



Project: 1078 Harbour Island Road – accessory building construction
Date: December 17, 2021

This review is for an application to construct an additional building (accessory structure) on the existing single family lot at the above address. The property is within the Harbour Island Subdivision 1, Lot 23.

The subject property is 54,908 SF (1.26 acres) and contains a two story single family home residence. The residence is a canal front property. The canal adjoins Little Lake Conway.

The applicant proposes to construct an accessory structure on the same lot. The structure includes approximately 1,724 SF of new impervious area to the lot. The structure is not shown to be directly connected to the existing home.

Per the information received for review, this accessory structure will be for living quarters and will not have a full kitchen or kitchenette. Per the City Zoning Code, Chapter 134, Section 134-1, definitions, this appears to be classified as a Guest Cottage. A Guest Cottage is defined as *living quarters within a detached accessory building located on the same lot or parcel of land as the principal building, to be used exclusively for housing members of the family occupying the principal building and their nonpaying guests, such quarters shall have no kitchen facilities and shall not be rented or otherwise used as a separate dwelling.*

The City Zoning code has a reference for cottages and in Section 134-220, Special Exceptions, paragraph c, there is a reference to guest cottages as a use that may be permitted. A Special exception application must be submitted for this use.

The accessory structure may not encroach on the side setbacks as described for the specific lot zoning. City code Section 134-483, paragraphs a, b, c, f, h and i, has additional information on the “location” of the proposed structure and maximum height.

The proposed accessory structure is greater than the minimum 5 foot setback, per Section 134-483. The proposed distance is 7'-6", which is outside the existing side yard drainage easement.

Section 134-483, (i) - The maximum height may not exceed the height of the principal structure. The height is shown on the site plan as 14'-6", which is less than the height of the home and less than the maximum of 16' for accessory structures.

The plans also proposed a 36' by 11'-8" carport. The total area of the car port is 420 SF. Per Section 134-483, (g) – detached garages shall be limited to a maximum of 600 SF.

The existing impervious area for the lot is 10,912 SF. The new total impervious area with the new addition and the changes to the driveway is approximately 12,636 SF. The total lot area is 54,908 SF. The percent impervious after construction will be approximately 23%, which is below the allowable limit of 45%.



Based on our review, the proposed accessory structure appears to meet the criteria listed in the City Code. As noted above, the code states this will need to be submitted to the City for review and then to Planning and Zoning and City Council for final approval.

Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely,
CPH, Inc.

Allen C. Lane, Jr., P.E.
Project Engineer



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 DEC 06 2021
 CITY OF EDGEWOOD

APPLICATION FOR SPECIAL EXCEPTION

Reference: City of Edgewood Code of Ordinances, Section 134-121
REQUIRED FEE: \$750.00 + Applicable Pass-Through Fees (Ordinance 2013-01)
(Please note this fee is non-refundable)

PLANNING AND ZONING MEETING DATE:	1/10/2022
CITY COUNCIL MEETING DATE:	2/15/2022

IMPORTANT: A COMPLETE application with all required attachments and ten (10) copies must be submitted to the City Clerk 30 days before the next Planning & Zoning meetings. No application shall be deemed accepted unless it is complete and paid for.

Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner.

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

- New Special Exception Request
 Amendment to Special Exception. Date special exception granted _____

Applicant's Name:	Roland J. Krantz	Owner's Name:	Anthony W. Johnson
Address:	102 Drennen Road Suite A-2, Orlando FL 32806	Address:	1078 Harbour Island Rd Orlando, FL 32809-3040
Phone Number:	407-326-2119	Phone Number:	407-496-8657
Fax:		Fax:	N/A
Email:	<u>Jim.krantz@alairhomes.com</u>	Email:	barillasjohnson@yahoo.com
Legal Description:	HARBOUR ISLAND SUB 1/131 LOT 23		
Zoned:	R-1AA		
Location:	Harbour Island		
Tract Size:	1.26 acres		
City section of the Zoning Code from which Special Exception is requested:	Residential (R-1AA). 134-220(C)(5)		





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Request:	Construction of detached dwelling approximately 1,215sqft.
Existing on Site:	Existing home approximately 4,760sqft with a screened pool and boat dock.

The applicant hereby states that the above request for Special Exception does not violate any deed restrictions on the property. **Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.**

Applicant's Signature		Date:	12/6/21
Applicant's Printed Name	Roland J. Krantz	Date:	12/6/21
Owner's Signature			
Owner's Printed Name	Anthony W. Johnson		

Office Use Only:

Received Date:	12/6/2021
Received By:	Brett Sellauro
Forwarded To:	CPT- Allen Lane
Notes:	

Please submit your completed application to City Hall via email to bmeeks@edgewood-fl.gov or to sriffle@edgewood-fl.gov, via facsimile to 407-851-7361, or hand deliver to City Hall located at 405 Bagshaw Way. For additional questions, please contact City Hall at 407-851-2920.

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SPECIAL EXCEPTION APPLICATION

1. Provide the legal description (include street address) .
2. If you are not the owner of the subject property, provide written acknowledgement and authorization from property owner that they do not object to the use requested in the Special Exception Application, and give their authorization for the use if approved.
3. SURROUNDING ZONING DESIGNATIONS:

DIRECTION	ZONING
NORTH	R1-A
SOUTH	R-1A
EAST	R-1AA
WEST	ECD

4. Describe the proposed use you; including conditions on the use, hours of operation, required parking and loading spaces, and number of employees. If proposed use is a training/vocational school, provide the number of anticipated students/clients.
5. **If applicable, please provide:**
 - Dimensions of the property (see attached example)
 - Existing and proposed location of structure(s) on the property
 - Vehicular access ways, driveways, circulation areas (include widths)
 - Off-street parking and loading areas
 - Refuse and service areas
 - Required setbacks; landscape or buffer areas; and other open spaces
 - Existing and proposed adjacent rights-of-way, showing widths and centerlines
 - Distances between buildings
 - Interior and terminal landscape islands All existing and proposed sidewalks.
 - Landscape plan

Revised 3/27/2020



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CITY OF EDGEWOOD

Orange County Division of Building Safety

201 South Rosalind Avenue

Post Office Box 2687 • Orlando, Florida 32802-2687

Phone: 407-836-5550

www.ocfl.net/building

10 / 25 / 2021

Date

Building Permit Number

APPLICATION FOR BUILDING/LAND USE PERMIT*

* All Applications Must Comply with Concurrency Requirements

WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

PLEASE PRINT:

The undersigned hereby applies for a permit to make building improvements as indicated below on property.

Project Address: 1078 Harbour Island Road (Must match address on plans)

Suite/Unit #: Bldg #: City: Orlando Zip Code: 32809

Subdivision Name:

Parcel ID Number: Section Township Range Subdivision Block Lot (15 Digit Parcel ID Number & Legal Description must be on plans)

Owner Name: Anthony & Dennis Johnson Phone No.: (407) 496 - 8657

Owner Address: 1078 Harbour Island Road City: Orlando State: FL Zip Code: 32809

Tenant Name: Phone No.: () -

Nature of Business:

Architect Name: License No.: Phone No.: () -

Civil Engineer Name: License No.: Phone No.: () -

Nature of Proposed Improvements: New construction on existing property. PROPERTY WILL NOT INCLUDE FULL RENTALS!

FUTURE USE OF PROPERTY WILL BE AN OFFICE SPACE FOR RESIDENCE.

Demolition Permit #: Site Work Permit #:

PROPERTY ON SEWER or SEPTIC

Permit valuation greater than \$2500 requires a notarized Page 2. and Notice of Commencement prior to the first inspection.

Is Notice of Commencement Recorded? Yes No

If there were comments on this project, how would you like to receive them?

Pick them up E-Mail (Customer shall access Web Page)

Is proposed work in response to a Notice of Code Violation written by an Orange County Inspector? Yes No

Is proposed work in response to an unsafe abatement notice? Yes No

Has project had a pre-review? Yes No If Yes, Commercial Plans Examiner(s):

Is building fire sprinklered? Yes No

Detached Garage? Yes No Valuation for Detached Garage Only: \$

Required work: Plumbing Electrical Mechanical Gas Roofing None

Alterations Only:

Is this a new tenant? Yes No If yes, state previous use:

Intended use of space:

List use of adjoining tenant space(s): Side: Above:

Rear: Side: Below:

Permit Number

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CITY OF EDGEWOOD

Permit Application Information - Page Two

Permit Number

Owner's Name Anthony & Dennis Johnson

Owner's Address 1078 Harbour Island Road

Fee Simple Titleholder's Name (If other than owner's) _____

Fee Simple Titleholder's Address (If other than owner's) _____

City _____ State _____ Zip Code _____

Contractor's Name Roland James Krantz

Contractor's Address 102 Drennen Road

City Orlando State FL Zip Code 32806

Job Name _____

Job Address 1078 Harbour Island Road SUITE/UNIT _____

City Orlando State _____ Zip Code 32809

Bonding Company Name _____

Bonding Company Address _____

City _____ State _____ Zip Code _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL, PLUMBING, GAS, MECHANICAL, ROOFING, SIGNS, POOLS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning. _____

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A Notice of Commencement must be recorded and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

Owner Signature [Signature]

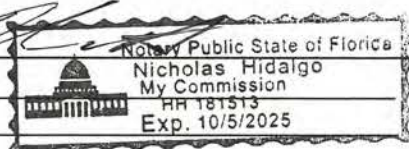
The foregoing instrument was acknowledged before me this 10/27/21

by DENISE JOHNSON who is personally known to me and who produced I.D.

_____ as identification and who did not take an oath.

Notary as to Owner

Commission No. _____
State of FL. County of _____



Contractor Signature [Signature]

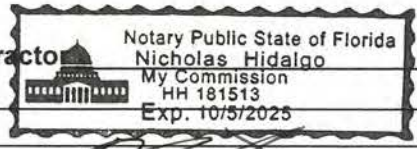
The foregoing instrument was acknowledged before me this 10/27/21

by ROLAND KRANTZ who is personally known to me and who produced I.D.

_____ as identification and who did not take an oath.

Notary as to Contractor

Commission No. _____
State of FL. County of _____



RECEIVED

11/9/2021

CITY OF EDGEWOOD

JOHNSON RESIDENCE

ORLANDO, FL.



SQUARE FOOTAGE TABULATIONS	
EXISTING SQUARE FOOTAGE (CONDITIONED):	3,017
EXISTING SQUARE FOOTAGE (NON-CONDITIONED):	1,743
EXISTING TOTAL GROSS:	4,760
NEW ADU SQUARE FOOTAGE (CONDITIONED):	699
NEW ADA SQUARE FOOTAGE (NON-CONDITIONED):	516
NEW TOTAL ADU GROSS:	1,215
NEW ADU FRONT COVERED PORCH SF:	151
NEW ADU REAR COVERED PORCH SF:	291
TOTAL SITE CONDITIONED SF EXISTING + ADU:	3,716
TOTAL SITE NON-CONDITIONED SF EXISTING + ADU:	2,259
TOTAL SITE GROSS SF EXISTING + ADU:	5,975



ARCHITECT:
 studio+
 AA26003729
 EDWARD JOE KNOUS, RA
 2733 DONALDSON DRIVE
 ORLANDO, FL 32812
 407-590-0505
 JOEKNOUS@STUDIOONEPLUS.COM

SEAL



Edward Joe
 Knous 97048
 2021.10.08
 16:38:16-04'00"

NAME: EDWARD JOE KNOUS
 FL REG. NO.: AR97048

CONSULTANTS



JOHNSON RESIDENCE
 1078 HARBOUR ISLAND ROAD
 ORLANDO, FL. 32809
 AHJ: EDGEWOOD

PROJECT

LOCATION

DATE ISSUED FOR
 10/08/2021 PERMITTING

JOB NUMBER: 20-079

PROJECT MANAGER: --

DRAWN BY: J. KNOUS

APPROVED BY: J. KNOUS

LAST FILED:
 FL, 08 Oct 2021
 4:26pm

SHEET TITLE:

COVER

SHEET NUMBER: REV

A1



GENERAL NOTES

- 1. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION (CITY OF EDGEWOOD) OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. CONTRACTORS SHALL VERIFY ALL CONDITIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. CONTRACTORS SHALL REPORT ALL DISCREPANCIES IN THE DRAWING AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
3. INTENT OF PLANS ARE FOR PERMITTING APPROVAL. CONTRACTORS SHALL INCLUDE ALL NECESSARY ITEMS, EQUIPMENT, AND ACCESSORIES REQUIRED TO COMPLETE THEIR SCOPE OF WORK THOUGH THEY MAY NOT BE INDICATED ON THESE PLANS.
4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
5. CONTRACTORS SHALL APPLY FOR THEIR TRADE PERMITS IF NECESSARY, PAY ALL PERMITTING FEES, AND ARRANGE ALL INSPECTIONS RELATED TO THEIR TRADE. OWNER SHALL BE NOTIFIED IN ADVANCE PRIOR TO ARRANGING INSPECTIONS.
6. ALL WIND LOAD CALCULATIONS AND DESIGN CRITERIA ARE BASED ON AN "ENCLOSED" STRUCTURE. ANY BREACH OR PENETRATION, SUCH AS WINDOWS, DOORS, ETC. DURING A STORM EVENT WILL COMPROMISE STRUCTURAL INTEGRITY.
7. ALL EXTERIOR WALLS ARE SHEAR WALLS AND MUST TRANSFER LOADS TO FOUNDATION.
8. TRUSSES SHALL BE DESIGNED BY PRE-ENGINEERED TRUSS COMPANY AND SUBMITTED TO AHJ (CITY OF EDGEWOOD).
9. REFER TO TUB/SHOWER MANUFACTURER INFORMATION FOR DRAIN LOCATION PER OWNER'S FIXTURE SELECTION.
10. ALL PLUMBING, GAS, MECHANICAL, AND ELECTRICAL SHALL COMPLY WITH FLORIDA BUILDING CODE..
11. USE CEMENTIOUS BACKER BOARD AT ALL WET WALLS UNLESS NOTED OTHERWISE.
12. PROVIDE BLOCKING IN WALLS WHERE REQUIRED FOR PLUMBING FIXTURES AND FOR MILLWORK SECUREMENT.

SITE WORK

- 1. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A 2,000 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK AND VERIFY SOIL IS CAPABLE OF SUPPORTING DESIGN LOAD OF 2,000 PSF.
2. PROVIDE GROUND POISONING PER STATE OF FLORIDA AND HRS, CHAPTER 100-55, F.A.C., UNDER ENTIRE SURFACE OF LIVING AREA FLOOR AND ON BOTH SIDES OF FOUNDATION WALL. REFER TO CHEMICAL TERMITES TREATMENT NOTES FOR OPTIONAL APPLICATIONS.

FOUNDATION INSPECTION

- 1. A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS TO USE. OR, ALL PROPERTY MARKERS SHALL BE EXPOSED AND A STRING STRETCHED FROM MAKER TO MARKER TO VERIFY REQUIRED SETBACKS.

FRAMING INSPECTION

- 1. ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.

CHEMICAL TERMITES TREATMENT

- 1. TERMITES TREATING AND PROTECTION TO MEET THE REQUIREMENT OF SECTION R-318 OF THE FLORIDA BUILDING CODE, RESIDENTIAL.
2. R-318 TERMITES PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITES PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. UPON COMPLETION OF THE APPLICATION OF THE TERMITES PROTECTION TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
3. USE REGISTERED TERMITICIDES OR OTHER APPROVED METHODS.
4. SOIL TREATMENTS FOR SUBTERRANEAN TERMITES:
4.1. PROTECTION TO BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE.
4.2. DISTURBED SOIL TREATMENT MUST BE RETREATED.
4.3. TREATMENT SHALL BE PROTECTED FROM RAINFALL BY 6 MIL VAPOR BARRIERS. IF RAINFALL OCCURS BEFORE BARRIERS PLACEMENT, SOIL MUST BE RETREATED.
5. PROTECTION SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-SLAB GRADE FLOORS SHALL NOT BE CELLULOSE-CONTAINING MATERIALS AND RECEIVE AN APPLICATION OF TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.
6. PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED.
7. OPTIONAL BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" AFF. OWNER TO VERIFY METHOD OF PROTECTION.
8. METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING AHJ. "LIQUID BORATE OR BOR-A-COR" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.

CARPENTRY

- 1. CUTTING OF WOOD STRUCTURAL MEMBERS TO BE IN ACCORDANCE TO F.B.C.
2. ROOF SHEATHING SHALL BE APA RATED SHEATHING. SEE ROOF AND INSULATION SECTION.
3. INTERIOR NON-BEARING WOOD PARTITIONS SHALL BE 2X4 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED WITH A SINGLE P.T. SILL AND TOP PLATE BEARING WALLS AS INDICATED ON DRAWINGS.
4. LUMBER IN CONTACT WITH MASONRY AND SOIL TO BE PRESSURE TREATED.
5. ROUGH HARDWARE FOR EXTERIOR USE SHALL BE GALVANIZED.
6. ROOF TRUSSES AND ROOF FRAMING MEMBERS SHALL BE SECURED WITH GALVANIZED METAL HURRICANE ANCHOR STRAPS AS INDICATED ON DRAWINGS. ALL PRODUCTS SHALL HAVE APPROVED FLORIDA PRODUCT APPROVAL.
7. FASCIA TO BE WOOD INTEGRATED WITH SOFFIT.
8. SOFFITS SHALL BE TONGUE AND GROVE WOOD.
9. PROVIDE DRAFTSTOPPING PER REQUIREMENTS OF F.B.C. R302.12.

ROOFING AND INSULATION

- 1. PROVIDE MODIFIED BITUMEN ROOF INCLUDING BASE SHEET AND CAP PLY MEMBRANE AS SHOWN ON PLAN.
2. ALL ROOF SHEATHING TO BE 1/2" APA RATED SHEATHING WITH EDGE CLIPS 24" O.C. MAX. NO EDGE CLIPS AT ROOF TRUSS.
3. PROVIDE FLASHING AT ALL VERTICAL WALL TO ROOF INTERSECTIONS AND ALUMINUM DRIP EDGES AT ROOF PERIMETER. ALL IN ACCORDANCE WITH ASTM D255 OR ASTM D3462.
4. R-38 BLOWN FIBERGLASS OVER LIVING AREAS (ATTIC) WITH BATTS AT VAULT OR INACCESSIBLE AREAS.
5. R-13 MIN. FIBERGLASS BATTS AT ALL EXTERIOR FRAME WALLS.
6. R-6 MIN. AT EXTERIOR BLOCK MASS WALLS.
7. PROVIDE ALTERNATE FOR SPRAY FOAM AND/OR BLOCK INJECTION.
8. NO PLUMBING STACKS OR VENT PENETRATIONS ON FRONT SIDE OF ROOF.
9. TEMPORARY BRACING OF ROOF TRUSS SHALL BE INSTALLED PER BCSI RECOMMENDATIONS AND SHALL BE UTILIZED AS THE PERMANENT BRACING FOR THE ROOF SYSTEM.

DOORS AND WINDOWS

- 1. FRONT ENTRY DOOR TO BE FIBERGLASS EXTERIOR DOOR OR APPROVED EQ.
2. INTERIOR DOORS TO BE 1-3/8". STYLE TO BE SELECTED BY OWNER.
3. BARN DOOR TO BE 42" IN ORDER FOR DOOR TO LAP OVER OPENING. PROVIDE DRYWALL SOFFIT AT HEADER TO PROVIDE SAME AMOUNT OF JAMB LAP.
4. SLIDING GLASS DOOR TO BE ALUMINUM OR VINYL FRAMED INSULATED SLIDING GLASS DOORS. GLASS SHALL BE TEMPERED AND HAVE AN INTEGRAL LOCK. PROVIDE MILL FINISH TRACK.
5. WINDOWS TO BE ALUMINUM OR VINYL FRAME, INSULATED, ARGON FILLED WINDOWS. PROVIDE TEMPERED WINDOWS AS REQUIRED PER F.B.C. ALL SINGLE HUNG WINDOWS SHALL HAVE INTEGRAL LOCK. PROVIDE MILL FINISH TRACKS.
6. NO GARAGE DOORS ARE PART OF THIS PROJECT BUT CARPORT OPENINGS SHALL BE SIZED FOR FUTURE GARAGE DOORS.
7. PROVIDE CONTINUOUS BED OF SEALANT UNDER EXTERIOR DOOR THRESHOLDS AT AT DOORS, WINDOWS, AND OTHER AREAS AS REQUIRED. PROVIDE NECESSARY BACKER ROD PRIOR TO INSTALLATION OF ANY SEALANT.
8. ALL WINDOW AND DOOR FRAME FINISHES SHALL BE SELECTED BY OWNER. ANY DAMAGE TO FINISH SHALL BE FIXED IN FIELD.
9. ALL DOORS AND WINDOWS SHALL BE INSTALLED AND SECURED PER MANUFACTURER'S FLORIDA PRODUCT APPROVAL NOTICE OF ACCEPTANCE.

ELECTRICAL

- 1. SEE ELECTRICAL DRAWING FOR ALL ELECTRICAL NOTES.

HVAC

- 1. AIR CONDITION CONTRACTOR TO PROVIDE ALL PERMITTING DOCUMENTS INCLUDING COMPLETE FLORIDA MODEL ENERGY CODE FORMS PRIOR TO FABRICATION AND INSTALLATION.
2. PROVIDE CENTRAL AIR CONDITIONING AND HEATING SYSTEM.
3. AIR CONDITION CONTRACTOR SHALL VERIFY ALL AHU/COMP LOCATIONS PER MANUFACTURER RECOMMENDATIONS AND LOCAL BUILDING CODES WITH REGARD TO SPACE REQUIREMENTS FOR SERVICE AND OPERATION.
4. DUCT WORK TO BE R-6 FIBERGLASS INSULATED AS REQUIRED WITH SPLITTER DAMPERS AND TURNING VANES.
5. PROVIDE SUPPLY DUCTS TO ALL INHABITABLE SPACES AND WALK-IN CLOSETS.
6. INSULATE REFRIGERATION LINES WITH 1" AP ARMAFLEX RUBBER INSULATION TUBE WITH SHIELD OR EQUAL.
7. COORDINATE CONDENSATE DRAIN WITH FOUNDATION INSTALLATION.
8. SET ALL CONDENSING UNITS ON HOUSEKEEPING PAD WITH MINIMUM 18" CLEARANCE ON ALL SIDES. SECURE UNIT TO PAD WITH "L" BRACKETS AND FASTENERS.
9. PROVIDE SECURITY DRAIN UNDER ALL HORIZONTAL APPLICATION AIR HANDLERS AND/OR EVAPORATION COILS. PANS MUST BE 2" DEEP, GALVANIZED NON-INSULATED.
10. SECURITY DRAIN PANS MUST HAVE AN AUXILIARY LINE TERMINATED TO SEWER WITH MECHANICAL FLOAT SWITCH.
11. SUPPLY GRILLES WITH ADJUSTABLE DIFFUSER FACE AND WHITE FINISH.
12. PROVIDE ONE DIGITAL THERMOSTAT PER SYSTEM.
13. PROVIDE MECHANICAL VENTILATION SYSTEM AT ALL BATHROOMS. THE MINIMUM VENTILATION SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OF 26 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. VENTILATION AIR EXHAUSTED FROM THE SPACE SHALL BE DIRECTED TO THE OUTSIDE.

FINISHES

- 1. WOOD TONGUE AND GROVE WALL SIDING AND SOFFIT FINISH.
2. PROVIDE 5/8" TYPE X DRYWALL TO GARAGE CEILING.
3. INTERIOR WALLS SHALL BE 1/2" GYPSUM. FINISH AS SELECTED BY OWNER.
4. WET WALLS SHALL BE 1/2" MOISTURE RESISTANT.
5. INTERIOR CEILINGS TO BE 1/2" SAG RESISTANT DRYWALL CEILING BOARD OR 5/8" DRYWALL.
5. TILE WALLS SHALL BE 1/2" CEMENT BOARD OR APPROVED EQUAL. APPLY LIQUID APPLIED WATERPROOFING SYSTEM ON ALL CEMENT BOARD PRIOR TO INSTALLING TILE; REDGARD OR APPROVED EQ. WITH REINFORCED FABRIC.

PLUMBING NOTES

- 1. SANITARY LINES SHALL BE CAST IRON OR PVC SCHEDULE 40 AS APPROVED BY THE BUILDING OFFICIAL.
2. WATER SUPPLY LINES SHALL BE COPPER, TYPE "L", OR CPVC AS APPROVED BY LOCAL BUILDING CODES.
3. PROVIDE HOSE BIBBES PER DIRECTION OF OWNER AND AS IDENTIFIED ON PLANS.
4. ALL CLEANOUTS SHALL BE FLUSH WITH GRADE.
5. GANG ALL STACKS TO FACILITATE THE MINIMUM NUMBER OF ROOF PENETRATIONS AS POSSIBLE.
6. PLUMBER TO DIVERT ALL ROOF VENTS TO BACK SIDE OF ROOF.
7. SIZE AND LOCATION OF CLEANOUTS SHALL CONFORM TO FLORIDA BUILDING CODE, RESIDENTIAL.
8. FIXTURE SUPPLY SIZES TO CONFIRM WITH FLORIDA BUILDING CODE, RESIDENTIAL.
9. ALL WATER CLOSETS SHALL BE MAXIMUM FLUSH CAPACITY ALLOWED BY BUILDING CODE.
10. PROVIDE ALL SHOWER VALVES WITH BOTH FLOW AND TEMPERATURE CONTROLS. PIPES SHALL BE INSULATED AS REQUIRED.

CODES AND REFERENCES

FLORIDA BUILDING CODE, RESIDENTIAL SEVENTH EDITION (2020)
ASCE-7
NFPA 72
CONSTRUCTION TYPE / CLASSIFICATION:
ZONING: R-1AA PER EDGEWOOD, FL. ZONING MAP
OCCUPANCY: R-3 PER FBC
CONSTRUCTION TYPE: V; UNPROTECTED PER FBC
MAX. HEIGHT: 35 FEET
DESIGN HEIGHT: 14'-6" T.O. RIDGE

CONCRETE

- 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 PSI.
2. HORIZONTAL FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH A 2'-0" LAP PROVIDED.
3. CONCRETE COVER MIN. 3" WHEN EXPOSED TO EARTH OR 1 1/2" TO FORM U.N.O.
4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 / A185M-07. WWM SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 6". POLYPROPYLENE FIBERS FOR SLABS ON GRADE TO BE MIN 1.5 LBS OF FIBER PER CUBIC YARD.
5. ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST, SCALE, AND OIL AND SHALL MEET ASTM A615 / A185M-04A, GRADE 40. REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRE-CAST CONCRETE PADS, TOP REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS AND FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSS-REINFORCING TIED TO FOOTING REINFORCING.
6. IF TIE ANCHORS ARE USED, SIMPSON HIGH STRENGTH EPOXY TIE ANCHORING ADHESIVE SHALL BE USED.
7. ALL INTERIOR SLAB FINISHES SHALL BE STEEL TROWEL FINISH.
8. ALL EXTERIOR SLAB FINISHES SHALL BE MEDIUM BROOM FINISH.

MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM C90-0601, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE S, CONFORMING TO ASTM C270-07.
3. COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 PSI SLUMP 8" TO 11".
4. VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH THE CELLS FILLED WITH COARSE GROUT AND GRADE 40 STEEL.
5. VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 192 DIA OR 10 FT WHICHEVER IS LESS. REINFORCING SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL WITH MIN. 1/2" CLEARANCE TO INSIDE FACE.
6. REINFORCING STEEL CAN BE LAPPED. LAP SHALL BE 25".
7. TEMPORARY BRACING AND SHORING OF WALL TO PROVIDE STABILITY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. DO NOT APPLY UNIFORM LOADS TO MASONRY WALLS FOR (3) DAYS AND NO CONCENTRATED LOADS FOR (7) DAYS.
9. DURING CONCRETE POURS, THE CONTRACTOR SHALL ADEQUATELY VIBRATE THE FILLED CELL WITH EITHER RODDING OR PENCIL VIBRATOR TO ENSURE PROPER CONCRETE CONSOLIDATION.

WOOD

- 1. ALL EXTERIOR WOOD STUD WALLS, BEARING WALLS, SHEAR WALLS, AND MISC. STRUCTURAL WOOD FRAMING MEMBERS SHALL BE EITHER #1 SYP OR #2 SPF.
2. ALL LUMBER SHALL HAVE MOISTURE CONTENT OF 19% OR LESS.
3. ANY WOOD FRAME INTERIOR BEARING WALL STUDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1" DIA. SHALL HAVE STUD PROTECTION SHIELDS. ALL HOLES OVER 1" IN DIA. FOR PLUMBING LINES, ETC. SHALL BE REPAIRED WITH SIMPSON HSS2 STUD SHOES, TYP. U.N.O.
4. VERIFY THAT THE CHEMICALS USED TO TREAT WOOD IS NOT CORROSIVE TO STEEL. FOR EXAMPLE, ACQ-C, ACQ-D, CBA-A OR CA-B REQUIRED HOT-DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS.
5. ALL EXPOSED WOOD OR WOOD IN CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE TREATED.
6. UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY.
7. PRESSURE TREATED LUMBER SHALL BE IN ACCORDANCE WITH AWP A1.
8. SHEATHING REQUIREMENTS:
8.1. ROOF DECK: 1/2" PLYWOOD C-C/C-D, EXTERIOR OR OSB. OWNER INTENDS TO UTILIZE ZIP SYSTEM BY HUBER ENGINEERED WOODS.
8.2. WALL SHEATHING: 7/16" PLYWOOD C-C/C-D, EXTERIOR OR OSB. OWNER INTENDS TO UTILIZE ZIP SYSTEM BY HUBER ENGINEERED WOODS.
9. MINIMUM OF 3 PLY STUD COLUMNS TO BE INSTALLED AT BEAM OR GIRDER TRUSS BEARING LOCATIONS.
10. SYP #1 GRADE OR BETTER FASTEN PLYS TOGETHER USING 16d COMMON NAILS 6" O.C. AS EACH MEMBER IS APPLIED.
11. 4 PLY AND/OR LARGER STUD COLUMNS SHALL BE FASTENED TOGETHER AS STATED ABOVE PLUS CS16 COIL STRAPPING WRAPPED AROUND COLUMN WITH A 4" END CAP AT 16" O.C. OR 1/2" THRU BOLTS AT 24" O.C.
12. INSTALL BLOCKING IN ALL WALL STUDS OVER 8'-0" AT MID-HEIGHT, AND SHEATHING JOINT. BRACE GABLE END WALLS AT 4'-0" O.C.
13. ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
14. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG TIE CO., OR EQ. ALL NAIL HOLES SHALL BE FILLED OR AS PRESCRIBED BY THE MANUFACTURER.

DESIGN CRITERIA

ROOF LOADING:
LIVE: 20 PSF
DEAD: 17 PSF FOR SHINGLE
FLOOR LOADING:
LIVE: 40 PSF
DEAD: 15 PSF
UNINHABITABLE ATTIC:
DEAD: 20 PSF



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PROJECT LOCATION

DATE ISSUED FOR
10/08/2021 PERMITTING

JOB NUMBER: 20-079

PROJECT MANAGER: --

DRAWN BY: J. KNOUS

APPROVED BY: J. KNOUS

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NOTES

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A2



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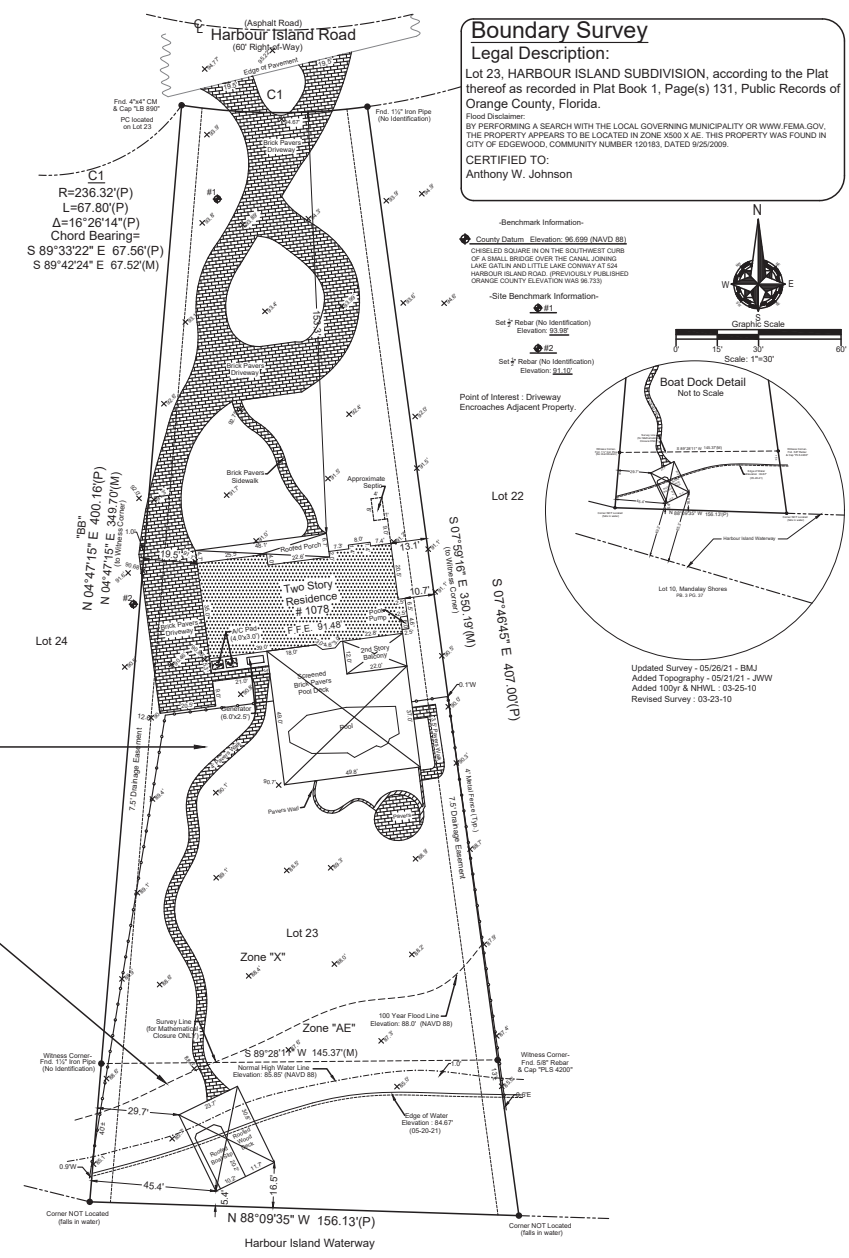
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EXISTING SITE PLAN
 SCALE: 1/32" = 1'-0"

AREA FOR NEW ADU. REMOVE PAVERS AS REQUIRED.

ALL SITE AREA TAKEOFFS ARE TAKEN TO NORMAL HIGH WATER LINE



EXISTING SITE NOTES	
1.	EXISTING LOT AREA = 54,908 SF PER ORANGE COUNTY WEBSITE
2.	ACTUAL MEASURED LOT AREA TO NORMAL HIGH WATER LINE = 38,677 SF
3.	EXISTING BUILDING PAD = 2,384 SF
4.	EXISTING POOL DECK = 1,874 SF
5.	EXISTING DRIVEWAY = 5,277 SF
6.	EXISTING WALKWAYS = 1,010 SF
7.	EXISTING PADS = 51 SF
8.	EXISTING FRONT PORCH = 316 SF
9.	EXISTING TOTAL IMPERVIOUS AREA = 10,912 SF
10.	EXISTING ISR = 28% MEASURED TO NHWL

JOB NUMBER:	20-079
PROJECT MANAGER:	--
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 EXISTING SITE PLAN

SHEET NUMBER: A3
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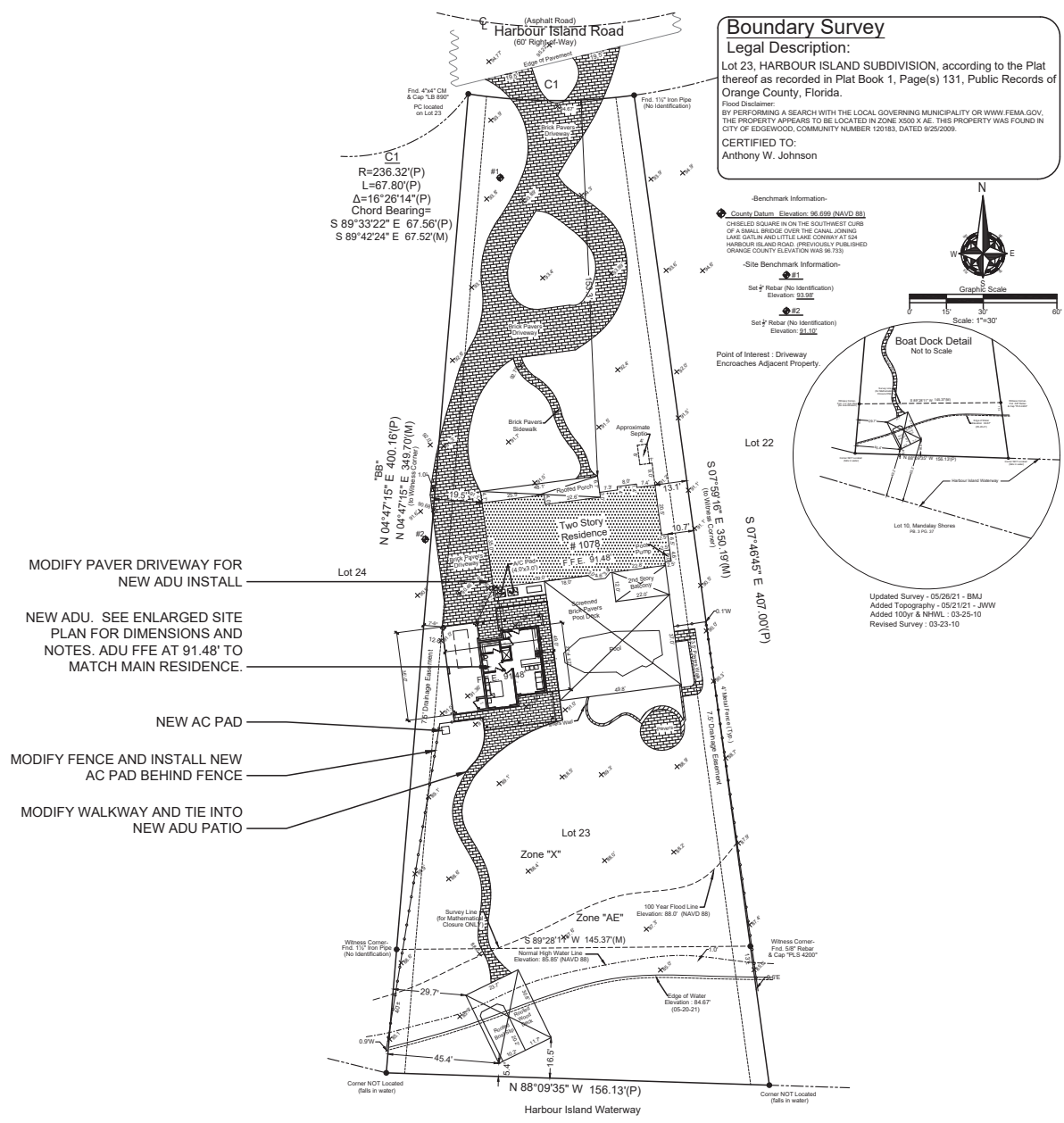
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NEW SITE PLAN
SCALE: 1/32" = 1'-0"



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- SITE NOTES**
- MIN. LOT AREA: 10,890 SF
 - ACTUAL LOT AREA: 54,908 SF
 - LOT AREA MEASURED TO NHWL: 38,677 SF
 - MIN. FLOOR AREA: 2,200 SF
 - MAX HEIGHT: 35 FEET
 - ACTUAL HEIGHT: 14'-6"
 - REAR SETBACK: 50 FEET
 - SIDE SETBACK: 10 FEET PRIMARY STRUCTURE, 5 FEET FOR ADU.
 - SEPARATION FROM BUILDINGS: 6 FEET
 - FRONT SETBACK: 30 FEET
 - EXISTING BUILDING PAD = 2,384 SF
 - EXISTING POOL DECK = 1,874 SF
 - MODIFIED DRIVEWAY = 5,199 SF
 - MODIFIED WALKWAYS = 1,588 SF
 - EXISTING PADS = 51 SF
 - EXISTING FRONT PORCH = 316 SF
 - NEW ADU AC PAD = 9 SF
 - NEW ADU BUILDING PAD = 1,215 SF
 - TOTAL IMPERVIOUS AREA = 12,636 SF
 - ISR = 0.33% MEASURED TO NHWL
 - MAX ISR: 0.55
 - PROJECT SCOPE: ADD NEW DETACHED STRUCTURE

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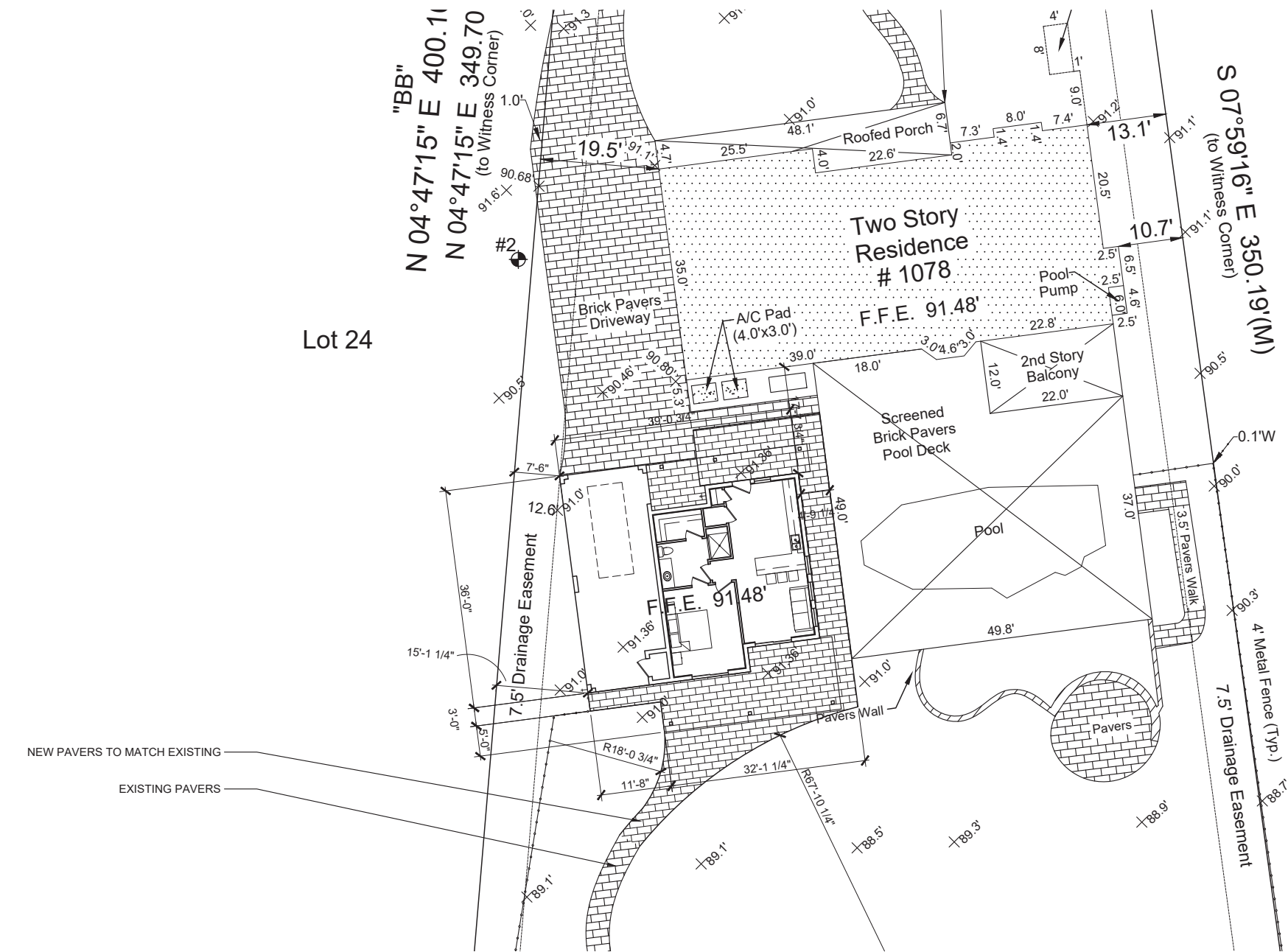
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NEW ENLARGED SITE PLAN
SCALE: 3/32" = 1'-0"



FOUNDATION NOTES

1. PROVIDE MIN. 6 MIL. APPROVED VAPOR BARRIER OVER TERMITE TREATED SOIL. ALL JOINTS TO BE LAPPED 6" AND SEALED.
2. W.W.F. 6 X 6 W1.4 X W1.4. OR FIBERMESH.
3. 4" REINFORCED 3000 PSI CONCRETE FOR SLABS.
4. 6" REINFORCED 3000 PSI CONCRETE FOR STAIRS.
5. REFER TO MANUFACTURER SPECIFICATIONS PRIOR TO POURING OR RECESSING DOOR SILLS.
6. EXTERIOR PORCHES TO SLOPE AWAY FROM HOUSE AS INDICATED ON PLANS.
7. EXTERIOR HOUSEKEEPING AC PAD TO SLOPE 1/2" PER FOOT AWAY FROM HOUSE.
8. ALL FILL TO BE FREE OF ORGANIC MATERIAL AND COHESIVE SOILS, COMPACTED IN 12" LIFTS TO 95% OF MAX. DRY DENSITY AS DETERMINED BY ASTM-1557
9. ■ INDICATES FILLED CELL WITH 3,000 PSI CONC. FROM FOUNDATION TO BEAM WITH (1) #5 REBAR TYPICAL ABOVE SLAB. HOOKED FTG. DOWELS 6" EMBEDMENT WITH 25" EXTENSION ABOVE SLAB. FILLED CELLS TO BE PLACED AT EACH CORNER, END OF INDICATED BRG. WALLS, EACH SIDE OF ALL OPENINGS, UNDER GIRDER TRUSSES (FLOOR AND ROOF), AND 48" O.C. MAX.
10. CONTROL JOINTS ARE NOT REQUIRED BY CODE BUT ARE SUGGESTED (ESPECIALLY WHEN USING FIBER REINFOR. CONCRETE OR IN EXTERIOR CONDITIONS). CONTROL JOINTS TO BE 1/8" SAW CUT A DEPTH OF 1/4 OF THE THICKNESS OF THE SLAB. FILL CUT W/ APPROVED JOINT MATERIAL.

UPLIFT CONNECTORS

1. UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS, AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. COORDINATE WITH THE TRUSS ENGINEER AND PLANS FOR THE LOCATION OF THESE WALLS.

CAST IN PLACE REINFORCED CONCRETE

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRNGTH AT 28 DAYS OF 3,000 PSI.
2. HORIZONTAL FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH A 2'-0" LAP PROVIDED.
3. CONCRETE COVER MIN. 3" WHEN EXPOSED TO EARTH OR 1 1/2" TO FORM U.N.O.
4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 / A185M-07. WWM SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 6". POLYPROPYLENE FIBERS FOR SLABS ON GRADE TO BE MIN 1.5 LBS OF FIBER PER CUBIC YARD.
5. ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST, SCALE, AND OIL AND SHALL MEET ASTM A615 / A185M-04A. REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRE-CAST CONCRETE PADS. TOP REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS AND FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSS-REINFORCING TIED TO FOOTING REINFORCING.
6. IF TIE ANCHORS ARE USED, SIMPSON HIGH STRENGTH EPOXY TIE ANCHORING ADHESIVE SHALL BE USED.

MISSED DOWELS/ANCHORS

1. MISSED J BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATION OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DEPTH AT FLOOR STEPS.
2. FOR MISSED VERT. DOWELS, DRILL A 3/4" DIA. HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STRENGTH EPOXY TIE ANCHORING ADHESIVE) MIXED PER THE MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALL THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS.
3. FOR MORTAR JOINTS INSTALLED THAT ARE LESS THAN 1/4", PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO FOOTING).
4. INTERIOR BEARING WALL: (IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS) 5/8" DIA. X 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 48" O.C. IF RESISTING UPLIFT LOADS OR 3 1/2" EMBEDMENT AT 48" O.C. IF RESISTING GRAVITY LOADS.
5. EXTERIOR BEARING WALL: (IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS) 5/8" DIA. X 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 24" O.C.



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PROJECT LOCATION

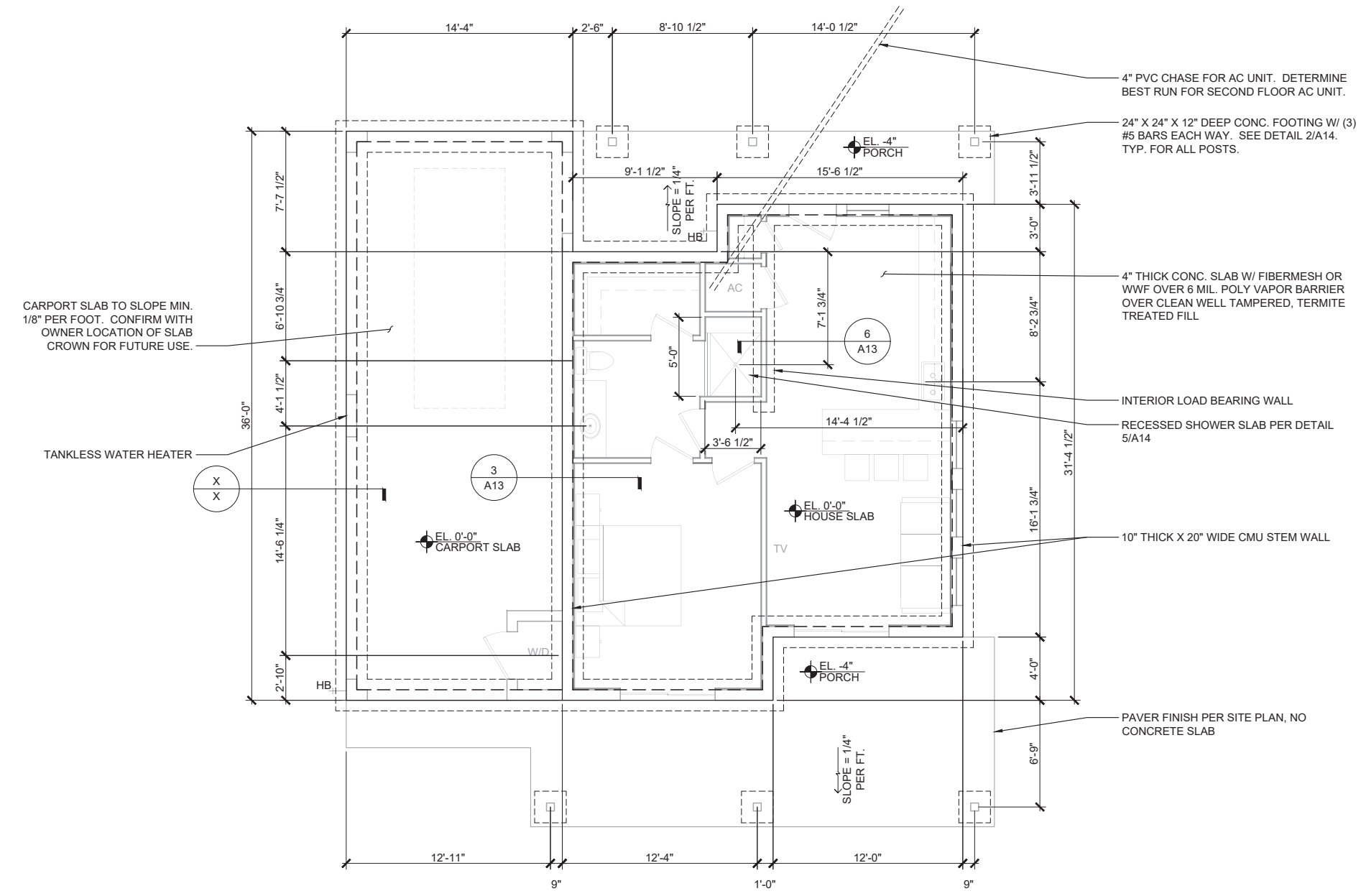
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FOUNDATION PLAN

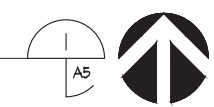
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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WIND LOAD CRITERIA			
ULTIMATE WIND SPEED:	140 MPH	ROOF:	
NOMINAL WIND SPEED:	108 MPH	ZONE 1 (FIELD)	
RISK CATEGORY:	II	10 SF	19.4 -21.0
WIND EXPOSURE:	B	20 SF	18.8 -20.0
INT. PRESSURE COEFF.	+/- 0.18 ENCLOSED	50 SF	18.1 -18.0
EXPOSURE ADJ. COEFF.	1.00	100 SF	17.6 -17.0
		ZONE 2 (EDGE)	
ZONE WIDTHS ARE 4'-0"		10 SF	19.4 -24.0
		20 SF	18.8 -23.0
OVERHANG:		50 SF	18.1 -22.0
ZONE 2	-73.3	100 SF	17.6 -21.0
ZONE 3	-73.3	ZONE 3 (CORNER)	
		10 SF	19.4 -24.0
GARAGE DOOR:		20 SF	18.8 -23.0
9 FOOT WIDE	18.5 -20.9	50 SF	18.1 -22.0
16 FOOT WIDE	17.7 -19.7	100 SF	17.6 -21.0
WALL:		WALL:	
ZONE 4 (FIELD)		ZONE 5 (CORNER)	
10 SF	21.2 -22.0	10 SF	21.2 -28.0
20 SF	20.2 -22.0	20 SF	20.2 -26.0
50 SF	19.0 -20.0	50 SF	19.0 -23.0
100 SF	18.0 -19.0	100 SF	18.0 -22.0
500 SF	15.8 -17.0	500 SF	15.8 -17.0

PLYWOOD SHEATHING NOTES
1. EXTERIOR FASTENING SCHEDULE:
1.1. NAIL SIZE: 8d
1.2. VERTICAL SPACING: 6" O.C.
1.3. HORIZONTAL SPACING: 6" O.C.
1.4. FIELD SPACING: 12" O.C.
2. EXTERIOR GABLE END FASTENING SCHEDULE:
2.1. NAIL SIZE: 8d
2.2. VERTICAL SPACING: 4" O.C.
2.3. HORIZONTAL SPACING: 4" O.C.
2.4. FIELD SPACING: 8" O.C.
3. PROVIDE BLOCKING AT ALL SHEATHING EDGES

GENERAL NOTES
1. ALL HABITABLE ROOMS TO MEET THE MINIMUM LIGHT AND VENTILATION REQUIREMENTS OF FLORIDA BUILDING CODE-RESIDENTIAL, SECTION R303.
2. ALL WALL DIMENSIONS ARE SHOWN FROM FACE OF STUD OR CMU. STUDS SHALL BE 16" O.C.
3. WALL INSULATION R-6.
4. VERIFY CABINET SIZES AND ROUGH OPENINGS WITH STUD LAYOUT.
5. COORDINATE WITH OWNER LOCATION OF ALL INTERIOR FINISHES.
6. CEILING HEIGHT VARIES.

PRECAST LINTEL SCHEDULE					
MARK	SIZE	REBAR IN LINTEL	REBAR IN KO	MASONRY OPENING	CONFIGURATION
L-1	8"x8"	#5	-	11'-8"	FILLED PRECAST
L-2	8"x8"	#5	-	5'-1 1/2"	FILLED PRECAST
L-3	8"x8"	#5	-	3'-0"	FILLED PRECAST
L-4	8"x8"	#5	-	2'-8"	FILLED PRECAST
L-5	8"x8"	#5	-	6'-0"	FILLED PRECAST
L-6	8"x8"	#5	-	8'-10"	FILLED PRECAST
L-7	8"x16"	#5	#5	15'-4"	FILLED PRECAST AND PRESTRESSED W/ FILLED KO ABOVE
NOTE: LINTEL SCHEDULE IS BASED ON WINDOW OPENING. CONTRACTOR SHALL FIELD VERIFY BLOCK COURSING AS LINTEL SIZE MAY BE REQUIRED TO BE LONGER FOR BLOCK COURSING.					

GARAGE DOOR NOTE
1. GARAGE DOORS CONNECTED TO HOUSE SHALL BE 1-3/8" SOLID WOOD DOOR, 1-3/8" SOLID OR HONEYCOMB CORE STEEL DOOR, OR 20-MINUTE RATED DOOR. PROVIDE SELF CLOSING DEVICE.

CONNECTOR SCHEDULE				
CONNECTOR	UPLIFT	ALLOWABLE LOADS (LATERAL)	FASTENERS	NOTES
A23	-	715/565 (DF/SP)	10d X 1 1/2"	
A33	-	800/330 (DF/SP)	10d	
ABU66Z	2,475	18,205 (DOWN)	0.162 X 3.5"	
H1	480	510/190 (DF/SP)	0.131	
H2.5A	565	110 (DF/SP)	0.131	
H3	400	210/170 (DF/SP)	0.131	
H6	1,230	-	0.131	
H8	780	90 (DF/SP)	0.148	
H10A	1,040	(DF/SP)	0.148 X 1 1/2"	
H10A-2	1,080	(DF/SP)	0.148 X 1 1/2"	
H10S	910	660/215 (DF/SP)	0.131 X 1 1/2"	
HETA -20	1,810	-	(9) #10	
HD3B	1,895	1,610 (SPF/HF)	5/8"	1 1/2" WOOD MEMBER THICKNESS
	2,525	2,145 (SPF/HF)	5/8"	2 1/2" WOOD MEMBER THICKNESS
	3,130	3,050 (SPF/HF)	5/8"	3" WOOD MEMBER THICKNESS
	3,130	3,050 (SPF/HF)	5/8"	3 1/2" WOOD MEMBER THICKNESS
HGA10	605	500/720 (DF/SP)	1/4" X 1.5" SDS	
HGA10KT	650	1,165/940 (DF/SP)	1/4" X 1.5" SDS	
HGUS26-2	1,725	-	SD10212	SD SCREWS
HGUS28-3	3,235	-	0.162 X 3.5"	
HTS16	1,260	-	10d	
HTS20	1,450	-	10d	
HTT4	-	3,000 (DF/SP)	10d X 1 1/2"	1 1/2" X 5 1/2" WOOD MEMBER SIZE
HUC212-2	1,135	1,805 (DF/SP)	10d	
HUS26	1,320	(DF/SP)	0.162 X 3 1/2"	
LTS12	660	(DF/SP)	0.148" X 3"	
LTS16	660	(DF/SP)	0.148" X 3"	
LUS24	435	(DF/SP)	0.148" X 3"	
MPB66Z	5,815	3,545	1/4"x2.5"	ROTATIONAL STIFFNESS: 2,405,00
MBHA 3.56/16	3,475	5,330 (DF)	10d X 1 1/2"	
MSTA24	1,640	1,455 (SPF/HF)	10d	
MSTA36	2,050	2,050 (SPF/HF)	10d	
MSTAM36	1,870	-	10d	
MTS12	1,000	-	10d X 1 1/2"	
MTS18	1,000	-	10d X 1 1/2"	
SP1	585	535 (SPF/HF)	10d	
SP2	1,065	605 (SPF/HF)	10d	
SP4	825	-	#10	
SP8	930	-	#10	
SS1.5	-	500 (COMPRESSION)	10d X 1 1/2"	
SS3	-	665 (COMPRESSION)	10d	
PSC	-	-	-	SIZE BASED ON PLYWOOD
NOTE: 1. CONTRACTOR SHALL REFER TO TRUSS PACKAGE FOR ENGINEERED UPLIFT VALUES. SIMPSON DEVICE SHALL MEET THE MINIMUM UPLIFT VALUE IDENTIFIED ON THE TRUSS PACKAGE. LARGEST UPLIFT VALUE IS 1,977 ON TRUSS #24. SIMPSON MSTAM36 STRAP.				



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AHJ: EDGEWOOD

PROJECT LOCATION

DATE ISSUED FOR
10/08/2021 PERMITTING

JOB NUMBER: 20-079
PROJECT MANAGER: --
DRAWN BY: J. KNOUS
APPROVED BY: J. KNOUS

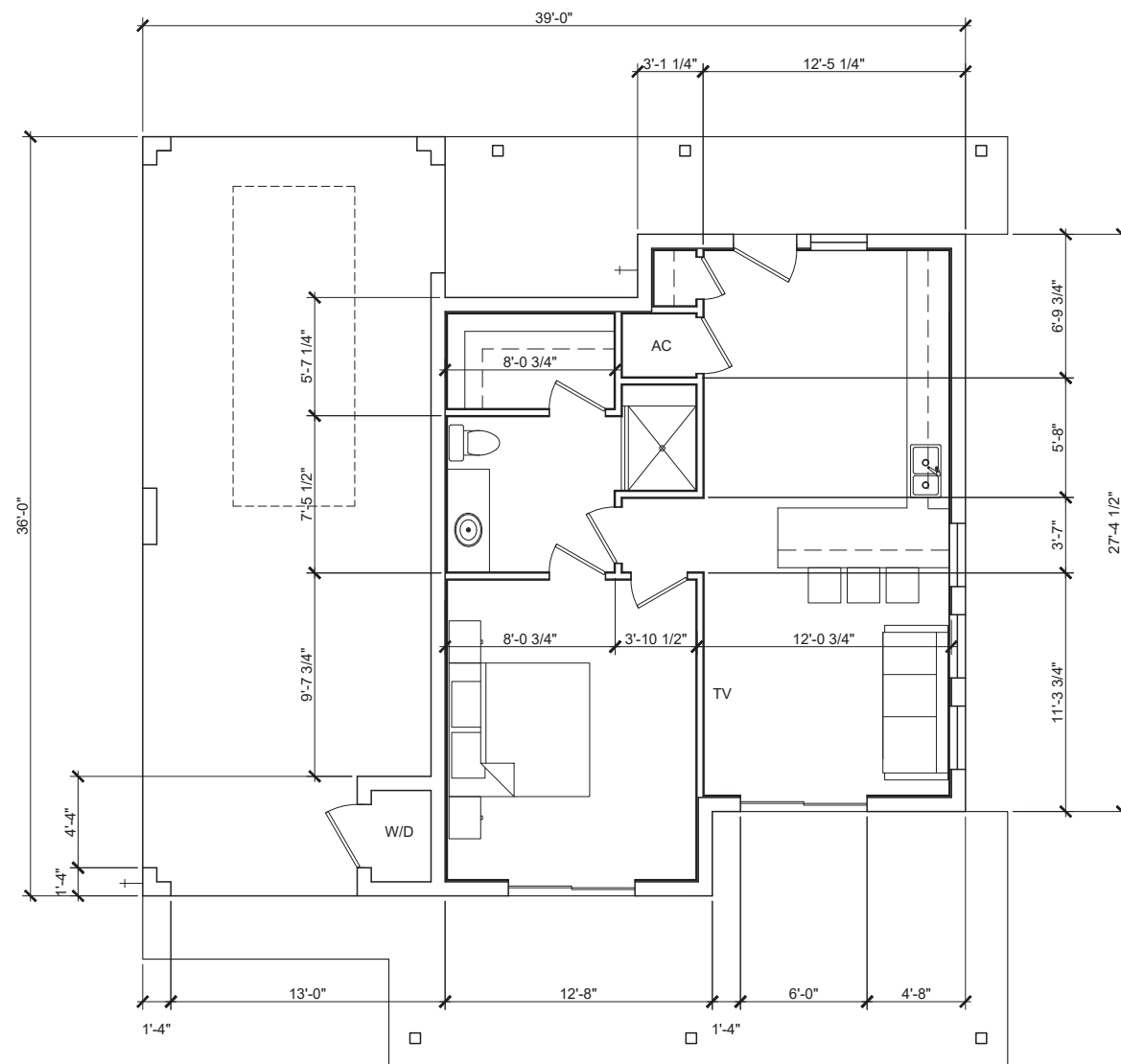
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SHEET TITLE:
FLOOR PLAN -
NOTES

SHEET NUMBER: REV. A5

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DIMENSION FLOOR PLAN
SCALE: 1/4" = 1'-0"



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PROJECT: JOHNSON RESIDENCE
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DATE: 10/08/2021
ISSUED FOR: PERMITTING

JOB NUMBER: 20-079
PROJECT MANAGER: --
DRAWN BY: J. KNOUS
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LAST FILED:
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SHEET TITLE:
DIMENSION FLOOR PLAN

SHEET NUMBER: A7.1
REV.

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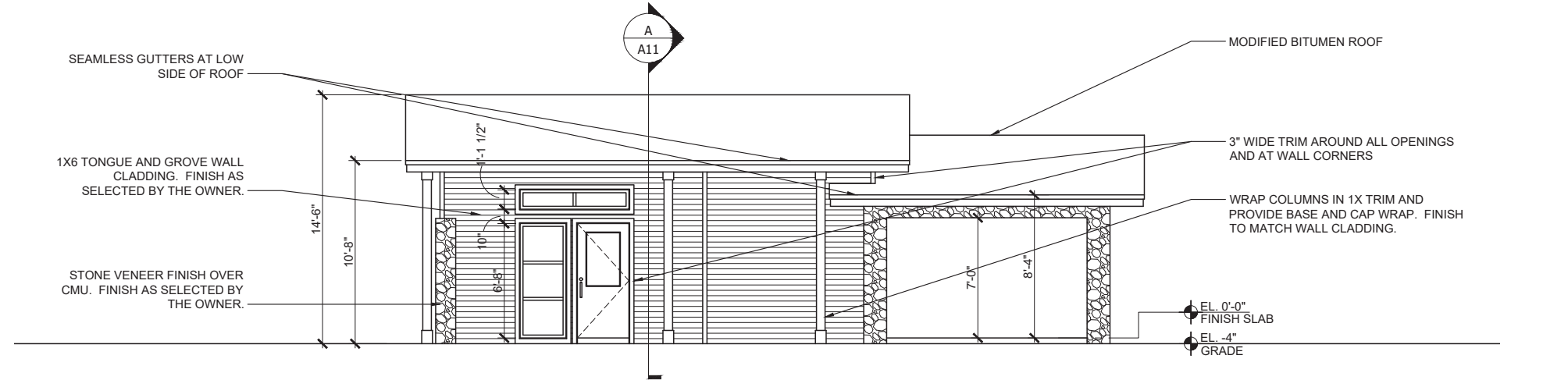
SHEET TITLE:
ELEVATIONS

SHEET NUMBER: REV.

A10



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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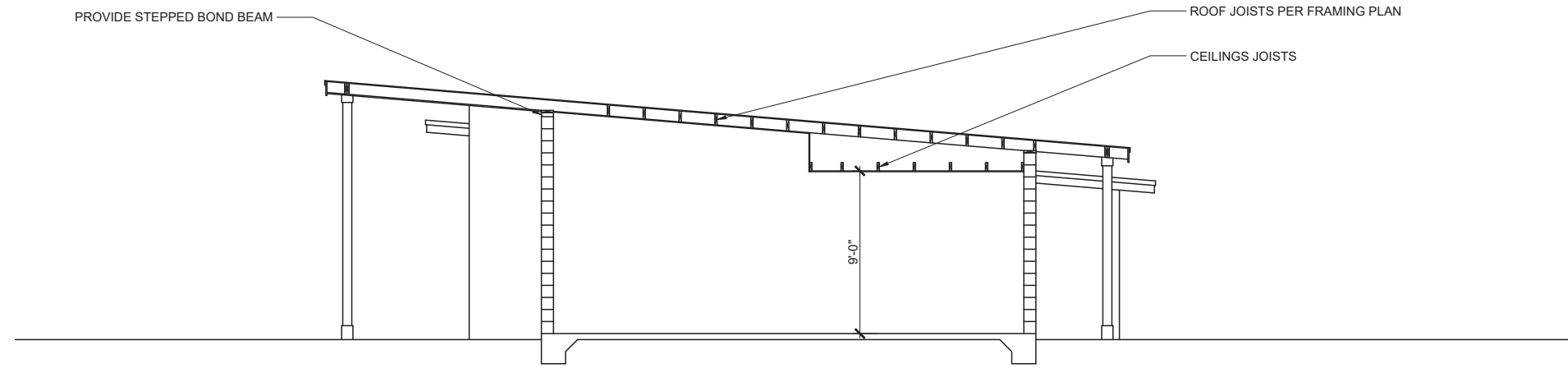
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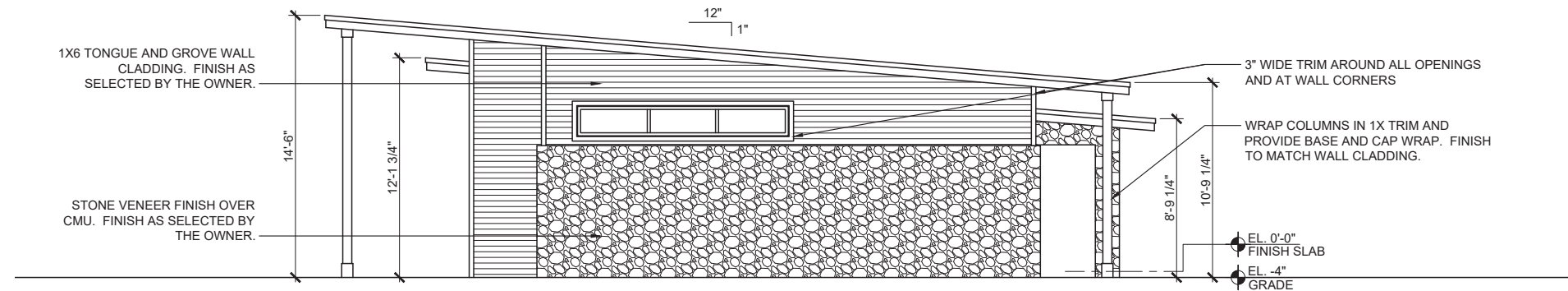
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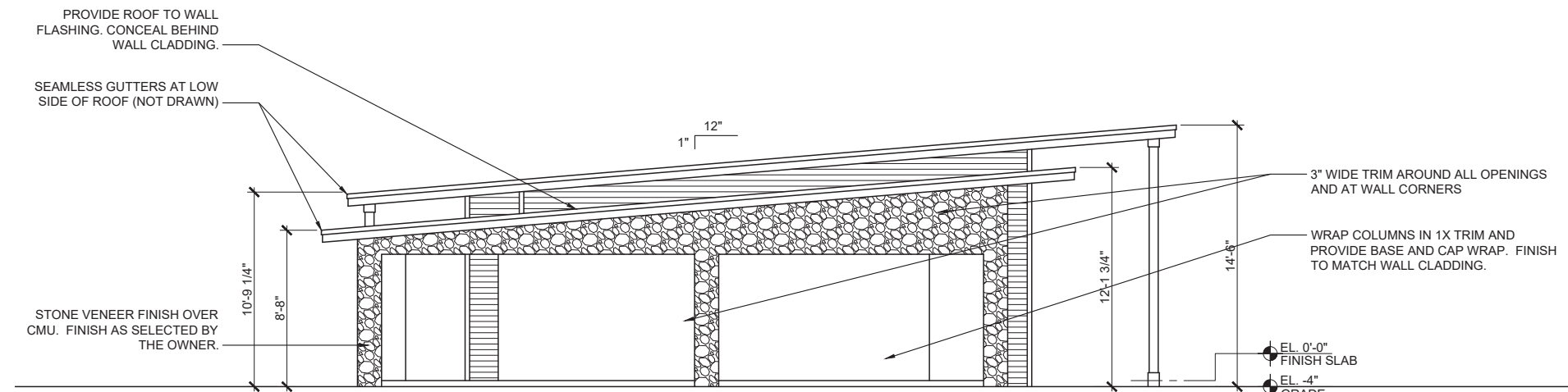
NORTH/SOUTH SECTION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT LOCATION

JOHNSON RESIDENCE
1078 HARBOUR ISLAND ROAD
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PROJECT MANAGER: ..

DRAWN BY: J. KNOUS

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SHEET TITLE:

ELEVATIONS

SHEET NUMBER: REV.

A11



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GENERAL NOTES:

1. REFER TO A15 FOR WALL DETAILS.
2. SIMPSON TITEN HD SECURING 2X SOLE PLATE SHALL BE SPACED 48" O.C., 12" FROM CORNERS, AND 12" FROM SOLE PLATE SPLICES.



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PROJECT LOCATION

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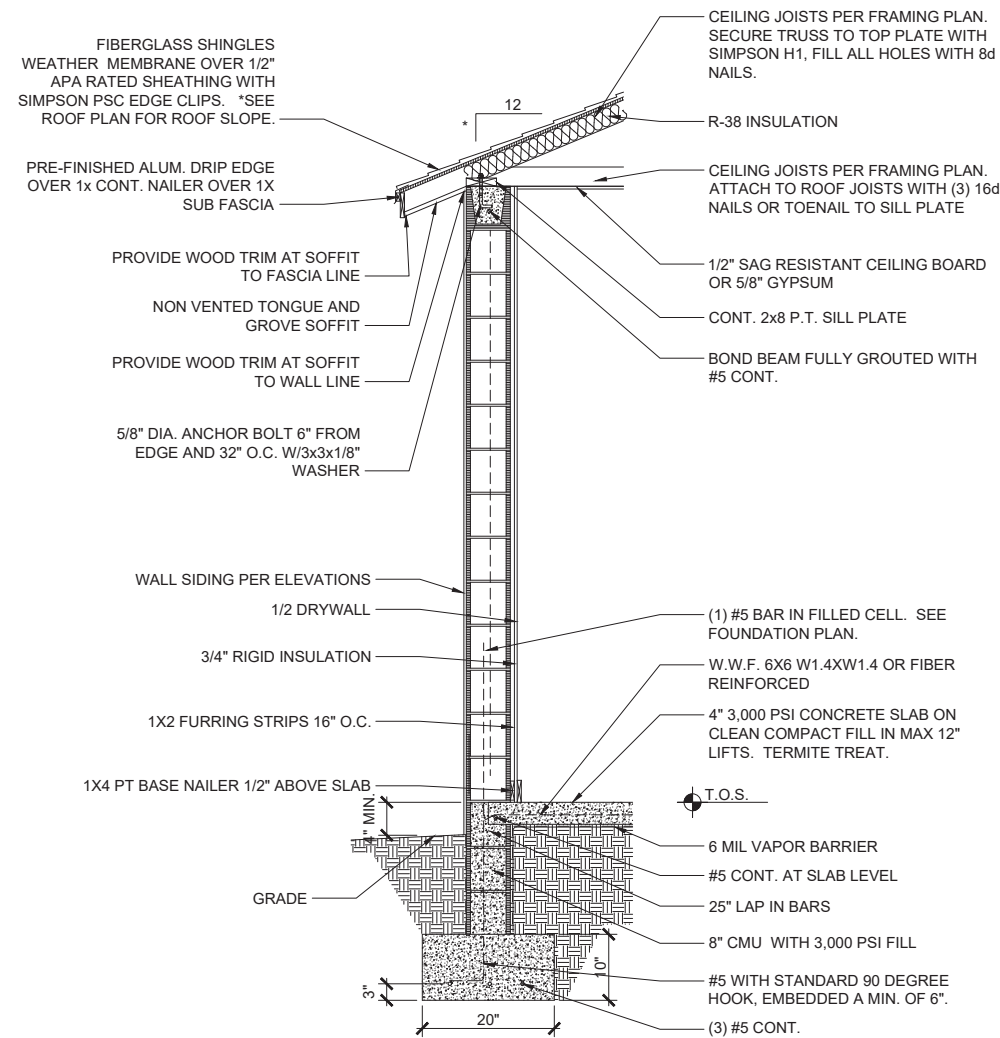
JOB NUMBER: 20-079
 PROJECT MANAGER: --
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 APPROVED BY: J. KNOUS

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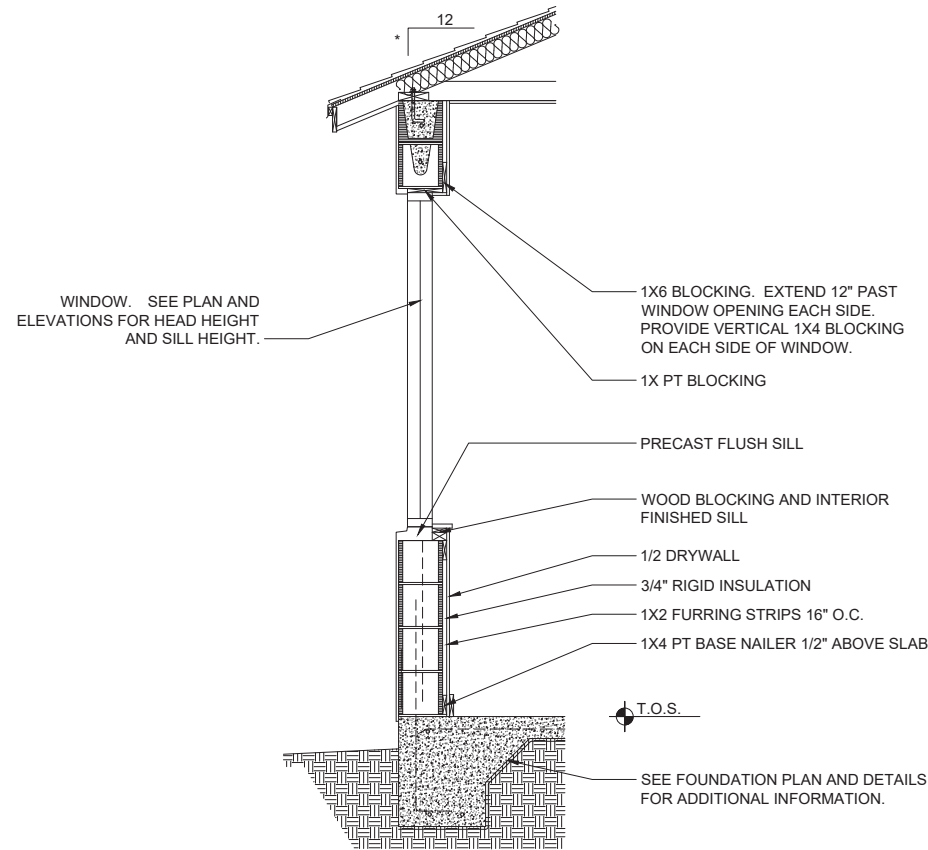
SHEET TITLE: EXT. WALLS SECTIONS

SHEET NUMBER: REV. 0

A12



EXT. WALL SECTION
 SCALE: 3/4" = 1'-0"



NOTE:
 1. SEE WALL SECTION 1/A12 FOR ADDITIONAL INFORMATION.

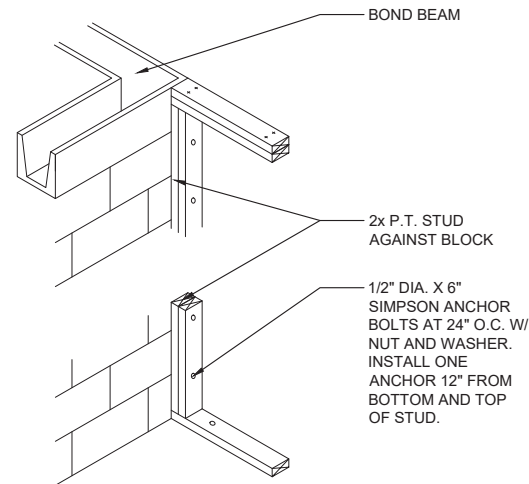
EXT. WALL SECTION AT WINDOW
 SCALE: 3/4" = 1'-0"



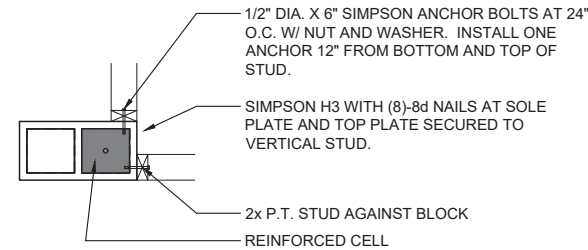
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GENERAL NOTES:

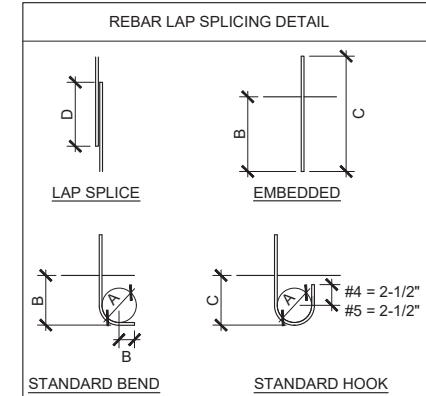
- REFER TO A15 FOR WALL DETAILS.
- SIMPSON TITEN HD SECURING 2X SOLE PLATE SHALL BE SPACED 48" O.C., 12" FROM CORNERS, AND 12" FROM SOLE PLATE SPLICES.



NOTE:
1. NOT ALL FASTENING INFORMATION SHOWN ON THIS DETAIL. REFER TO A15 FOR ADDITIONAL STUD WALL FRAMING INFORMATION.



NOTE:
1. STUD PLACEMENT TO BLOCK SHALL BE PER FLOOR PLAN. ILLUSTRATION ABOVE IS FOR GENERAL DETAILING.

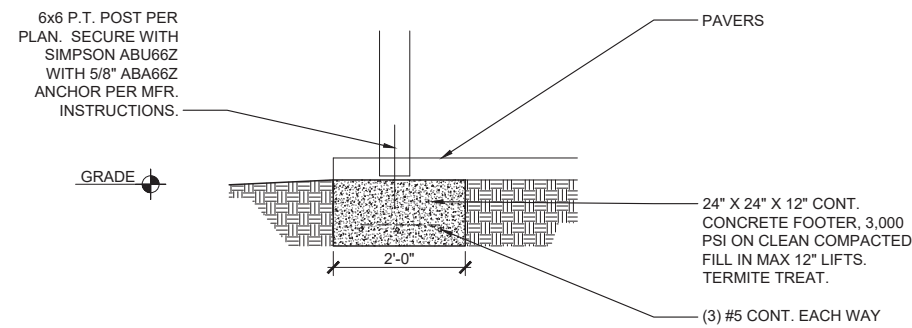


REQUIRED LAP SPLICE, EMBEDMENT, AND HOOKED REINFORCING STEEL (INCHES)

BAR SIZE	BEND DIA.	GRADE 40		
		EMBEDDED	HOOKED LENGTH	LAP SPLICE
#4	2-1/2	5-5/8	9-1/2	20
#5	3-1/8	7	11-3/4	25

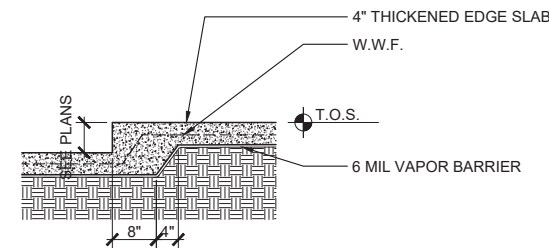
GARAGE DOOR FRAMING

SCALE: NTS



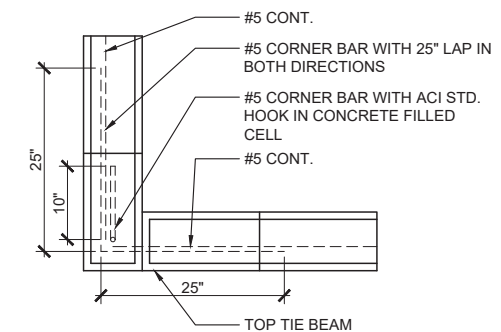
POST DETAIL

SCALE: 3/4" = 1'-0"



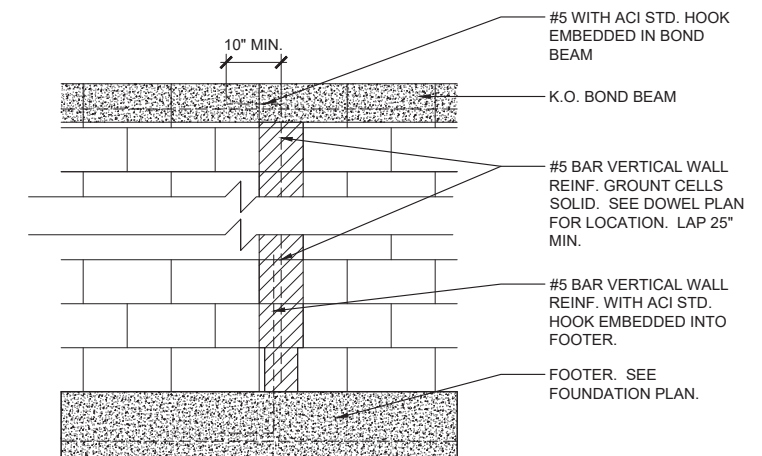
SHOWER RECESS

SCALE: 3/4" = 1'-0"



CORNER REINFORCEMENT

SCALE: 1" = 1'-0"



MAONRY WALL REINFORCED CELL DETAIL

SCALE: 3/4" = 1'-0"

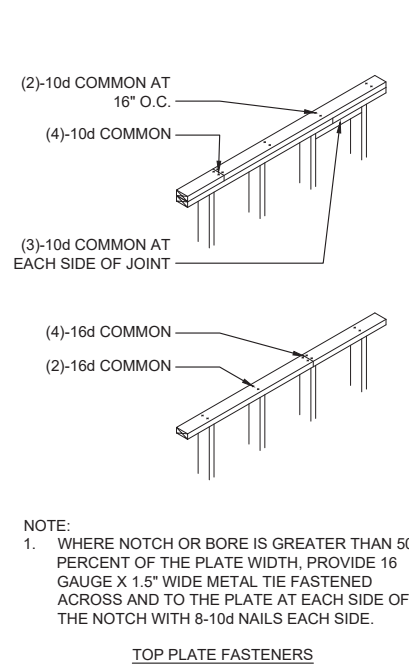


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HEADER SCHEDULE		
OPENING SIZE	BEARING WALL	NON-BEARING WALL
0 - 3'-0"	(2) 2x6	(2) 2x4
3'-1" - 5'-0"	(2) 2x10	(2) 2x6
5'-1"-16'-0"	(2) 2x12	(2) 2x10

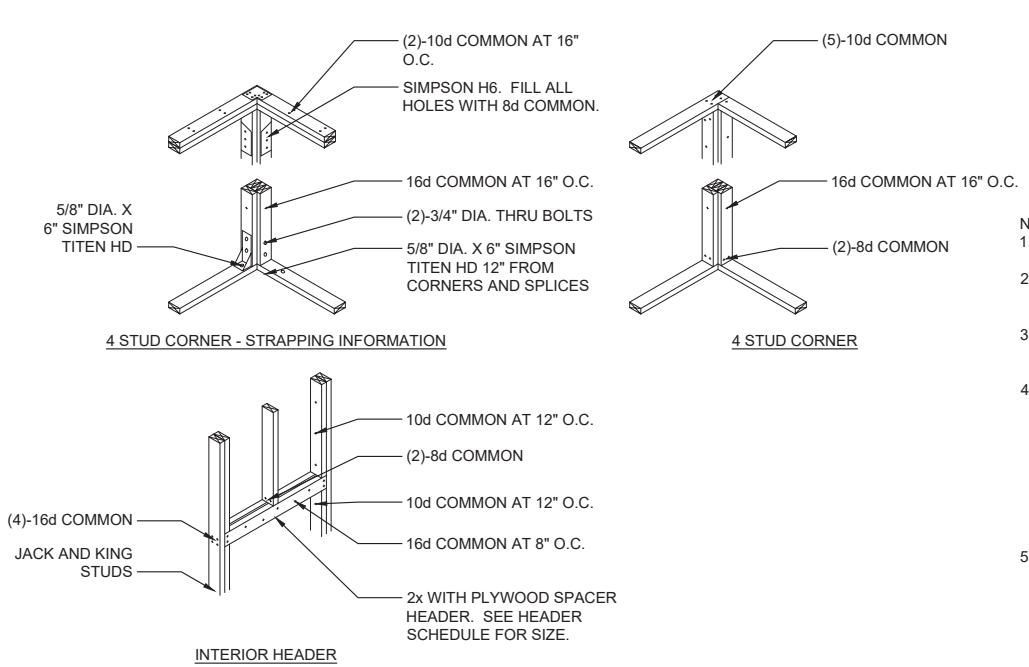
NOTE: PROVIDE FLITCH PLATE FOR ALL HEADERS

HEADER SUPPORT NO. OF JACKS AND STUDS REQ. AT OPENINGS		
OPENING SIZE	2x4 WALL	
	JACKS EA. END	KINGS EA. END
1'-0" - 3'-11"	1	1
4'-0" - 10'-5"	2	1
10'-6"-16'-0"	2	2

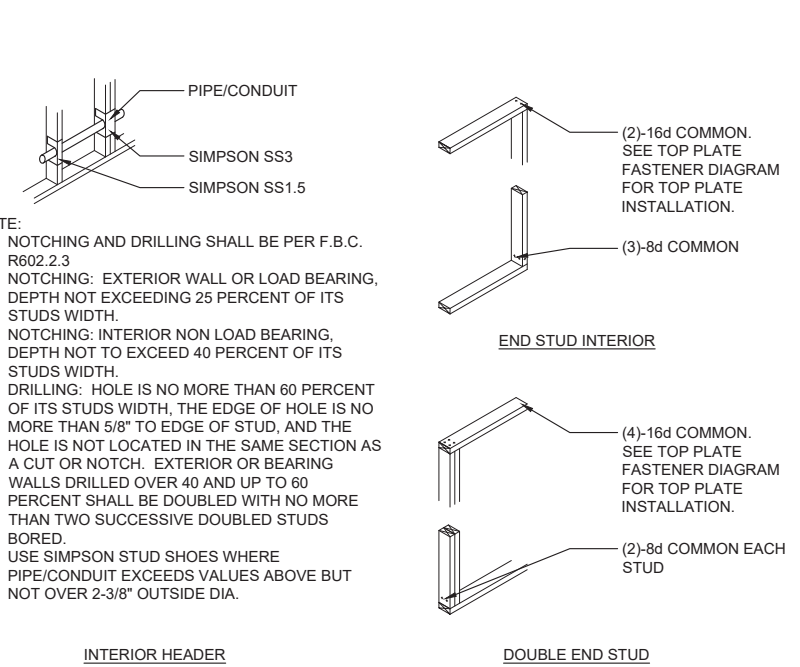


NOTE:
1. WHERE NOTCH OR BORE IS GREATER THAN 50 PERCENT OF THE PLATE WIDTH, PROVIDE 16 GAUGE X 1.5\"/>

TOP PLATE FASTENERS



INTERIOR HEADER

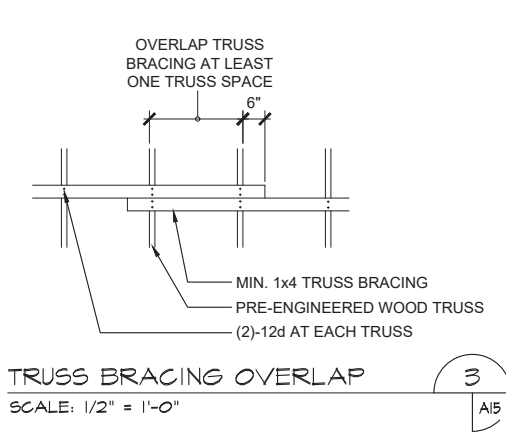


INTERIOR HEADER

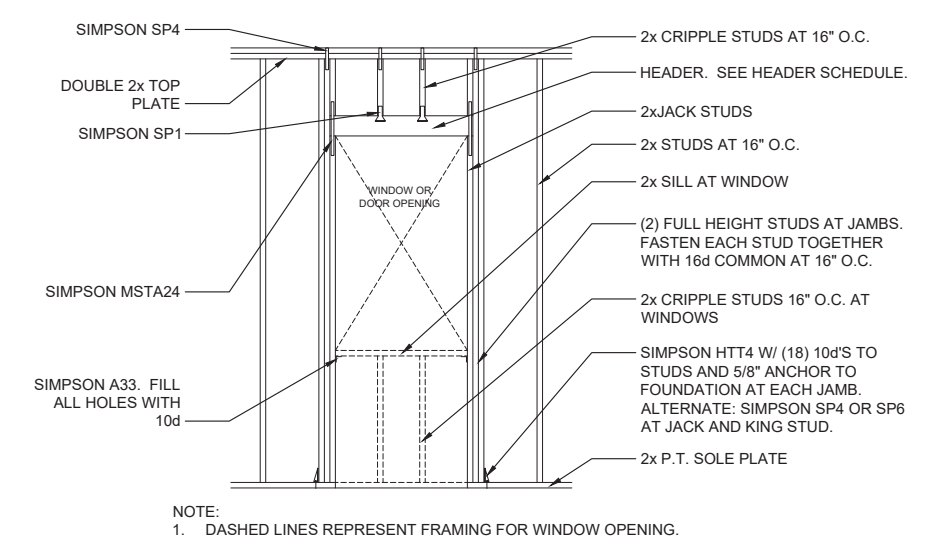
DOUBLE END STUD

- NOTE:
- NOTCHING AND DRILLING SHALL BE PER F.B.C. R602.2.3
 - NOTCHING: EXTERIOR WALL OR LOAD BEARING, DEPTH NOT EXCEEDING 25 PERCENT OF ITS STUDS WIDTH.
 - NOTCHING: INTERIOR NON LOAD BEARING, DEPTH NOT TO EXCEED 40 PERCENT OF ITS STUDS WIDTH.
 - DRILLING: HOLE IS NO MORE THAN 60 PERCENT OF ITS STUDS WIDTH, THE EDGE OF HOLE IS NO MORE THAN 5/8\"/>

GENERAL WOOD ATTACHMENT DETAILS
SCALE: 1/2" = 1'-0"

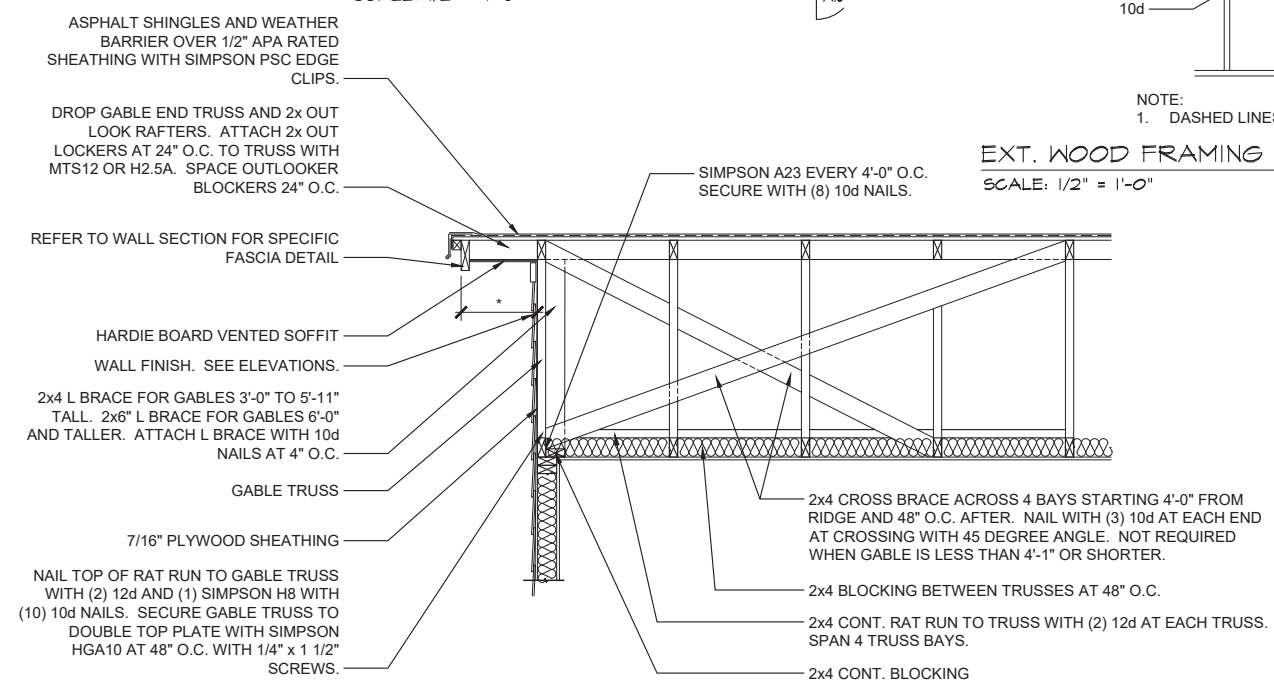


TRUSS BRACING OVERLAP
SCALE: 1/2" = 1'-0"



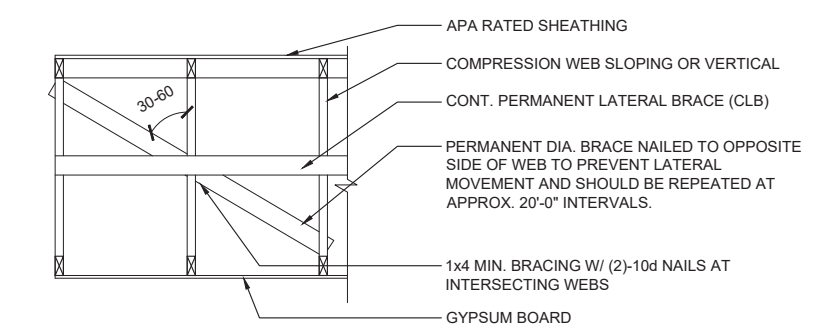
EXT. WOOD FRAMING CONNECTION DETAIL
SCALE: 1/2" = 1'-0"

NOTE:
1. DASHED LINES REPRESENT FRAMING FOR WINDOW OPENING.



TYP. FRAME WALL GABLE END
SCALE: 3/4" = 1'-0"

NOTE:
1. DETAIL REPRESENTS TYP. GABLE END FRAMING CONDITION. SPECIFIC DETAIL MAY VARY SLIGHTLY BASED ON TRUSS DESIGN AND LAYOUT. REFER TO DETAIL FOR ATTACHMENT AND BRACING REQUIREMENTS.



CLB BRACING AT 20' MAX. INTERVALS
SCALE: 3/4" = 1'-0"

NOTE:
1. THREE OR MORE REPEATED IDENTICAL TRUSSES SHALL HAVE DIA. BRACES (AS REQUIRED BY HIB-91).

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- GENERAL NOTES:
- INTERIOR NON-LOAD BEARING WALLS DO NOT REQUIRE SP-1 AND SP-2 STUD FASTENERS TO SOLE AND TOP PLATES.
 - SEE SHEET A13 FOR LOAD BEARING STUD CONNECTION DETAILS
 - ALL FLASHING SHALL BE PER FBC R903.2.1, R905.2.8, AND R703.4.1.

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DATE ISSUED FOR
10/08/2021 PERMITTING

JOB NUMBER: 20-079
PROJECT MANAGER: --
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SHEET TITLE:
DETAILS -

WALL FRAMING

SHEET NUMBER: A15
REV.

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GENERAL NOTES:
1. ALL FLASHING PER FBC R903.2.1, R905.2.8, AND R703.4.1.

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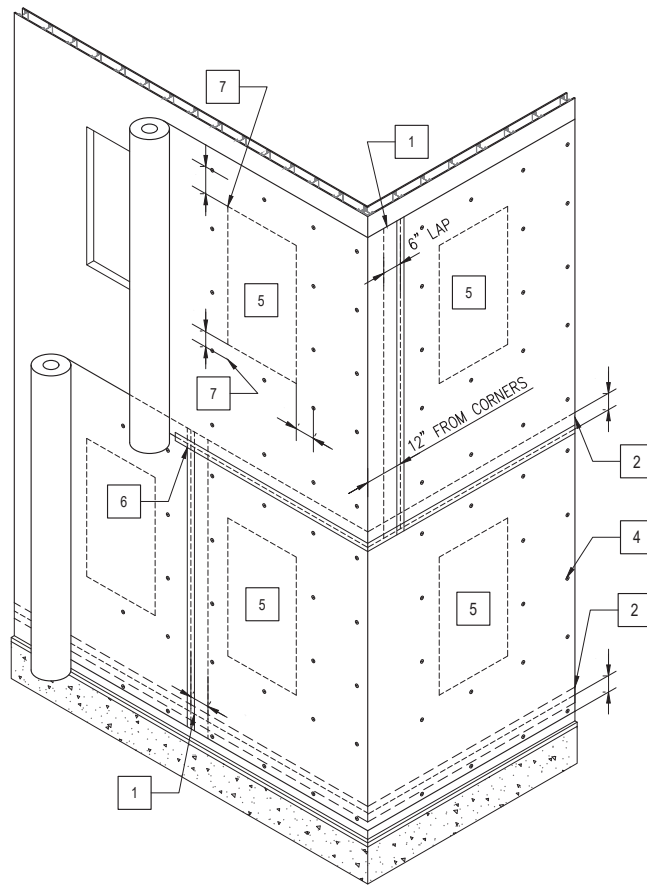
JOB NUMBER: 20-079
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DRAWN BY: J. KNOUS
APPROVED BY: J. KNOUS

LAST FILED:
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SHEET TITLE:
DETAILS -
FLASHING
SHEET NUMBER: A16
REV.

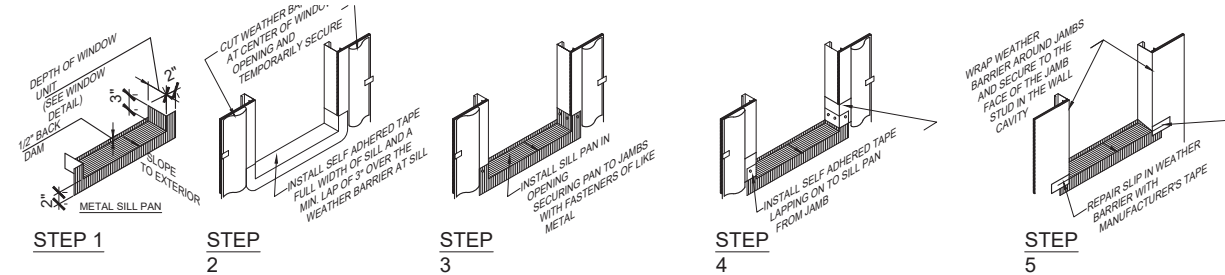
WEATHER BARRIER INSTALLATION - EXCEPT AT STUCCO FINISH

1. START AT CORNER OF BUILDING, UNROLL WEATHER BARRIER KEEPING THE ROLL PLUMB; EXTEND THE WEATHER BARRIER TO A POINT 12" PAST AN OUTSIDE OR INSIDE CORNER OF WALL. VERTICALLY OVERLAP THE PREVIOUS SHEET OF WEATHER BARRIER A MINIMUM OF 6". VERTICAL GRID LINES AT 8" SPACING ARE PROVIDED TO ASSIST IN ALIGNMENT WITH STUDS.
2. PROPER SHINGLING OF THE WEATHER BARRIER IS ESSENTIAL IN KEEPING MOISTURE OUT OF THE EXTERIOR ENVELOPE. WEATHER BARRIERS ARE TO BE INSTALLED STARTING AT THE LOWEST POINT TO RECEIVE WEATHER BARRIER WITH SUBSEQUENT COURSES LAPPING THE PREVIOUS SHEET TO ENSURE BARRIER SHINGLING.
3. WEATHER BARRIER SHOULD OVERLAP THROUGH-WALL FLASHING BY A MINIMUM OF 6" FOR MAXIMUM AIR LEAKAGE REDUCTION.
4. SECURE WEATHER BARRIER WITH FASTENERS AND CAPS AS DIRECTED BY THE MANUFACTURER AND FASTEN AT STUDS.
5. UNROLL WEATHER BARRIER DIRECTLY OVER DOOR AND WINDOW ROUGH OPENINGS.
6. ALL HORIZONTAL AND VERTICAL LAPS SHALL BE A MINIMUM OF 6". TAPE ALL JOINTS USING MANUFACTURER'S TAPE.
7. DO NOT INSTALL FASTENERS WITHIN 6" OF SILLS AND JAMBS AT OPENINGS AND 9" AT THE HEAD OF THESE OPENINGS.



WEATHER BARRIER INSTALLATION AT STUCCO FINISH

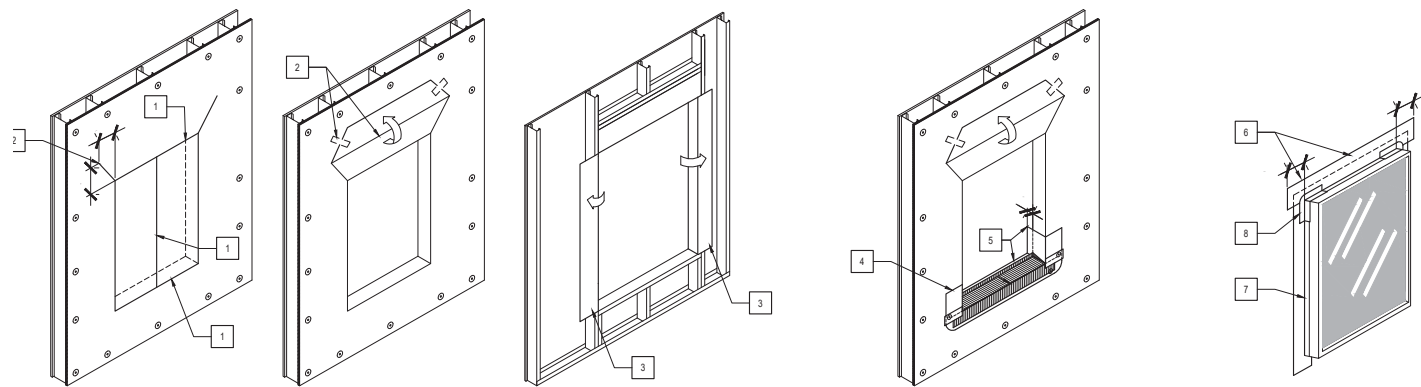
9. WEATHER BARRIERS AT STUCCO FINISHES REQUIRE 2 COMPLETE LAYERS OF WEATHER BARRIER.
10. FIRST LAYER IS THE DRAINAGE LAYER AND SHALL BE INSTALLED WITH THE RIBBED DRAINAGE PLANE ORIENTED VERTICALLY AND INSTALLED AS DIRECTED IN STEPS 1 THROUGH 7 ABOVE. USE DUPONT TYVEK WEATHER BARRIER.
11. THE SECOND LAYER IS INSTALLED OVER THE DRAINAGE PLANE AS DIRECTED IN STEPS 1 THROUGH 7 ABOVE. USE DUPONT TYVEK STUCCOWRAP WEATHER BARRIER.



- NOTES:
1. ALL PANS ARE TO BE SOLDERED AND MADE WATER TIGHT.
2. WHEN ATTACHMENT REQUIRES FASTENER THROUGH THE SILL, ADD AN ADDITIONAL APPLICATION OF SELF ADHERED MEMBRANE ON TOP OF METAL PAN.
3. FIELD VERIFY ALL WINDOW AND DOOR DIMENSIONS TO VERIFY PROPER WALL AND FLASHING WATERPROOFING.
4. ALL INSTALLATION DETAIL DRAWINGS REFER TO BOTH WINDOW AND DOOR INSTALLATIONS. CONTRACTOR TO INTERPOLATE DETAIL FOR SPECIFIC APPLICATION.

WEATHER BARRIER ASSEMBLY

SCALE: NTS

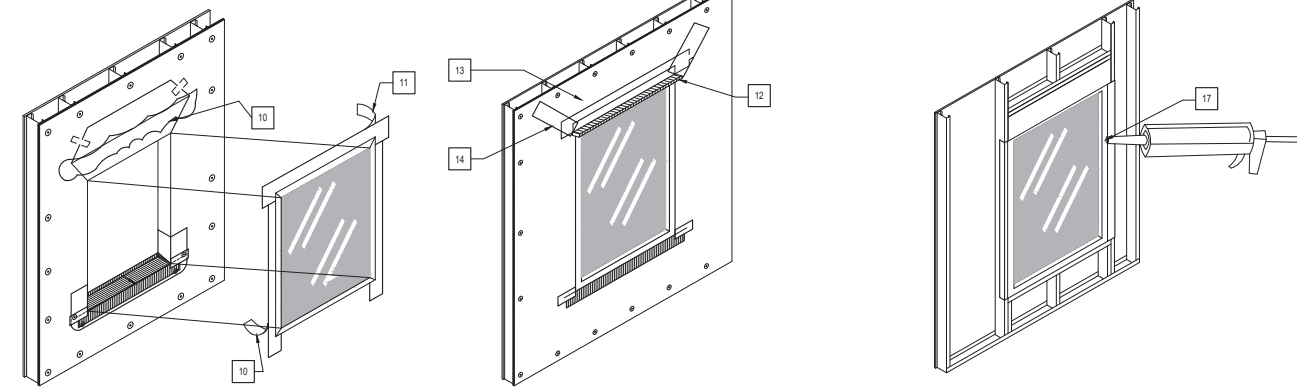


1. MAKE AN I-CUT IN THE WEATHER BARRIER. BEGIN WITH A HORIZONTAL CUT ACROSS THE BOTTOM AND THE TOP OF THE WINDOW FRAME. FROM THE CENTER CUT STRAIGHT DOWN TO THE SILL.
2. CUT TWO 45 DEGREE SLITS A MINIMUM OF 8" FROM THE CORNER OF THE HEADER TO CREATE A FLAP ABOVE THE ROUGH OPENING TO EXPOSE SHEATHING OR FRAMING MEMBERS AND TO ALLOW HEAD FLASHING INSTALLATION. FLIP HEAD FLAP UP AND TEMPORARILY SECURE WITH TAPE.
3. FOLD SIDE FLAPS INTO ROUGH OPENING, CUT EXCESS FLAPS, AND SECURE. NOTE: SIDE FLAPS SHOULD COVER INTERIOR FACING FRAMING STUD.

1
A16

WINDOW SILL PAN - WHERE REQUIRED

SCALE: NTS



4. CUT SELF ADHERING MEMBRANE 6" LONGER THAN WIDTH OF ROUGH OPENING SILL.
5. REMOVE THE CENTER PIECE OF RELEASE PAPER, COVER HORIZONTAL SILL BY OVERHANG INSIDE EDGE OF SILL BY 1" FOR BACKDAM, AND ADHERE INTO ROUGH OPENING ALONG SILL AND UP JAMBS MIN. 6" ON EACH SIDE.
6. PREPARE HEAD FLASHING BY CUTTING A PIECE OF SELF ADHERING MEMBRANE 12" LONGER THAN THE HEAD LENGTH. BEFORE FLASHING, PRIME WINDOW FINIS AND CASINGS WITH APPROVED PRIMER. CENTER THE FLASHING ON THE WINDOW HEAD AND POSITION SO THAT IT CONTACTS THE WINDOW FRAME AND INTERIOR SIDE OF THE FRONT FLANGE AND ADHERE THE FLASHING TO THE WINDOW FRAME. USE THE INNER RELEASE PAPER TO FORM A TIGHT SEAL IN THE CORNER. REMOVE THE INNER RELEASE PAPER AND ADHERE THE FLASHING TO THE BACK OF THE ALUMINUM WINDOW FIN AND CASING. AT THE CORNER OF THE WINDOW FRAME, CUT THE SELF ADHERING MEMBRANE ALONG THE CORNER AT A 45 DEGREE ANGLE AND FOLD IT DOWN FLAT.
7. PREPARE JAMB FLASHING BY CUTTING A PIECE OF SELF ADHERING MEMBRANE 6" LONGER THAN THE JAMB AND FOLLOW STEP 6, ATTACHING MEMBRANE TO WINDOW FRAME.
8. INSTALL 2"x4" SELF ADHERING MEMBRANE PATCH IN EACH CORNER.
9. INSTALL WINDOW ACCORDING TO MFR. INSTALLATION INSTRUCTIONS.
10. SPRAY THE TOP OF THE JAMBS AND EXPOSED SHEATHING WITH APPROVED PRIMER. REMOVE THE REMAINING RELEASE PAPER FROM JAMB FLASHING AND PRESS FIRMLY TO ADHERE IT THE WEATHER BARRIER.
11. REMOVE THE RELEASE PAPER AT THE HEAD AND ADHERE IT TO THE WALL SURFACE.

12. WINDOW AND DOOR HEAD FLASHING. REFER TO WINDOW AND DOOR DETAIL FOR FLASHING INFORMATION. PLACE IN A BEAD OF APPROVED SEALANT ON THE REAR SIDE. INSTALL THE DRIP CAP TIGHT AGAINST THE WINDOW HEAD AND COVER THE TOP EDGE WITH SELF ADHERING MEMBRANE STRIPS.
13. FLIP DOWN UPPER FLAP OF WEATHER BARRIER SO IT LAYS FLAT ACROSS HEAD FLASHING.
14. TAPE ALONG ALL CUTS IN WEATHER BARRIER WITH SELF ADHERING MEMBRANE STRIPS.
15. CREATE THE HIGH PRESSURE SKIRT BY CUTTING A PIECE OF WEATHER BARRIER 2" WIDER THAN THE WIDTH OF WINDOW OPENING AND APPROXIMATELY 10" IN DEPTH. ATTACH SKIRT TO UNDERSIDE OF WINDOW USING A PIECE OF 4" SELF ADHERING MEMBRANE CUT TO THE SAME WIDTH AS THE SKIRT.
16. SECURE SIDE OF WINDOW AND SKIRT WITH WRAP CAPS OR APPROVED FASTENERS.
17. SEAL AROUND THE WINDOW OPENING AT THE INTERIOR, USING APPROVED SEALANT AND BACKER ROD AS NECESSARY. APPROVED SEALANT AND BACKER ROD WILL ALSO SERVE AS A BACK DAM.

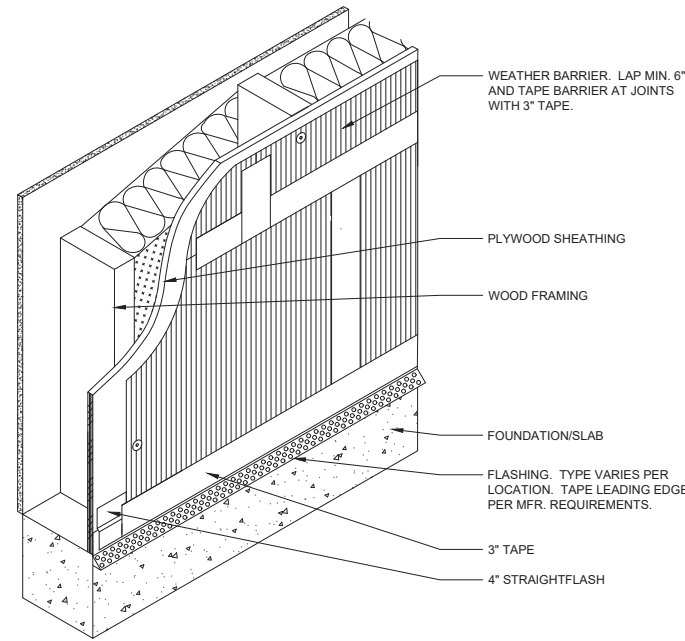
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A16

WINDOW FLASHING DETAIL

SCALE: NTS

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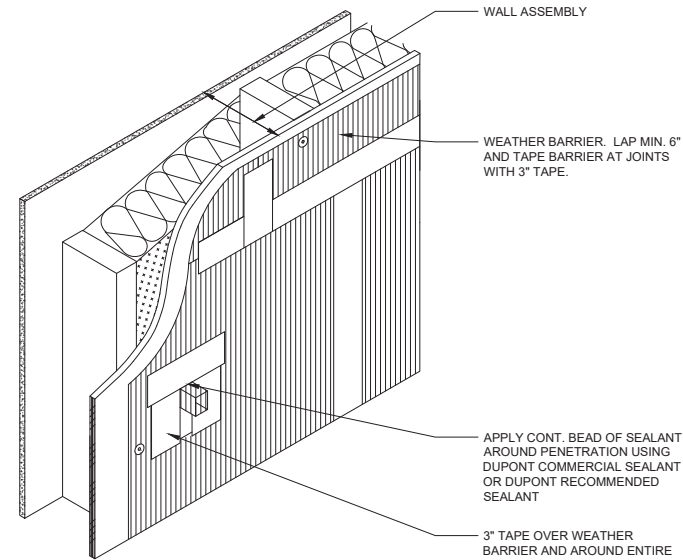
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NOTE:
1. USE COMPLETE MANUFACTURE PRODUCT LINE FOR WALL CONSTRUCTION INCLUDING TAPE AND PRIMERS. DETAIL DRAWN UTILIZING DUPONT TYVEK SYSTEM. CONTRACTOR CAN SELECT APPROVED EQ.

WEATHER BARRIER ASSEMBLY - WALL BASE

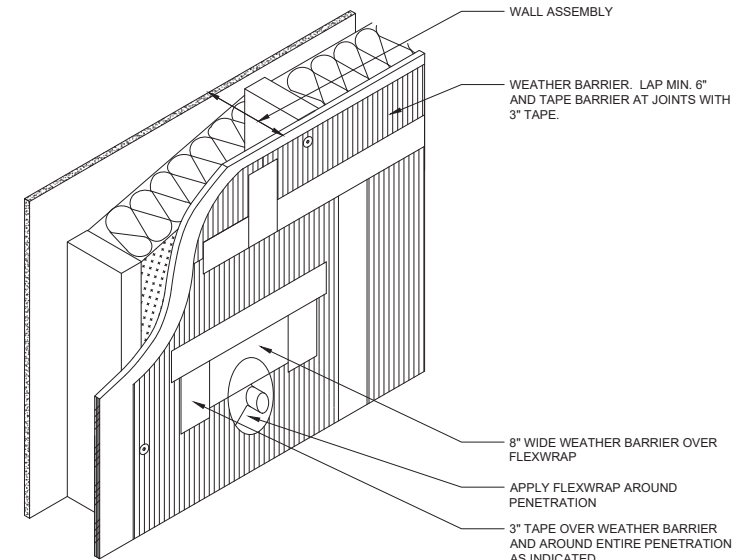
SCALE: NTS



APPLY CONT. BEAD OF SEALANT AROUND PENETRATION USING DUPONT COMMERCIAL SEALANT OR DUPONT RECOMMENDED SEALANT

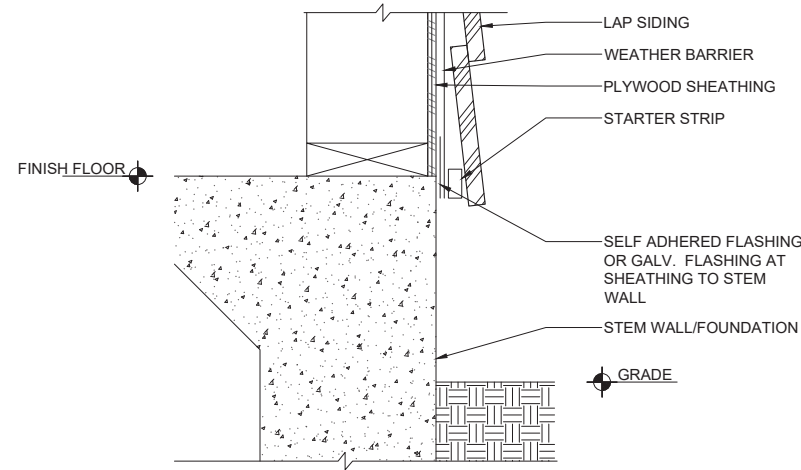
WEATHER BARRIER ASSEMBLY - PENETRATION

SCALE: NTS



WEATHER BARRIER ASSEMBLY - PENETRATION

SCALE: NTS



LAP SIDING BASE AT GRADE

SCALE: 3" = 1'-0"



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GENERAL NOTES:

1. ALL FLASHING PER FBC R903.2.1, R905.2.8, AND R703.4.1.



PROJECT: JOHNSON RESIDENCE
LOCATION: 1078 HARBOUR ISLAND ROAD
ORLANDO, FL. 32809
AHJ: EDGEWOOD

PROJECT: JOHNSON RESIDENCE
LOCATION: 1078 HARBOUR ISLAND ROAD

DATE: 10/08/2021
ISSUED FOR: PERMITTING

JOB NUMBER: 20-079

PROJECT MANAGER: --

DRAWN BY: J. KNOUS

APPROVED BY: J. KNOUS

LAST FILED:
Fri, 08 Oct 2021
4:29pm

SHEET TITLE:

DETAILS -
FLASHING

SHEET NUMBER: A17

REV.

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ALAIR

JOHNSON RESIDENCE
 1078 HARBOUR ISLAND ROAD
 ORLANDO, FL. 32809
 AHJ: EDGEWOOD

PROJECT LOCATION

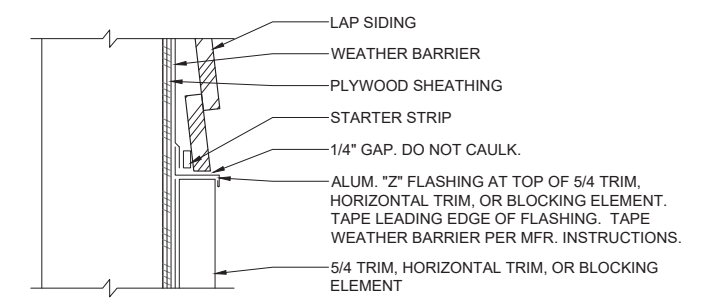
DATE ISSUED FOR
 10/08/2021 PERMITTING

JOB NUMBER: 20-079
 PROJECT MANAGER: --
 DRAWN BY: J. KNOUS
 APPROVED BY: J. KNOUS

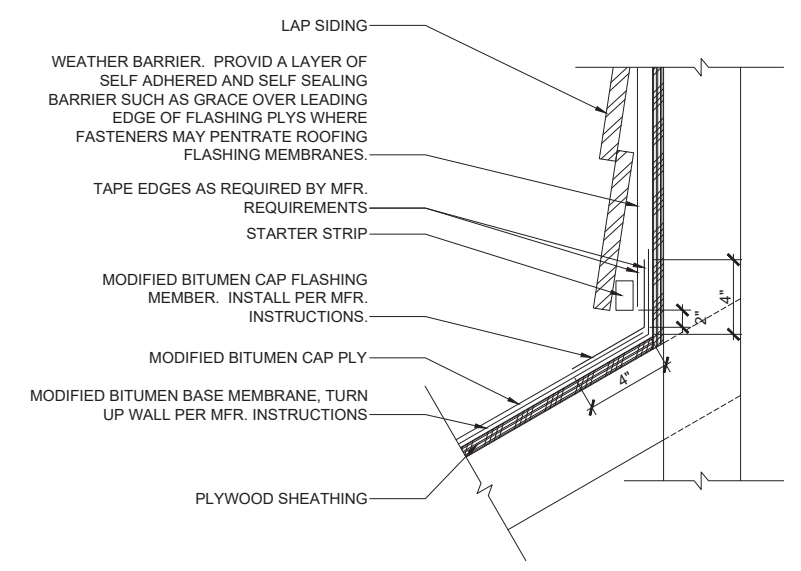
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 Fri, 08 Oct 2021
 4:23pm

SHEET TITLE:
 DETAILS -
 FLASHING

SHEET NUMBER: A18
 REV.



LAP SIDING AT TRIM PROJECTION
 SCALE: 3" = 1'-0"



ROOF TO WALL TRANSITION-MOD BIT ROOF
 SCALE: 3" = 1'-0"

GENERAL NOTES:
 1. ALL FLASHING SHALL BE PER FBC R903.2.1, R905.2.8, AND R703.4.1.

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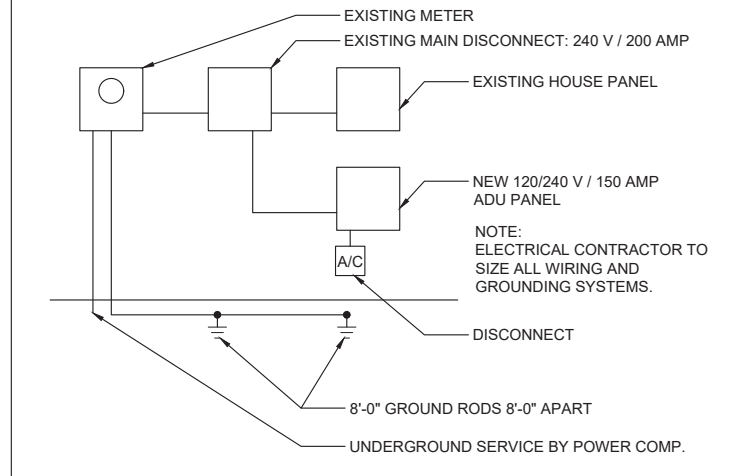
ELECTRICAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
2. ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
3. ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS LABELS, WHERE APPLICABLE.
4. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER.
5. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
6. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW ALL INFORMATION FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
7. PROVIDE POWER AND PRE-WIRE ALL OPENINGS FOR OWNER'S INSTALLED SECURITY SYSTEM.
8. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MFR. SPECIFICATIONS.
9. PROVIDE GROUND FAULT INTERRUPT BREAKERS FOR ALL BATHROOM, GARAGE AND EXTERIOR OUTLETS.
10. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE APPROVED BY OWNER.
11. PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON PLANS. VERIFY LOCATIONS WITH OWNER.
12. PROVIDE PRE-WIRED TELEVISION OUTLETS AS SHOWN ON PLANS. VERIFY LOCATIONS WITH OWNER.
13. PROVIDE SMOKE DETECTION AT ALL BEDROOMS (INSIDE AND OUTSIDE) ADJACENT TO BEDROOM DOOR. DETECTORS SHALL BE TIED TOGETHER SO THAT IF ONE UNIT IS ACTIVATED, ALL UNITS ACTIVATE.
14. PROVIDE CARBON MONOXIDE ALARM WITHIN 10'-0" OF ALL BEDROOMS PER FLORID BUILDING CODE-RESIDENTIAL.
15. ALL BEDROOM RECEPTACLES MUST HAVE ARC FAULT CURRENT INTERRUPTERS PER CURRENT NEC CODE REQUIREMENTS.
16. GROUND FAULT PROTECTION SHOULD BE APPLIED TO ALL AREAS AS REQUIRED PER CURRENT NEC CODE.
17. ALL ELECTRICAL OUTLETS SHALL BE CONCEALED IN FRAMED WALLS. INTERIOR AND EXTERIOR CONDUIT SHALL NOT BE SURFACE MOUNTED.
18. WIRE FRONT DOOR WITH DOOR BELL.
19. OUTDOOR OUTLETS SHALL BE IN WEATHERPROOF ENCLOSURE.
20. IF EXTERIOR AC COMPRESSOR IS RELOCATED, (1) OUTLET SHALL BE WITHIN 25 FEET.
21. PROVIDE LIGHT WITHIN ATTIC SPACE ADJACENT TO ATTIC ACCESS POINT.
22. PROVIDE EQUIPMENT DISCONNECTS AS REQUIRED PER RECOMMENDATION OF MFR.
23. VERIFY EXACT LOCATION OF POWER METER WITH POWER COMPANY.
24. VERIFY WITH OWNER LOCATION OF ALL DIMMER SWITCHES.
25. VERIFY WITH OWNER LOCATION OF PENDANT AND RECESSED LIGHT FIXTURES.
26. ELECTRICAL LIGHTING SHALL MET COMPLIANCE WITH HIGH-EFFICIENCY LIGHTING PER FLORIDA BUILDING CODE ENERGY CONSERVATION R404.

ELECTRICAL SYMBOL LEGEND

- STRIP FLUORESCENT/LED LIGHT FIXTURE - CEILING MOUNTED, WALL MOUNTED
- INCANDESCENT, LED OR COMPACT FLUORESCENT FIXTURE - CEILING MOUNTED, WALL MOUNTED
- GAS CONNECTION
- SMOKE DETECTOR
- CARBON MONOXIDE
- THERMOSTATE
- EXHAUST FAN
- EXHAUST FAN AND LIGHT KIT
- 1-POLE, 3-WAY, OCCUPANCY SENSOR
- DIMMER SWITCH
- DUPLEX RECEPTACLE AT 18", ABOVE COUNTER AT 42", GROUND FAULT TYPE, ISOLATED GROUND TYPE
- WEATHERPROOF RECEPTACLE
- CEILING MOUNTED DUPLEX RECEPTACLE
- (2) DUPLEX RECEPTACLES IN SINGLE OUTLET BOX WITH SINGLE COVER PLATE AT 18", ABOVE COUNTER AT 42"
- JUNCTION BOX, MOTOR CONNECTION
- 120/240V PANELBOARD
- CONNECTION TO GROUND
- TELEPHONE OUTLET AT 18", WALL TELEPHONE OUTLET AT 54", ABOVE COUNTER, PAY TELEPHONE OUTLET. PROVIDE 4" SQ. BOX RJ45 OUTLET COVERPLATE WITH RJ11 BEZEL AND 1" RACEWAY TO ACCESSIBLE CEILING. NUMBER INDICATES QUANTITY OF OUTLETS PER BOX, WHEN MORE THAN 1. RUN (1)CAT5E WHITE PER OUTLET TO TELEPHONE BOARD.
- COMPUTER OUTLET AT 18", ABOVE COUNTER. PROVIDE 4" SQUARE BOX, RJ45 OUTLET, COVERPLATE, AND 1" CONDUIT TO ACCESSIBLE CEILING. NUMBER INDICATES QUANTITY WHEN MORE THAN 1. RUN (1)CAT5E BLU CABLE PER OUTLET TO LAN RACK.

POWER RISER DIAGRAM



ELECTRICAL LOAD CALCULATION NOTE

1. ELECTRICAL CONTRACTOR SHALL PROVIDE LOAD CALCULATIONS TO SIZE DISCONNECTS AND PANELS.
2. ELECTRICAL CONTRACTOR SHALL INDICATE ALL CIRCUITS ON PANEL.

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SHEET TITLE:
 ELECTRICAL PLAN

SHEET NUMBER: REV.

E1

PROVIDE CIRCUIT FOR SOFFIT LIGHTING, TYP.

EXTERIOR ELECTRICAL PANEL. CONFIRM FINAL LOCATION WITH OWNER.

TANKLESS WATER HEATER

PROVIDE SOFFIT OUTLET IN CORNER

ELECTRICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

