANTING
1	March 1 – Mar 15		10 (11)	10 (11)	40 (45)					Common Bermuda Grass
1	May 1 – July 31		10 (11)	10 (11)						
1	August 1 – February 28	15 (17)								
1	November 15 – January 31						5 (7)			
2,3,4	February 15 – August 31		10 (11)	10 (11)						
2,3,4	September 1 – February 14	15 (17)								Common Bermuda Grass
2,3,4	November 15 – January 31						5 (7)			

Plant these combinations on back slopes, fill slopes and areas which will not be subject to frequent mowing											
1,2	March 1 – July 31					4 (5)			50 (56)		Interstate Lespedeza Or Crown Vetch
1,2	August 1 – February 28				30 (34)			15 (17)		75 (84)	
3,4	February 15 – August 31					4 (5)			50 (56)		Interstate Lespedeza
3,4	September 1 – February 14	50 (56)								75 (84)	

CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE

1. PROJECT STAKEHOLDERS TO CONDUCT PRE-CONSTRUCTION MEETINGS AS REQUIRED BY THE GOVERNING AUTHORITY
2. INSTALL SILT FENCE (AS SHOWN ON THE PLANS AND DOWNSTREAM OF ALL EXCAVATED AREAS), CONSTRUCTION ENTRANCE, AND/OR SOIL STOCKPILING AREAS PRIOR TO THE COMMENCEMENT OF GRADING
3. CLEAR AND GRUB REMAINING AREAS AND PROCEED WITH ROUGH GRADING (INCLUDING DITCHES AND SWALES); INSTALL ADDITIONAL EROSION CONTROL MEASURES AFTER GRADING BEGINS AS REQUIRED
4. INSTALL ON-SITE UTILITIES AND BELOW GRADE STORMWATER INFRASTRUCTURE (PROPOSED CULVERTS AND OTHER STORMWATER COLLECTION SYSTEMS) AND TEMPORARY STABILIZATION AS SHOWN ON PLANS
5. CONSTRUCT TOWER FOUNDATION AND COMMUNICATION FACILITIES AS APPLICABLE
6. FINISH GRADE PROPOSED ACCESS ROAD, ROADWAY SWALES, AND TOWER COMPOUND
7. STABILIZE GRAVEL AND PAVED AREAS PER PLANS, TOPSOIL AND PERMANENTLY SEED DENUDED CUT/FILL SLOPES AND INSTALL EROSION CONTROL MATTING, DITCH LINING, RIP-RAP APRONS, ETC. AS SPECIFIED ON PLANS (PERMANENT COVER SHOULD BE INSTALLED WITHIN 7-DAYS AFTER FINISHED GRADES HAVE BEEN ESTABLISHED)
8. MAINTAIN PERIMETER SILT FENCE AND OTHER PERIMETER SOIL EROSION CONTROL MEASURES AS APPLICABLE UNTIL PERMANENT GROUND COVER IS ESTABLISHED
9. REMOVE ANY EROSION CONTROL MEASURES FROM AREAS THAT HAVE BEEN PERMANENTLY STABILIZED AND STABILIZE AREAS OF THE DEVICE(S) REMOVAL

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CHECKED BY:	GSH
APPV'D:	WRB
PROJECT NO:	24-2572

SUBMITTALS

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3-11-26	FOR CONSTRUCTION	0	DAL

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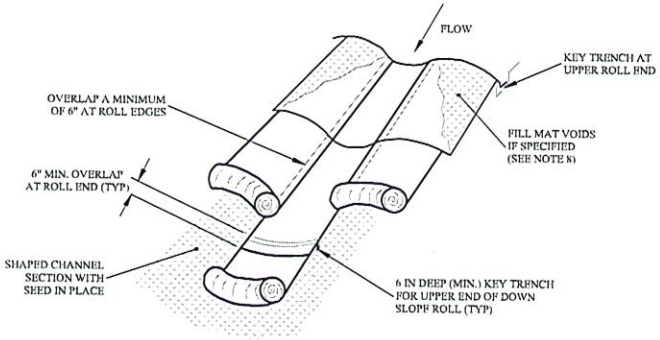
SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

C-14

SOIL STABILIZATION MATTING - DITCH



ISOMETRIC VIEW

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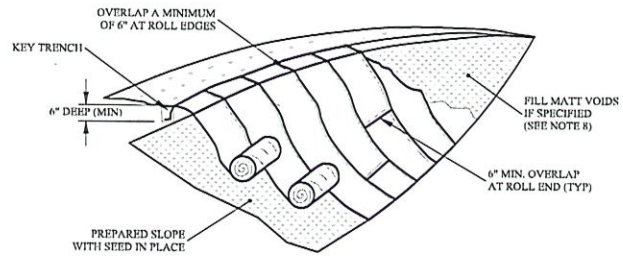
NOTES:

1. USE PERMANENT NORTH AMERICAN GREEN ROLLMAX ERONET P300 OR APPROVED EQUAL.
2. SECURE MATTING USING STEEL STAPLES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 ½ INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
3. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
4. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
5. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
6. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
7. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
8. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.

PERMANENT SOIL STABILIZATION MATTING - SLOPE



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4. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
5. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
6. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
7. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
8. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.

PREPARED FOR:
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GST CAPITAL PARTNERS, LLC
25367 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9287

APPLICANT:
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110 MOUNTLIMA DR SUITE 900,
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GEORGIA REGISTERED PROFESSIONAL ENGINEER No. PE037873 WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #2648

DRAWN BY:	TGL
CHECKED BY:	GSB
APPVD:	WRB
PROJECT NO:	25-2372

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GUYTON, GA 31312

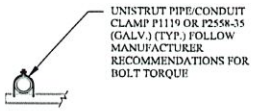
T-MOBILE / GST SITE ID:
9SA1871B / GA2520

SHEET TITLE
CIVIL DETAILS

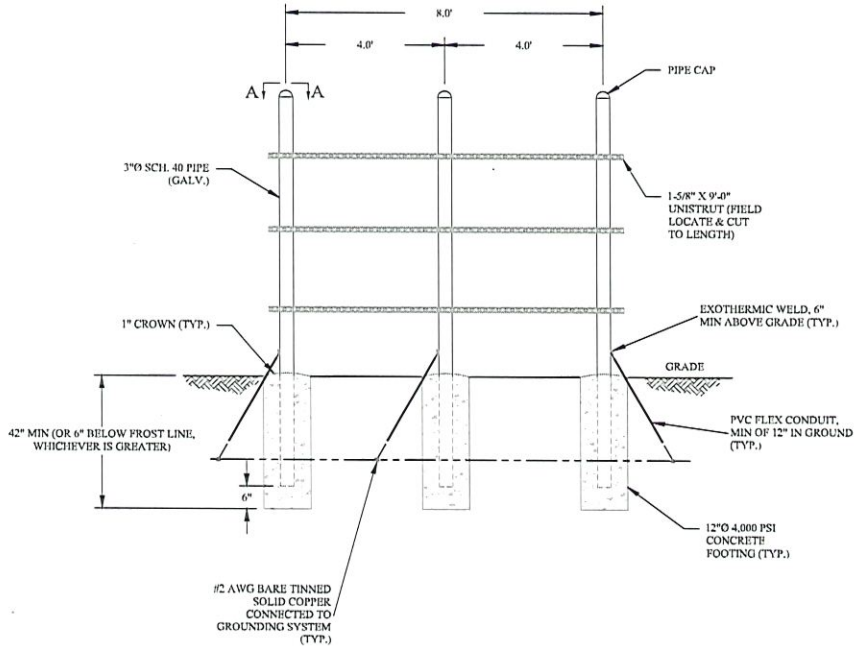
SHEET NUMBER
C-15

H-FRAME NOTES:

1. IF IT IS NECESSARY TO EXTEND THE H-FRAME, AN ADDITIONAL POST WILL ALWAYS BE REQUIRED.
2. PROPOSED UNISTRUTS TO BE FIELD CUT AND SHOULD NOT EXTEND MORE THAN 6 INCHES BEYOND THE LAST POST.
3. SPRAY ENDS OF UNISTRUT WITH COLD GALVANIZING SPRAY PAINT, ALLOW TO DRY, THEN COVER WITH RUBBER PROTECTIVE CAPS FOR SAFETY.
4. UNISTRUT TO BE CUT FLUSH WITH NO SHARP OR JAGGED EDGES.
5. ALL PROPOSED HARDWARE TO BE MOUNTED PER MANUFACTURERS SPECS.



SECTION A-A



1 / C-16 H-FRAME W/ POSTS DETAIL

SCALE: N.T.S.

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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	DAL
CHECKED BY:	DSH
APPV'D:	WRB
PROJECT NO:	24-27872

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T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

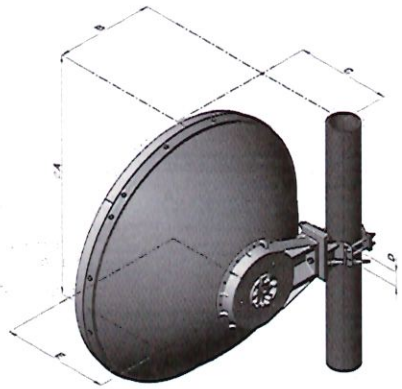
CIVIL DETAILS

SHEET NUMBER

C-16

VHLP3-18/A

Antenna Dimensions and Mounting Information



Dimension in inches (mm)					
Antenna size, ft (m)	A	B	C	D	E
3 (1.0)	39.3 (999)	16 (407)	15.2 (387)	2.4 (60)	17.2 (437)

Wind Forces at Wind Velocity Survival Rating

Axial Force (FA)	2903 N | 652.621 lbf
Angle α for MT Max	0 °
Side Force (FS)	1439 N | 323.5 lbf
Twisting Moment (MT)	1179 N-m | 10,435.029 in lb
Zcg without Ice	135 mm | 5.315 in
Zcg with 1/2 in (12 mm) Radial Ice	84 mm | 3.307 in
Weight with 1/2 in (12 mm) Radial Ice	46 kg | 101.413 lb

N.T.S.

ANDREW VHLP3-18A MICROWAVE ANTENNA | 1

PREPARED FOR:

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DRAWN BY:	TSL
CHECKED BY:	GSB
APPV'D:	WRB
PROJECT NO:	23-2942

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SHEET TITLE
CIVIL DETAILS

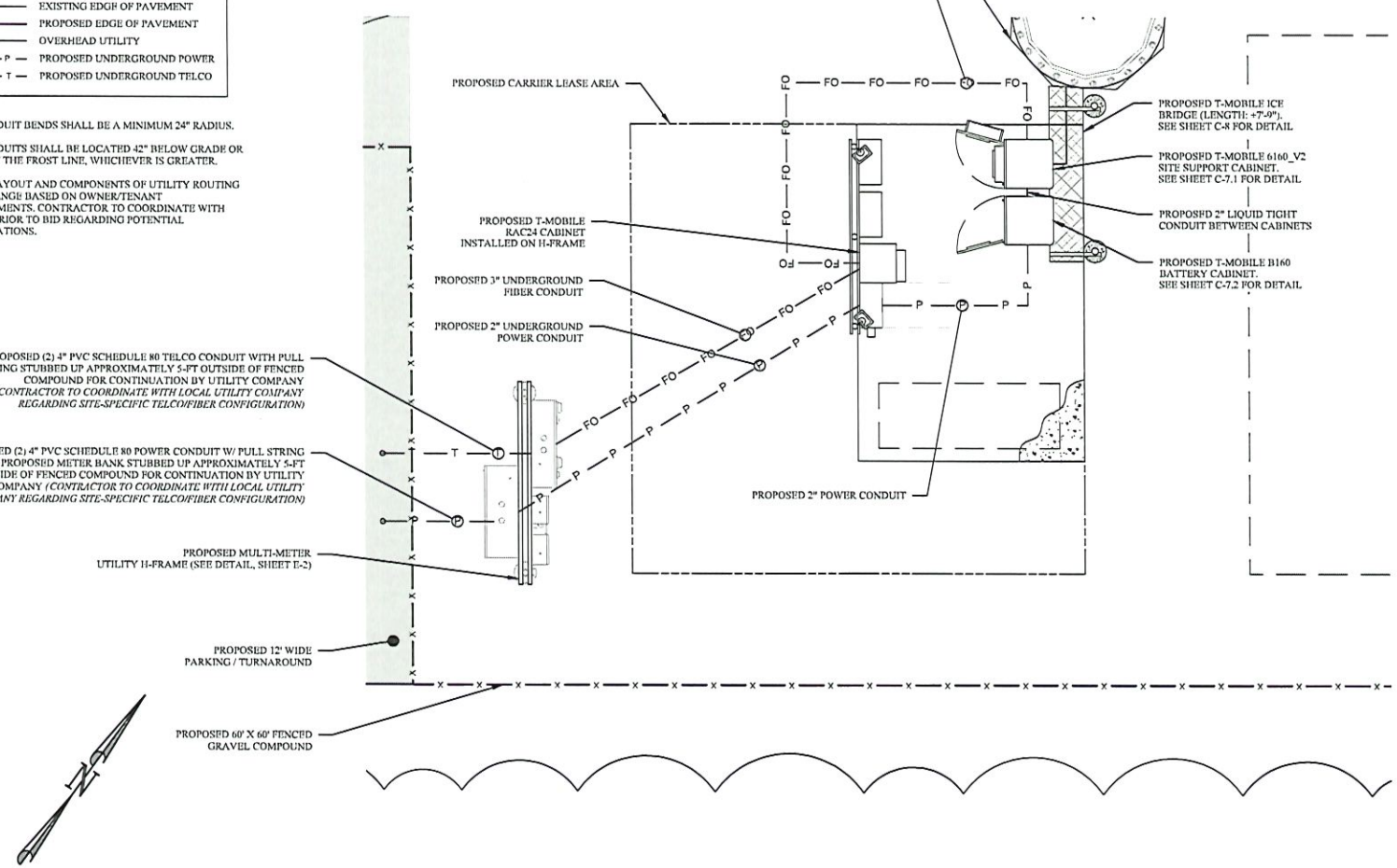
SHEET NUMBER
C-17

LEGEND

- PROPERTY LINE/ROW
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED LEASE AREA
- WATERBODY
- EXISTING FENCE
- PROPOSED FENCE
- ROADWAY CENTERLINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- OVERHEAD UTILITY
- PROPOSED UNDERGROUND POWER
- PROPOSED UNDERGROUND TELCO

NOTES:

1. ALL CONDUIT BENDS SHALL BE A MINIMUM 24" RADIUS.
2. ALL CONDUITS SHALL BE LOCATED 42" BELOW GRADE OR 6" BELOW THE FROST LINE, WHICHEVER IS GREATER.
3. EXACT LAYOUT AND COMPONENTS OF UTILITY ROUTING MAY CHANGE BASED ON OWNER/TENANT REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO BID REGARDING POTENTIAL MODIFICATIONS.



UTILITY LAYOUT
11" X 17" 1:5

3' 0 5' 10'

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DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TAL
CHECKED BY:	GSH
APPV'D:	WRB
PROJECT NO:	24-27472

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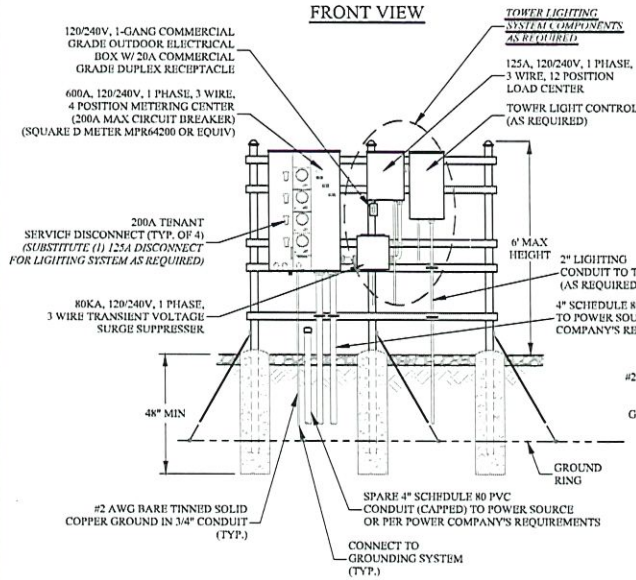
SHEET TITLE
UTILITY LAYOUT

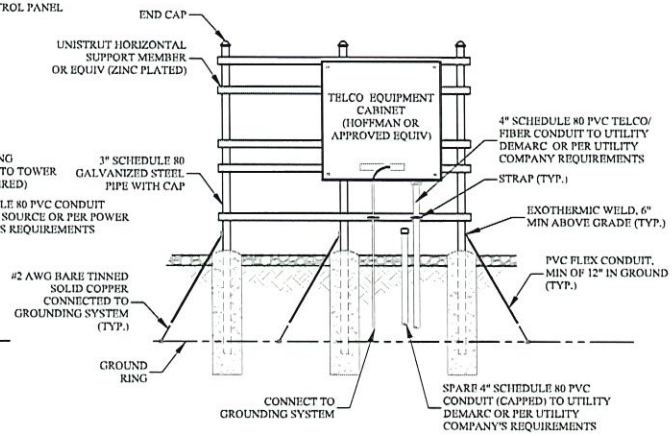
SHEET NUMBER
E-1

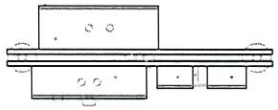
H-FRAME UTILITY RACK

FRONT VIEW



REAR VIEW



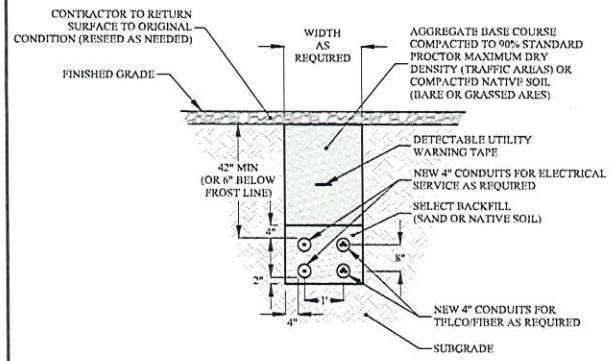


PLAN VIEW

NOTES:

1. EXACT LAYOUT AND COMPONENTS OF UTILITY RACK MAY CHANGE BASED ON OWNER/TENANT REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO BID REGARDING POTENTIAL MODIFICATIONS.
2. CONTRACTOR TO MAINTAIN 3'-0" MINIMUM CLEARANCE FROM METERING CENTER TO NEAREST OBSTRUCTION
3. CONCRETE PIER FOUNDATION TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP.)
4. ELECTRIC SERVICE: 240/120V, 1Ø, 3W, 600A UNDERGROUND SERVICE TO POLE RISER
5. USE COPPER STRANDED, 600V, TYPE THW/THWN, WITH CROSS-LINKED POLYETHYLENE INSULATION FOR #8 AWG AND LARGER WIRE
6. UNDERGROUND CONDUITS SHALL BE SCHEDULE 80 PVC (MEET UL STANDARDS 651 AND NEMA TC2-1990) EXPOSED GALVANIZED STEEL. ALL CONDUIT BENDS SHALL BE A MIN. OF 24" RADIUS OR AS SPECIFIED BY THE LATEST EDITION OF THE NEC, WHICHEVER IS GREATER
7. GROUNDING CONDUCTOR SHALL BE #2 AWG SOLID BARE TINNED COPPER UNLESS OTHERWISE NOTED
8. 4" PVC CONDUIT INSTALLED 30" (MIN) BELOW GRADE FOR INCOMING SERVICE BY TELEPHONE COMPANY. PROVIDE PULL STRING - 200 LB TEST POLYETHYLENE CORD

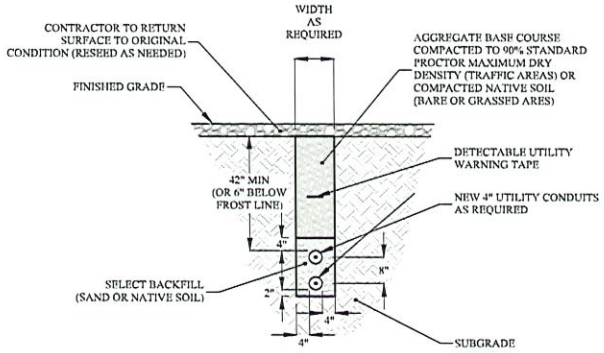
JOINT UTILITY TRENCH



NOTES:

1. CONDUIT TYPE, SIZE, QUANTITY, AND SEPARATION TO BE VERIFIED WITH LOCAL UTILITY PROVIDER REQUIREMENTS.

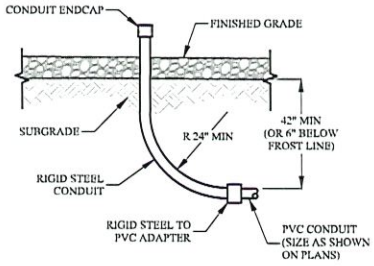
SINGLE UTILITY TRENCH



NOTES:

1. CONDUIT TYPE, SIZE, QUANTITY, AND SEPARATION TO BE VERIFIED WITH LOCAL UTILITY PROVIDER REQUIREMENTS.

CONDUIT STUB-UP



PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
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APPLICANT:

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DRAWN BY:	TAL
CHECKED BY:	GSH
APPVD:	WRB
PROJECT NO:	24-2472

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T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

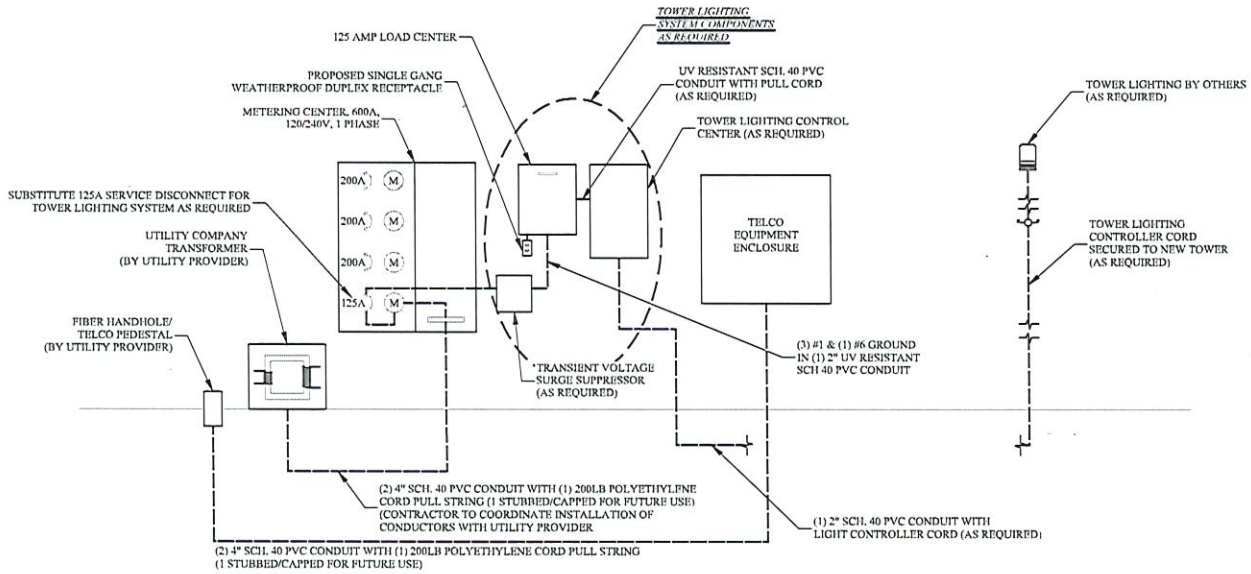
ELECTRICAL DETAILS

SHEET NUMBER

E-2

NOTES:
1. EXACT LAYOUT AND COMPONENTS OF UTILITY RACK MAY CHANGE BASED ON OWNER/TENANT REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO BID REGARDING POTENTIAL MODIFICATIONS.

UTILITY SINGLE LINE DIAGRAM



DETAILS NOT USED

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DELTA OAKS GROUP FIRM #26848

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CHECKED BY:	[illegible]
APPVD:	WRB
PROJECT NO:	[illegible]

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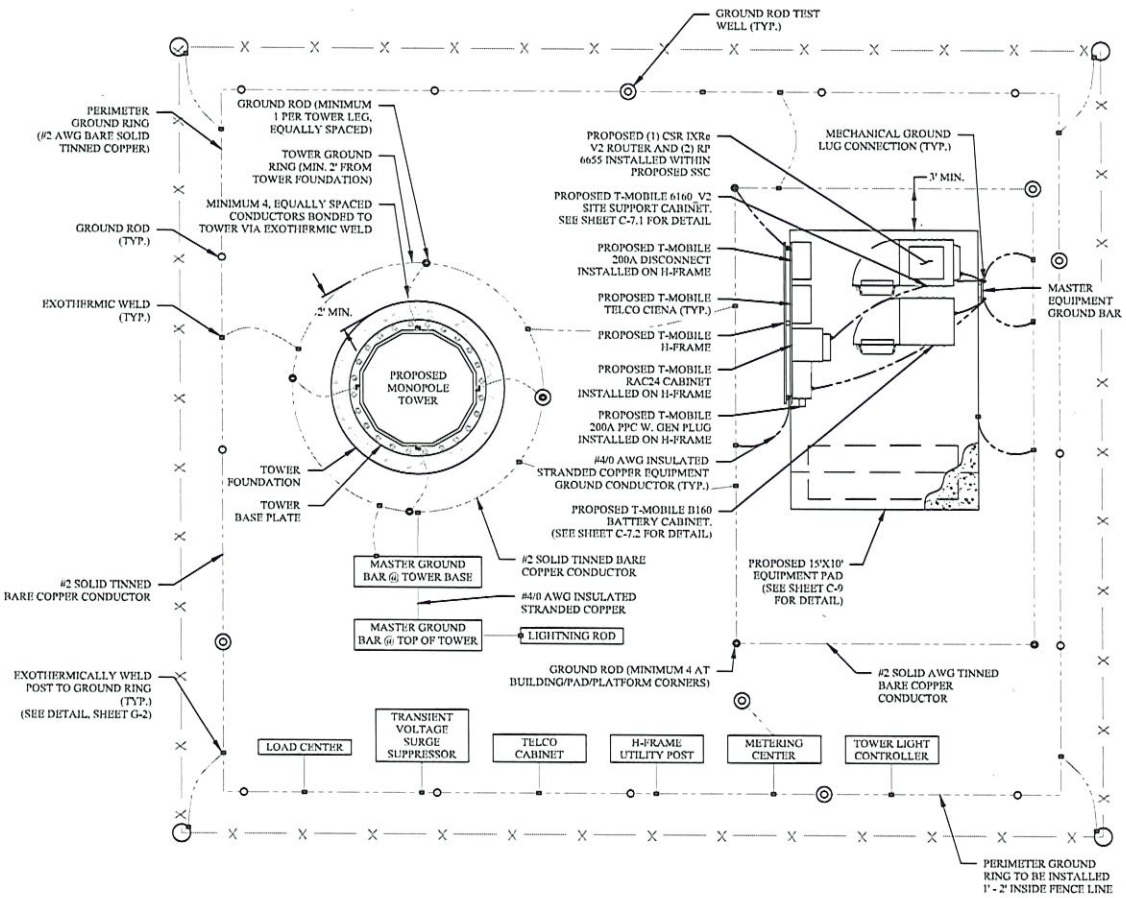
SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E-3

GROUNDING SINGLE LINE DIAGRAM
TYPICAL CONFIGURATION FOR MONOPOLE TOWERS



NOTES:

1. ALL GROUNDING SYSTEM SCHEMATICS/DIAGRAMS ARE INTENDED TO REPRESENT TYPICAL INSTALLATION SCENARIOS. VARYING SITE CONDITIONS MAY REQUIRE MODIFICATION OF THE DETAILS PRESENTED HEREIN. ALL GROUNDING SYSTEM GUIDELINES AND COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT
2. SITE GROUNDING SYSTEM MUST ACHIEVE A RESISTANCE OF 5 OHMS OR LESS
3. ALL GROUND RINGS SHALL BE INSTALLED AT A MINIMUM DEPTH OF 2.5-FT BELOW GRADE OR 6-INCHES BELOW THE FROST LINE, WHICHEVER IS GREATER
4. ALL GROUND RODS SHALL BE INSTALLED TO A MINIMUM DEPTH OF 10-FT BELOW THE GROUND RING
5. TOWER GROUND RING SHALL BE BONDED TO SHELTER/EQUIP PAD GROUND RING AND PERIMETER GROUND RING IN (2) LOCATIONS. SHELTER/EQUIPMENT PAD GROUND RING SHALL BE BONDED TO THE PERIMETER GROUND RING IN (2) LOCATIONS.
6. ALL SHELTER, EQUIPMENT PAD, AND TOWER FOUNDATIONS SHALL HAVE REBAR ELECTRICALLY CONNECTED TO THEIR ASSOCIATED GROUND RING (TOWER, SHELTER/EQUIP PAD) PER NEC 250.52(3)(A). FOUNDATION GROUNDING CONNECTIONS SHALL HAVE A MINIMUM COVER OF 3" OF CONCRETE AND SHALL BE MADE TO A MINIMUM 6' LENGTH OF REBAR (20' IS PREFERABLE).
7. GROUND ALL CORNER FENCE POSTS, GATE POSTS, AND GATE FRAME TO THE GROUND RING VIA EXOTHERMIC WELD. GROUND ANY GATE POST WITHIN 6' OF A SHELTER/EQUIPMENT PAD OR 25-FT OF THE TOWER TO THE GROUND RING VIA EXOTHERMIC WELD.
8. FOR TOWERS NOT EXCEEDING 5-FT IN BASE WIDTH, A MINIMUM OF (2) GROUND RODS SHOULD BE INCLUDED IN THE TOWER GROUND RING, SPACED OPPOSITE EACH OTHER.
9. FOR SELF SUPPORT TOWERS EXCEEDING 5-FT IN BASE WIDTH, A MINIMUM OF ONE GROUND ROD PER TOWER LEG SHOULD BE INCLUDED IN THE TOWER GROUND RING.
10. FOR MONOPOLES EXCEEDING 5-FT IN BASE WIDTH, THE GROUND RING SHOULD INCLUDE (4) GROUND RODS, EQUALLY SPACED; THERE SHOULD ALSO BE (4) BONDING CONDUCTORS CONNECTED TO THE MONOPOLE TOWER, EQUALLY SPACED.
11. BOND PROPANE TANK(S), GENERATOR(S), AND ALL MISCELLANEOUS METALLIC EQUIPMENT TO THE SITE GROUNDING SYSTEM.
12. GROUND ALL EXPOSED METALLIC OBJECTS ON THE BUILDING/SHELTER EXTERIOR
13. ALL CONDUITS CROSSING THE GROUND RING CONDUCTOR SHALL BE BONDED TO THE GROUND CONDUCTOR USING A PIPE CLAMP. DO NOT EXOTHERMICALLY WELD TO CONDUIT.
14. GROUNDING CONDUCTORS SHALL NOT HAVE A RADIUS LESS THAN 8" OR AN ANGLE OF BEND LESS THAN 90 DEGREES.
15. ALL BONDING CONNECTIONS SHALL BE MADE VIA EXOTHERMIC WELDING OR LISTED IRREVERSIBLE COMPRESSION OR MECHANICAL CONNECTORS. ALL BELOW GRADE CONNECTIONS SHOULD BE MADE VIA EXOTHERMIC WELD.
16. ALL ABOVE GRADE CONNECTIONS EXTENDING BENEATH THE GROUND SURFACE SHOULD BE ENCASED IN $\frac{1}{2}$" PVC FLEX CONDUIT THAT EXTENDS A MINIMUM 12" BELOW GRADE; ALL FLEX CONDUIT OPENINGS SHALL BE WEATHERPROOFED
17. UNLESS OTHERWISE NOTED, ALL EXTERIOR GROUNDING CONDUCTORS, INCLUDING GROUND RINGS, SHALL BE #2 AWG SOLID BARE TINNED COPPER. CONFIGURE ALL GROUNDING CONNECTIONS AS SHORT AND STRAIGHT AS POSSIBLE. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
18. ALL GROUND MECHANICAL AND COMPRESSION CONNECTIONS SHALL BE COATED WITH ANTI-OXIDANT AGENT
19. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
20. ALL LUG CONNECTIONS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL
21. REMOVAL ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS. SURFACES SHOULD BE REPAINTED TO MATCH (AFTER CONNECTION IS MADE) TO MAINTAIN CORROSION RESISTANCE.
22. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING: USE SPRAY GALVANIZER
23. WHERE MECHANICAL CONNECTORS ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND ON ALL CONNECTORS
24. THE TOWER BASE GROUND BUSBAR SHALL BE INSTALLED BELOW THE TRANSMISSION LINE GROUND KITS, NEAR THE AREA OF THE TOWER WHERE THE ANTENNA TRANSMISSION LINES TRANSITION FROM THE TOWER TO THE EQUIPMENT/ICE BRIDGE.
25. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUND RING IS INSTALLED SO THAT IT CAN BE INSPECTED PRIOR TO BACKFILL

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GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #20848

DRAWN BY:	TJL
CHECKED BY:	GSB
APPV'D:	WRB
PROJECT NO:	24-2472

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5.31.26	FOR CONSTRUCTION	0	TJL

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SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

GROUNDING PLAN

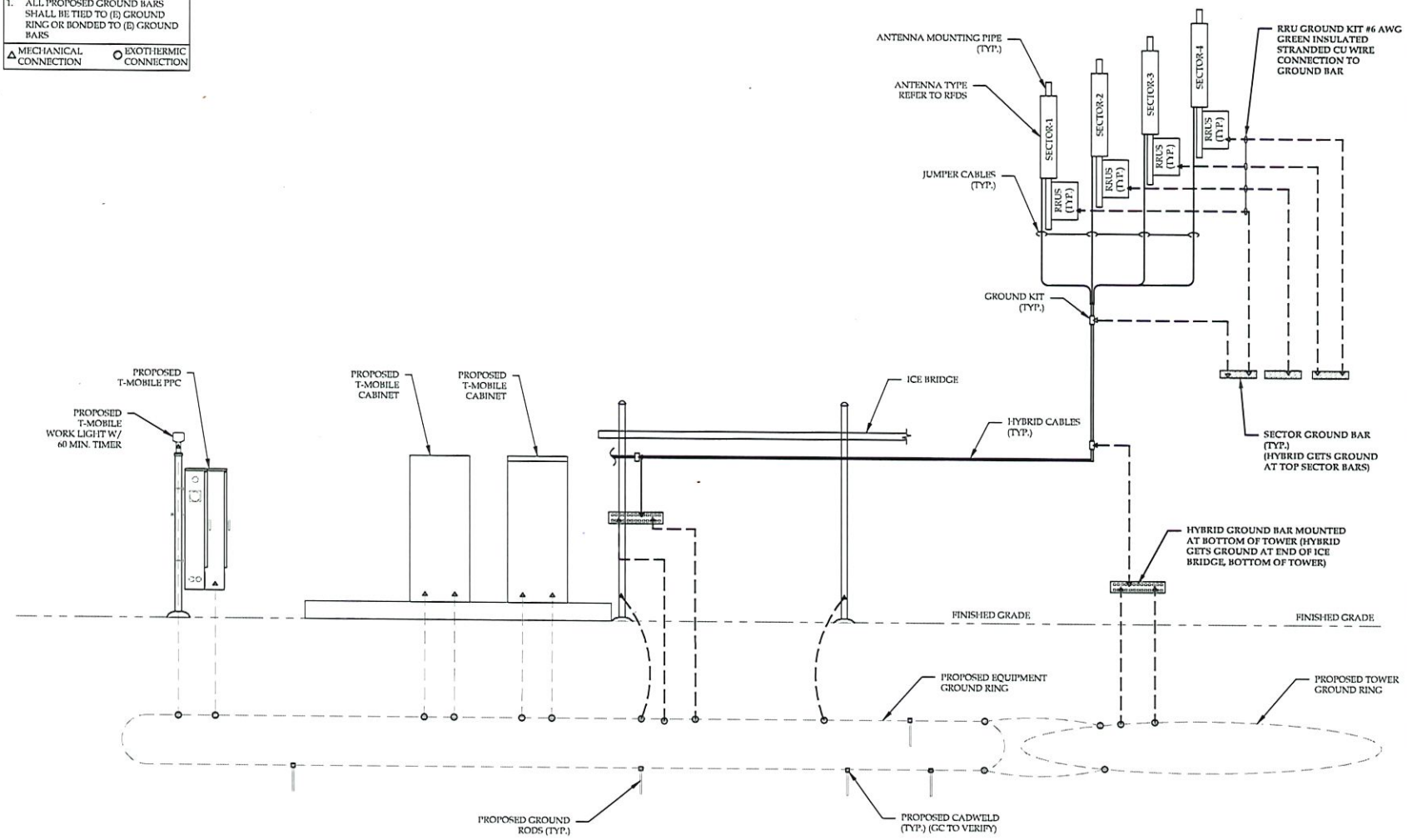
SHEET NUMBER

G-1

NOTES:
1. (3) ANTENNAS & 3 RRUS SHOWN FOR CLARITY. REFER TO RFDS FOR EXACT CONFIGURATION.
2. SEE GROUNDING REQUIREMENTS ON GN-1.

NOTES:
1. ALL PROPOSED GROUND BARS SHALL BE TIED TO (E) GROUND RING OR BONDED TO (E) GROUND BARS

△ MECHANICAL CONNECTION ○ EXOTHERMIC CONNECTION



1 / G-2 TYPICAL GROUNDING RISER DIAGRAM
SCALE: N.T.S.

PREPARED FOR:
GULFSOUTH TOWERS
GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:
T-Mobile
T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	JGL
CHECKED BY:	GRB
APPVD:	WRB
PROJECT NO:	24-25-92

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DATE	DESCRIPTION	REV	ISSUED BY
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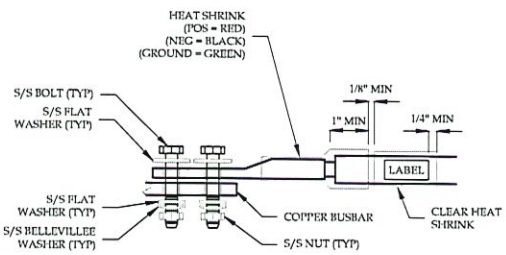
GUYTON, GA 31312

T-MOBILE / GST SITE ID:
9SA1871B / GA2520

SHEET TITLE
GROUNDING DETAILS

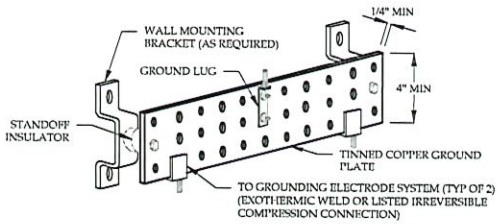
SHEET NUMBER
G-2

GROUND LUG DETAIL



NOTES:
1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT

EXTERIOR GROUND BUSBAR

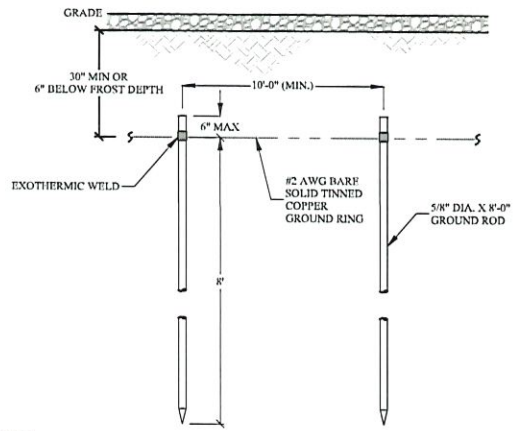


NOTES:
ALL BUSBARS
1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT.
2. GROUNDING CONDUCTORS SHALL NOT HAVE A RADIUS LESS THAN 8" OR AN ANGLE OF BEND LESS THAN 90 DEGREES.
3. WHEN MOUNTED ON WALLS OR OTHER SOLID SURFACES, GROUND BUSBAR(S) SHALL HAVE A MINIMUM 2" SEPARATION FROM THE SURFACE TO WHICH IT IS MOUNTED TO ALLOW ACCESS TO THE REAR OF THE BAR.
4. SHOULD BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA EXOTHERMIC WELD OR LISTED IRREVERSIBLE COMPRESSION CONNECTION. ALL BONDING CONNECTIONS SHALL BE MADE VIA EXOTHERMIC WELDING OR LISTED IRREVERSIBLE COMPRESSION OR MECHANICAL CONNECTORS. MECHANICAL AND COMPRESSION CONNECTORS SHOULD ONLY BE USED ABOVE GROUND.

SHELTER/EQUIPMENT BUSBAR
5. SHALL BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA NO. 2 AWG OR LARGER BARE, SOLID, TINNED COPPER CONDUCTOR.

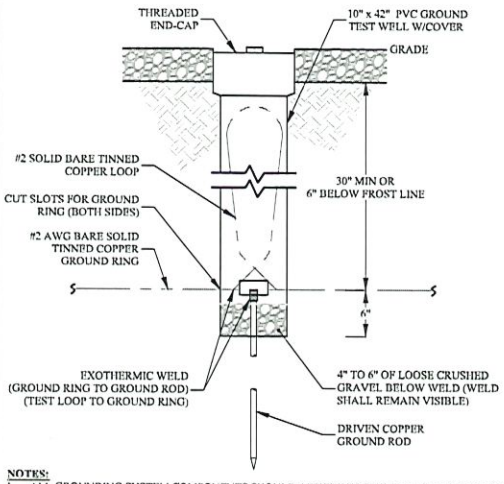
TOWER BUSBAR
6. SHALL BE DIRECTLY BONDED TO THE TOWER.
7. SHALL BE INSTALLED AT THE TOP AND BOTTOM OF THE TOWER; WHEN TOWER IS GREATER THAN 200-FT IN HEIGHT, BUSBARS SHALL BE INSTALLED EVERY 50-FT AND BONDED TO THE TOWER AND TRANSMISSION LINE CABLE SHIELDS
8. SHALL BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA #2 AWG OR LARGER BARE, SOLID, TINNED COPPER CONDUCTER.

GROUND ROD DETAIL



NOTES:
1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE APPLICABLE SECTIONS OF THE MOTOROLA R56 "STANDARDS AND GUIDELINES FOR COMMUNICATIONS SITES", 2017 REV OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT
2. GROUND RODS SHALL BE LATERALLY SPACED NO CLOSER THAN A DISTANCE EQUAL TO THEIR LENGTH, BUT NO GREATER THAN TWICE THEIR LENGTH
3. GROUND RODS SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM VERTICAL
4. ALL BONDING CONNECTIONS SHALL BE MADE VIA EXOTHERMIC WELDING

GROUND ROD TEST WELL DETAIL



NOTES:
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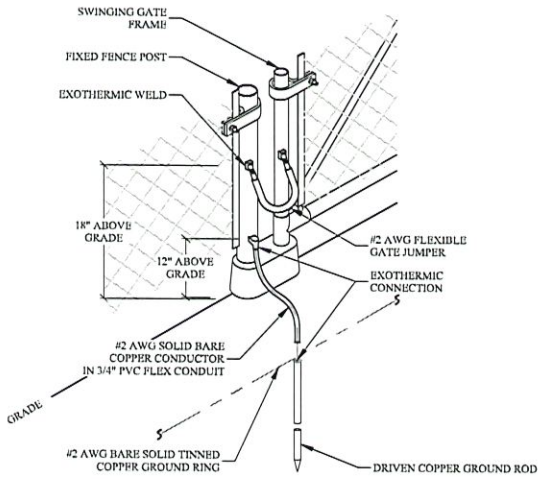
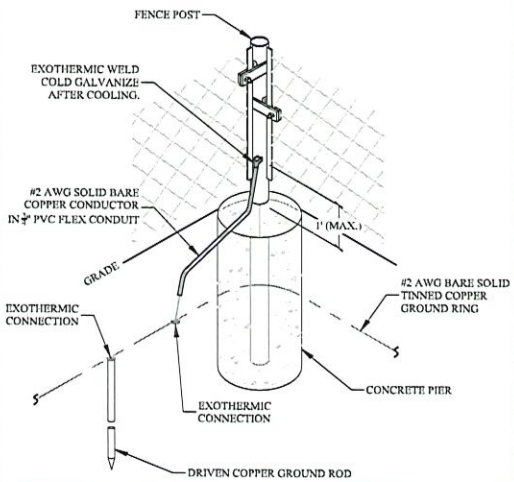
GATE GROUNDING DETAIL



FENCE POST GROUNDING DETAIL



PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
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DAPHNE, AL 36526
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APPLICANT:

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W. RHETT BUTLER II, PE
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DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TSL
CHECKED BY:	GSH
APPV'D:	WRB
PROJECT NO:	25-2572

SUBMITTALS

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5-11-26	FOR CONSTRUCTION	0	TSL

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SITE ADDRESS:
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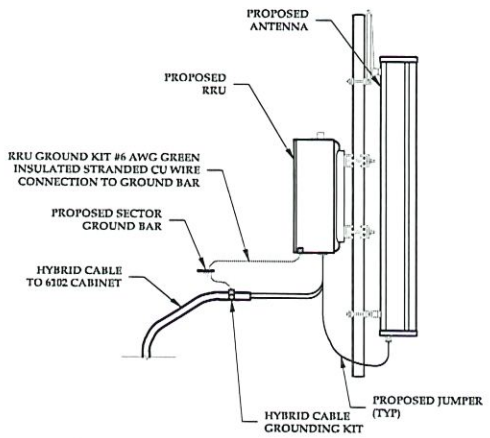
GUYTON, GA 31312

T-MOBILE / GST SITE ID:
9SA1871B / GA2520

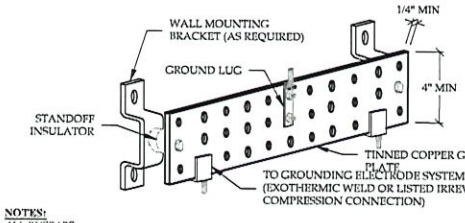
SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-3



1 G-4 ANTENNA & CABLE GROUNDING DETAIL

SCALE: N.T.S.



NOTES:

ALL BUSBARS

1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT
2. GROUNDING CONDUCTORS SHALL NOT HAVE A RADIUS LESS THAN 8" OR AN ANGLE OF BEND LESS THAN 90 DEGREES.
3. WHEN MOUNTED ON WALLS OR OTHER SOLID SURFACES, GROUND BUSBAR(S) SHALL HAVE A MINIMUM 2" SEPARATION FROM THE SURFACE TO WHICH IT IS MOUNTED TO ALLOW ACCESS TO THE REAR OF THE BAR.
4. SHOULD BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA EXOTHERMIC WELD OR LISTED IRREVERSIBLE COMPRESSION CONNECTION. ALL BONDING CONNECTIONS SHALL BE MADE VIA EXOTHERMIC WELDING OR LISTED IRREVERSIBLE COMPRESSION OR MECHANICAL CONNECTORS. MECHANICAL AND COMPRESSION CONNECTORS SHOULD ONLY BE USED ABOVE GROUND.

SHELTER/EQUIPMENT BUSBAR

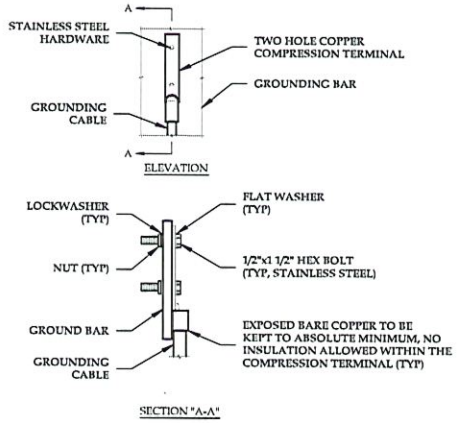
5. SHALL BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA NO. 2 AWG OR LARGER BARE, SOLID, TINNED COPPER CONDUCTOR.

TOWER BUSBAR

6. SHALL BE DIRECTLY BONDED TO THE TOWER.
7. SHALL BE INSTALLED AT THE TOP AND BOTTOM OF THE TOWER; WHEN TOWER IS GREATER THAN 200-FT IN HEIGHT, BUSBARS SHALL BE INSTALLED EVERY 50-FT AND BONDED TO THE TOWER AND TRANSMISSION LINE CABLE SHIELDS
8. SHALL BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA #2 AWG OR LARGER BARE, SOLID, TINNED COPPER CONDUCTER.

2 G-4 TYPICAL GROUND BAR DETAIL

SCALE: N.T.S.

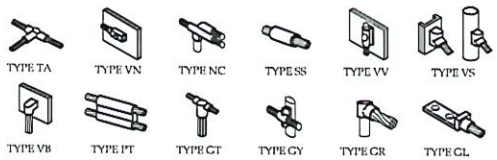


NOTES:

1. 1. "DOUBLING UP" OR "STACKING" OF CONNECTIONS IS NOT PERMITTED.
2. 2. OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.

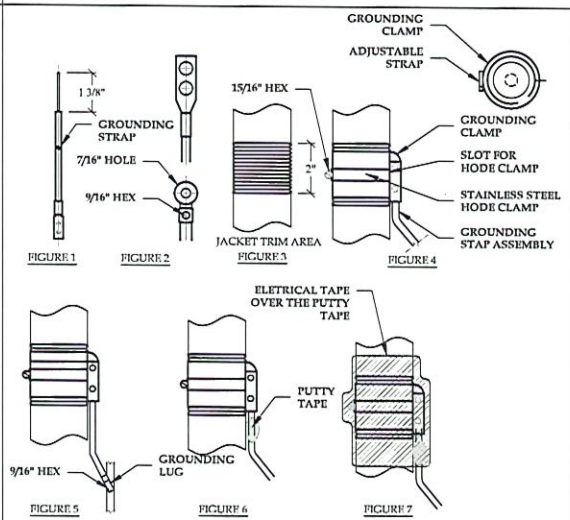
3 G-4 TYPICAL GROUND BAR CONN. DETAILS

SCALE: N.T.S.



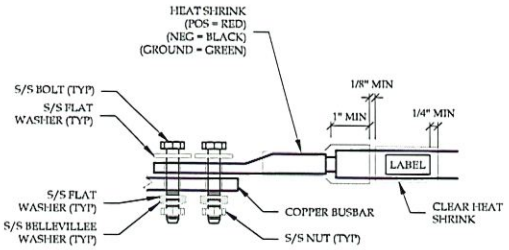
4 G-4 CADWELD GROUNDING CONN. DETAILS

SCALE: N.T.S.



5 G-4 TYPICAL HYBRID WEATHERPROOF. DETAILS

SCALE: N.T.S.



NOTES:

1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT

6 G-4 GROUND LUG DETAIL

SCALE: N.T.S.

PREPARED FOR:

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GST CAPITAL PARTNERS, LLC
25367 FRIENDSHIP RD., STE. B
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APPLICANT:

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MOBILE, AL 36609

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W. RHETT BUTLER II, PE
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DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TGL
CHECKED BY:	GSB
APPVD:	WRB
PROJECT NO:	25-27472

SUBMITTALS

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GUYTON, GA 31312

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9SA1871B / GA2520

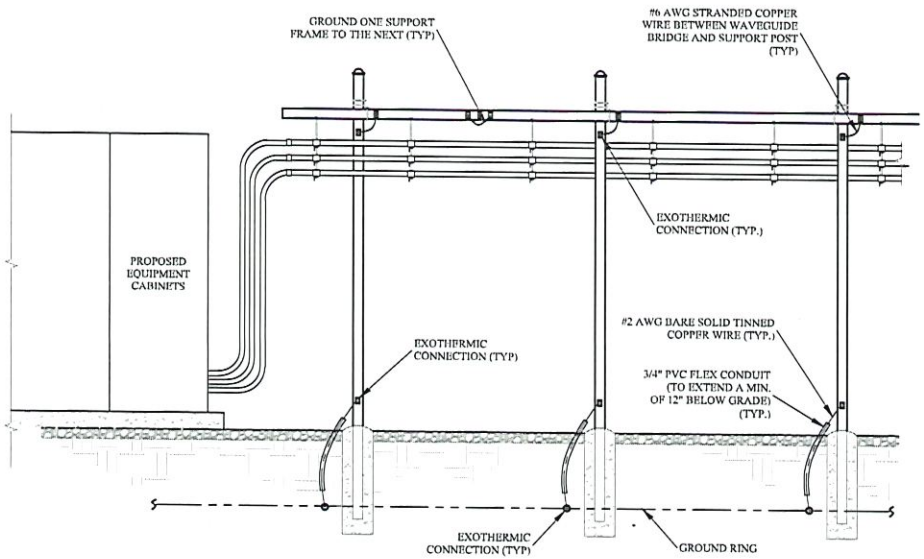
SHEET TITLE

GROUNDING DETAILS

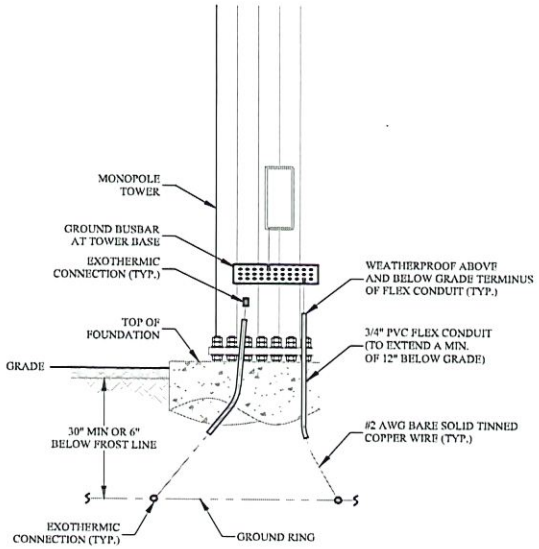
SHEET NUMBER

G-4

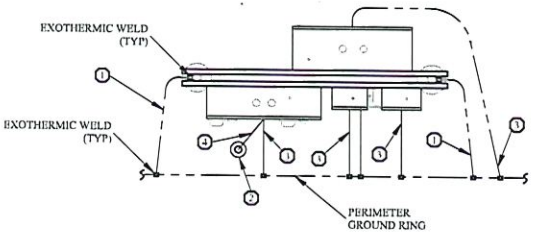
ICE BRIDGE GROUNDING



GROUNDING AT TOWER BASE



UTILITY RACK GROUNDING DIAGRAM



1. #2 AWG BARE SOLID TINNED COPPER CONDUCTOR FROM H-FRAME TO GROUND RING (TYP)
2. GROUND ROD AND TEST WELL (TYP)
3. #2 AWG BARE SOLID TINNED COPPER CONDUCTOR FROM ALL METAL CABINETS ON BACKBOARD TO GROUND RING (TYP)....GROUND RING CONNECTION EXOTHERMIC, METAL CABINET CONNECTION MECHANICAL
4. BOND #6 AWG INSULATED CONDUCTOR FROM METER PANEL AND DISCONNECT TO SEPARATE GROUND

NOTES:
1. EXACT LAYOUT AND COMPONENTS OF UTILITY RACK GROUNDING MAY CHANGE BASED ON OWNER/TENANT REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO BID REGARDING POTENTIAL MODIFICATIONS.

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W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	[illegible]
CHECKED BY:	GSB
APPVD:	WEB
PROJECT NO:	25-25872

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
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GUYTON, GA 31312

T-MOBILE / GST SITE ID:
9SA1871B / GA2520

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-5

GENERAL NOTES

1. THE SCOPE OF WORK DEPICTED IN THIS PLANSET MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE SUBSTANTIAL EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS PROJECT, THE CONTRACTOR IS CONFIRMING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY TO COMPLETE THE WORK, THAT HE IS KNOWLEDGEABLE OF THE SCOPE OF WORK TO BE PERFORMED AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.

2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST VERSION OF THE LOCAL AND NATIONAL BUILDING CODE, WHICHEVER IS MORE STRINGENT.

3. SHOP DRAWINGS AND/OR MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS REGARDING ANY HARDWARE, INFRASTRUCTURE, OR MATERIALS SPECIFIED HEREIN SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING INFORMATION CONTAINED HEREIN.

4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS NOT PROVIDED BY OWNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED AND ANY AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES.

5. THE CONTRACTOR SHALL VERIFY ALL EXISTING TOPOGRAPHY, DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS ARE AS INDICATED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL ESTABLISH THE LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER FOR RESOLUTION AND/OR MODIFICATION PRIOR TO COMMENCEMENT OF THE WORK.

6. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS

7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET TO FULFILL THE SCOPE OF WORK AS REPRESENTED IN THIS PLAN SET, OBTAIN A CERTIFICATE OF OCCUPANCY, OR OTHERWISE ALLOW FOR THE FULL INTENDED USE OF THE PROPOSED FACILITY

8. THESE PLANS/DRAWINGS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR ENGINEER SHALL NOT INCLUDE INSPECTION OF THE CONSTRUCTION PROCEDURES AND DOES NOT ALLEVIATE CONTRACTOR FROM THE FOREGOING. ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

9. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE AND IMPLEMENT BOTH THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE, ALL SURROUNDING INFRASTRUCTURE, WORKSPACE, EMPLOYEES, AND PUBLIC DURING ERECTION AND/OR MODIFICATIONS. THIS INCLUDES BUT IS NOT LIMITED TO TEMPORARY BRACING, GUYS, TIE DOWNS, OR OTHER SUPPORTS THAT MAY BE NECESSARY DURING CONSTRUCTION.

10. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTION MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION.

11. IF DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEVIATION AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW. NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER AND/OR ENGINEER

12. THE CONTRACTOR MUST, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES, OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS

13. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS (INCLUDING THE GENERAL PUBLIC) AND PROPERTY (INCLUDING ADJOINING PROPERTIES). THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

GENERAL NOTES (CONT.)

13. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK ASSOCIATED WITH THIS PROJECT COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND OTHER REGULATIONS GOVERNING THE WORK.

14. ACCESS TO THE PROPOSED SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR THE OWNER'S REPRESENTATIVE REGARDING ALL CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIAL ACCESS.

EXISTING INFRASTRUCTURE

1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN THE AREA OF ANY PROPOSED CONSTRUCTION OR PROPOSED DISTURBANCE DUE TO CONSTRUCTION. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES AND IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS OR IF THERE APPEARS TO BE A CONFLICT BETWEEN EXISTING AND PROPOSED UTILITY LOCATIONS.

UTILITIES

1. CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING THE REQUIREMENTS AND LIMITS OF CLEARANCE FOR OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE

2. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORILY PRIOR TO COMMENCING ANY PAVING ACTIVITY WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT

3. UNLESS OTHERWISE SPECIFIED HEREIN, MINIMUM COVER FOR CONDUITS SHALL BE 36-INCHES

GRADING

1. CONTRACTOR IS TO CONTACT GEORGIA 811, INC. AT 1-800-282-7411 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY GROUND DISTURBANCE.

2. ALL CONSTRUCTION AREAS ARE TO BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL, ORGANICS AND UNSUITABLE MATERIALS PRIOR TO GRADING AND IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT.

3. EXCAVATIONS SHOULD BE SLOPED OR SHORED IN ACCORDANCE AND COMPLIANCE WITH OSHA 29 CFR PART 1926, EXCAVATION TRENCH SAFETY STANDARDS AS WELL AS LOCAL, STATE AND FEDERAL REGULATIONS.

4. ALL FILL PLACEMENT INCLUDING SUITABILITY OF FILL MATERIALS AND COMPACTION OF MATERIALS SHOULD BE CONDUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. IN THE ABSENCE OF FILL SPECIFICATIONS, THE FOLLOWING MINIMUM REQUIREMENTS SHOULD BE ADHERED TO:

   4.1. FILL LIFT THICKNESS SHOULD NOT EXCEED 8 INCHES LOOSE WHEN COMPACTED WITH HEAVY COMPACTION EQUIPMENT OR 4 INCHES LOOSE WHEN COMPACTED WITH HAND OPERATED TAMPERS.

   4.2. FILL MATERIALS SHOULD NOT BE PLACED ON SATURATED OR FROZEN SURFACES OR SURFACES THAT CONTAIN ORGANIC MATERIAL, MUD, SNOW, ICE OR FROST

   4.3. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER OBJECTIONABLE MATERIALS THAT WOULD PREVENT THE CONSTRUCTION AND/OR COMPACTION OF SATISFACTORY FILLS. THIS INCLUDES SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS

   4.4. ALL FILLS SHOULD BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. ALL FILL AREAS WITHIN BUILDINGS OR OTHER STRUCTURES, TRAVEL/ACCESS ROUTES, PARKING AREAS AND EXTENDING 5-FT (MINIMUM) OUTSIDE OF THOSE AREAS' FOOTPRINT, SHOULD BE COMPACTED TO +/- 95% OF MAXIMUM DRY DENSITY OF THE MATERIAL AS OBTAINED BY THE STANDARD PROCTOR METHOD.

5. THE CONTRACTOR SHALL REWORK ALL MATERIALS NOT SUITABLE FOR USE IN THEIR PRESENT STATE DUE TO MOISTURE CONTENT VARIATION. IF THE MATERIAL REMAINS UNSUITABLE AFTER INITIAL REWORKING, THE CONTRACTOR SHALL REMOVE AND REPLACE WITH NEW MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS.

GRADING (CONT.)

6. IN THE ABSENCE OF A GEOTECHNICAL REPORT A GEOTECHNICAL ENGINEER SHOULD BE RETAINED TO PROVIDE SITE SPECIFIC RECOMMENDATIONS/OVERSIGHT.

7. DELTA OAKS GROUP MAKES NO CLAIMS TO THE SUITABILITY OF ANY ON-SITE MATERIALS FOR USE AS FILL TO SUPPORT ANY PROPOSED INFRASTRUCTURE.

8. SPOT ELEVATIONS REPRESENT FINISHED GRADE UNLESS OTHERWISE NOTED.

9. ALL TEMPORARY AND FINISHED GRADES MUST MAINTAIN ADEQUATE SURFACE DRAINAGE SO THAT RUN-OFF IS DIRECTED TO DEDICATED OFF-SITE AREAS OR TO ON-SITE COLLECTION POINTS SUCH AS SWALES, CATCH BASINS, DROP INLETS, CULVERTS, STORMWATER BMP'S, ETC. TO PREVENT SURFACE PONDING, STANDING WATER, OR EXTENDED PERIODS OF SOIL SATURATION.

"DELTA OAKS GROUP MAKES NO CLAIM TO THE VALIDITY OF THESE RECOMMENDATIONS TO THE SITE'S SPECIFIC GEOTECHNICAL CONDITIONS AND STRONGLY RECOMMENDS A SITE-SPECIFIC GEOTECHNICAL INVESTIGATION BE PERFORMED. ANY AND ALL FILL RECOMMENDATIONS PRESENTED IN SUCH A REPORT WILL TAKE PRECEDENCE OVER THE INFORMATION PRESENTED HEREIN.

PANEL SCHEDULE

1. SERVICE BOND IS TO BE MADE BY DEVICES (STRAPS, SCREWS, ETC. SUPPLIED BY EQUIPMENT MANUFACTURER. IF NO SUCH DEVICE IS SUPPLIED, BOND IS TO BE MADE IN ACCORDANCE WITH NEC ARTICLE 250.

2. CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE SELECTED IN ACCORDANCE WITH NEC ARTICLE 240-3.

3. CONDUCTOR SIZING IS SELECTED FROM NEC ARTICLE 310-16

4. ALL LUGS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTI-BARREL CONNECTIONS

5. ALL CONDUCTORS SHALL BE INSULATED THHN WIRE (UNLESS OTHERWISE NOTED)

EROSION AND SEDIMENT CONTROL

1. THE DENUDED AREA IS APPROXIMATELY 32,431 SQUARE FEET.

2. THIS SITE IS NOT LOCATED IN A FEMA SPECIAL FLOOD HAZARD AREA PER FIRM #13103C0235E WITH EFFECTIVE DATE MARCH 16, 2015.

3. CUT AND FILL SLOPES SHOULD BE STABILIZED WITHIN 15 DAYS DURING ANY PHASE OF GRADING

4. STREETS ADJACENT TO THE PROJECT SHALL BE KEPT CLEAN AT ALL TIMES FROM SEDIMENT OR OTHER CONSTRUCTION GENERATED MATERIAL OR A WASH STATION WILL BE REQUIRED

5. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS REGARDING EROSION AND SEDIMENT CONTROL FOR THE AGENCY HAVING JURISDICTION OVER CLEARING AND GRADING PROCEDURES. UTILIZE BEST MANAGEMENT PRACTICES (BMPS) DESCRIBED IN THE GOVERNING AGENCY'S OR APPLICABLE STATE'S CODE IN ORDER TO BOTH PREVENT/MINIMIZE CONCENTRATED FLOWS THROUGH OR ACROSS UNSTABILIZED/DENUDED AREAS AND PREVENT/MINIMIZE SEDIMENT LADEN STORMWATER RUNOFF FROM LEAVING THE CONSTRUCTION SITE. SPECIFIC BMP EXAMPLES INCLUDE SILT FENCE, CONSTRUCTION ENTRANCE(S), PERIMETER DIVERSION SWALES, INLET PROTECTION, AND OTHER APPLICABLE MEASURES.

6. CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES SPECIFIED HEREIN AND ANY ADDITIONAL CONTROLS THAT MAY BECOME NECESSARY IN ORDER TO ENSURE THE PROTECTION OF ADJACENT PROPERTIES AND WATERWAYS. ALL TEMPORARY DEVICES SHALL BE APPROPRIATELY MAINTAINED UNTIL ALL EARTH DISTURBING ACTIVITIES HAVE CEASED AND THE PROJECT IS STABILIZED AND APPROVED.

7. EROSION CONTROL MEASURES SHALL BE CHECKED DAILY AND IMMEDIATELY FOLLOWING ANY RAINFALL EVENTS. ANY NOTED DEFICIENCIES WILL BE CORRECTED IMMEDIATELY (NO LATER THAN THE END OF EACH DAY). IMMEDIATELY UPON THE DISCOVERY OF UNFORESEEN CIRCUMSTANCES THAT POSE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BMPS TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENTATION.

8. ALL DENUDED CUT/FILL SLOPES STEEPER THAN OR EQUAL TO 2H:1V SHALL BE PROTECTED WITH NORTH AMERICAN GREEN SC125 OR EQUIVALENT UNLESS ALTERNATIVE SLOPE PROTECTION MEASURES ARE APPROVED

9. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES

CONSTRUCTION REQUIREMENTS

1. UPON ISSUANCE OF BID AWARD, CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN APPLICABLE JURISDICTION

2. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF CONSTRUCTION. SCHEDULE SHALL BE UPDATED IMMEDIATELY AND SUBMITTED TO OWNER IN EVENT OF DELAYS OR REQUIRED TIME EXTENSIONS. ALL DELAYS AND/OR TIME EXTENSIONS WILL BE ACCOMPANIED BY EXPLANATIONS FOR EACH OCCURRENCE.

3. DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE OWNER OR OWNER'S REPRESENTATIVE WITH PHOTOGRAPHS OF MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.

4. CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL BE PREPARED TO ATTEND WEEKLY CONFERENCE CALLS WHERE SPECIFIC DETAILS, INCLUDING PROGRESS REPORTS, UNFORESEEN SITE CONDITIONS, SCHEDULE CHANGES, SAFETY CONCERNS, ETC. REGARDING THE SITE WILL BE DISCUSSED.

5. CONTRACTOR WILL UTILIZE, ADHERE TO, AND SUBMIT (AS REQUIRED) ALL OWNER PROVIDED DOCUMENTATION.

6. CONTRACTOR IS RESPONSIBLE FOR CONDUCTION OF ALL CONCRETE COMPRESSIVE STRENGTH TESTING (INCLUDING THE SUBMITTAL OF FINAL TESTING RESULTS AND CLOSE-OUT BOOK)

7. CONTRACTOR IS RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEOTECHNICAL REPORT PROVIDED BY OWNER.

8. CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING.

9. CONTRACTOR SHALL ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION. CONTRACTOR SHALL ALSO ASSIST IN COORDINATING AND OBTAINING TELCO/FIBER SERVICE PRIOR TO PROJECT COMPLETION (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY).

10. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.

11. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.

12. CONTRACTOR WILL BE REQUIRED TO OBTAIN ALL NECESSARY CONSTRUCTION AND/OR CLOSE-OUT RELATED PERMITS, INCLUDING ELECTRICAL PERMITS AND INSPECTIONS, CERTIFICATES OF OCCUPANCY, ETC. AS REQUIRED BY JURISDICTION.

13. CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING OWNER'S SIGN-OFF ON THE SITE).

14. CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.

SEEDBED PREPARATION

1. SCARIFY COMPACTED AREAS AND REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. FILL ANY EXISTING RILLS AND GULLIES

2. IMMEDIATELY PRIOR TO SPREADING TOPSOIL, CORRECT PH OF THE SUBSOIL WITH LIME PER RECOMMENDATION OF SOILS TEST OR AT A RATE SUITABLE TO THE SITE CONDITIONS. LOOSEN THE SUBGRADE OF THE SITE TO RECEIVE THE TOPSOIL BY DISKING OR SCARIFYING TO A DEPTH OF AT LEAST 2-INCHES TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL.

3. UNIFORMLY SPREAD TOPSOIL 3-INCHES DEEP IN AREAS AS REQUIRED

4. APPLY LIME AND/OR FERTILIZER AS NECESSARY AND TILL SOIL UNTIL A WELL-MIXED, PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED. THE PREPARED SEEDBED SHOULD BE 4 TO 6 INCHES DEEP.

5. SEED A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING

6. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH

7. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 70% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES

8. SEE PERMANENT SEEDING SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25367 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

DELTA OAKS

DELTA OAKS GROUP, PLLC
2724 DISCOVERY DRIVE, SUITE 110-120
RALEIGH, NC 27616
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED No. PE037675 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037675
DELTA OAKS GROUP FIRM #28848

DRAWN BY:	TSL
CHECKED BY:	GSB
APPVD:	WRB
PROJECT NO:	242572

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
5.11.26	FOR CONSTRUCTION	0	TSL

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T-MOBILE / GST SITE NAME:

GUYTON-BTS / GUYTON-TESSANNE

SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

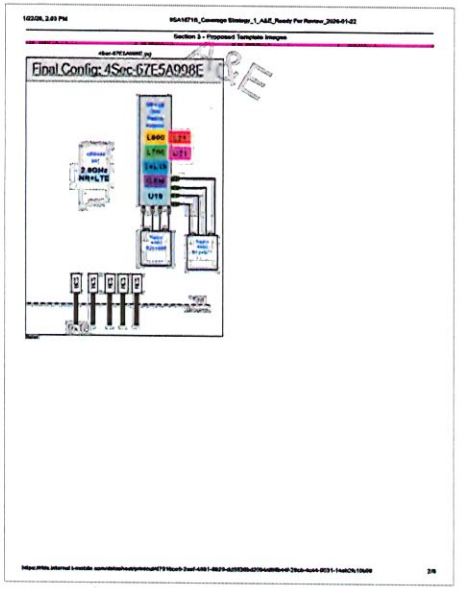
9SA1871B / GA2520

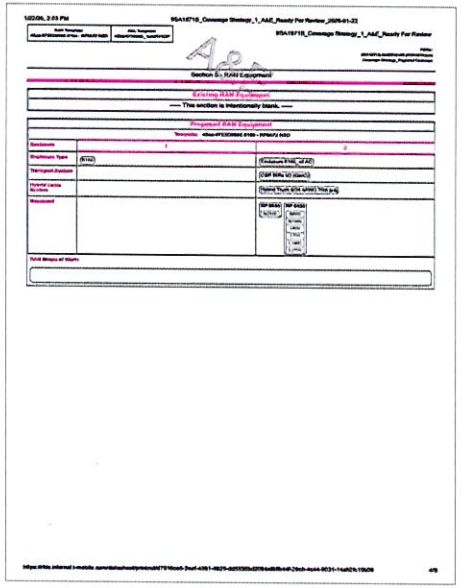
SHEET TITLE

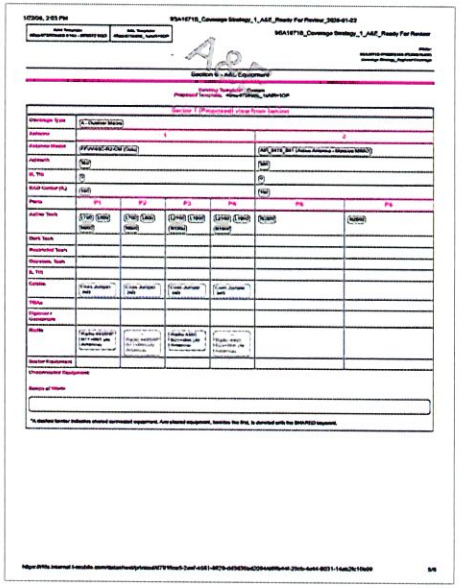
GENERAL NOTES

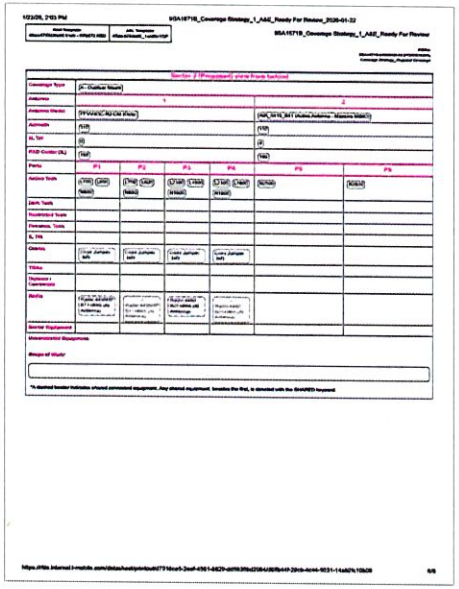
SHEET NUMBER

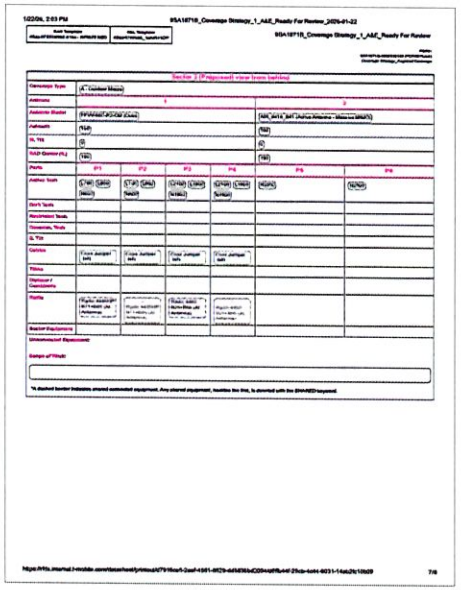
GN-1

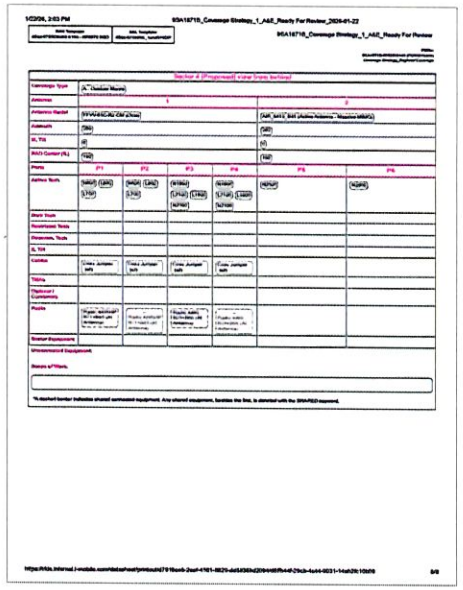












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GEORGIA REGISTERED PROFESSIONAL ENGINEER No. PE037873 WILLIAM RHETT BUTLER II

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TSL
CHECKED BY:	GSB
APPV'D:	WRB
PROJECT NO:	24-25472

SUBMITTALS

DATE:	DESCRIPTION	REV	ISSUED BY
3-31-26	FOR CONSTRUCTION	0	TSL

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T-MOBILE / GST SITE NAME:

GUYTON-BTS / GUYTON-TESSANNE

SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

ANTENNA SCHEDULES & RFDS INFORMATION

SHEET NUMBER

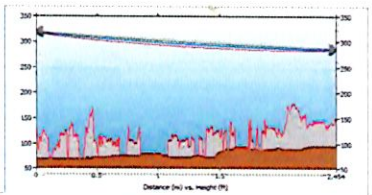
RF-1

iQ link — Link Budget Report

Date Printed: [DATE]
Create Date: 10-OCT-2025

Link ID: 3013330
Link Name: 9SA1102C_9SA1871B

Region: South
Created By: Cvance5



9SA1102C	Frequency (GHz) = 18.00 GHz	9SA1871B
Latitude: 32-18-34.6 N	K1: [PL-K1]	Latitude: 32-20-33.5 N
Longitude: 81-23-39.8 W	%F1: [PL-F1]	Longitude: 81-22-43.5 W
Azimuth: 21.89 Deg	K2: [PL-K2]	Azimuth: 201.89 Deg
Elevation: 68.90 ft	%F2: [PL-F2]	Elevation: 95.14 ft
Antenna CL: 250.00 ft AGL	K3: [PL-K3]	Antenna CL: 191.00 ft AGL

1

Transmission details		
SITE ID:	9SA1102C	9SA1871B
CLUSTER_ID:	9GA0973A	[CLUSTER_ID_B]
CALL_SIGN:	WNZC485	[CALL_SIGN_B]
ASR #:	1217177	
AAV_CONTRACT_ID:	TMW01	[AAV_CONTRACT_ID_B]
AAV_CONTRACT_STATUS:	Selected	Not Available
Ethernet Installed:	[1_95_STATUS_A]	[1_95_STATUS_B]
Latitude:	32-18-34.6 N	32-20-33.5 N
Longitude:	81-23-39.8 W	81-22-43.5 W
Azimuth (deg):	21.89 Deg	201.89 Deg
Vertical angle (deg):	0.16 Down	0.13 Up
Elevation:	68.90 ft	95.14 ft
Antenna model:	VHLP3-18A	VHLP3-18A
Antenna manufacturer:	ANDREW CORPORATION	ANDREW CORPORATION
Antenna Id:	222	222
Antenna gain (dBi):	43.50 dBi	43.50 dBi
Antenna diameter:	2.95 ft	2.95 ft
Antenna CL:	250.00 ft AGL	191.00 ft AGL
Diversity Antenna model:		
Diversity Antenna manufacturer:		
Diversity Antenna Id:		
Diversity Antenna gain (dBi):		
Diversity Antenna diameter:		
Diversity Antenna CL:		
Branch Loss Tx/Rx (dB):	0.50 dB/0.50 dB	0.50 dB/0.50 dB
Attenuator Comment/Tx/Rx (dB):		
Waveguide #1 Model, Len, Loss(dB):		
Waveguide #2 Model, Len, Loss(dB):		
Waveguide #3 Model, Len, Loss(dB):		
Total Waveguide Loss (dB):		

3

Other Losses (dB):	0.00 dB	0.00 dB
Frequency (GHz):	18.00 GHz	
Path length:	2.45 mi	
Free space loss (dB):	129.46 dB	
Atmospheric absorption loss (dB):	0.21 dB	
Obstruction Loss (dB):	0.00 dB (nLOS)	
Field margin (dB):	1.00 dB	
Net path loss (dB):	44.70 dB	44.70 dB
Configuration:	2+0/DP/DM/OMT	2+0/DP/DM/OMT
Radio model:	IP20D-D18-80X-A, 4501	IP20D-D18-80X-A, 4501
Radio manufacturer:	Ceragon Networks	Ceragon Networks
Radio Id:	749	749
Frequency Plan: Frequency (MHz):	High: N/A	Low: N/A
Polarization:	N/A	N/A
Emission designator:	80M0D7W	80M0D7W
Climate factor:	1.00	
Terrain roughness factor:	4.00	
Average annual temperature:	65.38 degF	
Design Path Priority:	Vertical	
Rain region:	Savannah, Georgia	
0.01% Rain Rate:	67.8 mm/hr	
Passive Repeaters		
Antenna model:		
Antenna manufacturer:		
Antenna height:		

Modulation / Throughput	Tx Power A/B (dBm)		EIRP A/B (dBm)		Receive Signal A/B (dBm)		Composite Fade Margin A/B (dB)		Radio Threshold / ACM Drop Level A/B (dBm)	
BPSK 67.00 Mbps	22.00	22.00	65.00	65.00	-21.70	-21.70	39.72	39.72	-85.00	-85.00
4QAM 116.00 Mbps	22.00	22.00	65.00	65.00	-21.70	-21.70	55.49	55.49	-79.00	-79.00
8QAM 164.00 Mbps	22.00	22.00	65.00	65.00	-21.70	-21.70	52.42	52.42	-75.50	-75.50
16QAM 230.00 Mbps	22.00	22.00	65.00	65.00	-21.70	-21.70	49.59	49.59	-72.50	-72.50
32QAM 304.00 Mbps	22.00	22.00	65.00	65.00	-21.70	-21.70	46.31	46.31	-69.00	-69.00
64QAM 373.00 Mbps	22.00	22.00	65.00	65.00	-21.70	-21.70	42.29	42.29	-66.00	-66.00
128QAM 447.00 Mbps	22.00	22.00	65.00	65.00	-21.70	-21.70	39.25	39.25	-63.00	-63.00
256QAM 512.00 Mbps	20.00	20.00	63.00	63.00	-23.70	-23.70	35.30	35.30	-60.50	-60.50
512QAM 583.00 Mbps	20.00	20.00	63.00	63.00	-23.70	-23.70	32.45	32.45	-57.50	-57.50
1024QAM 654.00 Mbps	20.00	20.00	63.00	63.00	-23.70	-23.70	29.53	29.53	-54.50	-54.50
2048QAM 842.00 Mbps	20.00	20.00	63.00	63.00	-23.70	-23.70	26.00	26.00	-54.00	-54.00
4096QAM 890.00 Mbps	18.00	18.00	61.00	61.00	-25.70	-25.70	24.20	24.20	-51.00	-51.00

Modulation/Throughput	Worst Month Multipath		Worst Month Rain		Annual Multipath		Annual Rain		Total Annual		Total Active In Mode	
	(100-%)	(s)	(100-%)	(s)	(100-%)	(s)	(100-%)	(s)	(100-%)	(s)	(100-%)	(s)
BPSK 67.00 Mbps	99.999999	0.01	99.997942	63.96	100.000000	0.00	99.996775	99.68	99.996774	99.68	0.000111	21.40
4QAM 116.00 Mbps	99.999999	0.01	99.998864	87.42	100.000000	0.15	99.999604	124.98	99.999603	125.11	0.000116	36.70
8QAM 164.00 Mbps	99.999997	0.08	99.998280	153.01	99.999999	0.31	99.999480	161.90	99.999457	161.91	0.000294	45.40
16QAM 230.00 Mbps	99.999994	0.15	99.998142	147.46	99.999998	0.80	99.999395	208.69	99.999363	209.39	0.000339	55.60
32QAM 304.00 Mbps	99.999991	0.41	99.997261	176.32	99.999995	1.67	99.999269	300.29	99.999226	301.82	0.000512	104.20
64QAM 373.00 Mbps	99.999989	0.83	99.996187	231.25	99.999990	3.24	99.998701	409.52	99.998691	412.76	0.000671	148.42
128QAM 447.00 Mbps	99.999917	1.66	99.995129	301.19	99.999975	6.52	99.998241	556.65	99.998221	563.18	0.000969	206.71
256QAM 512.00 Mbps	99.999963	6.22	99.992700	426.18	99.999988	24.21	99.997367	822.48	99.997355	846.69	0.001634	324.27
512QAM 583.00 Mbps	99.999887	7.96	99.991866	525.72	99.999966	31.24	99.996843	1121.87	99.996809	1153.11	0.001905	440.00
1024QAM 654.00 Mbps	99.999857	15.90	99.990273	726.67	99.999956	62.35	99.995342	1532.04	99.995298	1594.39	0.002256	604.00
2048QAM 842.00 Mbps	99.999742	17.20	99.987199	798.25	99.999905	67.84	99.994057	1826.20	99.994052	1894.04	0.003000	1275.00
4096QAM 890.00 Mbps	99.997977	53.10	99.976014	1,200.51	99.999139	209.00	99.991308	2761.24	99.990446	2949.24	99.990446	2153395.16

Multipath fading method - VIGANTS
Rain fading method - Crane City/Savannah, Georgia

5

PREPARED FOR:

GULFSOUTH TOWERS

GST CAPITAL PARTNERS, LLC
25387 FRIENDSHIP RD., STE. B
DAPHNE, AL 36526
OFFICE: (251) 270-9267

APPLICANT:

T-Mobile

T-MOBILE CENTER
110 MOUNTLIMA DR SUITE 900,
MOBILE, AL 36609

PREPARED BY:

DELTA OAKS

DELTA OAKS GROUP, PLLC
2724 DISCOVERY DRIVE, SUITE 110-120
RALEIGH, NC 27616
PHONE: (919) 342-5247
WWW.DELTAOAKSGROUP.COM

GEORGIA REGISTERED No. PE037873 PROFESSIONAL ENGINEER WILLIAM RHETT BUTLER

W. RHETT BUTLER II, PE
GEORGIA NO. 037873
DELTA OAKS GROUP FIRM #26848

DRAWN BY:	TM
CHECKED BY:	GSH
APPVD:	WRB
PROJECT NO:	25-2702

SUBMITTALS			
DATE:	DESCRIPTION	REV.	ISSUED BY
9/11/26	FOR CONSTRUCTION	0	TCI

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR COPYING TO BE REPRODUCED THE WHOLE OR ANY PART OF THESE PLANS IS NOT WITHOUT THE PERMISSION OF THE DELTA OAKS GROUP, PLLC IS PROHIBITED.

T-MOBILE / GST SITE NAME:

GUYTON-BTS / GUYTON-TESSANNE

SITE ADDRESS:

TBD FOURTH ST EXT,
GUYTON, GA 31312

T-MOBILE / GST SITE ID:

9SA1871B / GA2520

SHEET TITLE

MW LINK DESIGN

SHEET NUMBER

RF-2

GENERAL NOTES:

1. This Survey is prepared exclusively to show site conditions and/or for use in support of instruments related to Leases and Easements as may be shown hereon. Any property boundary information shown hereon is a composite of information gathered from current or previous Surveys, Plat & Deed Description and/or Assessor's Tax Maps as may be referenced hereon. This Survey is not a Boundary Survey of any Tax Parcels or Deed Tracts, and does not create, combine, or divide any existing properties.
2. Survey shown hereon was performed under the supervision of a state-registered Land Surveyor and conforms to all applicable State Board Requirements.
3. Instruments Used: One or more of: Topcon Total Station, Topcon Hiperlite Plus GPS, Carlson Surveyor Data Collector, DJI UAV.
4. Where shown, improvements (utilities, buildings, trees, fences, etc.) are based on field Survey and/or aerial mapping.
5. Any Underground Utilities shown according to surface markings made by others, found at time of survey. Additional marked utilities outside the area covered by this survey map may be shown in provided CAD Files. Utility Markings may not be comprehensive, and conditions may change after the time of survey: this survey does not relieve design and construction personnel of the responsibility to determine the locations of underground utilities prior to land disturbance activities. See also 2021 ALTA Standards, page 10, "Note to clients...".
6. This Survey is presented in the format required by Clients. Clients are advised that Official Jurisdictions may require the Survey to be presented in another format with additional notes and certifications. In the event other formats, notes or certifications are requested by applicable jurisdictions, it is the responsibility of the Client to request same be prepared by Surveyor. Survey as published is not intended to be suitable for recording as a Subdivision Plat.
7. This survey may have been reduced or enlarged in size due to subsequent reproduction. This should be taken into consideration when obtaining scaled data.
8. Geographic Coordinates, if published, meet FAA Accuracy Code 1A, and are accurate to within ± 20 feet horizontally and to within ± 3 feet vertically.
9. Any Flood Zone information presented hereon is according to current FEMA Flood Map information as may be referenced hereon. No Flood Elevation Survey of Certification performed.
10. This survey is not valid without the original signature seal of a State-Licensed Land Surveyor, and is not complete without the total of sheets as specified in Survey Title Blocks.
11. Unless indicated otherwise by reference to Record Instruments, any Lessee's Leases, Premises or Easements shown hereon are NOT YET OF RECORD and may be subject to change pending review and approval by Carrier, applicable jurisdictions and/or other involved parties.
12. Any Survey Markers placed as required by Standards of Practice and/or Client request represent the Leases and/or Easements as requested or designed by Clients at the time of this survey issue and may not reflect changes to site design which have not been communicated to Surveyor in the form of a Survey revision request. Surveyor shall not be liable for any circumstance arising as a result of revisions to Site Design (which may invalidate existing survey markers) occurring after the date of this Survey issue.

SURVEYOR'S CERTIFICATION

To: GST Capital Partners, LLC.; and AMC Settlement Services:
This Survey is a SPECIFIC PURPOSE SURVEY and does not subdivide or create any new Parcels, or make changes to real property boundaries. The recording information of the documents, maps, plats or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS OR COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board for Professional Engineers and Land Surveyors as set forth in O.C.G.A Section 15-6-67.

GEORGIA REGISTERED No. LS003508 PROFESSIONAL LAND SURVEYOR TRAVIS LAMAR SHIELDS
03/12/26

Travis L. Shields
Georgia RLS No. LS003508
Georgia COA No. LSF001190

PROPOSED TOWER LOCATION DATA

Latitude: NORTH: 32.342391° 32° 20' 32.61"
Longitude: WEST: 81.378601° 81° 22' 42.97"
Ground Elev: 96.5 FEET AMSL (NAVD88)
Benchmark: DP8346 GASA CORS ARP

PARENT TAX PARCEL

CASEY TESSANNE
TAX PARCEL: 03200011

EASEMENT TAX PARCELS

DAVID HURST & PATRICIA HURST
TAX PARCEL: 03200008TPO
TAX PARCEL: 03200023CUV
TAX PARCEL: G0180001CUV

NORTH ORIENTATION

GEORGIA EAST STATE PLANE COORDINATE SYSTEM
Based on GPS Survey relative to NGS CORS Network, NAD83 (2011)
ELEVATION DATUM: NAVD88, GEOID 12B
DATE OF SURVEY: 02-15-2026
Method: RTK (CORS); Confidence Level: 95%
Positional Accuracy: HZ ± 0.10'
EPOCH 2010.0000
Convergence: 0.42161645°; Combined Scale Factor: 0.99996805

FLOOD DATA

FEMA FLOOD MAP PANEL: 13103C0235E, Effective Date: 03-16-2015
Surveyed Area appears to lie within: ZONE X (Areas of Minimal Flood Hazard)

TITLE EXAMINATION:

See Sheet #6

SURVEY ISSUE DATA

#	DETAILS	DATE	DRAWN	APP
0	Original Survey Issue	10-02-2025	NB	TLS
1	Access & Utility Easement split between parcels	10-03-2025	NB	TLS
2	Premises and Easement revised	03-10-2026	NB	TLS
3	Easement revised	03-12-2026	NB	TLS

LOCATION MAP

NOT TO SCALE

SURVEY MAP LEGEND

- IRON ROD FOUND
- UTILITY POLE
- GUY ANCHOR
- PROPOSED TOWER CENTER
- SITE BENCHMARK

R/W	RIGHT-OF-WAY
C/L	CENTER LINE
AU	ACCESS & UTILITY
ESMT	EASEMENT
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
Sq Ft	SQUARE FEET

- PAVEMENT EDGE
- GRAVEL EDGE
- OHU — OVERHEAD UTILITY LINES
- GUY — GUY WIRE
- DITCH
- STM — STORMWATER PIPE
- 5' CONTOURS
- 1' CONTOURS
- RW — PUBLIC R/W
- TAX PARCEL BOUNDARY
- TIE LINE
- LESSEE'S PREMISES
- LESSEE'S EASEMENTS

THE LAND CONSULTANTS LLC
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423·304·6722
GEORGIA COA No. LSF001190

PREPARED FOR

DELTA OAKS GROUP
4904 Professional Court
Raleigh, NC 27609

GST CAPITAL PARTNERS, LLC
25387 Friendship Road, Suite B,
Daphne, AL 36526

(Not a Boundary Survey of Parent Lands. Not Intended for fee simple Land Transfer)

SPECIFIC PURPOSE SURVEY
GUYTON-TESSANNE

Site Number: GA2520
Fourth Street Extension, Guyton, GA 31312
Effingham County, Georgia

COVER SHEET

DWG#: 25280
ISSUE #: 3
ISSUE DATE: 03-12-2026
SEE SHEET #1

PROPERTY INFORMATION

PARENT TAX PARCEL

A. CASEY TESSANNE
TAX PARCEL: 03200011
DEED BOOK 2919, PAGE 638
TRACT C, PLAT BOOK 29, PAGE 102

EASEMENT TAX PARCELS

B. DAVID HURST & PATRICIA HURST
TAX PARCEL: 03200008TPO
DEED BOOK 2686, PAGE 498
PLAT BOOK 21, PAGE 17

C. DAVID HURST AND PATRICIA HURST
TAX PARCEL: 03200023CUV
DEED BOOK 2939, PAGE 954
PLAT BOOK 29, PAGE 970

D. DAVID HURST AND PATRICIA HURST
TAX PARCEL: G0180001CUV
DEED BOOK 2939, PAGE 954
PLAT BOOK 29, PAGE 969

ADJOINING TAX PARCELS

D. KATIE BROWN ALSTON FAMILY WEALTH TRUST
TAX PARCEL: 03200013
DEED BOOK 2295, PAGE 790
PLAT BOOK J, PAGE 191

E. KEVIN OAKLEY CASE ...
TAX PARCEL: 03200014
DEED BOOK 2240, PAGE 616
PLAT BOOK B145, PAGE D2

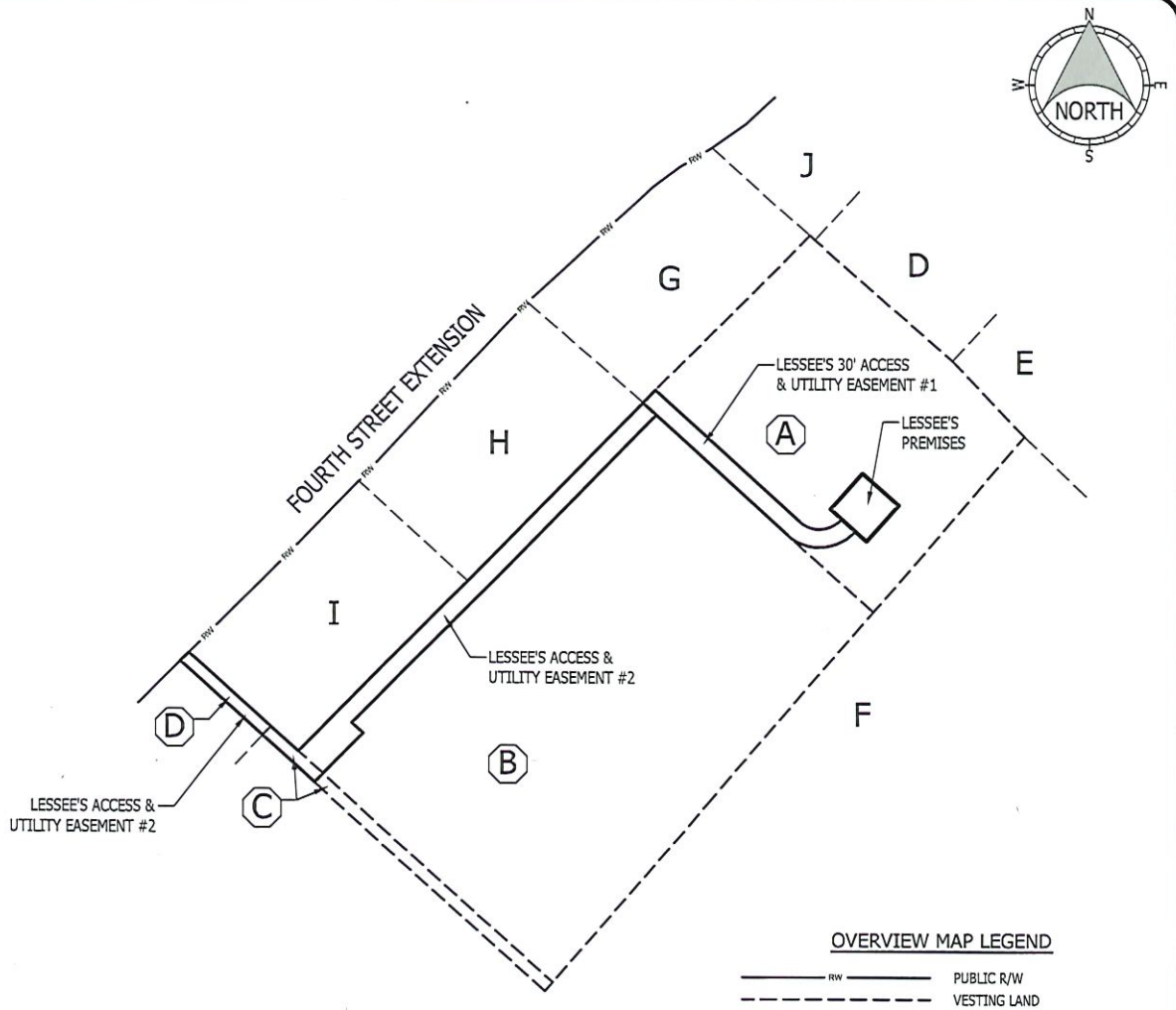
F. JAMES E. PHILLIPS
TAX PARCEL: 03200023TPO
DEED BOOK 2939, PAGE 942
PLAT BOOK 23, PAGE 217

G. LANIER FREEMAN ESTATE
TAX PARCEL: G0180005
DEED BOOK 99, PAGE 167
PLAT BOOK E, PAGE 296

H. JOYCE SOWERS
TAX PARCEL: G0180004
DEED BOOK 2516, PAGE 808

I. JOYCE Z. SOWERS
TAX PARCEL: G0180003
DEED BOOK 2367, PAGE 328
PLAT BOOK F, PAGE 140

J. SCOTTY HUGHES TUTTLE ...
TAX PARCEL: G0180006
DEED BOOK 2909, PAGE 48
PLAT BOOK 15, PAGE 130



APPROX SCALE: 1in = 200'

0 200' 400' 600'

OVERVIEW MAP LEGEND

- RW — PUBLIC R/W
- VESTING LAND
- ADJOINING TAX PARCEL
- LESSEE'S PREMISES
- LESSEE'S EASEMENT(S)

OVERVIEW MAP CAVEAT:
OVERVIEW MAP IS NOT A SURVEY BUT A VICINITY / LOCATION MAP INTENDED ONLY TO SHOW SURVEYED PROPERTY IN RELATION TO SURROUNDING AREA. VESTING AND ADJOINING PARCEL BOUNDARIES ARE NOT INCLUDED IN OR CERTIFIED BY THIS SURVEY. BOUNDARY LINES ARE A COMPOSITE OF DEED, PLAT AND/OR TAX MAP INFORMATION
SEE SURVEY MAP FOR ALL MATTERS RELATED TO SITE SURVEY

THE LAND CONSULTANTS LLC
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423-304-6722
GEORGIA COA NO. LSFD01190

PREPARED FOR

DELTA OAKS GROUP
4904 Professional Court
Raleigh, NC 27609

GST CAPITAL PARTNERS, LLC
25387 Friendship Road, Suite B,
Daphne, AL 36526

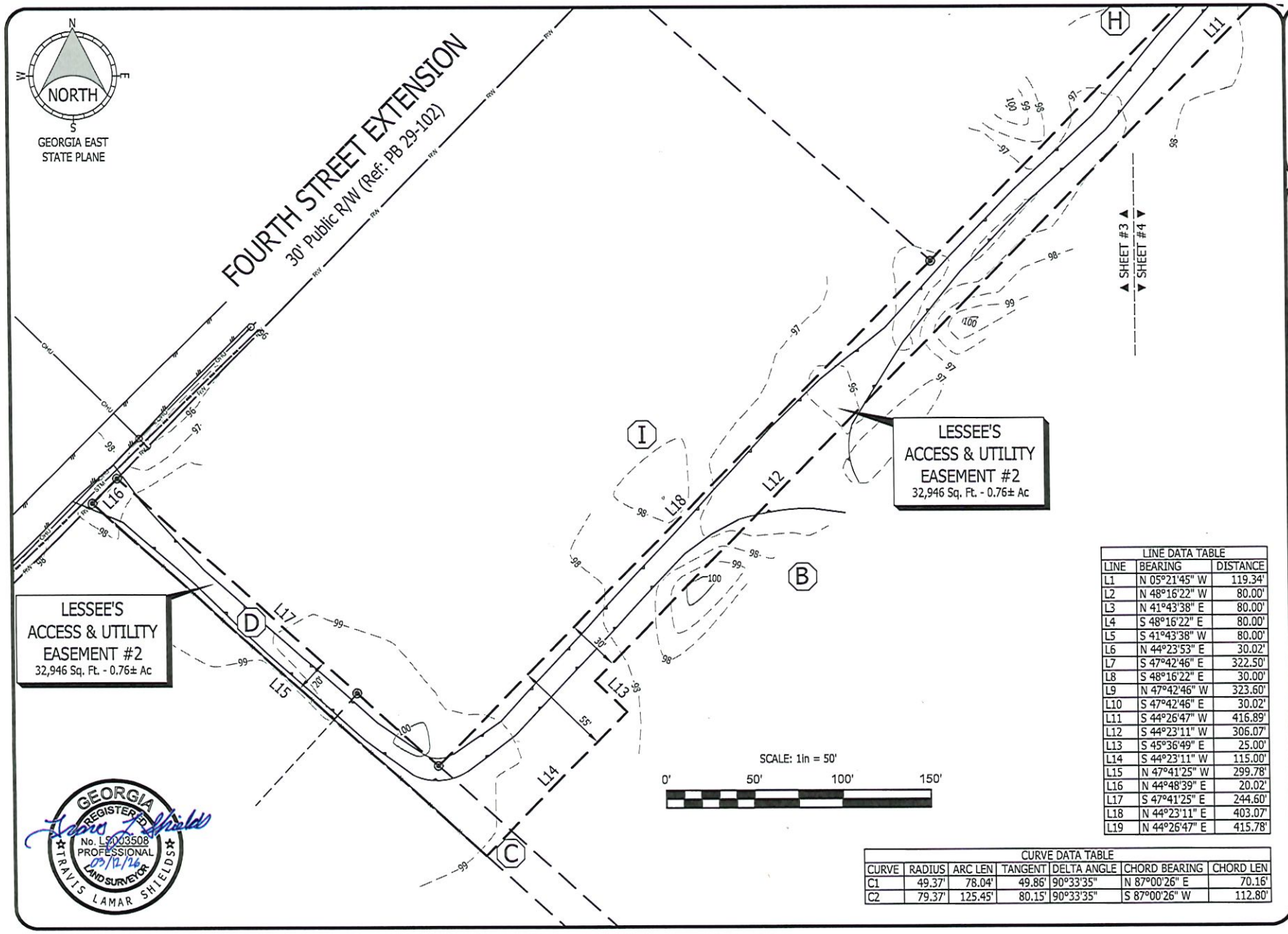
(Not a Boundary Survey of Parent Lands, Not intended for fee simple Land Transfer)

SPECIFIC PURPOSE SURVEY
GUYTON-TESSANNE

Site Number: GA2520
Fourth Street Extension, Guyton, GA 31312
Effingham County, Georgia

OVERVIEW MAP

DWG#: 25280
ISSUE #: 3
ISSUE DATE: 03-12-2026
SEE SHEET #1



LINE DATA TABLE		
LINE	BEARING	DISTANCE
L1	N 05°21'45" W	119.34'
L2	N 48°16'22" W	80.00'
L3	N 41°43'38" E	80.00'
L4	S 48°16'22" E	80.00'
L5	S 41°43'38" W	80.00'
L6	N 44°23'53" E	30.02'
L7	S 47°42'46" E	322.50'
L8	S 48°16'22" E	30.00'
L9	N 47°42'46" W	323.60'
L10	S 47°42'46" E	30.02'
L11	S 44°26'47" W	416.89'
L12	S 44°23'11" W	306.07'
L13	S 45°36'49" E	25.00'
L14	S 44°23'11" W	115.00'
L15	N 47°41'25" W	299.78'
L16	N 44°48'39" E	20.02'
L17	S 47°41'25" E	244.60'
L18	N 44°23'11" E	403.07'
L19	N 44°26'47" E	415.78'

CURVE DATA TABLE						
CURVE	RADIUS	ARC LEN	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LEN
C1	49.37'	78.04'	49.86'	90°33'35"	N 87°00'26" E	70.16'
C2	79.37'	125.45'	80.15'	90°33'35"	S 87°00'26" W	112.80'

THE LAND CONSULTANTS LLC
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HUNTSVILLE, AL 35805
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4904 Professional Court
Raleigh, NC 27609

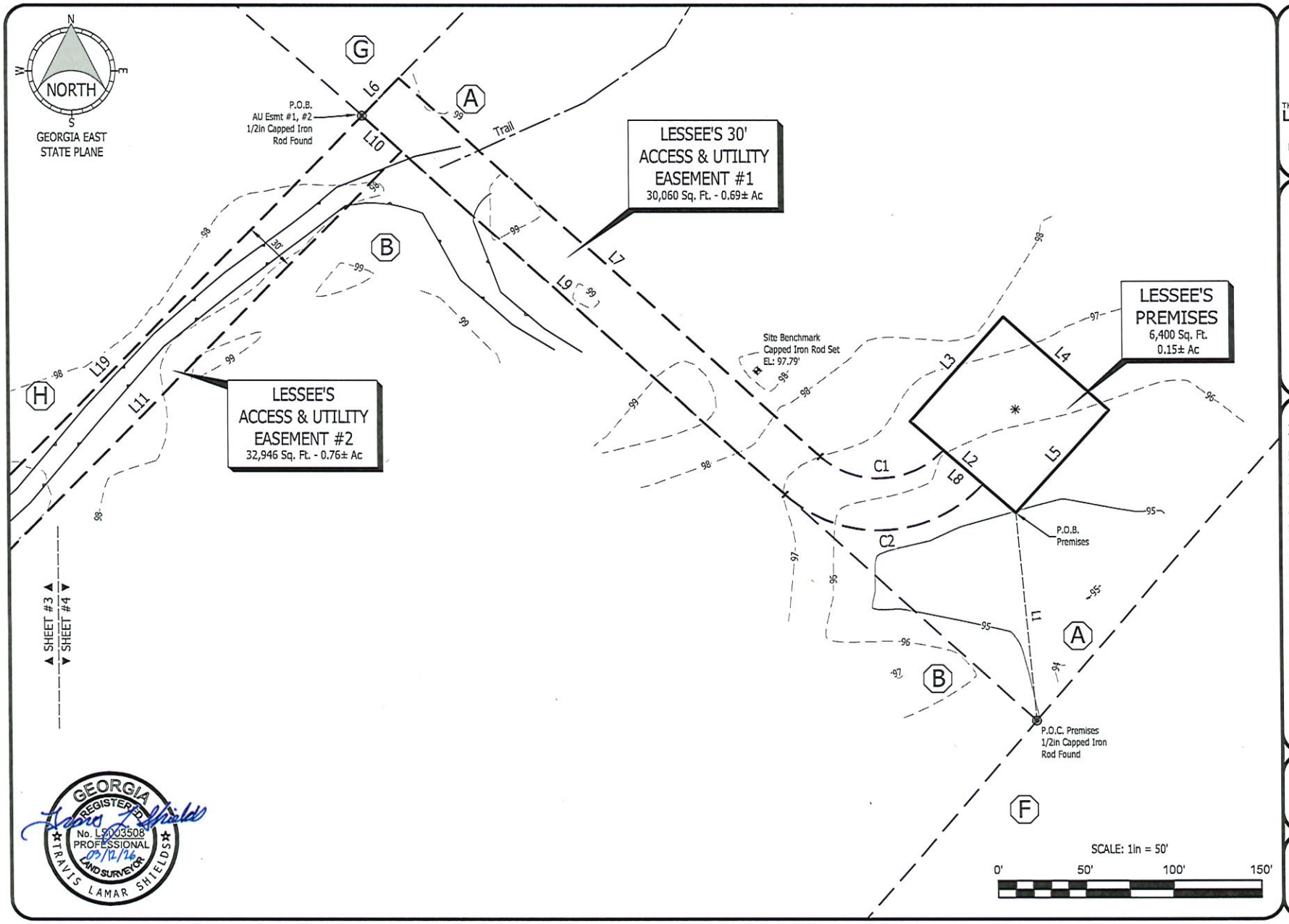
GST CAPITAL PARTNERS, LLC
25387 Friendship Road, Suite B,
Daphne, AL 36526

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SPECIFIC PURPOSE SURVEY
GUYTON-TESSANNE
Site Number: GA2520
Fourth Street Extension, Guyton, GA 31312
Effingham County, Georgia

SITE SURVEY

DWG#: 25280
ISSUE #: 3
ISSUE DATE: 03-12-2026
SEE SHEET #1



GEORGIA REGISTERED PROFESSIONAL LAND SURVEYOR No. LS003508 TRAVIS LAMAR SHIELDS 03/12/26

THE LAND CONSULTANTS LLC
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423·304·6722
GEORGIA COA NO. LSFD01190

PREPARED FOR

DELTA OAKS GROUP
4904 Professional Court
Raleigh, NC 27609

GULFSOUTH TOWERS
GST CAPITAL PARTNERS, LLC
25387 Friendship Road, Suite B,
Daphne, AL 36526

(Not a Boundary Survey of Parent Lands. Not Intended for fee simple Land Transfer)

SPECIFIC PURPOSE SURVEY
GUYTON-TESSANNE

Site Number: GA2520
Fourth Street Extension, Guyton, GA 31312
Effingham County, Georgia

SITE SURVEY

DWG#: 25280
ISSUE #: 3
ISSUE DATE: 03-12-2026
SEE SHEET #1

SHEET 4 OF 6

LESSEE'S PREMISES

All that tract or parcel of land lying and being in Effingham County, Georgia and being a portion of the property of Casey Tessanne, of record in Deed Book 2919, Page 638, Clerk's Office, Effingham County, Georgia, and being more particularly described as follows:

COMMENCE at a one-half-inch Capped Iron Rod found at the Southwest Corner of aforesaid property;
Thence along a Chord Tie Line having a Bearing of N 05°21'45" W, a distance of 119.34 feet to the POINT OF BEGINNING;

Thence N 48°16'22" W, a distance of 80.00 feet;
Thence N 41°43'38" E, a distance of 80.00 feet;
Thence S 48°16'22" E, a distance of 80.00 feet;
Thence S 41°43'38" W, a distance of 80.00 feet to the POINT OF BEGINNING.

Said Premises contains 0.15 Acres (6,400 Square Feet), more or less.

LESSEE'S 30' ACCESS & UTILITY EASEMENT #1

All that tract or parcel of land lying and being in Effingham County, Georgia and being a portion of the property of Casey Tessanne, of record in Deed Book 2919, Page 638, Clerk's Office, Effingham County, Georgia, and being more particularly described as follows:

BEGINNING at a one-half-inch Capped Iron Rod found at the Southwest Corner of aforesaid property;
Thence N 44°23'53" E, along the Northwest Line of said Property, a distance of 30.02 feet;
Thence S 47°42'46" E, leaving said Line, a distance of 322.50 feet;
Thence with a curve to the left with an arc length of 78.04 feet, with a radius of 49.37 feet, with a chord bearing of N 87°00'26" E, with a chord length of 70.16 feet;
Thence S 48°16'22" E, a distance of 30.00 feet;
Thence with a curve to the right with an arc length of 125.45 feet, with a radius of 79.37 feet, with a chord bearing of S 87°00'26" W, with a chord length of 112.80 feet to a point on the Southwest Line of said Property;
Thence N 47°42'46" W, along said Line a distance of 323.60 feet to the POINT OF BEGINNING.

Said Easement contains 0.29 Acres (12,744 Square Feet), more or less.

LESSEE'S ACCESS & UTILITY EASEMENT #2

All that tract or parcel of land lying and being in Effingham County, Georgia and being a portion of the property of the David Hurst and Patricia Hurst, or record in Deeds: Book 2686, Page 498, and Book 2939, Page 954, Clerk's Office, Effingham County, Georgia, and being more particularly described as follows:

BEGINNING at a one-half-inch Capped Iron Rod found at the Northwest Corner of property of record in Tract Two aforesaid Deed Book 2686, Page 498;

Thence S 47°42'46" E, along the North Line of aforesaid Property, a distance of 30.02 feet;
Thence S 44°26'47" W, leaving said Line, a distance of 416.89 feet;
Thence S 44°23'11" W, a distance of 306.07 feet;
Thence S 45°36'49" E, a distance of 25.00 feet;
Thence S 44°23'11" W, a distance of 115.00 feet;
Thence N 47°41'25" W, along the Southwest Line of the portion of the property of record in Deed 2939, Page 954, a distance of 299.78 feet to a one-half-inch Iron Rod found on the Southeast Right-of-Way Line of Fourth Street Extension;
Thence N 44°48'39" E, along said Right-of-Way Line, a distance of 20.02 feet to a five-eighths-inch Iron Rod found;
Thence S 47°41'25" E, leaving said Right-of-Way Line and along the Northeast Line of the portion of the property of record in Deed 2939, Page 954, a distance of 244.60 feet to a one-half-inch Capped Iron Rod found;
Thence N 44°23'11" E, along the Northwest Line of the portion of the property of record in aforesaid Deed Book 2686, Page 498, a distance of 403.07 feet to a one-half-inch Capped Iron Rod found;
Thence N 44°26'47" E, along said Line, a distance of 415.78 feet to the POINT OF BEGINNING.

Said Easement contains 0.76 Acres (32,946 Square Feet), more or less.

GEORGIA REGISTERED No. LS003508 PROFESSIONAL LAND SURVEYOR TRAVIS LAMAR SHIELDS
03/12/26

THE LAND CONSULTANTS LLC
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423-304-6722
GEORGIA COA NO. LSFD01190

PREPARED FOR

DELTA OAKS GROUP
4904 Professional Court
Raleigh, NC 27609

GULFSOUTH TOWERS
GST CAPITAL PARTNERS, LLC
25387 Friendship Road, Suite B,
Daphne, AL 36526

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SPECIFIC PURPOSE SURVEY
GUYTON-TESSANNE

Site Number: GA2520
Fourth Street Extension, Guyton, GA 31312
Effingham County, Georgia

DESCRIPTIONS

DWG#: 25280
ISSUE #: 3
ISSUE DATE: 03-12-2026
SEE SHEET #1

TITLE EXAMINATION

Surveyor's treatment of Title Examination Items is limited to the scope described in ALTA/NSPS 2021 requirements, Section 6. C. ii., and is limited to determination of the extent of land, that Title Items may influence, if any. "Extent of Property" may be: Blanket in nature for a Parcel or Parcels (not subject to mapping, but assumed to also apply to Lessee's Areas (if any) insofar as these may lie on Parcel(s) influenced by instrument); specifically described by instrument (mapped and shown only if within the Surveyed Area). Determination of physical location may not be possible if: instrument is illegible; instrument lacks sufficient descriptive information; or instrument refers to other instruments which were not included in the title exam and not otherwise available to surveyor. Factors beyond physical location, such as the type of influence that "Restrictions, Covenants, Terms or Conditions" contained in instruments may impart upon Parcels or Lessee's Site or Easements are not evaluated by Land Surveyor. Review by Title Attorney may be warranted. Land Surveyors may not practice Law.)

Reference: Commitment for Title Insurance prepared by AMC Settlement Services, , Order Number: 50038236, Commitment, (Effective date is blank), Schedule B, Part II, Exceptions.

Item 1 - 7, 12, 13: General Items (no record instruments listed) or Taxes, not addressed by Survey.

Items 8 - 10: Case documents issued in respect of Casey and/or William Tessanne. This instruments contain no descriptions of extents of lands or other matters subject to survey review.

Item 11: Plat 29-102: Shows "Existing Earth Road", which crosses Parent and Easement Tax Parcels, which provides access to other lands. Deed 2240-616 documents full access rights across this roads at least for owners of "Parcel E" (see overview Map). (Outside survey area)

LEGAL DESCRIPTION OF PARENT TAX PARCEL

ALL THAT PARCEL OF LAND IN THE IN THE COUNTY OF EFFINGHAM AND STATE OF GEORGIA AS MORE FULLY DESCRIBED IN DEED DOCUMENT NUMBER D2024-005170 AND PARCEL # 03200011, BEING KNOWN AND DESIGNATED AS:

PARCEL NUMBER: 03200011

BEING THE SAME PROPERTY ACQUIRED BY CASEY TESSANNE, OF THE COUNTY OF EFFINGHAM AND STATE OF GEORGIA BY DEED OF WILLIAM TESSANNE, OF THE COUNTY OF EFFINGHAM AND STATE OF GEORGIA, DATED 05/28/2024 AND RECORDED 07/11/2024 IN DOCUMENT NUMBER: D2024-005170, ALSO KNOWN AS DEED BOOK 2919, PAGE 638

THE LAND CONSULTANTS LLC
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SPECIFIC PURPOSE SURVEY
GUYTON-TESSANNE
Site Number: GA2520
Fourth Street Extension, Guyton, GA 31312
Effingham County, Georgia

TITLE

DWG#: 25280
ISSUE #: 3
ISSUE DATE: 03-12-2026
SEE SHEET #1

320-11

7/27/2026

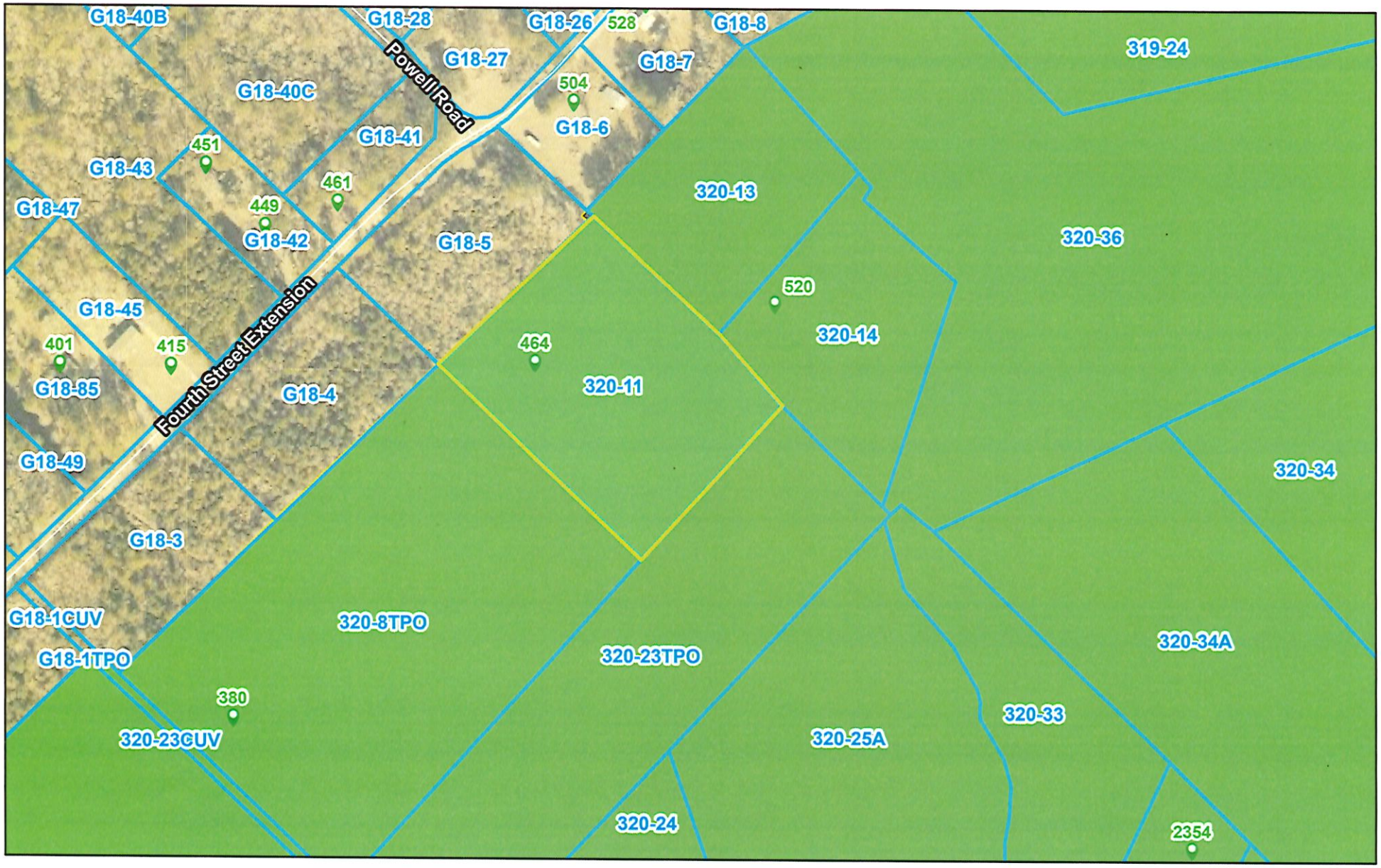
1:3,592

0 0.03 0.05 0.1 mi

0 0.04 0.08 0.16 km

ECBOC, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA

320-11



7/27/2026

1:3,592

0 0.03 0.05 0.1 mi

0 0.04 0.08 0.16 km

ECBOC, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA

Addresses

Roads

Parcels

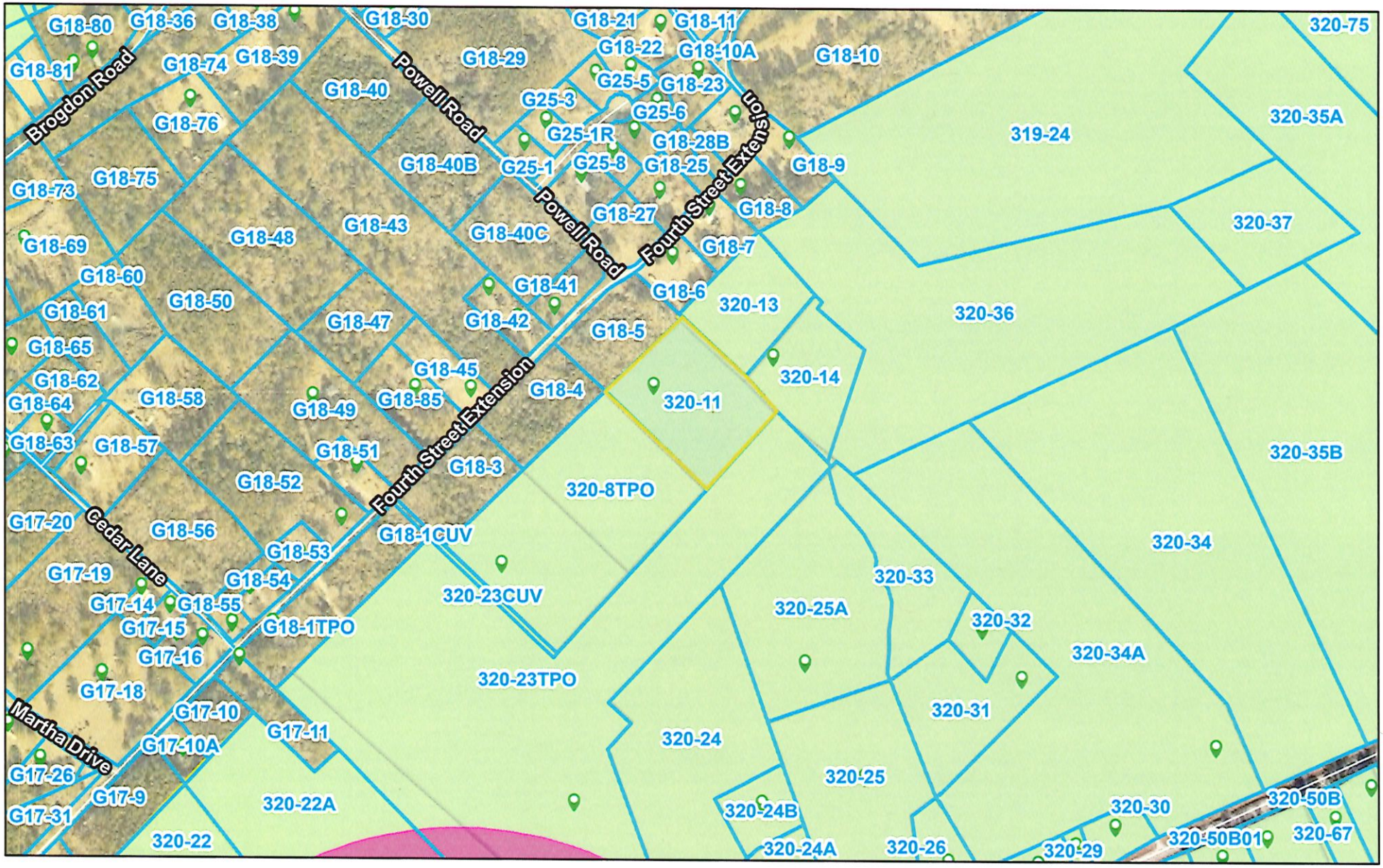
Zoning

AR-1

Municipal Boundaries

Citations

320-11



7/27/2026

Addresses
Roads
Parcels

Character Areas
Development-Suburban Node

FLUM Areas
Agricultural-Residential

Municipal Boundaries
Citations

1:7,185

0 0.05 0.1 0.2 mi

0 0.07 0.15 0.3 km

ECBOC, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA