



**Record No: CU-
26-25**

Conditional Use Permit

Status: Active

Submitted On: 5/18/2026

Primary Location

2727 Riverside Drive
Guyton, GA 31312

Owner

ROLLINS DAVID E AS
TRUSTEE
614 HOLLY AVE POOLER, GA
31322

Applicant

 Abby Porter
 919-703-4144
 aporter@tepgroup.net
 326 Tryon Rd
Raleigh, NC 27603

Staff Review

Board of Commissioner Meeting Date* 

09/01/2026

Notification Letter Description* 

to allow for telecommunication tower in AR-1.

Stipulations 

Property Location* 

2727 Riverside Drive

Map #* 

226

Parcel #* 

5

Commissioner District* 

3rd

Has Business License been applied for?* 

N/A

Public Notification Letters Mailed 

08/10/2026

Board of Commissioner Ads 

08/12/2026

Request Approved or Denied 

—

Applicant Information

Who is applying for the Conditional Use?*

Agent

Applicant / Agent Name*

Abby Porter

Applicant Email Address*

aporter@tepgroup.net

Applicant Phone Number*

9197034144

Applicant Mailing Address*

326 Tryon Rd

Applicant City*

Raleigh

Applicant State*

NC

Applicant Zip Code*

27603

Property Owner Information

Owner's Name*

The Towers LLC (Vertical Bridge) (Tower Owner)

Owner's Email Address*

aporter@tepgroup.net

Owner's Phone Number*

9197034144

Owner's Mailing Address*

22 WEST ATLANTIC AVENUE, SUITE 310

Owner's City*

Delray Beach

Owner's State*

FL

Owner's Zip Code*

33444

Property Information

Property Location*

2727 Riverside Dr

Present Zoning of Property*

AR-1

Map/Parcel Number*

02260005

Total Acres of Property*

~0.24 acres

Water Connection*

Public Water System

Name of Supplier*

N/A

Sewer Connection*

Public Sewer System

Name of Supplier*

N/A

Conditional Use Requested

Conditional Use*

Other

Status of Business License?*

Need to apply

Detailed Description of Type of Business*

Proposed wireless telecommunications facility. 255' self support tower with a 10' lightning rod atop, plus all related ground equipment to be located within a 75'x75' fenced compound

Reason:*

Need for wireless coverage in the area per submitted RF mapping and documentation

How does request meet criteria of Section 7.1.6 (see Attachment C):

This proposed wireless telecommunications facility will have no adverse affects on the surrounding area, nor the general welfare of the public.

Attachment C - Site Plan Requirements

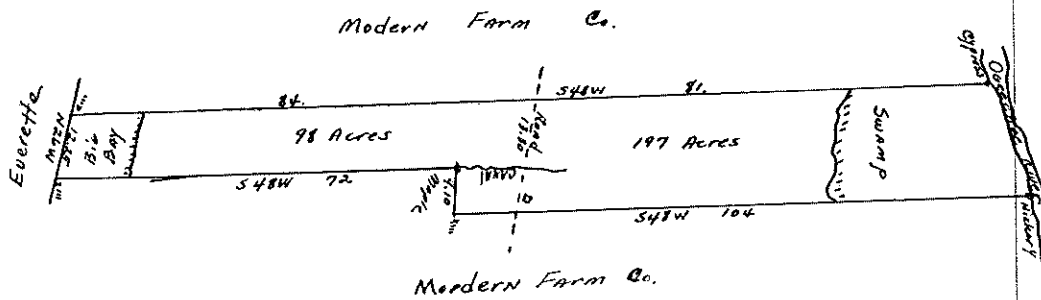
All Conditional Use submissions shall be accompanied by a site plan. This site plan shall be made on a scale in conformance with appropriate County Tax Maps and contain the following elements, as applicable (consult with Planning & Zoning staff to determine what features are required):

A.) Dimensions of the property involved. B.) Location and dimensions of existing and/or proposed structures with the type of usage designated. C.) Requested variance in relation to existing structures and surrounding parcels and uses. D.) Access road or easement. E.) Setbacks. F.) Right-of-way. G.) Proposed or existing water, sewer, and drainage facilities. H.) Buffers. I.) Off-street parking. J.) Wetlands. K.) Floodplain. L.) Loading areas, parking, signage, and outdoor lighting.

Appendix C – Zoning Ordinance, Article VII. – Planning Board, Section 7.1.
Organization 7.1.6 Conditional uses. It shall be the responsibility of the planning board to review and recommend to county commission on all requests for interpretation of conditional use. The initial application for a conditional use shall be made to the zoning administrator who shall determine whether the use is allowed as a conditional use in the particular zone. If such use is allowed, then the zoning administrator shall submit the application to the planning board. After review by the planning board, recommendations shall be presented to the county commission as to additional restraints, restrictions, qualifications, or limiting factors that are felt to be desirable. The county commission shall review all recommendations and approve or disapprove the conditional use upon review by the planning board. Considerations for determining additional requirements for conditional use: (a) Approval of a conditional use shall not adversely affect the economic values or the physical appearance of the neighborhood or areas surrounding the site or lot in question. (b) The physical and environmental effects of allowing the conditional use shall be considered. (c) Buffer zones, where necessary to shield any adverse factors, shall be considered. (d) Additional space for parking, landscaping, building, loading zones, and setback shall be considered if necessary to protect adjacent structures or lots from any adverse impact.

Signature*

✓ Abby Porter
May 18, 2026

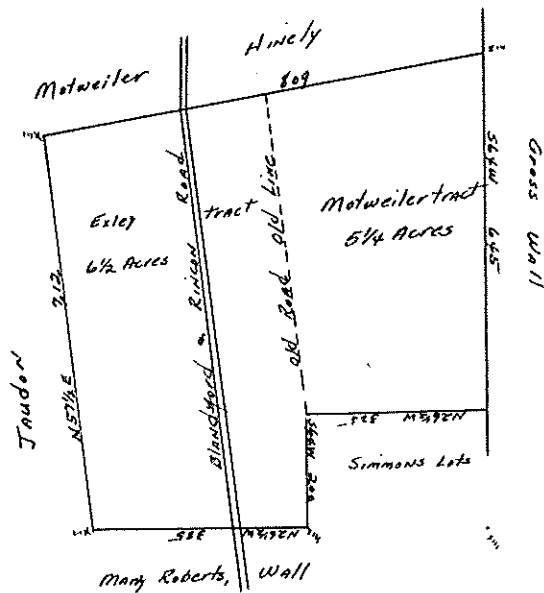


Georgia
Effingham County

Flat of two hundred and ninety five acres of land 10th T. 1. District on Ogeechee River partly surveyed and divided for W. T. Wilson, March 17, 1921.

Scale 20 ch. in an inch.

By B. L. Weltman, Sur.



Georgia
Effingham County

Flat of eleven three fourths acres of land at Vinson, Ga. 9th T. 1. District, surveyed for Mrs. Fannie P. Bird July 13, 1926. 6 1/2 acres known as Exley land and 5 1/4 acres as Motweiler land.

Scale 200 ft. in an inch.

By W. N. Weltman, Sur.

SCALE: 1" = 200'





I HEREBY CERTIFY TO: VERTICAL BRIDGE, INC., A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, THAT THIS MAP IS A TRUE AND CORRECT REPRESENTATION OF THE RESPECTIVE SURVEY DATA AND/OR ASSIGNS, AND TOWNSHIP, U.S. I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY DIRECT SUPERVISION, AND ALL ENCLOSURES ARE SHOWN ACCORDING TO THE DATA PROVIDED TO ME.

DAVID M. TURNER, PROFESSIONAL LAND SURVEYOR #3433
POINT TO POINT LAND SURVEYORS, INC.
09/24/2025

* SPECIFIC PURPOSE SURVEY PREPARED BY:



Certificate of Authorization: LSF000843
100 Governors Trace, Ste. 103,
Peachtree City, GA 30269
(p) 678.565.4440 (f) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:



HIDDEN FARM-D
US-GA-5768
10 G.M.D. EFFINGHAM COUNTY, GEORGIA

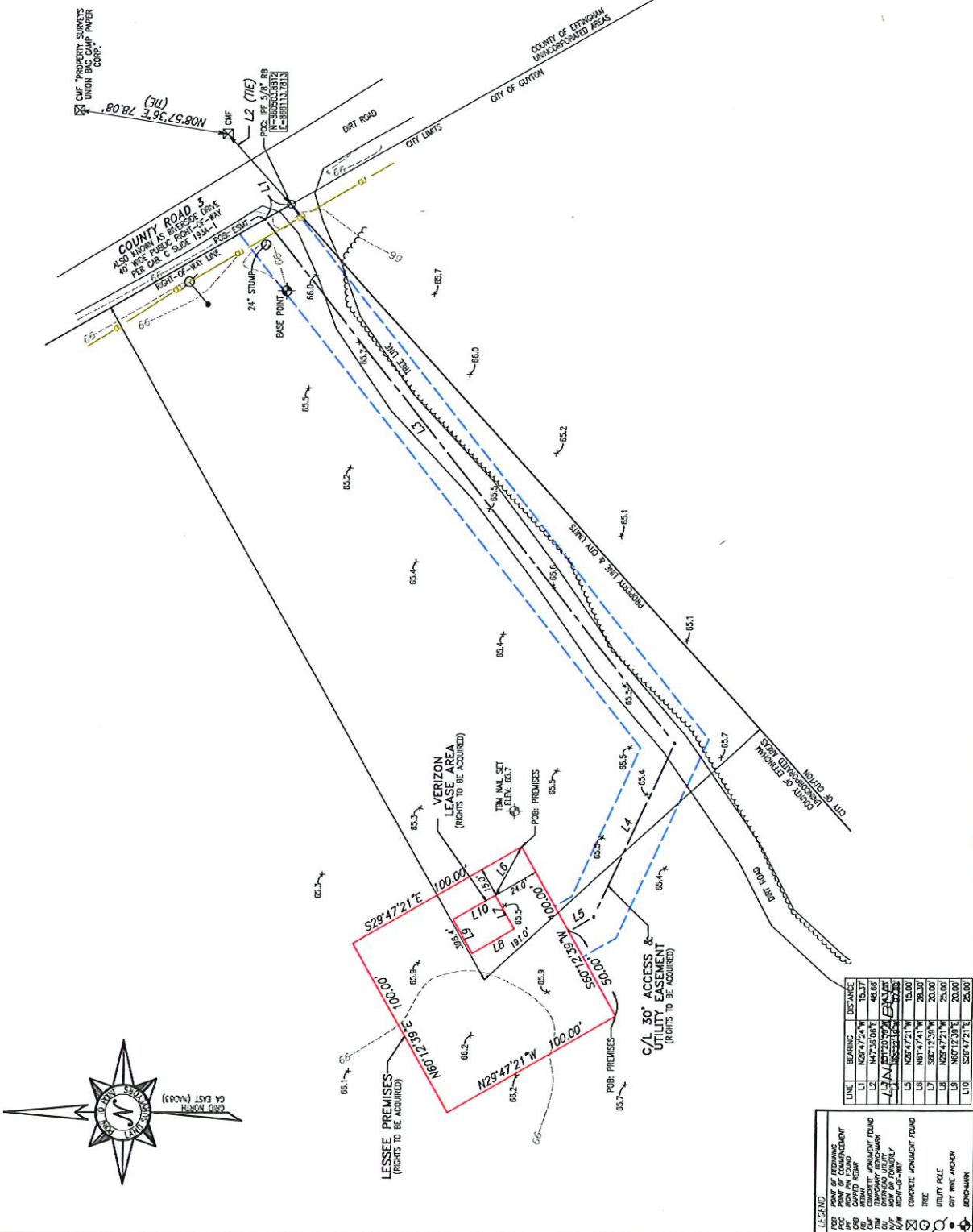
SITE INFORMATION

LESSEE PREMISES = 10,000 SQUARE FEET (0.2296 ACRES)
AT CENTER OF LESSEE PREMISES:
ELEVATION = 22.41' (682.41') (MAD 83) (-81.467881')
LONGITUDE = -81.72916173' (MAD 83) (-81.467881')
ELEVATION = 86.1' A.M.S.L.
VERTICAL DATUM: NAVD 1988 (COMPUTED USING GEOID18)
HORIZONTAL DATUM: NAD83
BEARINGS ARE BASED ON GEORGIA GRID NORTH (EAST ZONE)



NO.	DATE	REVISION	DRAWN BY: NWK	CHECKED BY: JKL	APPROVED BY: D. MILLER
1	4/7/2025	VERTICAL LEASE AREA			

2
P2P JOB #: 2513306A
OF 3



TOGETHER WITH A 30-FOOT WIDE ACCESS & UTILITY EASEMENT (LYING 15 FEET EACH SIDE OF CENTERLINE), LYING AND BEING IN THE 10TH C.M.D., EFFINGHAM COUNTY, GEORGIA, AND BEING A PORTION OF THE LANDS OF DAVID E. ROLLINS, AS TRUSTEE, AS RECORDED IN DEED BOOK 2724, PAGE 472, EFFINGHAM COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CERTAIN DATA:

I HEREBY CERTIFY TO: VERTICAL BRIDGE RETI, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, ITS LEADERS, AND ADMINISTRATIVE AGENTS AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, AND TOWER TITLE, LLC

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY TOWER TITLE, LLC, COMMITMENT DATE OF JULY 21, 2025, BEING COMMITMENT NO. VTB-214244-C, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

EXCEPTIONS 1-10 ARE STANDARD AND NOT THE TYPE TO BE DEPICTED.

11. ANY AND ALL MATTERS DISCLOSED ON THE MAP ENTITLED "PLAT OF TWO HUNDRED AND NINETY FIVE ACRES OF LAND 10TH C.W. DISTRICT OF OCEICHEE RIVER" DATED MARCH 17, 1921 AND RECORDED MARCH 17, 1921 IN (BOOK) F (PAGE) 410, IN EFFINGHAM COUNTY, GEORGIA.

THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, LESSEE PREMISES, AND ACCESS & UTILITY EASEMENT AND CONTAINS NO ADDITIONAL PLOTTABLE ITEMS.]

12. ANY MATTERS ARISING FROM ROLLBACK TAXES PURSUANT TO THE APPLICATION AND QUESTIONNAIRE FOR CURRENT USE ASSESSMENT FEBRUARY 8, 2022 AND RECORDED MARCH 10, 2022 IN (BOOK) 2769 (PAGE) 338 (INSTRUMENT) 02022002531, IN EFFINGHAM COUNTY, GEORGIA, WHICH MAY BE ASSESSED AS A RESULT OF THE CHANGE IN USE OF THE PROPERTY.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL AND IS BLANKET IN NATURE].

(AS PROVIDED IN COMMITMENT NO. VTB-214244-C)

[illegible]

PARCEL ID: 02260005

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO DAVID E. ROLLINS AS TRUSTEE FROM DAVID C. ROLLINS, THE DULY QUALIFIED EXECUTOR OF THE LAST WILL AND TESTAMENT OF FREDRIC E. ROLLINS, DECEASED IN TESTATOR'S DEED DATED SEPTEMBER 15, 2021 AND RECORDED SEPTEMBER 15, 2021 IN BOOK 27724 PAGE 472 INSTRUMENT NO. 0220101120.

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE 10TH C.W.D., EFFINGHAM COUNTY, GEORGIA, AND BEING A PORTION OF THE LANDS OF DAVID E. ROLLINS, AS TRUSTEE, AS RECORDED IN DEED BOOK 2724, PAGE 472, EFFINGHAM COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND AT THE EASTERMOST CORNER OF SAID ROLLINGS LANDS AND THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD 3, ALSO KNOWN AS RIVERSIDE DRIVE, (HAVING A 40-FOOT WIDE PUBLIC RIGHT-OF-WAY), FROM WHENCE A CONCRETE MONUMENT FOUND BEARS NORTH 47°36'06" EAST,

15.37 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 29°47'24" WEST, 153.37 FEET TO A POINT; THENCE NORTH 65°22'19" WEST, 97.80 FEET TO A POINT; THENCE, NORTH 29°47'21" WEST, 15.00 FEET TO A POINT ON THE LESSEE PREMISES, THENCE RUNNING ALONG SAID LESSEE PREMISES, SOUTH 00°12'30" WEST, 30.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING, THENCE, NORTH 29°47'21" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 00°12'30" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 29°47'21" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 00°12'30" WEST, 100.00 FEET TO A POINT OF BEGINNING.

BEARINGS BASED ON GEORGIA GRID NORTH, NAD83, EAST ZONE.

SAID TRACT CONTAINS 0.2296 ACRES (10,000 SQUARE FEET). MORE OR LESS.

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE 10TH G.M.D., EFFINGHAM COUNTY, GEORGIA, AND BEING A PORTION OF THE LANDS OF DAVID E. ROLLINS AS TRUSTEE OF THE FREDDIE E. ROLLINS TRUST, AS RECORDED IN DEED BOOK 2724, PAGE 472, EFFINGHAM COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND AT THE EASTERMOST CORNER OF SAID ROLLINGS UNITS AND THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD 3, ALSO KNOWN AS RIVERSIDE DRIVE, (HAVING A 40-FOOT WIDE PUBLIC RIGHT-OF-WAY), FROM WHENCE A CONCRETE MONUMENT FOUND BEARS NORTH-73°06' EAST,

[illegible]

BEARINGS BASED ON GEORGIA GRID NORTH, NAD83, EAST ZONE.

SAID TRACT CONTAINS 0.0115 ACRES (500 SQUARE FEET). MORE OR LESS.



I HEREBY CERTIFY TO: VERTICAL BRIDGE REIT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, ITS LEADERS, AND ADMINISTRATIVE AGENTS AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, AND TOWER TITLE, LLC

09/24/2025
DAVID M. MILLER, GEORGIA PROFESSIONAL LAND SURVEYOR #3433
POINT TO POINT LAND SURVEYORS, INC.

• SPECIFIC PURPOSE SURVEY PREPARED BY:



Certificate of Authorization: LSF000843

100 Governors Trace, Ste. 103,

Peachtree City, GA 30269

(p) 6/8.565.4440 (f) 6/8.565.4440

verticalbridge

HIDDEN FARM-D
US-GA-5768

0 C.M.D., EFFINGHAM COUNTY, GEORGIA

LEGAL DESCRIPTION &
TITLE REVIEW SHEET

NO.	DATE	REVISION	DRAWN BY: NIK	SHEET:
1.	4/7/76	VERIZON LEASE AREA		
			CHECKED BY: JCL	3
			APPROVED: D. MILLER	
			DATE: 09/24/2025	
				PPF JOB #: 25113024
				OF 1

SURVEY NOT VALID WITHOUT ALL SHEETS

1. NO EXISTING TELECOMMUNICATION TOWERS OR ALTERNATIVE TOWER STRUCTURES ARE LOCATED WITHIN A 1,000-FOOT RADIUS OF THE PROPOSED TOWER BASE. (OPTIONAL ADDITION: A CARRIER SEARCH HAS CONFIRMED ZERO EXISTING TOWERS WITHIN A 3-MILE RADIUS).
2. NO OFF-SITE OR ADJACENT RESIDENTIAL STRUCTURES ARE LOCATED WITHIN THE 1,000-FOOT TOWER RADIUS. THE ONLY RESIDENTIAL STRUCTURE WITHIN THE 1,000-FOOT RADIUS IS THE PARENT PARCEL. LANDLORD/PROPERTY OWNER'S PRIMARY RESIDENCE, LOCATED APPROXIMATELY 415 FEET NORTHWEST OF THE PROPOSED TOWER BASE.

2. NO OFF-SITE OR ADJACENT RESIDENTIAL STRUCTURES ARE LOCATED WITHIN THE 1,000-FOOT TOWER RADIUS. THE ONLY RESIDENTIAL STRUCTURE WITHIN THE 1,000-FOOT RADIUS IS THE PARENT PARCEL LANDLORD/PROPERTY OWNERS' PRIMARY RESIDENCE, LOCATED APPROXIMATELY 415 FEET NORTHWEST OF THE PROPOSED TOWER BASE.

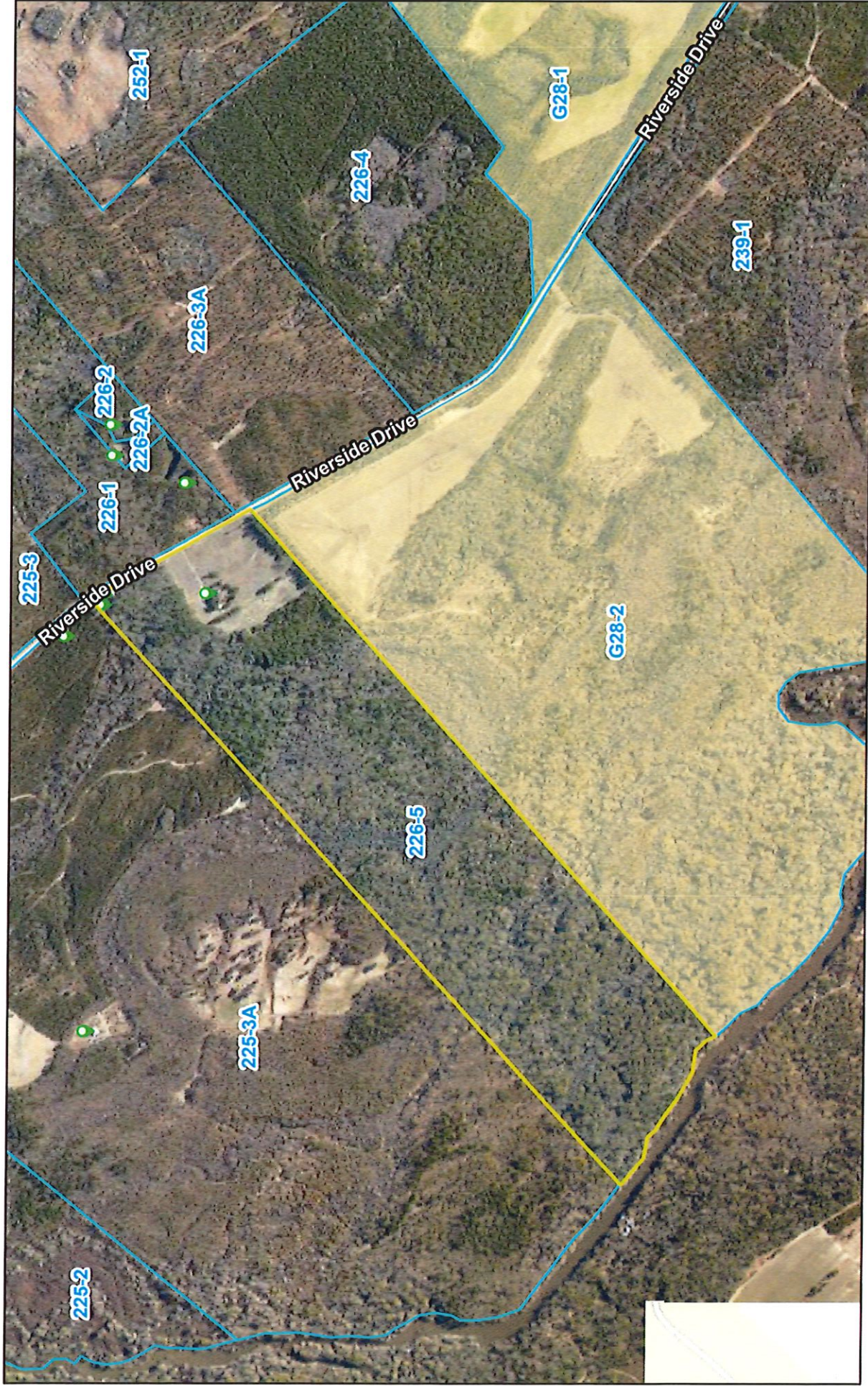
1000' TOWER RADIUS

EXIST. PROPERTY LINE	---
EXIST. UTILITY POLE	⊕
EXIST. TELCO PEDESTAL	⊞
PROPERTY CORNER	⊙
EXIST. CONTOUR LINE	---200---
EDGE OF PAVEMENT	///
OVERHEAD WIRE	---OHW---
RIGHT-OF-WAY	---R/W---
CHAIN LINK FENCE	---X---
EXISTING TREE LINE	~~~~~

SCALE: 1" = 300'

C-1A

TEP //: 340922.998217



8/7/2026

-  Addresses
-  Municipal Boundaries
-  Roads
-  Parcels
-  Citations

1:15,686

0 0.1 0.2 0.4 mi

0 0.17 0.35 0.7 km

ECBOC, Esri, HERE, Garmin, INCREMENT P, USGS, MET/NASA, EPA, USDA



8/7/2026

- Roads
- Zoning
- Parcels
- Municipal Boundaries
- Citations
- AR-1
- AR-2

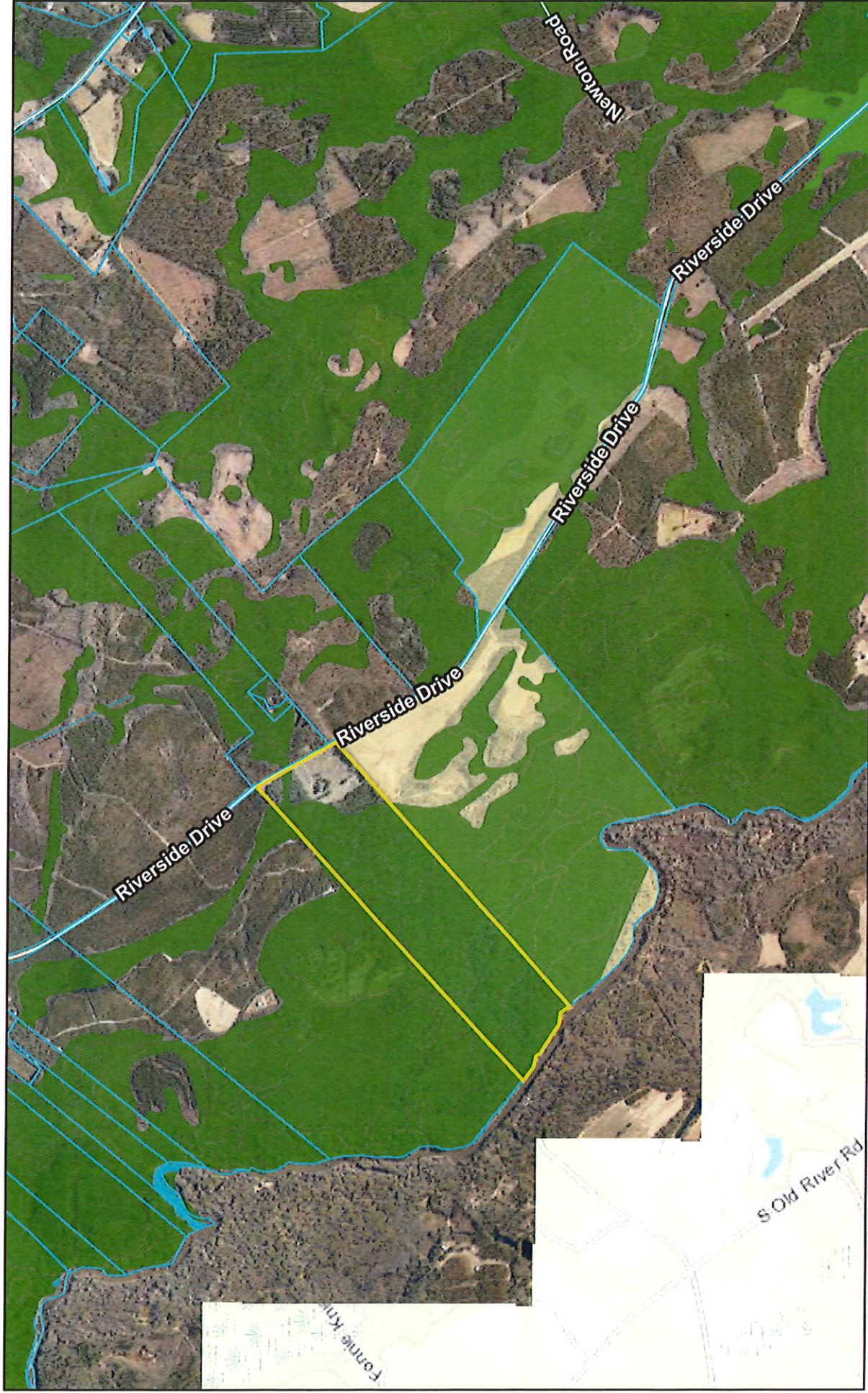
1:31,372

0. 0.23 0.45 0.7 0.9 mi
0 0.35 0.7 1.4 km
ECBOC, Esri, HERE, Garmin, INCREMENT P, USGS, METINASA, EPA, USDA



8/7/2026



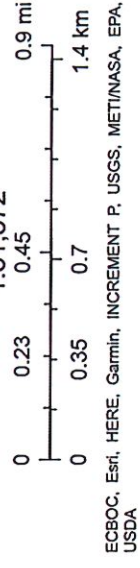


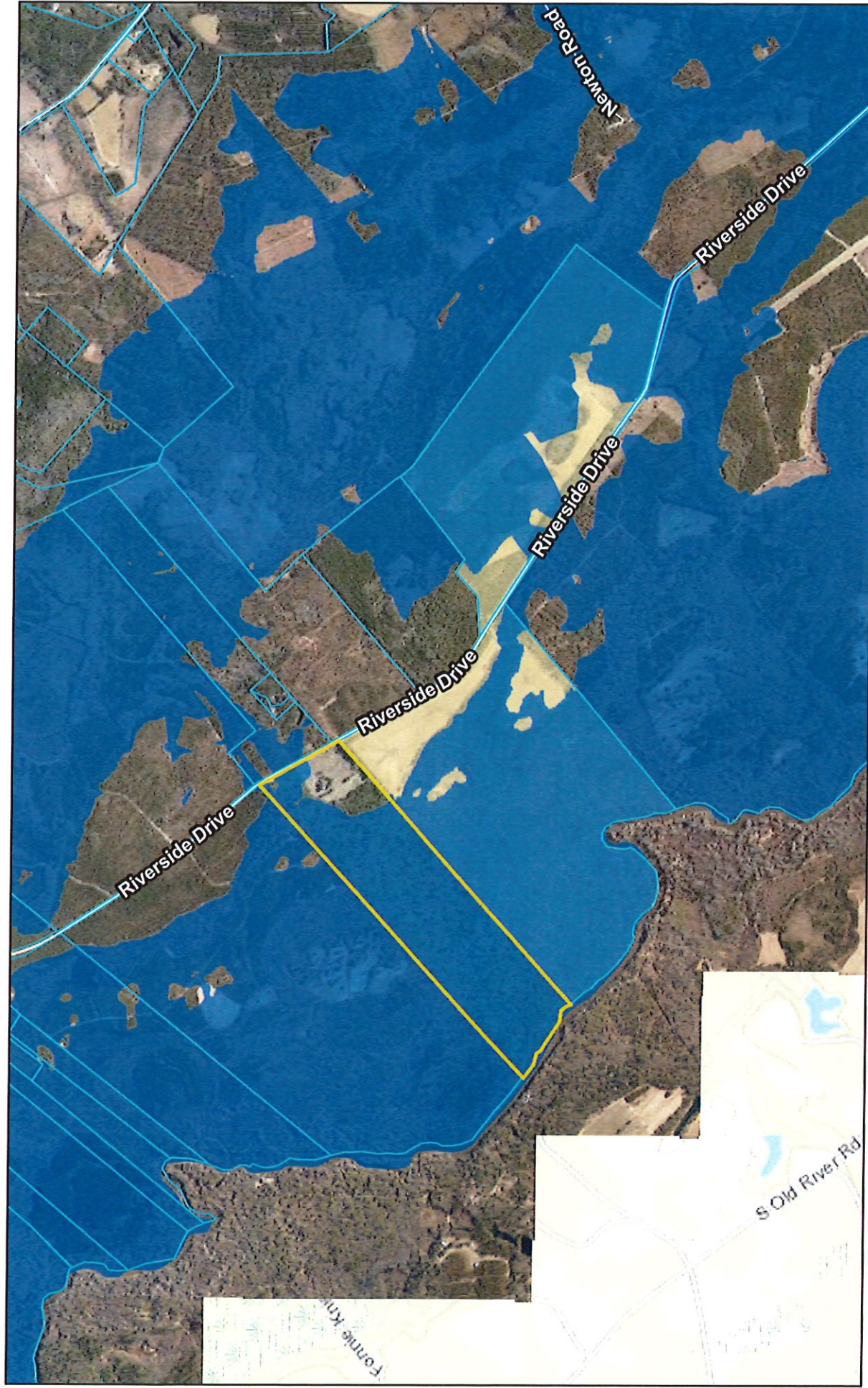
8/7/2026

- Roads
- Parcels
- Wetlands
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Riverine
- Municipal Boundaries

Citations

1:31,372

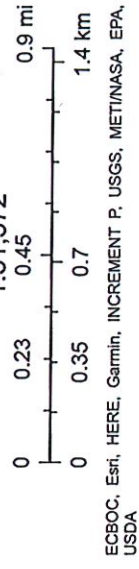




8/7/2026

- Roads
- Parcels
- FEMA Flood Zone
- A
- X, AREA OF MINIMAL FLOOD HAZARD
- Municipal Boundaries
- Citations

1:31,372



HIDDEN_FARM

RF Justification
RF Network Team
Mar 31th 2026



verizon

*Not for public distribution

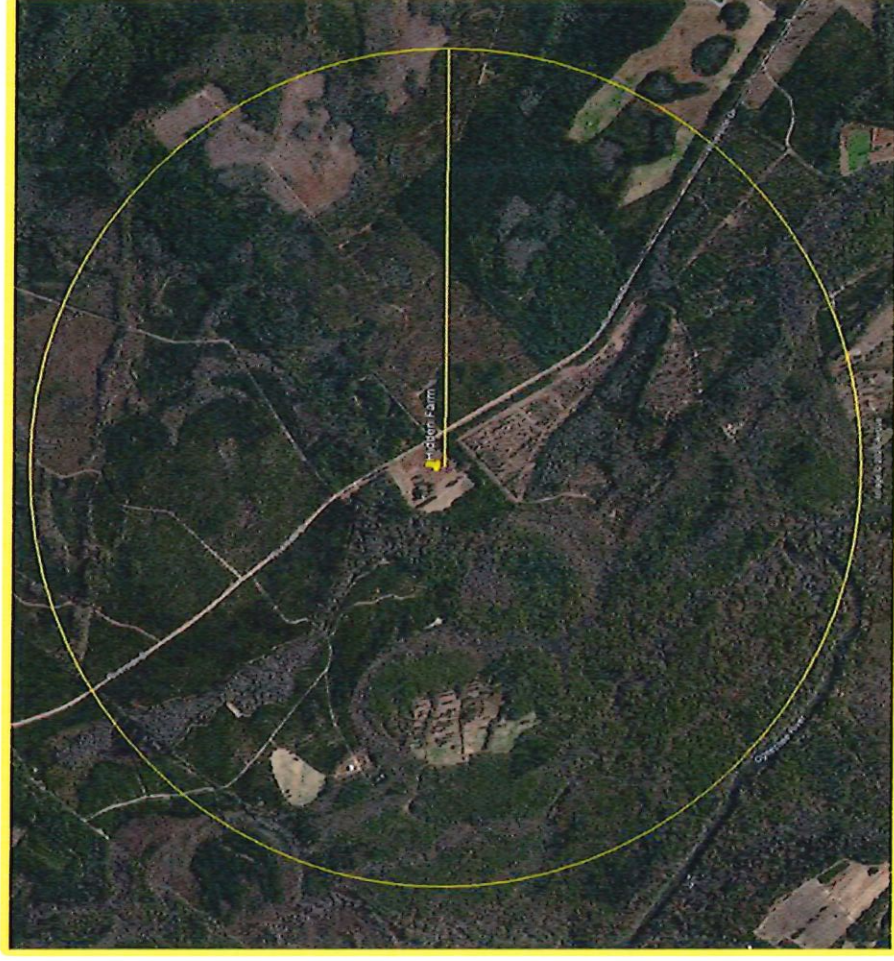
Coverage Objective

The primary objective of this site is to provide significant high-speed voice and broadband coverage improvements along Riverside Dr, Old Louisville Rd, George Hurst Rd, Harry Lindsay Rd, Newton Rd, Lewis Rd, Old Flat Forjd Rd, Old River Rd S, as well as other locations within the desired service area.

Proposed Location

2727 Riverside Dr, Effingham, Georgia, 31312

32.36377, -81.488



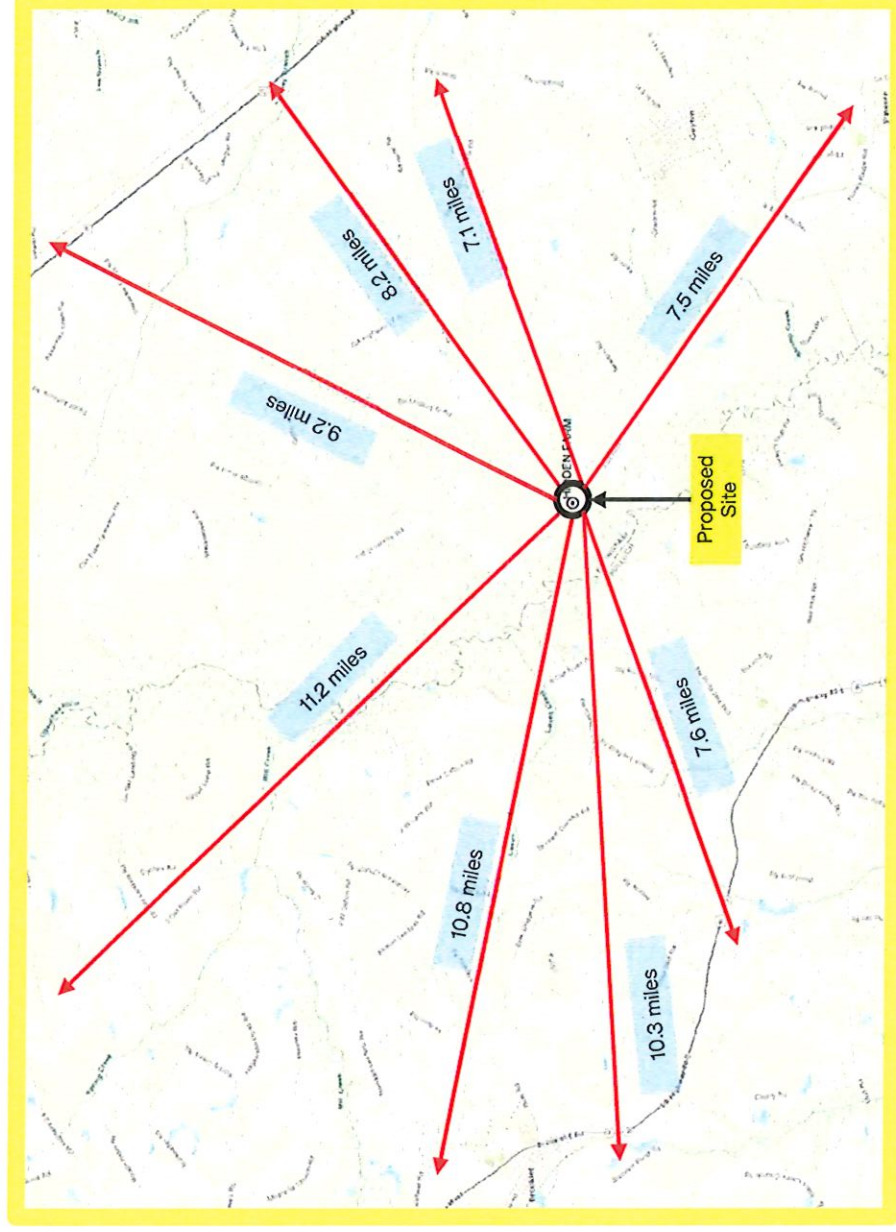
Verizon confidential and proprietary. Unauthorized disclosure, reproduction or other use prohibited.

Distance of proposed site to existing VZ neighboring sites

Proposed Location

2727 Riverside Dr, Effingham, Georgia,
31312

32.36377, -81.488



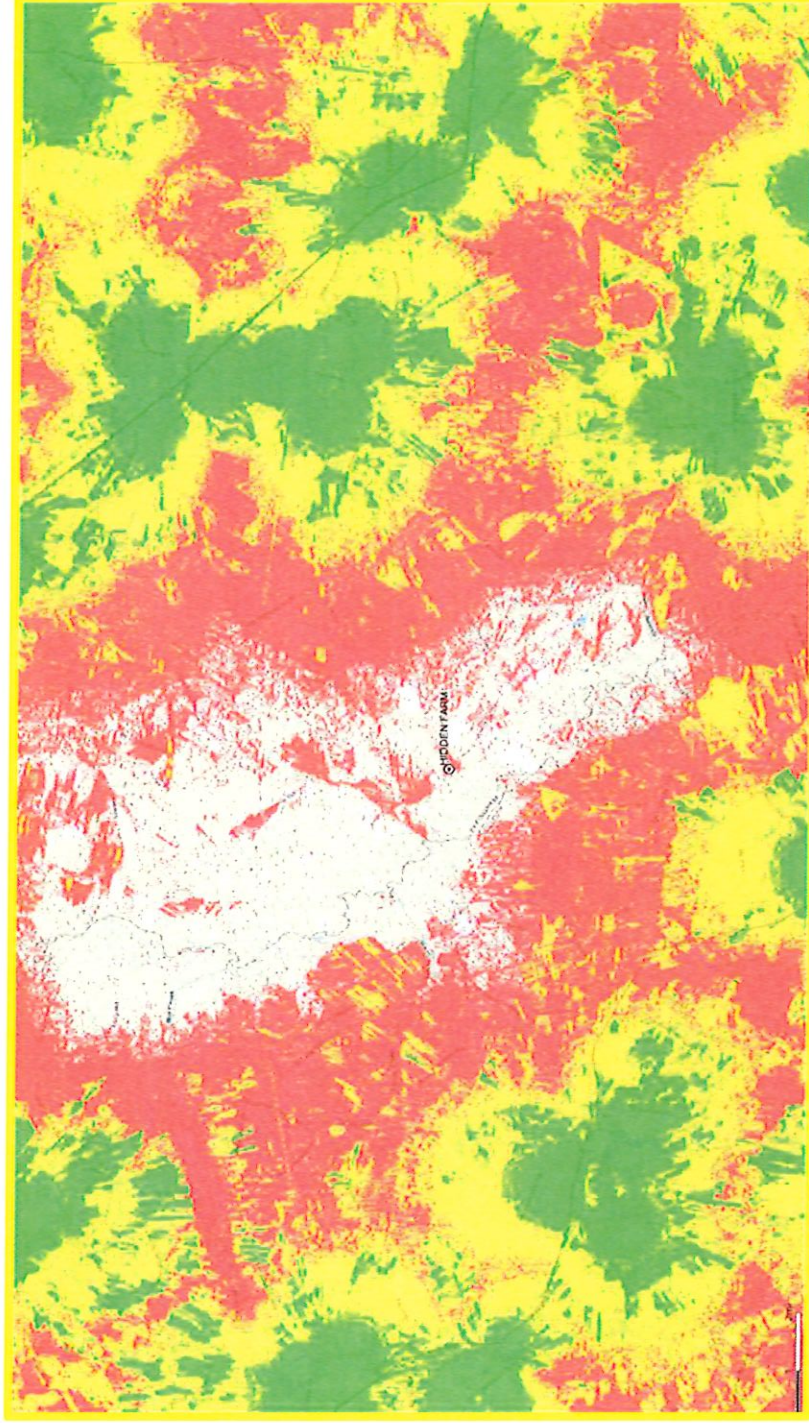
Current Coverage Prediction

Legend	
Green	= Best Coverage
Yellow	= Good Coverage
Red	= Fair Coverage

Best Coverage - Excellent signal strength inside buildings and vehicles.

Good Coverage - Reliable signal inside buildings and vehicles.

Fair Coverage - Consistent outdoor coverage; signal may be limited inside buildings and vehicles.



Verizon confidential and proprietary. Unauthorized disclosure, reproduction or other use prohibited.

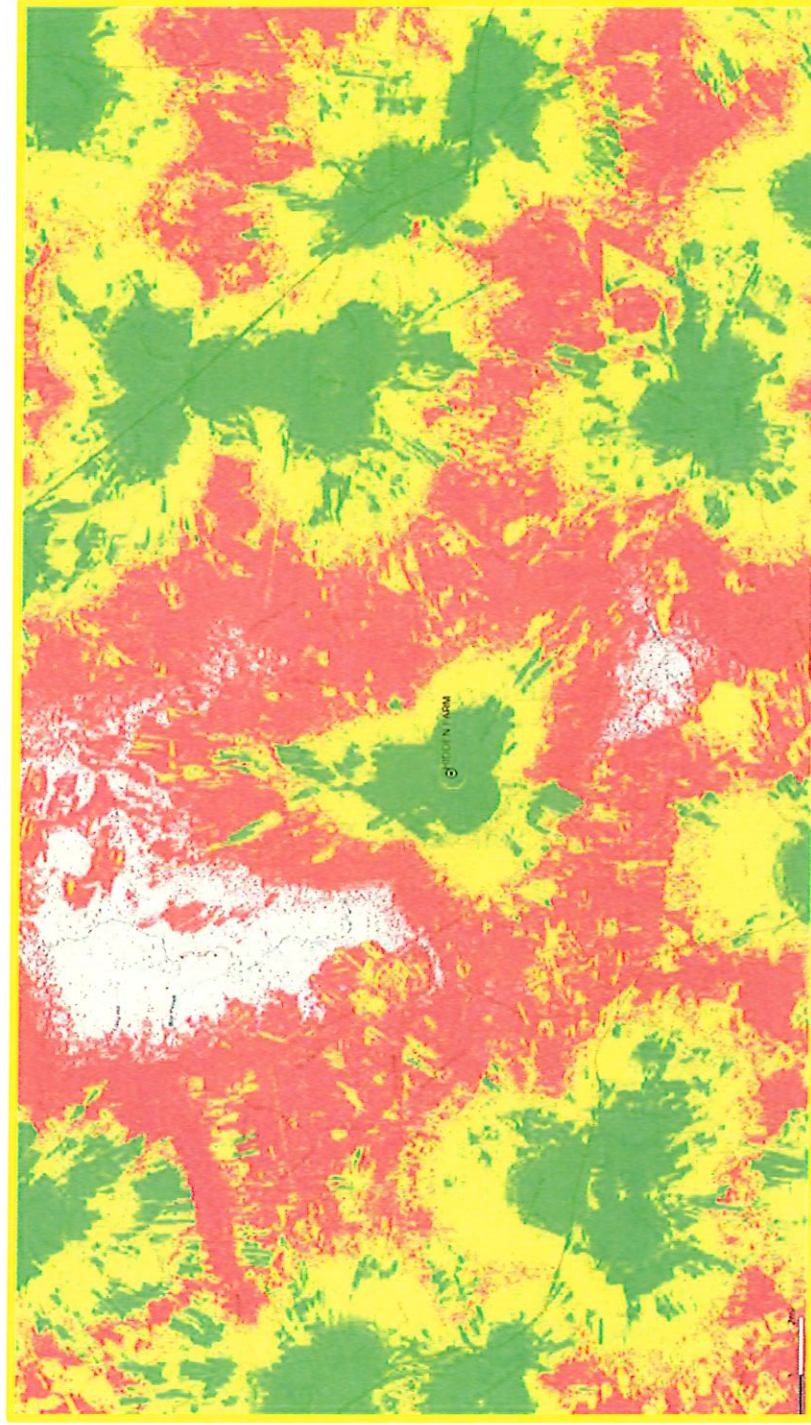
Coverage Prediction with site at proposed location (CL 250')

Legend	
Green	= Best Coverage
Yellow	= Good Coverage
Red	= Fair Coverage

Best Coverage - Excellent signal strength inside buildings and vehicles.

Good Coverage - Reliable signal inside buildings and vehicles.

Fair Coverage - Consistent outdoor coverage; signal may be limited inside buildings and vehicles.



Legal Disclaimer

These maps are not a guarantee of coverage and may contain areas with no service. These maps reflect a depiction of predicted and approximate wireless coverage of the network and is intended to provide a relative comparison of coverage. The depictions of coverage do not guarantee service availability as there are many factors that can influence coverage and service availability. These factors vary from location to location and change over time. The coverage areas may include locations with limited or no coverage. Even within a coverage area shown, there are many factors, including but not limited to, usage volumes, service outages, customer's equipment, terrain, proximity to buildings, foliage, and weather that may impact service ("Factors"). The representations of "fair", "good" and "best" are qualitative representations of relative wireless outdoor signal strength at the network facilities level. Generally, calls can be made and received within all three categories, however, these Factors will likely have greater impact in areas of "fair" coverage. You can only make and receive calls when digital service is available. [When digital service is not available your device will not operate or be able to make 911 calls.]



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Additional Notes

Verizon Wireless provides Commercial Mobile Radio Services ("CMRS") under licenses granted by the Federal Communications Commission ("FCC"). Pursuant to these licenses, Verizon Wireless is authorized to provide CMRS and operate a CMRS network in many geographic areas throughout the nation. The FCC exclusively regulates all technical aspects of Verizon Wireless' operations and network and preempts all state and local regulation of radiofrequency transmissions. The FCC rules protect co-channel and adjacent licensees against harmful interference. The proposed facility will be designed and built-in compliance with all applicable FCC requirements. The following points cover Verizon Wireless' practices pertinent to complying with the FCC requirements:

1. Verizon Wireless locates its transmitting antenna(s) in order to maximize vertical and horizontal separation from other operator's systems to minimize interference potential.
2. All operating hardware at the site is type-accepted by the FCC as far as emission levels within our licensed frequency band in addition to spurious emissions outside of our frequency band.
3. The power levels generated by the base station hardware and corresponding effective radiated power (ERP) from the transmit antenna(s) are within the limitations specified by Part 22 (for cellular), Part 24 (for PCS), or Part 101 (for microwave) of the Commission's Rules.
4. Intermodulation studies are prepared and analyzed considering all other wireless carriers on our tower to ensure no mixing of frequencies will create harmful interference to or from our wireless system.

In order to meet network objectives, at least three (3) antennas are needed per face at the same height and these antennas must be approximately 4' apart. Such requirement cannot be achieved through flush-mounted techniques. Standard sector frames for antennas will be used for each wireless tenant which also maximizes colocation opportunities, and more easily allows the addition of new FCC spectrum and wireless products and services as technology improves.

VERIZON SITE NAME: HIDDEN FARM

PROJECT DESCRIPTION: PROPOSED TELECOMMUNICATIONS FACILITY

TOWER TYPE: 255'-0"± SELF SUPPORT

SITE ADDRESS: 2727 RIVERSIDE DRIVE EFFINGHAM, GA 31312 (EFFINGHAM COUNTY)

JURISDICTION: EFFINGHAM COUNTY

AREA OF CONSTRUCTION: 16,253 ± SQ. FT. (0.37 AC.) (TOTAL DISTURBED AREA)

OCCUPANCY CLASSIFICATION: V5-CONSV USE

CURRENT ZONING: AR-1 (AGRICULTURAL RESIDENTIAL)

PARCEL #: 02260005

PROJECT INFORMATION

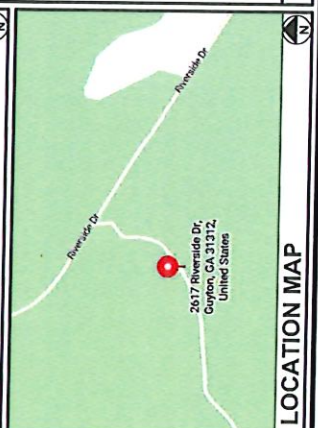
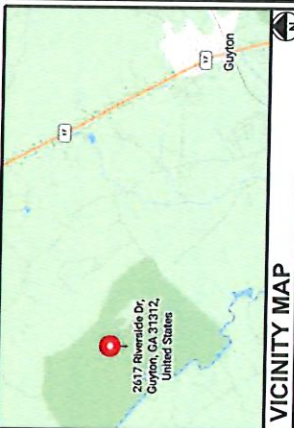
LATITUDE: N 32° 21' 49.46" (NAD '83) *

LONGITUDE: W 81° 29' 16.73" (NAD '83) *

GROUND ELEVATION: 66.1 ± (AMSL) (NAVD '88) *

*INFORMATION TAKEN FROM FAA 1-A SURVEY CERTIFICATION BY POINT TO POINT LAND SURVEYORS, INC. DATED 11/22/2024.

SITE COORDINATES



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

VZW SITE #: 5000348806
HIDDEN FARM

2727 RIVERSIDE DRIVE
EFFINGHAM, GA 31312

LESSSEE:

NAME: VERIZON WIRELESS
ADDRESS: 4700 EXCHANGE COURT, SUITE 100
CITY, STATE, ZIP: BOCA RATON, FL 33431
CONTACT: TONYA REDFIELD
PHONE: (770) 373-1845

TOWER OWNER:

NAME: VERIZON WIRELESS
ADDRESS: 4700 EXCHANGE COURT, SUITE 100
CITY, STATE, ZIP: BOCA RATON, FL 33431
CONTACT: TONYA REDFIELD
PHONE: (770) 373-1845

SURVEYOR:

NAME: POINT TO POINT LAND SURVEYORS, INC.
ADDRESS: 100 GOVERNOR'S TRACE, SUITE 103
CITY, STATE, ZIP: PEACHTREE CITY, GA, 30269
CONTACT: JOSHUA H. CARMEN, P.E.
PHONE: (878) 565-4440

CIVIL ENGINEER:

NAME: TEP OpCo, LLC
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: JOSHUA H. CARMEN, P.E.
PHONE: (919) 661-6351

ELECTRICAL ENGINEER:

NAME: N/A
ADDRESS: N/A
CITY, STATE, ZIP: N/A
CONTACT: N/A
PHONE: N/A

PROPERTY OWNER:

NAME: ROLLINS DAVID E AS TRUSTEE
ADDRESS: 100 GOVERNOR'S TRACE
CITY, STATE, ZIP: PEACHTREE CITY, GA 30269
CONTACT: ROLLINS DAVID
PHONE: (912) 663-0743

UTILITIES:

POWER COMPANY: GEORGIA POWER
CONTACT: CUSTOMER SERVICE
PHONE: 1 (888) 660-5890
METER # NEAR SITE: UNKNOWN
FIBER COMPANY: UNKNOWN
CONTACT: UNKNOWN
PHONE # NEAR SITE: UNKNOWN
PEDESTAL # NEAR SITE: UNKNOWN

CODE COMPLIANCE

1. 2018 INTERNATIONAL BUILDING CODE
2. 2018 NATIONAL ELECTRICAL CODE
3. ANSITIA-322-H
4. 2023 NATIONAL ELECTRICAL CODE
5. CITY/COUNTY ORDINANCES

SHEET	DESCRIPTION	REV
1-1	TITLE SHEET	1
NT-02	GENERAL NOTES	0
-	SITE SURVEY (2 PAGES)	-
C-1A	SITE PLAN	1
C-2	COMPOUND DETAIL	1
C-3	TOWER ELEVATION	0
C-3A	ANTENNA & COAX SCHEDULE	0
C-3B	PROPOSED ANTENNA LAYOUT	0
C-4	EQUIPMENT LAYOUT	1
C-5	FOUNDATION NOTES & DETAILS	0
C-6	GENERATOR & EQUIPMENT CABINET DETAILS	0
C-7	ICE BRIDGE & WAVEGUIDE DETAILS	0
C-8	PIPE STAKES	1
C-9	SIGNAGE DETAILS	0
C-10	ACCESS ROAD DETAILS	0
C-11	SOIL & EROSION CONTROL PLAN	1
C-12	SILT FENCE DETAILS	0
L-1	LANDSCAPING PLAN	1
L-2	LANDSCAPING DETAILS	0

INDEX OF SHEETS

PLANS PREPARED BY:

TEP

TEP OpCo, LLC
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

REV	DATE	ISSUED FOR:
1	06-04-26	ZONING
0	02-28-25	ZONING

DRAWN BY: VA CHECKED BY: JHU

SEAL:

ZONING REVIEW

SEAL:

ZONING REVIEW

SHEET NUMBER: T-1

REVISION: 1

TEP #: 34-0022-996217

1. ALL REFERENCES MADE TO LESSEE IN THESE DOCUMENTS SHALL BE CONSIDERED VERIZON WIRELESS OR ITS DESIGNATED REPRESENTATIVE.

17. RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
18. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO PRIOR TO THE START OF THE WORK ON THE PROJECT.
19. THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES. REQUESTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING. CONTRACTOR WILL BE RESPONSIBLE TO ASSIGN A COORDINATOR AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC.,...)
20. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF HOLDBACK.
21. AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR THE LESSEE'S FILE.
22. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
23. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
24. CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
25. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
26. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER LOCAL AND FEDERAL STANDARDS AT ALL TIMES.
27. CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
28. CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
29. CONTRACTOR IS RESPONSIBLE FOR GROUND NEG TESTING AND PROVIDING PROOF OF RESULT.
30. WHEN REQUESTED, PROVIDE 3 COPIES OF FABRICATION AND ERECTION DRAWINGS PRIOR TO FABRICATION. ALLOW UP TO 1 WEEK FOR REVIEW BY CONSULTANT.
31. IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY LESSEE OR LESSEE'S REPRESENTATIVE.
32. SUBMIT RED-LINES COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE STAMPED AND SIGNED AS-BUILT CONDITION FROM SHOWN ON THE DRAWINGS.
33. CONTRACTOR WILL BE RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNOLOGICAL REPORT PROVIDED BY LESSEE.

1. ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF GEORGIA BUILDING CODES.

1. ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF GEORGIA BUILDING CODES.
2. THE CONTRACTOR SHALL TAKE SAMPLES OF THE CONCRETE POURED UNDER THE CONDITIONS OUTLINED IN THE GEORGIA BUILDING CODES.
3. ANY FAILURE OF A CONCRETE TEST CYLINDER TO MEET THE SPECIFIED STRENGTH REQUIREMENTS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. CORRECTIVE ACTION MUST BE APPROVED BY THE ENGINEER AND ALL RELATED COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
4. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE A MINIMUM OF 4,000 PSI (21 MPa). EXCEPT AS NOTED OR DIRECTED IN THE SOIL REPORT, THE CONCRETE, WHEN POURED, SHALL CONTAIN 7% AIR ENTRAINMENT WITH AN ALLOWABLE VARIATION OF +2%.
5. CONTRACTOR MUST TAKE SLUMP TEST AT LEAST ONCE FROM EACH TRANSIT MIXER AFTER A MINIMUM OF 5% CONCRETE LOAD HAD BEEN DISCHARGED. SLUMP, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE 75 MM (2.95 INCHES).

[illegible]

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VZW SITE #: 5000348806
VZW SITE NAME:

HIDDEN FARM
2727 RIVERSIDE DRIVE
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(EFFINGHAM COUNTY)

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0	02-28-25	ZONING	
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SHEET TITLE:	

GENERAL NOTES

SHEET NUMBER: N-1
REVISION: (

CONCRETE (CONTINUED):

- MIXED CONCRETE ON SITE (REMOTE AREAS) WITH THE CORRECT PROPORTION OF CEMENT, SAND, GRAVEL AND AIR-ENTRAINING AGENT ALREADY ADDED, THE DRY PREMIX IS TO BE MIXED IN A CONCRETE BATCHER IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- BEFORE POURING CONCRETE, THE TRANSPORTING EQUIPMENT AND FORMS SHALL BE CLEANED AND ALL DEBRIS AND ICE SHALL BE REMOVED FROM PLACES TO BE OCCUPIED BY THE CONCRETE. ANY WATER THAT HAS ACCUMULATED IN THE FORMS SHALL BE REMOVED.
- ALL CONCRETE SHALL BE VIBRATED AND WORKED AROUND THE REINFORCEMENTS, EMBEDDED FIXTURES AND INTO THE CORNERS OF THE FORMS. ANY EXCESS WATER THAT ACCUMULATES WHILE THE CONCRETE IS BEING POURED SHALL BE REMOVED.
- THE DESIGN ENGINEER SHALL RECEIVE A MINIMUM OF 24 HOURS NOTICE OF EVERY POUR.
- THE CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINUOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINUOUS POUR.
- ALL FRAMEWORK SHALL BE BUILT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SHALL BE PROPERLY BRACED AND PLUMBED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE SHAPES, LINES, GRADES, AND DIMENSIONS INDICATED ON THE SITE DRAWINGS.
- FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
- FORMS WHICH SUPPORT THE WEIGHT OF THE CONCRETE, OR OF SUPERIMPOSED LOADS, SHALL NOT BE REMOVED UNTIL THE CONCRETE IS STRONG ENOUGH TO CARRY ITS OWN WEIGHT, AND SUCH SUPERIMPOSED LOADS AS MAY BE PLACED UPON IT.
- THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST 5 DAYS AFTER IT HAS BEEN POURED.
- ALL SURFACES WHICH ARE NOT PROTECTED BY FORMS OR A SEALED WATERPROOF COATING SHALL BE KEPT 15. MOIST BY CONTINUOUS SPRINKLING, OR OTHER MEANS SUCH AS COVERING WITH MOIST SAND, SAWDUST, OR BURLAP.
- WHERE NECESSARY, THE CONCRETE SHALL BE PROTECTED AGAINST THE WEATHER BY A FRAMED HOUSING, TARPAILINGS, OR OTHER SUITABLE COVERING.

REINFORCING STEEL (REBAR):

- REINFORCING STEEL SHALL MEET CODE AND BE PLACED ACCORDING TO THE APPLICABLE DRAWINGS. THE MINIMUM THICKNESS OF CONCRETE OVER THE STEEL SHALL BE AT LEAST 3".
- ALL REINFORCEMENTS THAT ARE REQUIRED FOR A DAYS POUR ON CONCRETE SHALL BE SECURELY FIXED IN PLACE IN SUFFICIENT TIME TO PERMIT INSPECTION BEFORE CONCRETING BEGINS.
- THE DESIGN ENGINEER SHALL BE GIVEN 24 HOURS NOTICE BEFORE THE CONCRETE IS TO BE POURED. FAILURE TO COMPLY MAY BE NECESSARY, BUT NOT BE LIMITED TO, THE REMOVAL OF THE POURED CONCRETE AT THE CONTRACTOR'S EXPENSE.

GROUTING:

- WHERE GROUT IS INDICATED ON THE DRAWINGS UNDER STRUCTURAL BASE PLATES, THIS SHALL BE A NON-SHRINK, NON-FERROUS TYPE. METHODS OF MIXING AND PLACING MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

COLD WEATHER CONCRETING:

- THE CONTRACTOR SHALL PROVIDE AND HAVE ON THE SITE READY FOR USE, ADEQUATE EQUIPMENT FOR HEATING CONCRETE MATERIALS AND PROTECTING FRESH CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER CONDITIONS, ACCORDING TO THE FLORIDA UNIFORM STATEWIDE BUILDING CODE.
- ALL CONCRETE MATERIALS, REBAR, FORMS, FILLERS, AND THE EARTH WITH WHICH THE CONCRETE IS TO COME INTO CONTACT WITH, SHALL BE FREE FROM FROST AND ICE.
- WHENEVER THE SURROUNDING TEMPERATURE IS BELOW 39°F, ALL CONCRETE POURED IN THE FORMS SHALL HAVE A TEMPERATURE OF 68°F FOR 4 DAYS.
- THE HOUSING, COVERING, OR OTHER PROTECTION USED FOR THE CURING SHALL REMAIN IN PLACE AND INTACT FOR AT LEAST 24 HOURS AFTER THE ARTIFICIAL HEATING IS DISCONTINUED.
- SALT, CALCIUM CHLORIDE, OR OTHER CHEMICALS SHALL NOT BE USED IN THE CONCRETE MIX TO PREVENT THE WATER CONTENT FROM FREEZING.

GRADING:

- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.,) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE, THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE LESSEE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.

UTILITIES:

- CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED CONSTRUCTION SHALL BE SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY LOCATED. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR HANDLING ANY NECESSARY IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR HANDLING ANY NECESSARY IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR HANDLING ANY NECESSARY IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR HANDLING ANY NECESSARY IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY LESSEES AND CONSTRUCTION MANAGER.
- DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND PRE-CONSTRUCTION CONDUITS, SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE LESSEE. FOR GRASSES AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
- THE CONTRACTOR SHALL COORDINATE WITH THE LESSEE THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE LESSEE'S REQUIREMENTS.
- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

PLANS PREPARED FOR:		
verizon 4700 EXCHANGE COURT, SUITE 100 BOCA RATON, FL 33431 (561) 993-5539		
PROJECT INFORMATION: VZW SITE #: 5000348806 VZW SITE NAME: HIDDEN FARM 2727 RIVERSIDE DRIVE EFFINGHAM, CA 91512 (EFFINGHAM COUNTY)		
PLANS PREPARED BY:		
 TEP 0604, LLC 326 TRYON ROAD RALEIGH, NC 27603-3530 OFFICE: (919) 661-6351 www.tepgroup.net		
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REV	DATE	ISSUED FOR:
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SHEET NUMBER:	REVISION:	
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TEP #: 3-405922-996217		

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I HEREBY CERTIFY TO: VERTICAL BRIDGE REIT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, ITS LEADERS, AND ADMINISTRATIVE AGENTS AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, AND TOWER TITLE, LLC

09/24/2025
DAVID M. MILLER, GEORGIA PROFESSIONAL LAND SURVEYOR #3433
POINT TO POINT LAND SURVEYORS, INC.

• SPECIFIC PURPOSE SURVEY PREPARED BY:



Certificate of Authorization: LSF000843
100 Governors Trace, Ste. 103,
Peachtree City, GA 30269
(p) 678.565.4440 (f) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:

verticalbridge
THE TOWERS, LLC
22 W ATLANTIC AVE, SUITE 310
DELRAY BEACH, FLORIDA 33444

HIDDEN FARM-D
US-GA-5768

10 G.M.D, EFFINGHAM COUNTY, GEORGIA

SITE INFORMATION

LESSEE PREMISES = 10,000 SQUARE FEET (0.2296 ACRES)

AT CENTER OF LIFE'S PREVIEW.

ATTITUDE: 32°21'40.46" (NAD 83) (32.363739°)

LONGITUDE: $-81^{\circ}29'16.73''$ (NAD 83) (-81.487981°)
ELEVATION = 56.1' AMSL

EXAMINATION - 00.1 ANSWER

VERTICAL DATUM: NAVD 1988 (COMPUTED USING GEODETIC
HORIZONTAL DATUM: NAD83

COMPARATIVE SYSTEMS, INDO-

25	0	5
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GRAPHIC SCALE IN FEET

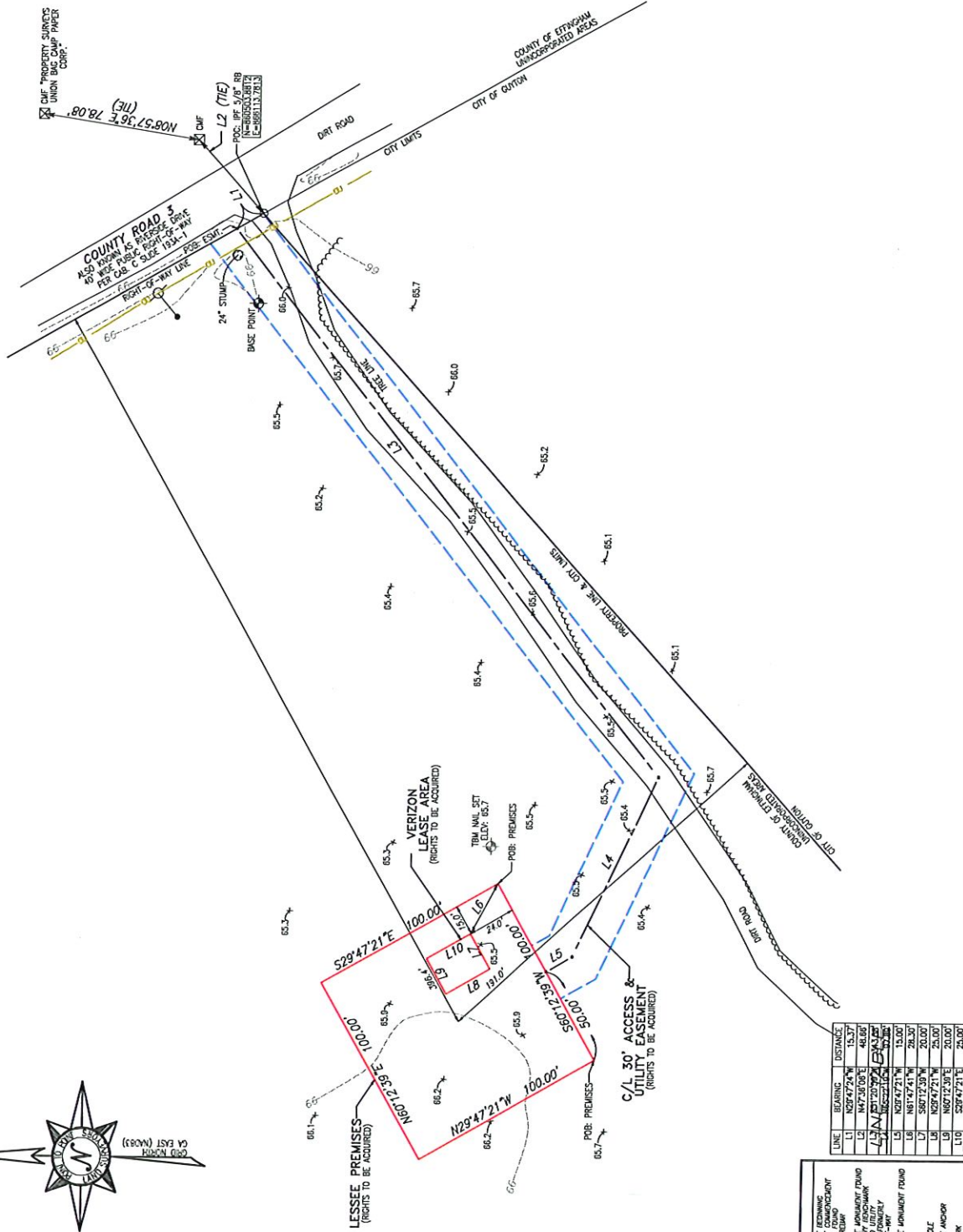
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P2P JOB # 2

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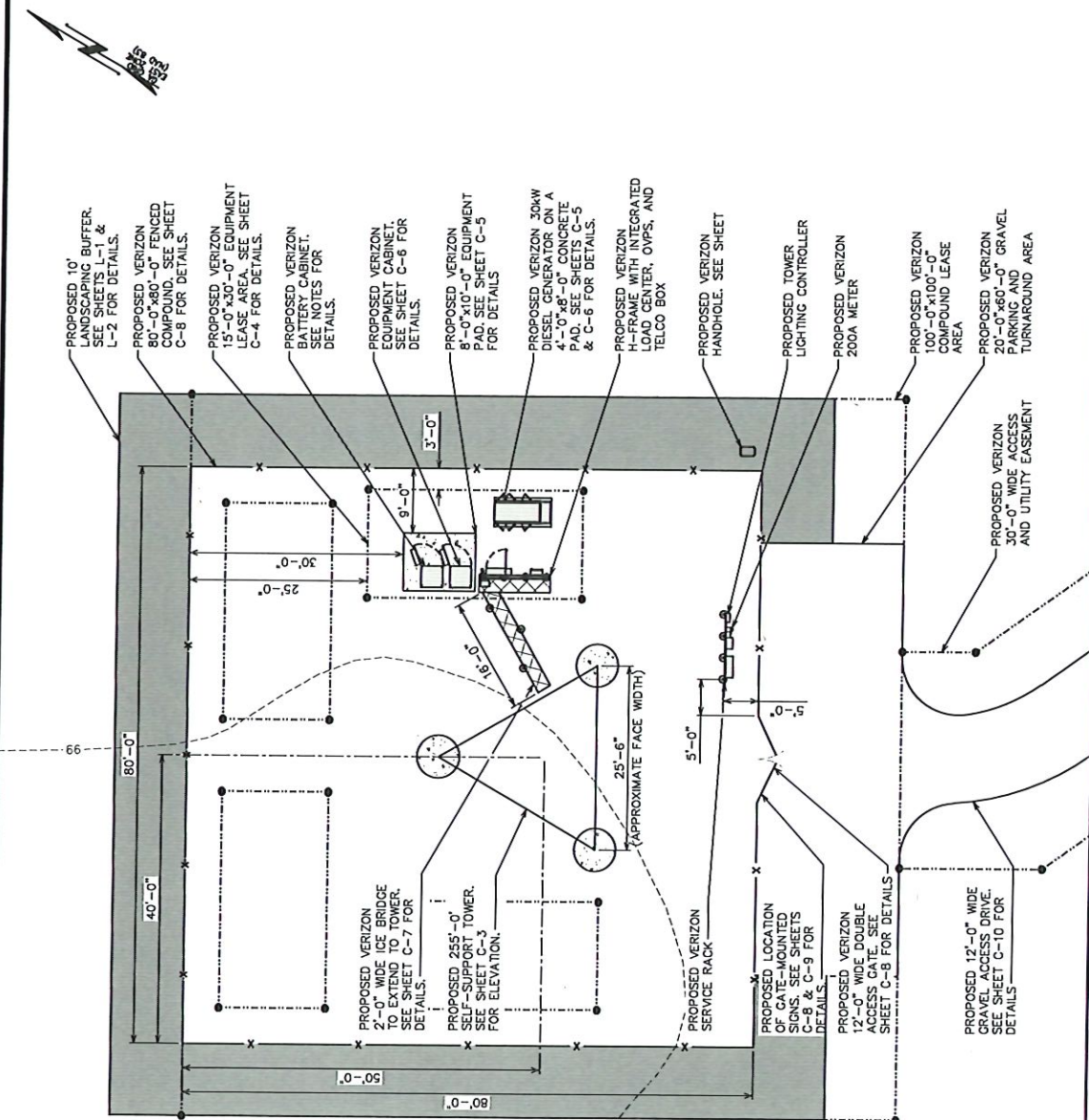
LINE	BEARING	DISTANCE
L1	N20°47'24" W	15.37'
L2	N47°38'08" E	48.66'
L3	N1°17'20" E	67.35'
L4	N65°20'42" W	77.35'
L5	N20°47'21" W	15.00'
L6	N81°47'41" W	28.30'
L7	S60°12'39" W	20.00'
L8	N29°47'21" W	25.00'
L9	N60°12'38" E	20.00'
L10	S28°47'21" E	25.00'

LEGEND

POINT OF BEGINNING	CONCRETE MONUMENT FOUND	TREE	UTILITY POLE
POINT OF COMMENCEMENT	TEMPORARY BENCHMARK	GUY WIRE ANCHOR	BENCHMARK
IRON PIPES	ENHANCED UTILITY		
IRON CAPPIED REBAR	NOT OF FORMERLY		
REBAR	POST-UP-WAY		
CONCRETE MONUMENT FOUND	CONCRETE MONUMENT FOUND		

SURVEY NOT VALID WITHOUT ALL SHEETS

NOTE:
CONTRACTOR TO INSTALL EQUIPMENT
PER MANUFACTURE'S SPECIFICATIONS.



0 16 32
SCALE IN FEET

PLANS PREPARED FOR:
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(561) 995-5539

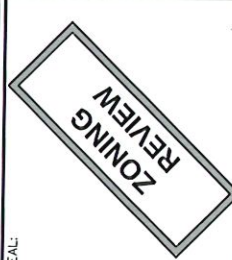
PROJECT INFORMATION:
VZW SITE #: 5000348806
VZW SITE NAME:
HIDDEN FARM
2727 RIVERSIDE DRIVE
EFFINGHAM, GA 31312
(EFFINGHAM COUNTY)

PLANS PREPARED BY:



TEP
TEP OpCo, LLC
326 TRYON ROAD
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OFFICE: (919) 661-6351
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SEAL:



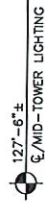
DATE	06-04-26	ZONING
REV	02-26-25	ZONING
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ISSUED FOR:	COMPOUND DETAIL	

COMPOUND DETAIL

SHEET NUMBER: **C-2**
REVISION: **1**
TEP #: 340222-990217

COMPOUND DETAIL
SCALE: 1/8" = 1'-0"

1. TOWER ELEVATION SHOWN IS A SCHEMATIC. THE CONTRACTOR TO VERIFY ACTUAL TOWER DESIGN LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR STRUCTURAL ANALYSIS REPORT PRIOR TO CONSTRUCTION.
2. PROPOSED HYBRID CABLES TO BE RUN IN A MANNER CONSISTENT WITH THE PASSING STRUCTURAL ANALYSIS REPORT.
3. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
4. TOP OF APPURTENANCE HEIGHT = 265'-0" (AQL).
5. FAA APPROVED OVERALL HEIGHT = TBD.
6. TOWER SHALL BE ILLUMINATED ONLY AS REQUIRED BY THE FEDERAL COMMUNICATIONS COMMISSION (FCC). THE FEDERAL AVIATION COMMISSION (FAA) OR OTHER STATE OR FEDERAL AGENCY OR COMPETENT JURISDICTION. TOWER LIGHTING SHALL BE PURSUANT TO FAA DETERMINATION AND IN ACCORDANCE WITH FAA ADVISORY CIRCULAR 70/7460-1 L, CHANGE 1, OBSTRUCTION MARKING AND LIGHTING, A MED-DUAL SYSTEM - CHAPTERS 4, 8 (M-DUAL), & 12.



A vertical scale bar labeled "SCALE IN FEET" with markings at 0, 40, and 80.

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VZW SITE #: 5000348806
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0	02-28-25	ZONING	
REV	DATE	ISSUED FOR:	
DRAWN BY: VA		CHECKED BY: JHJ	

SHEET TITLE:

TOWER
ELEVATION

SHEET NUMBER:	REVISION:
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33

TEP//: 3409

TEP//: 340922.998217

1. THE ANTENNA LAYOUT ON SHEET C-38 IS A SCHEMATIC. THE CONTRACTOR SHALL VERIFY TOWER ORIENTATION AND FIELD COORDINATE ADJUSTMENTS TO ACHIEVE THE DESIRED ANTENNA AZIMUTHS.

2. ANTENNA CENTERLINE HEIGHT BASED ON TOP OF GRADE.
3. ALL ANTENNAS, CABLES, AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S RECOMMENDATIONS IN A MANNER CONSISTENT WITH THE PASSING STRUCTURAL ANALYSIS REPORT.
4. ALL INFORMATION ON THIS SHEET TO BE CONFIRMED WITH VERIZON RF DESIGN PRIOR TO INSTALLATION.
5. THE DO NOT PERFORM A STRUCTURAL ANALYSIS ON THE MOUNT. IT IS THE CARRIER'S RESPONSIBILITY TO ENSURE MOUNT CAN SUPPORT PROPOSED LOADS.

POS.	SECTOR	USE	MANUFACTURER (MODEL #)	RAD CENTER	CABLE SIZE	AZIMUTH (TN)	CABLE LENGTH	MECH. D-TILT	ELEC. D-TILT	EQUIPMENT [MODEL #]	J-BOX (TOWER)
1	ALPHA	-	-	-		-		-	-		
2	ALPHA	700 LTE 850 NR 1900 NR AWS LTE	JMA WIRELESS MX06FHG865-HG	☉ 250°-0°±		0°		**	**	(1) ERICSSON RRU [RRUS 4490]	
3	ALPHA	700 LTE 850 NR 1900 NR AWS LTE	JMA WIRELESS MX06FHG865-HG	☉ 250°-0°±		0°		**	**	(1) ERICSSON RRU [RRUS 4890]	
4	ALPHA	CBAND NR	ERICSSON AIR6419	☉ 250°-0°±		0°		**	**		
5	BETA	-	-	-		-		-	-		
6	BETA	700 LTE 850 NR 1900 NR AWS LTE	JMA WIRELESS MX06FHG865-HG	☉ 250°-0°±	(2) 1½"φ HYBRIDS	120°	*290'±	**	**	(1) ERICSSON RRU [RRUS 4490]	(1) RAYCAP OVP-6 [RVZDC-3315-PF-48]
7	BETA	700 LTE 850 NR 1900 NR AWS LTE	JMA WIRELESS MX06FHG865-HG	☉ 250°-0°±		120°		**	**	(1) ERICSSON RRU [RRUS 4890]	
8	BETA	CBAND NR	ERICSSON AIR6419	☉ 250°-0°±		120°		**	**		
9	GAMMA	-	-	-		-		-	-		
10	GAMMA	700 LTE 850 NR 1900 NR AWS LTE	JMA WIRELESS MX06FHG865-HG	☉ 250°-0°±		240°		**	**	(1) ERICSSON RRU [RRUS 4490]	
11	GAMMA	700 LTE 850 NR 1900 NR AWS LTE	JMA WIRELESS MX06FHG865-HG	☉ 250°-0°±		240°		**	**	(1) ERICSSON RRU [RRUS 4890]	
12	GAMMA	CBAND NR	ERICSSON AIR6419	☉ 250°-0°±		240°		**	**		

*NOTE - CONTRACTOR TO VERIFY COAX/CABLE LENGTHS PRIOR TO CONSTRUCTION
**NOTE - CONTRACTOR TO REFERENCE VERIZON ISSUED RFDS FOR MECH./ELEC. D-TILTS

SCALE: N.T.S.

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HELP

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ANTENNA & COAX SCHEDULE

C-3A

TEP #: 3409

1. TEP DID NOT ANALYZE MOUNT TO DETERMINE ADEQUATE STRUCTURAL CAPACITY FOR ANY VERIZON LOADING.
2. SEE SHEET C-3A FOR PROPOSED ANTENNA SCHEDULE.
3. CONTRACTOR TO VERIFY PROPOSED TOWER STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.



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**ZONING
REVIEW**

0	02-28-25	ZONING	
REV	DATE	ISSUED FOR:	

DRAWN BY: V

SHEET TITLE:

PROPOSED ANTENNA LAYOUT

SHEET NUMBER:	REVISION:
---------------	-----------

C-3B

TEP#: 34092

ROUTING NOTES:

1. REFER TO THE SITE PLAN FOR EQUIPMENT PAD LOCATIONS AND ORIENTATION.
2. RUN 2" TELCO CONDUIT FROM BOTTOM OF TELCO BOX TO SIDE OF PRIMARY CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
3. RUN 2" POWER CONDUIT AND 1" ALARM CONDUIT FROM BOTTOM OF ILC TO SIDE OF PRIMARY CABINET WITH CHASE NIPPLES THROUGH FACTORY KNOCKOUTS.
4. RUN 2" FIBER CONDUIT FROM BOTTOM OF RAYCAP OVP TO SIDE OF PRIMARY CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
5. RUN (1)-1/2" POWER CONDUIT FOR EVERY (6) BRU CIRCUITS FROM BOTTOM OF RAYCAP OVP TO SIDE OF PRIMARY CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
6. SUPPORT CONDUIT ON HORIZONTAL H-FRAME RAILS OR ON VERTICAL SITE STRUT SNT10 RAILS ADDED TO H-FRAME FOR CONDUIT/CABLE MANAGEMENT.
7. RUN HYBRID CABLES FOR TOWER MOUNTED RRU_s OVERHEAD ON TRAPEZE SUSPENSION FROM WAVEGUIDE BRIDGE. SWEEP DOWN ONTO H-FRAME RAILS THEN LOOP UNDER RAYCAP OVP. ATTACH HYBRID CABLES BEFORE LOOPING UNDER RAYCAP OVP, AND BOND TO TUSGA GROUND BAR AT BASE OF H-FRAME.
8. RUN COAX CABLE FOR GROUND MOUNTED RRU_s (IF ANY) OVERHEAD ON TRAPEZE SUSPENSION FROM WAVEGUIDE BRIDGE. TERMINATE COAX ON ICE BRIDGE AND TRANSITION TO JUMPERS JUST BEFORE REACHING LAST ICE BRIDGE. ATTACH GROUND KITS TO COAX CABLE ON TOWER SIDE OF LAST ICE BRIDGE POST AND BOND TO TUSGA GROUND BAR NEAR TOP OF POST.
9. GPS ANTENNA TO BE MOUNTED TO STANDARD HEIGHT POST WITH EXTENDED MOUNTING PIPE, USING COMMSCOPE GPS-U MOUNTING KIT. MOUNT AS NEAR AS PRACTICAL TO PRIMARY CABINET.
10. BOLT CABINETS TO SLAB USING 1/2"x3/4" KWK BOLT 3 BY HILTI OR APPROVED EQUIVALENT.
11. BOLT GENERATOR TO SLAB PER MANUFACTURERS SPECIFICATIONS.

PROPOSED VERIZON 15'-0"x30'-0" EQUIPMENT LEASE AREA. SEE SHEET C-4 FOR DETAILS.

PROPOSED VERIZON 8'-0"x10'-0" EQUIPMENT PAD. SEE SHEET C-6 FOR SECTION DETAILS.

PROPOSED VERIZON BATTERY CABINET.

PROPOSED VERIZON EQUIPMENT CABINET. SEE SHEET C-6 FOR DETAILS.

PROPOSED VERIZON 2'-0" WIDE ICE BRIDGE TO EXTEND TO TOWER. SEE SHEET C-7 FOR DETAILS.

PROPOSED (2) 1/4" HYBRID CABLES

PROPOSED GROUND BAR (TYP OF 3)

PROPOSED H-FRAME POST FOUNDATION (TYP OF 4)

PROPOSED VERIZON H-FRAME.

PROPOSED GPS ANTENNA. SEE NOTE 9.

PROPOSED 1" ALARM CONDUIT

PROPOSED 1/2" POWER CONDUIT FOR RECEPTILERS & GFCI

PROPOSED 2" TELCO CONDUIT (TYP)

PROPOSED TELCO BOX

PROPOSED 2" CONDUIT FOR POWER

RESERVED SPACE FOR FUTURE CIENA (INSTALLED AS NEEDED. CONTRACTOR TO COORDINATE WITH VZW CONSTRUCTION MANAGER FOR ADDITIONAL WIRING & CONDUITS AS NEEDED).

PROPOSED CONDUITS TO BE EMBEDDED IN CONCRETE PAD & STUB 6" MIN. ABOVE TOP OF PAD. TERMINATE WITH MALE FITTING AND THREADED BUSHING.

PROPOSED 3'-0" WIDE NEC WORK CLEARANCE (TYP OF 3)

PROPOSED GENERATOR MOUNTING HOLES (TYP). VERIFY LOCATION WITH MANUFACTURER INSTALLATION DRAWINGS.

PROPOSED VERIZON 30kW DIESEL GENERATOR ON A 4'-0"x8'-0" CONCRETE PAD. SEE SHEETS C-5 & C-6 FOR DETAILS.

PROPOSED VERIZON 4'-0"x8'-0" GENERATOR CONCRETE PAD. SEE SHEETS C-5 & C-6 FOR DETAILS.

PLANS PREPARED FOR:

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:
VZW SITE #: 5000348806
VZW SITE NAME:
HIDDEN FARM
2727 RIVERSIDE DRIVE
EFFINGHAM, CA 91312
(EFFINGHAM COUNTY)

PLANS PREPARED BY:

TEP OpCo, LLC
328 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net



SEAL:

1	06-04-26	ZONING
0	02-25-25	ZONING
REV	DATE	ISSUED FOR:
DRAWN BY: VA CHECKED BY: JHU		
SHEET TITLE:		

SHEET NUMBER:
C-4

REVISION:
1

EQUIPMENT LAYOUT

EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"

0 4 8
SCALE IN FEET

1. 30KW INDUSTRIAL DIESEL GENERATOR BY GENERAC (P/N: 50330). CONTRACTOR TO VERIFY DIMENSIONS WITH MANUFACTURER.
2. ANCHOR GENERATOR FUEL TANK TO CONCRETE PAD/PLATFORM PER MANUFACTURER'S SPECIFICATIONS.
3. BASE TANK SIZE SHALL BE 300 GALLON. CONTRACTOR TO VERIFY SIZE WITH CONSTRUCTION MANAGER BEFORE ORDERING OR INSTALLING THE GENERATOR.



PROPOSED FUEL
TANK. SEE NOTE 3.

GENERATOR DETAILS

SCALE: N.T.S

SCALE: N.T.S.

1. EQUIPMENT AND BATTERY CABINET BY COMSCOPE (P/N: CMC-85-36C), CONTRACTOR TO VERIFY MAKE AND MODEL NUMBER PRIOR TO CONSTRUCTION. NOTIFY TOWER ENGINEERING PROFESSIONALS IMMEDIATELY OF ANY DISCREPANCIES.
2. ANCHOR CABINET TO PLATFORM PER MANUFACTURER'S SPECIFICATIONS.



ZONING REVIEW

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O	02-28-25			DRAWN BY:	VA
REV	DATE	ISSUED FOR:			

GENERATOR & EQUIPMENT CABINET DETAILS

9-

TEP#: 340922.998217

LIABILITY COMPANY, OR NEW ENGINEERING, P.L.C. A NEW YORK PROFESSIONAL LIMITED LIABILITY COMPANY, GENERAL CONTRACTOR SERVICES ARE PROVIDED BY TENG ONCO LLC, A DELAWARE LIMITED LIABILITY COMPANY. THE ENGINEER, P.L.C. A NEW YORK PROFESSIONAL LIMITED LIABILITY COMPANY, CAN BE OBTAINED FROM THE COMPANY. ADDITIONAL INFORMATION CAN BE OBTAINED FROM THE COMPANY. WE ADOPT THE RESOURCES LICENSES IN EACH STATE. ADDITIONAL INFORMATION CAN BE OBTAINED FROM THE COMPANY.

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BOCA RATON, FL 33431
(561) 995-5539

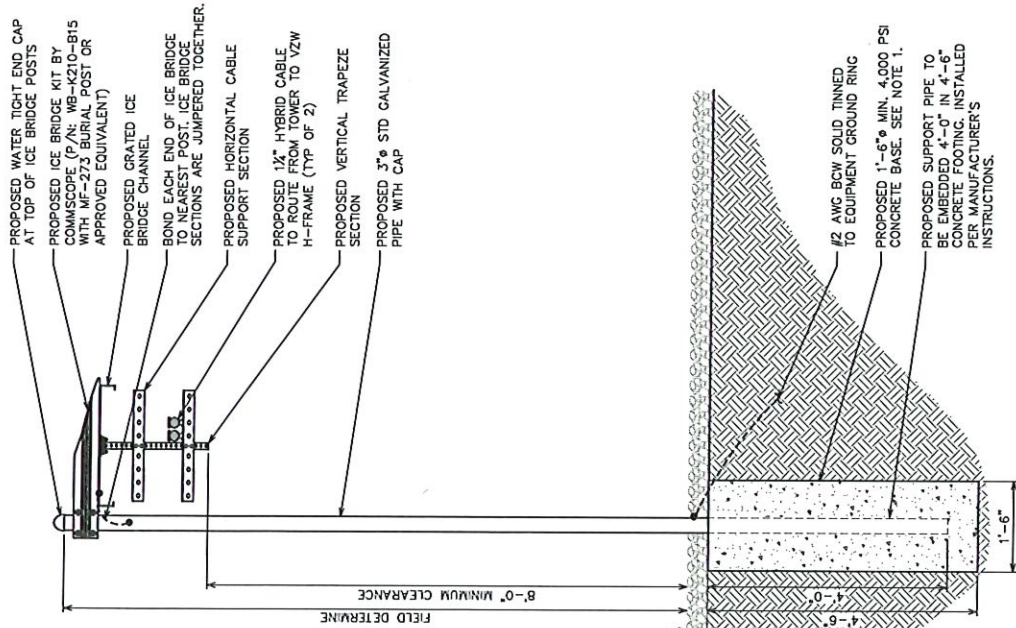
VZW SITE #: 5000348806
VZW SITE NAME:
HIDDEN FARM
2727 RIVERSIDE DRIVE
EFFINGHAM, GA 31312
(EFFINGHAM COUNTY)

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RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
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NOTES:

1. TOP OF ICE BRIDGE POST FOUNDATION SHALL BE SET 6" BELOW TOP OF GRAVEL.
2. ADJUST POST FOOTING DEPTH WITHIN 15' OF TOWER TO ACCOMMODATE EXISTING TOWER FOUNDATION.
3. HEIGHT TO TOP OF ICE BRIDGE WILL BE FIELD VERIFIED, BUT WILL BE MAXIMUM 10'-10" ABOVE TOP OF GRAVEL.
4. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

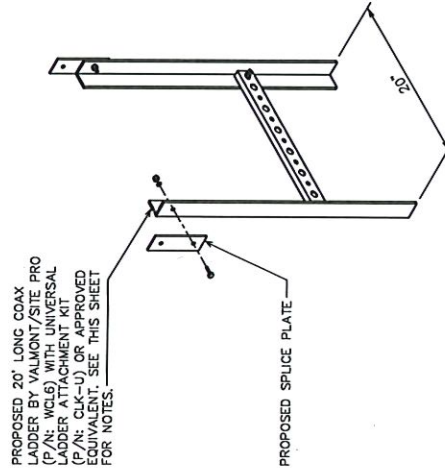


ICE BRIDGE DETAIL

SCALE: 1/2" = 1'-0"

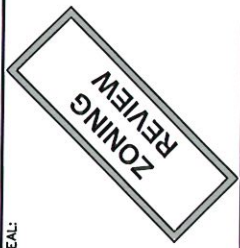
NOTES:

1. CONTRACTOR TO PROVIDE PROPOSED WAVEGUIDE LADDER.
2. CONTRACTOR TO FIELD DETERMINE FINAL REQUIRED NUMBER OF WAVEGUIDE LADDER SECTIONS.



WAVEGUIDE DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:		 4700 EXCHANGE COURT, SUITE 100 BOCA RATON, FL 33431 (561) 995-5539	
PROJECT INFORMATION:		VZW SITE #: 5000348806 VZW SITE NAME: HIDDEN FARM 2727 RIVERSIDE DRIVE EFFINGHAM, GA 31312 (EFFINGHAM COUNTY)	
PLANS PREPARED BY:		 TEP Group, LLC 326 TRYON ROAD RALEIGH, NC 27603-3530 OFFICE: (919) 661-6351 www.tepgroup.net	
SEAL:			
REV	DATE	ZONING	ISSUED FOR:
0	02-28-25		
DRAWN BY: VA		CHECKED BY: JPU	
SHEET TITLE:			
ICE BRIDGE & WAVEGUIDE DETAILS			
SHEET NUMBER:		REVISION:	
C-7		0	
TEP #:		340922-996217	

THIS IS A TAKE OR PAYMENT LICENSED PROFESSIONAL ENGINEERING PROJECT. ANY CHANGES TO THE PROJECT MUST BE APPROVED BY THE LICENSED PROFESSIONAL ENGINEER. ANY CHANGES TO THE PROJECT MUST BE APPROVED BY THE LICENSED PROFESSIONAL ENGINEER. ANY CHANGES TO THE PROJECT MUST BE APPROVED BY THE LICENSED PROFESSIONAL ENGINEER.

THIS PLAN IS FOR INFORMATION ONLY. IT IS NOT A CONTRACT DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

PLANS PREPARED FOR:
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4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:
VZW SITE #: 5000348806
VZW SITE NAME:
HIDDEN FARM
2727 RIVERSIDE DRIVE
EFFINGHAM, GA 31312
(EFFINGHAM COUNTY)

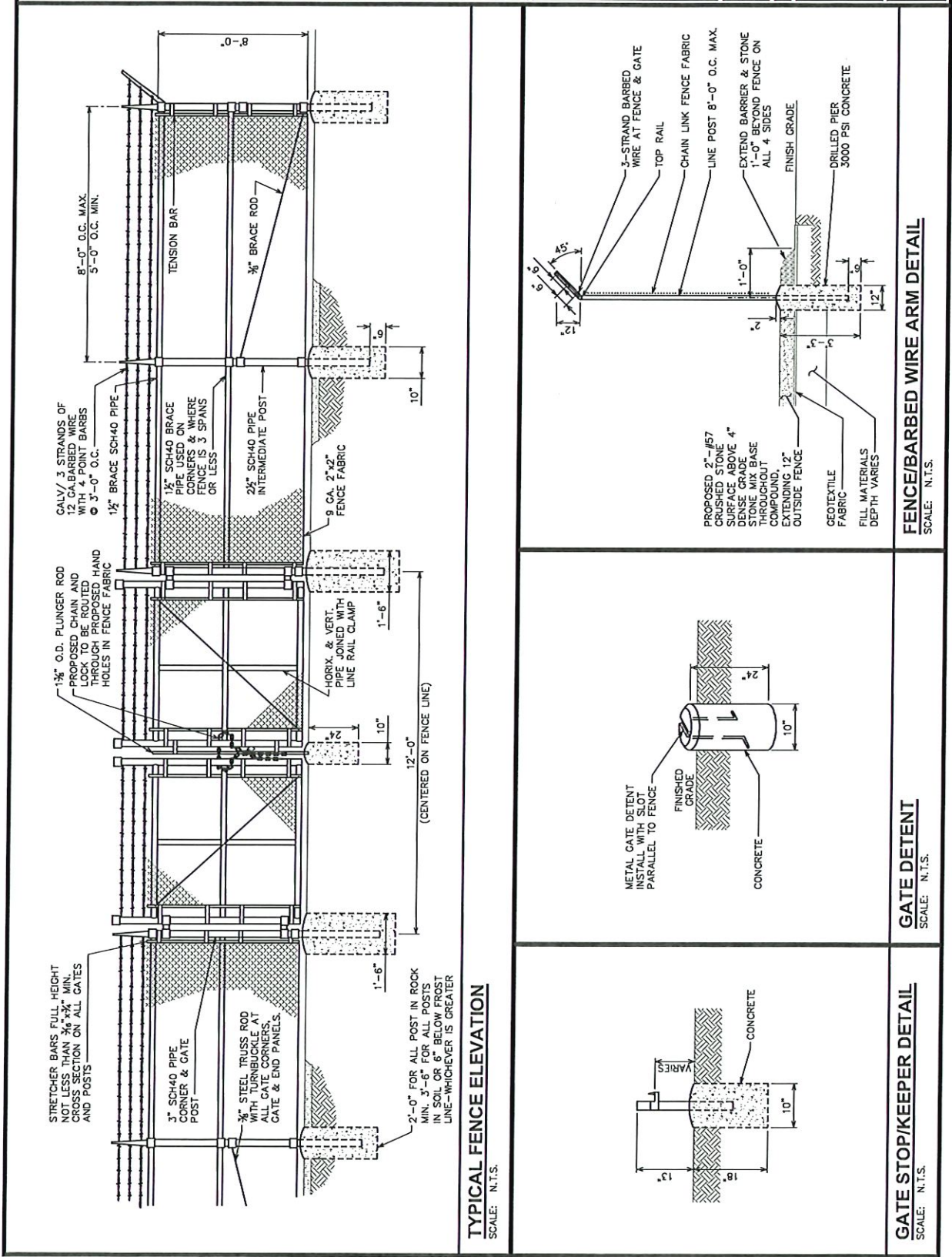
PLANS PREPARED BY:
TEP
TEP OpCo, LLC
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REV	DATE	ISSUED FOR
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CHECKED BY: JFL		
SHEET TITLE:		

FENCE DETAILS

SHEET NUMBER:	1
REVISION:	
C-8	



NOTES:

1. SIGNS SHALL BE MADE OF ALUMINUM WITH 1/2" HOLES 1/2" FROM EACH CORNER TO HANG SIGNS ON FENCE.
2. SIGNS SHALL BE INSTALLED AS FOLLOWS: GATE: VERIZON AND FCC TOWER REGISTRATION NUMBER, NO TRESPASSING, NO WARNING SIGN, FENCE FACING ACCESS DRIVE: E911 STREET NUMBER SIGN.
3. SIGNS SHALL BE INSTALLED WITH CENTER AT 5' ABOVE FINISHED GRADE.



SITE NAME: HIDDEN FARM
FCC#: (TBD-COORDINATE WITH OWNER)
LEASING/EMERGENCY: (704) 519-9957
WWW.VERIZONWIRELESS.COM

- 1 VERIZON AND FCC REGISTRATION SIGN
SIZE: 12"x 24" (0.063" ALUMINUM)
(TO BE MOUNTED ON GATE)

**DO NOT CLIMB
TOWER WITHOUT
OWNER'S WRITTEN
AUTHORIZATION!**

**NO
TRESPASSING!
AUTHORIZED
ENTRY ONLY**

**WARNING
ANTENNAS
MAY BE
ACTIVE**

NOTICE
This tower contains radio frequency equipment. Radio frequency fields near some antennas may exceed FCC rules for human exposure. Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF protection device. See FCC Part 1.1308 for more information.

- 2 NO TRESPASSING SIGN
SIZE: 18"x 24"
(TO BE MOUNTED ON GATE)

CAUTION



On this tower:
 Radio frequency fields near some antennas may exceed FCC rules for human exposure. Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF protection device. See FCC Part 1.1308 for more information.

- 3 RF WARNING SIGN
SIZE: 18"x 12" (0.040" ALUMINUM)
(TO BE MOUNTED ON GATE)

000

- 4 E911 STREET #
LETTERS MUST BE A MINIMUM 5" TALL
(TO BE MOUNTED ON THE FENCE FACING THE ACCESS DRIVE)

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 5000348806
VZW SITE NAME:
HIDDEN FARM
 2727 RIVERSIDE DRIVE
 EFFINGHAM, CA 91312
 (EFFINGHAM COUNTY)

PLANS PREPARED BY:



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REV	DATE	ISSUED FOR:
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CHECKED BY: JHU		

SHEET TITLE:

SIGNAGE DETAILS

SHEET NUMBER: **C-9**
 REVISION: 0
 TEP #: 340922-990217

TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 5000348806

VZW SITE NAME:
HIDDEN FARM

2727 RIVERSIDE DRIVE
EFFINGHAM, GA 31312
(EFFINGHAM COUNTY)

PLANS PREPARED BY:



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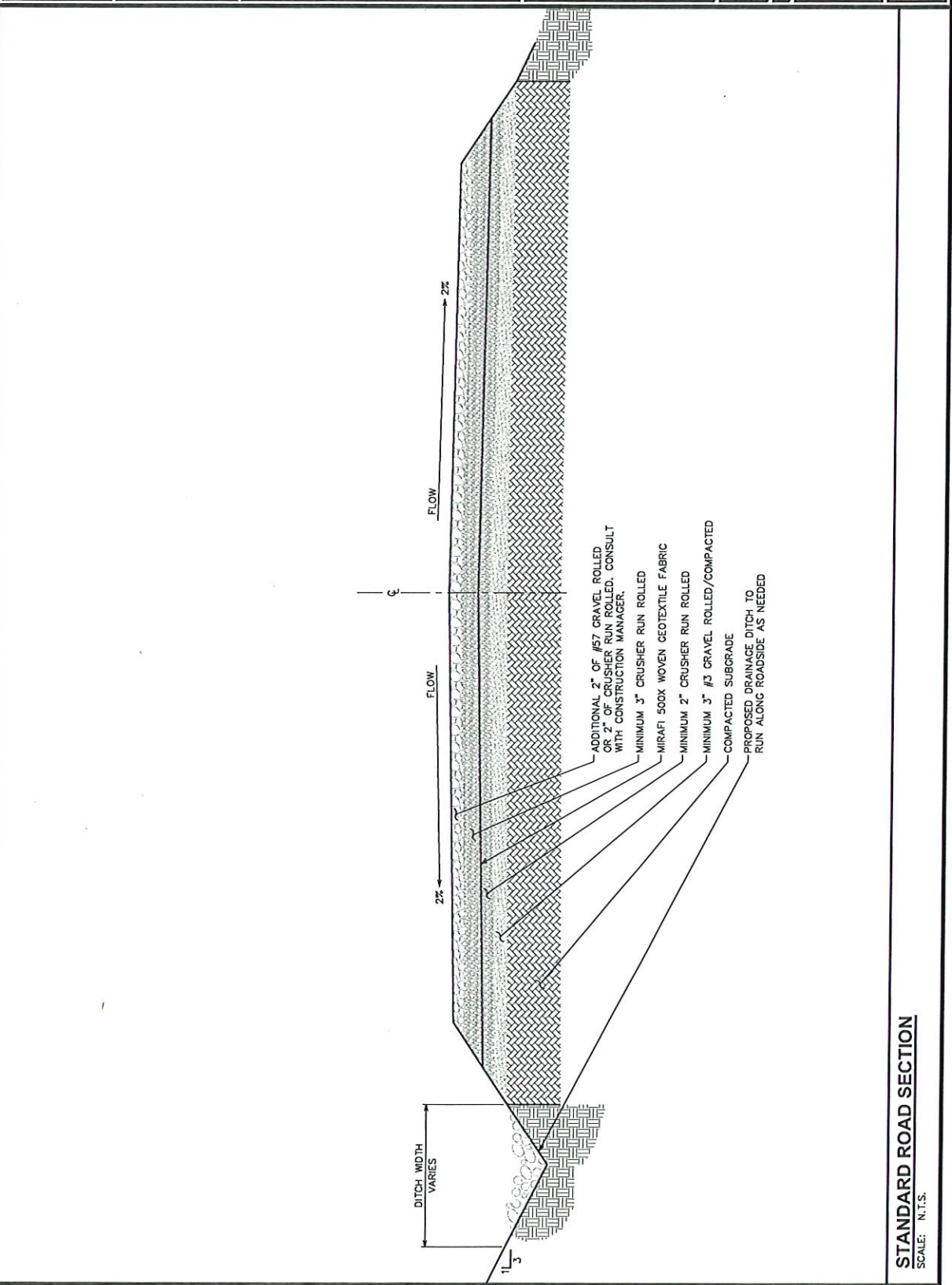
SHEET TITLE:

ACCESS
ROAD DETAILS

SHEET NUMBER: C-10

REVISION: 0

TEP#: 340922-0002.17



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1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
3. PACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE FLOW VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.

SCALE: N.T.S.



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(561) 995-5539

VZW SITE #: 5000348806
VZW SITE NAME:
HIDDEN FARM
2727 RIVERSIDE DRIVE
EFFINGHAM, CA 91312
(EFFINGHAM COUNTY)

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A rectangular stamp with a double border, tilted at an angle. The text "ZONING REVIEW" is written inside in a bold, sans-serif font, oriented vertically.

		ZONING	CHECKED BY: JHU
	0	02-28-25	DRAWN BY: VA
	REV	DATE	ISSUED FOR:

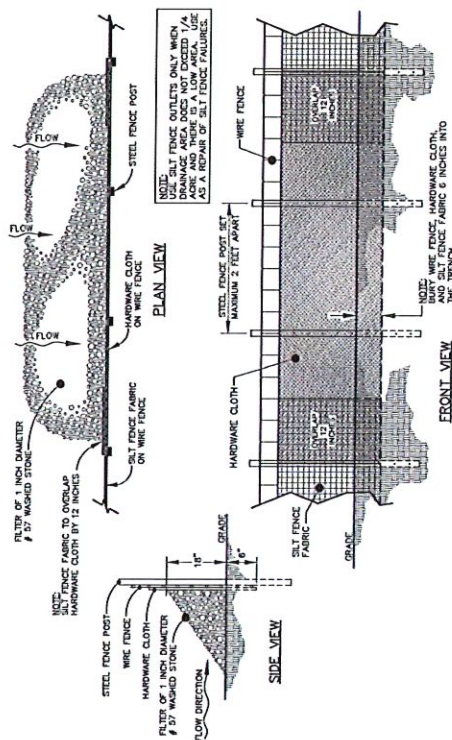
SILT FENCE DETAILS

SCALE: N.T.S.

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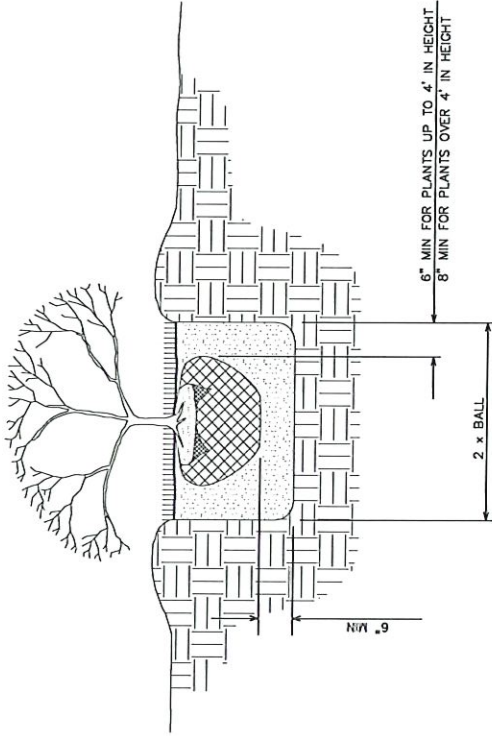
TEP №: 34092

ON



LANDSCAPE NOTES:

1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
2. EACH PLANT TO BE IN GOOD CONDITION AFTER SHEARING AND PRUNING.
3. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
4. ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
5. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.



SHRUB PLANTING DETAIL

PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 5000348806
VZW SITE NAME:
HIDDEN FARM
2727 RIVERSIDE DRIVE
EFFINGHAM, GA 31312
(EFFINGHAM COUNTY)

PLANS PREPARED BY:

LEP

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326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.lepgroup.net

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SHEET TITLE:

LANDSCAPING DETAILS

SHEET NUMBER: **L-2**

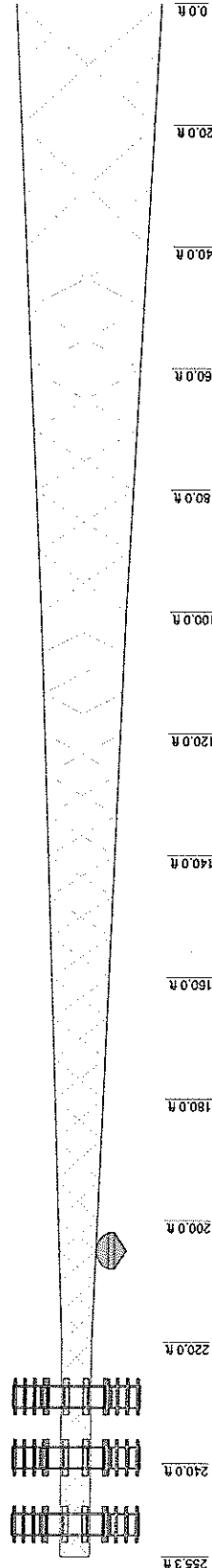
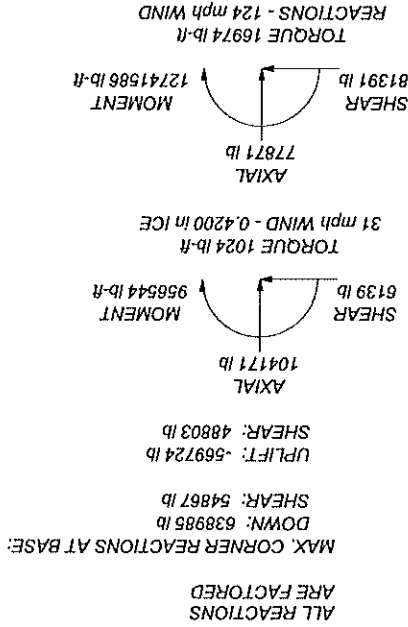
REVISION: **1**

TEP #: 3-02922-996217

LANDSCAPING DETAILS

SCALE: N.T.S.

Nello Corporation		1201 S. Sheridan Street South Bend, IN. 46619 Phone: 800-806-3556 FAX:	
Job: SC35459; Tower 854098; Foundation By Others		Project: NS 255.3' - US-GA-5768 / Hidden Farm D - Effingham Co., GA	
Client: The Towers, LLC		Drawn by: KYN	
Code: TIA-222-1		Date: 05/01/26	
Scale: NTS		Dwg No. E-1	
Path: N:\en854098\Rev1.dwg			



Section	T1	T2	T3	T4	T5	T6	T7	T8	T9	T10	T11
Legs											
Leg Grade											
Diagonal											
Diagonal Grade											
Top Girts											
Horizontals											
Rad. Horizontals											
Rad. Diagonals											
Faced Width (ft)	24	22	20	18	16	14	12.5	11	9.5	8	6.5
# Panels @ (ft)	24	22	20	18	16	14	12.5	11	9.5	8	6.5
Weight (lb)	43503.8	34718	28448	24067	20686	17863	15461	13212	11058	9444	8113

DESIGNED APPURTENANCE LOADING		
TYPE	ELEVATION	TYPE
42,000 sq in CAA	250	Dish Pipe Mount
30,000 sq in CAA	239	6 Solid w/Radome
30,000 sq in CAA	229	

MARK	SIZE	MARK	SIZE
A	L1 3/4x1 3/4x1/8		

GRADE	Fy	Fu	GRADE	Fy	Fu
A500-50	50 ksi	62 ksi	A529-50	50 ksi	65 ksi

TOWER DESIGN NOTES					
1.	Tower designed for Exposure C to the TIA-222-1 Standard.				
2.	Tower designed for a 124 mph ultimate wind in accordance with the TIA-222-1 Standard.				
3.	Tower is also designed for a 31 mph basic wind with 0.42 in ice. Ice is considered to increase in thickness with height.				
4.	Deflections are based upon a 60 mph wind.				
5.	Tower Risk Category II.				
6.	Topographic Category I with Crest Height of 0.00 ft				
7.	TOWER RATING: 97.6%				



**10300 Old Alabama Connector Road
Alpharetta, GA 30022-1117**

March 31st, 2026

Kim Barlett, Senior Planner
Effingham County Planning and Zoning Services
804 S. Laurel St.
Springfield, GA 31329

**Re: Application for Conditional Use Permit with Variance, proposed Tower Location: 2727
Riverside Dr, Effingham, Georgia, 31312**

Dear Ms Barlett,

The proposed 250-foot telecommunications facility to be located at 2727 Riverside Dr, Effingham, Georgia is strategically located to enable Verizon to provide reliable voice and broadband data coverage to Effingham County. As indicated on the accompanying exhibits, the proposed facility will greatly improve wireless service to the nearby residential and commercial areas.

The primary objective of this site is to provide significant high-speed voice and broadband coverage improvements along Riverside Dr, Old Louisville Rd, George Hurst Rd, Harry Lindsay Rd, Newton Rd, Lewis Rd, Old Flat Ford Rd, Old River Rd S, as well as other locations within the desired service area. Current coverage in this area is mostly limited to vehicular or outdoor usage. Indoor-coverage is marginal. The proposed site will allow Verizon to improve the reliability of service to businesses and customers residing in these areas.

The proposed tower height is the minimum height needed to properly provide improved broadband coverage and accommodate anticipated future growth for wireless demand in this area. The proposed facility will allow Verizon to mount cellular antennas at a height of 250 feet above ground level (315 feet above mean sea level), which is critical to achieve quality coverage and indoor-level service quality in this portion of Effingham County. Standard sector frames for antennas will be used for each wireless tenant which also maximizes collocation opportunities, and more easily allows the addition of new FCC spectrum and wireless products and services as technology improves. The location of this site will also enable Verizon to provide additional calling and data resources that might be needed in the event of an emergency.

Verizon made every attempt to utilize any existing structures to meet the network design goals. There are no known, registered antenna structures or collocation opportunities within the targeted search area that would enable Verizon to achieve the primary engineering objectives.

Verizon provides Commercial Mobile Radio Services ("CMRS") under licenses granted by the Federal Communications Commission ("FCC"). Pursuant to these licenses, Verizon is authorized to provide CMRS and operate a CMRS network in many geographic areas throughout the nation, including Effingham County, GA. The FCC exclusively regulates all technical aspects of Verizon's operations and network and preempts all state and local regulation of radio frequency transmissions. The FCC rules protect co-channel and adjacent licensees against harmful interference. The proposed facility will be designed and built in compliance with all applicable FCC requirements. The following points cover Verizon's practices pertinent to complying with the FCC requirements:

1. Verizon locates its transmitting antenna(s) in order to maximize vertical and horizontal separation from other operator's systems to minimize interference potential.
2. All operating hardware at the site is type-accepted by the FCC as far as emission levels within our licensed frequency band in addition to spurious emissions outside of our frequency band.
3. The power levels generated by the base station hardware and corresponding effective radiated power (ERP) from the transmit antenna(s) are within the limitations specified by Part 22 (for cellular), Part 24 (for PCS), or Part 101 (for microwave) of the Commission's Rules.
4. Intermodulation studies are prepared and analyzed considering all other wireless carriers on our tower to ensure no mixing of frequencies will create harmful interference to or from our wireless system.

The FCC has established safety rules relating to potential RF exposure from cell sites. The rules are codified at 47 C.F.R § 1.1310. The FCC provides guidance on how to ensure compliance with its rules in the FCC Office of Engineering and Technology Bulletin 65, available at:

https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf

The FCC developed the RF standards, known as Maximum Permissible Exposure (MPE) limits, in consultation with numerous other federal agencies, including the Environmental Protection Agency, the Food and Drug Administration, and the Occupational Safety and Health Administration. The FCC provides information about the safety of radio frequency (RF) emissions from cell towers on its website at: <https://www.fcc.gov/engineering-technology/electromagnetic-compatibility-division/radio-frequency-safety/faq/rf-safety>.

Please refer to the FCC Office of Engineering and Technology Bulletin 65 and the attached Verizon RF Brochure for information on RF exposure guidelines, RF safety, and landlord responsibilities.

For the above-mentioned reasons, the Verizon Network Team respectfully requests approval of the Special Use permit application to allow the proposed 250-foot telecommunications facility, which will allow Verizon to continue to provide the most reliable wireless network to the residents and businesses of Effingham County, GA. Thank you for your thoughtful consideration of this request.

Sincerely,

Kamran Naqvi
Radio Frequency Engineer – Alpharetta, GA
Verizon

