



Orange County Division of Building Safety
201 South Rosalind Avenue
Reply To: Post Office Box 2687 • Orlando, Florida 32802-2687
Phone: 407-836-5550
www.ocfl.net/building

09 / 13 / 2021
Date
Building Permit Number

APPLICATION FOR BUILDING/LAND USE PERMIT*

* All Applications Must Comply with Concurrency Requirements

WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

PLEASE PRINT:

The undersigned hereby applies for a permit to make building improvements as indicated below on property.

Project Address: 5845 Hansel Ave.
(Must match address on plans)

Suite/Unit #: _____ Bldg #: _____ City: Edgewood Zip Code: 32809

Subdivision Name: _____

Parcel ID Number: Section _____ Township _____ Range _____ Subdivision _____ Block _____ Lot _____
(15 Digit Parcel ID Number & Legal Description must be on plans)

Owner Name: CNBM Investments/Nelson Lerma Phone No.: (352) 262 - 8955

Owner Address: 1073 Campbell Street City: Orlando State: FL Zip Code: 32806

Tenant Name: BEMI Investments Phone No.: (352) 262 - 8955

Nature of Business: Cafe/Bakery

Architect Name: Rabits & Romano License No.: AR99646 Phone No.: (407) 490 - 350

Civil Engineer Name: Harris Civil Eng. License No.: 9614 Phone No.: (407) 629 - 4777

Nature of Proposed Improvements: site improvement/ expansion

Demolition Permit #: _____ Site Work Permit #: _____

PROPERTY ON SEWER or SEPTIC

Permit valuation greater than \$2500 requires a notarized Page 2, and Notice of Commencement prior to the first inspection.

Is Notice of Commencement Recorded? Yes No

If there were comments on this project, how would you like to receive them?

Pick them up E-Mail (Customer shall access Web Page)

Is proposed work in response to a Notice of Code Violation written by an Orange County Inspector? Yes No

Is proposed work in response to an unsafe abatement notice? Yes No

Has project had a pre-review? Yes No If Yes, Commercial Plans Examiner(s): _____

Is building fire sprinklered? Yes No

Detached Garage? Yes No Valuation for Detached Garage Only: \$0.00

Required work: Plumbing Electrical Mechanical Gas Roofing None

Alterations Only:

Is this a new tenant? Yes No If yes, state previous use: _____

Intended use of space: _____

List use of adjoining tenant space(s): Side: _____ Above: _____

Rear: _____ Side: _____ Below: _____

Total Job Valuation: \$ 400,000.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations and County Ordinances regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable Orange County and/or State of Florida codes and/or ordinances. I hereby certify that the above is true and correct to the best of my knowledge.

PLEASE PRINT: (Check one) Owner: Contractor:

Name of License Holder/Agent: David Santiago Zuleta/Qualis Concrete

Contractor License Number (if applicable): CGC1530041

Contact Phone Number: (813) 378 6305 E-Mail Address: Santiago@qualisconcrete.com

Authorized Signature: _____

Para más información en español, por favor llame al Departamento de Building Safety al número 407-836-5550.

Permit Number

Permit Application Information - Page Two

Permit Number _____

Owner's Name CNBM Investments/Nelson Lerma

Owner's Address 1073 Campbell Street

Fee Simple Titleholder's Name (If other than owner's) _____

Fee Simple Titleholder's Address (If other than owner's) _____

City Orlando State FL Zip Code 32806

Contractor's Name David Santiago Zuleta

Contractor's Address 275 Lakay Place

City Longwood State FL Zip Code 32779

Job Name Mecatons Bakery & Cafe

Job Address 5645 Hansel Ave. SUITE/UNIT _____

City Edgewood State FL Zip Code 32809

Bonding Company Name _____

Bonding Company Address _____

City _____ State _____ Zip Code _____

Architect/Engineer's Name Rabits & Romano Architecture/Harris Civil Engineers

Architect/Engineer's Address 5127 S. Orange Ave, Suite 110, Orlando/1200 Hillcrest St.

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL, PLUMBING, GAS, MECHANICAL, ROOFING, SIGNS, POOLS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning. _____

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A Notice of Commencement must be recorded and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

Owner Signature [Signature]
The foregoing instrument was acknowledged before me this 9/14/21 by Nelson Lerma who is personally known to me and who produced FL DL as identification and who did not take an oath.

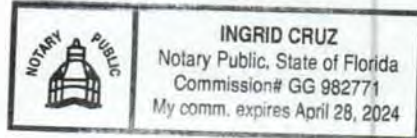
Contractor Signature [Signature]
The foregoing instrument was acknowledged before me this 9/14/21 by Zuleta David Santiago who is personally known to me and who produced FL DL as identification and who did not take an oath.

Notary as to Owner [Signature]
Commission No. HH 112252
State of FL, County of Orange
My Commission expires: 03-31-2025

Notary as to Contractor [Signature]
Commission No. GG 982771
State of FL, County of Orange
My Commission expires: APRIL 28, 2024

(SEAL)

(SEAL)



Para más información en español, por favor llame al Departamento de Building Safety al número 407-836-5550.



COMMERCIAL SITE PLAN CHECKLIST AND APPLICATION

City of Edgewood, Florida

Per Section 134-134 – Commercial/Industrial

MAKE PAYMENTS PAYABLE TO: City of Edgewood

REQUIRED FEE: \$500.00

INSTRUCTIONS: Type or print with BLACK INK. Fill out carefully. Each question must be answered and the necessary documentation provided with this application. Attach additional pages as necessary.

NAME OF DEVELOPMENT Mercatos Bakery and Cafe

LOCATION 5645 Hansel Ave. Edgewood, FL 32809

OWNER/DEVELOPER: Name CNBM Investments Phone #: 352-262-8955

ENGINEER/ARCHITECT: Name Harris Civil / Rabits + Romano Phone #: 407-629-4777

SURVEYOR: Name Donald Horae Phone #: 407-657-2568

VICINITY PLAN: YES NO LEGEND: YES NO

SITE PLAN: 1' = 20' ZONING Commercial NORTH ARROW _____

SETBACKS: FRONT _____ SIDE _____ REAR _____

LEGAL DESCRIPTION: LOT 24 PB 23 Pg 29
S 3400 T 00 R 014

BOUNDARY & TOPO (FLA P.L.S.): LB 7541

GROSS AREA: _____ SQ.FT. CONTOURS EASEMENTS BENCH DATUM _____

EXISTING: BUILDING POWER _____ SEWER _____ WATER _____

STORM DRAINAGE _____ PAVEMENT GAS _____ OTHER _____

PROPOSED: BUILDINGS GROSS AREA _____ SQ.FT. IMPERVIOUS 21,057 ft²

PAVEMENT AREA SQ.FT. SIDEWALKS _____

SETBACKS: FRONT _____ SIDE _____ REAR _____

PAVEMENT TYPICAL SECTION: _____

DRAINAGE: OPEN _____ CLOSED _____ RETENTION/DETENTION _____ FENCED _____

BASIN: WET _____ DRY _____ SIDE SLOPES _____ VOL _____ CF _____

WATER: OUC FIRE HYDRANT(S) _____ MAIN SIZE _____

SEWER: _____ SEPTIC TANK POWER _____

LIGHTNING: TELEPHONE _____ GAS _____ REFUSE _____

LANDSCAPING SIGNS STRIPING

PARKING: REQ'S SPACES 33 PROVIDED 31 REG 2 H'CAP
33 TOTAL

PERMITS REQUIRED
SEWER: _____
DRAINAGE: SJRWMD
FDOT: _____
SEPTIC TANK: _____
FIRE PROTECTION: _____
FDER: _____

SERVICE AGREEMENTS OR PERMITS:
ORLANDO UTILITIES COMMISSION _____
FLORIDA POWER CORPORATION _____
SEABOARD SYSTEM RAILROAD: _____
OTHER: _____

Reviewed by _____ Date _____

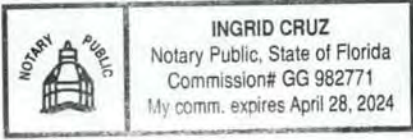
Site review fees as adopted by City Council December 3, 1985 is two (2%) percent of the cost of site but not less than \$200.00. Site work includes planning, drainage, utilities, parking, landscaping and related work.

Revised – 5/28/2020

405 Bagshaw Way Edgewood, FL 32812 • Tel: 407-851-2920 • www.edgewood-fl.gov fl.gov

COMMERCIAL SITE PLAN CHECKLIST AND APPLICATION – Page Two

<p>Owner Signature <u><i>[Signature]</i></u></p> <p>The foregoing instrument was acknowledged before me this <u>9/14/21</u> by <u>Nelson Lerma</u> who is personally known to me and who produced <u>FL DL</u> as identification and who did not take an oath.</p>	<p>Contractor Signature <u><i>[Signature]</i></u></p> <p>The foregoing instrument was acknowledged before me this <u>9/14/21</u> by <u>Zuleta David Santiago</u> who is personally known to me and who produced <u>PL DL</u> as identification and who did not take an oath.</p>
<p>Notary as to Owner <u><i>[Signature]</i></u></p> <p>Commission No. <u>417 2252</u> State _____</p> <p>of FL County of <u>Orange</u> My _____</p> <p>Commission expires <u>03-31-2025</u> (SEAL)</p> <p><small>Notary Public, State of Florida Pamela Wolfson Expires 03/31/21</small></p>	<p>Notary as to Contractor <u><i>[Signature]</i></u></p> <p>Commission No. <u>GG 982771</u> State _____</p> <p>of FL County of <u>Orange</u> My _____</p> <p>Commission expires: <u>April 28, 2024</u> (SEAL)</p>





Date: February 6, 2022
 To: Planning and Zoning Board
 From: Ellen Hardgrove, City Planning Consultant
 Allen Lane, CPH Engineering, City Engineering Consultant
 Jim Winter, CPH Engineering, City Landscape Architect Consultant
 XC: Sandy Riffle, Interim City Clerk
 Brett Sollazzo, Administrative Assistant
 Drew Smith, City Attorney
 Re: Mecatos Bakery and Café Site Plan/Waiver/Variance Application

Agenda Item Description

This agenda item is for approval consideration of the site plan package for the Mecatos Bakery and Café that was submitted electronically to the City on January 27, 2022. The package includes the following

- Construction Documents Revision dated January 27, 2022
- Architect Elevation Drawing dated August 5, 2021
- Landscape Site Plan dated 1/25/22
- Photometrics undated
- Decorative Light Detail: Pendant Holophane GBLF3 and Washington WFCL2
- Boundary Survey with Trees dated 10/25/21

General Information

The proposal is for the 0.917-acre parcel located at the northeast corner of Hansel and Hoffner Avenues, within the ECD. The proposal is an expansion of an existing 1,443 square feet building to 2412.5 square feet and a retrofit of the site to meet most of the ECD site design standards. Waivers to some of the ECD standards and a variance were approved by City Council January 18, 2022 as listed below.

Subject	Code Section	Conditions of approval if any
Architecture Design	Waiver of Code Section 134-469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height, along all flat or parapet roof portions.	The design is to be generally consistent with the building illustration presented at the Council hearing

	Waiver of Code Section 134-469 (1)c.4 to allow the required building's vertical change to not be hung between 13-15 feet above the grade.	
Parking Location	Waiver of Code Section 134-474(c)(4)(a) which requires parking to be behind the imaginary line extended from the front building façade.	
Hansel Avenue Buffer	Waiver of Code Section 134-471(2)e, which requires the street wall to be located at the build line (Hansel).	The location is to be generally in conformance with the site plan presented at the hearing.
	Waiver of Code Section 134-474(c)(4)a, which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.	
Hoffner Avenue People Space	Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building.	
Trees	Waiver of Code Section 134-468(h)(2), which would require Highrise Oaks with 5" caliper along the Hansel and Hoffner Avenues frontage.	The replacement trees shall be a minimum caliper of 3 inches
	Waiver of Code Section 134-471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width in order to provide a sustainable space for trees.	Approve the reduction in island width for that at the western end of the parking along the northern property line Approve the reduction of island width for that at the eastern end of the parking along the southern property line conditioned on replacing the required parking island tree with a ground cover that would grow to and be maintained at two (2) feet in height to ensure driver sight visibility.
Drive Up Window	Waiver of Code Section 134-472(b), which requires drive-up windows to be on the building's rear side.	Landscaping to be provided in general conformance with the landscape plan submitted by the applicant at the hearing.
Lighting	Waiver of Code Section 134-470(f), which requires a minimum foot candle of 2.0 where pedestrians will be present.	Approve conditioned on providing a minimum of 1.0 foot candle
	Waiver of Code Section 134-470(f)), which requires lighting fixtures to be decorative, at a maximum height of 16 feet, and located at least 15 feet from trees.	Only applies to the existing fixture located along the Hoffner frontage, and one along the east property line

Fences	Waiver of Code Section 134-470(c)(3), which limits height of fences anywhere in the ECD to a maximum of 48 inches.	Approval of a 7 feet high fence as shown on the site plan presented at the hearing conditioned on construction of the wall if the former Brickwood Drive is incorporated into the property
Cross Access	Variance in Code Section 134-142 to eliminate the requirement for a cross access easement.	

Staff Recommendation

Staff has reviewed the most recent submittal and recommends approval with the conditions listed under the suggested motion.

Suggested Motion

Approval of the Mecatos Site Plan Package submitted electronically to City Hall January 25, 2022, subject to the following changes made and represented on the revised plans as clouded information, a revision note added to the plans, and as well as a written response to all needed changes listed below to be submitted to City Hall by February 28, 2022 at noon.

1. Revise the traffic generation information sheet and on the construction document Cover Sheet comparing the last use/building square footage to that proposed.
2. Identify who the “others” are that will build the stairs.
3. On the elevation sheet, correct the metal awning arrow (West elevation) and stucco joint (West and South Elevations) which are in wrong place.
4. Landscape Plan, Exchange the Crepe Myrtle at the west end of north parking row for an evergreen shade tree.
5. Landscape Plan, Revise the Hoffner Avenue landscaping, on the street side of the wall, to provide a balanced tiered planting of groundcover, shrubs and accent plants that provide interest to the landscape similar to what is proposed on the Hansel Avenue frontage. The planting of primarily lirope in front of the wall does not meet this intent.
6. Landscape Plan, Revise the Hoffner Avenue trees to be understory trees spaced at 20’ on center.
7. Landscape Plan, Specify on the plan for trees and shrubs and ground cover in the visibility triangles FDOT’s required clear trunk measurements and the maximum shrub and/or ground cover heights.
8. Revise the Impervious/Pervious Surface information on the Cover sheet to be consistent with the storm water calculations (4,464 SF of paver area as impervious). The pervious pavers are listed as 100% pervious. While the pavers are designed to allow water to percolate through, the total paver area is not 100% pervious.
9. On Sheet C-001, General Notes – note 10 – the note references that the Contractor will coordinate his activities with all utility companies. Add the following to the note: “Florida Law (F.S. 556) Underground Facility Damage Prevention and Safety Act mandates that excavators/contractors shall contact Sunshine 811 (fka Sunshine State One Call of Florida) by calling 800-432-4770 or 811 at least 2 full business days prior to beginning any excavation or demolition to allow member operators an opportunity to identify and mark

- their underground facilities and appropriately respond to the Positive Response System.”
10. On Sheet C-001, Erosion Protection Notes – note H – this note references tracking materials off-site and onto beach areas. Remove the beach reference from the note.
 11. On Sheet C-001, Erosion Protection Notes – note K references dewatering. Add to the note that any dewatering will be submitted to the City for review and approval as well as to the EOR.
 12. On Sheet C-001, Erosion Protection Notes – note M references dewatering; add note that the City will be required to review all testing results as well as the EOR.
 13. On Sheet C-001 Standard Sewer and Water Notes – note 4 references crossings between the water and sanitary utilities and specifically notes to concrete encase the sewage main if the minimum separation cannot be maintained. Since the sewer will be new construction and on the opposite side of the building from the existing water service to the building, there should be no issues with maintaining separation. Revise the note to state that the minimum separation will be maintained.
 14. On Sheet C-001, Standard Sewer and Water Notes, note 4, note that a copy of the FDEP Wastewater permit shall be submitted to the city since this site has a lift station and force main.
 15. On Sheet C-001, Standard Sewer and Water notes – note 6, eliminate the reference to Orange County Standards. The note should reference the OUC standards or manual as specified by OUC.
 16. Sheet C-001- Since the plans call out a new water service and backflow prevention device (sheet C-3000), add to the Sewer and Water notes: “The Contractor shall disinfect all sections of the water distribution in accordance with the FDEP water permit, and receive approval thereof from the local water utility, engineer of record, and FDEP, prior to placing in service. It is the contractor’s responsibility to obtain copies of the FDEP water and sewer permits from the project manager and maintain them on the job site at all times. Disinfection of the water distribution shall be performed in accordance with AWWA 651 “Disinfecting Water Mains” and the “2011 OCU Standards and Construction Manual”.”
 17. Sheet C-001 Standard Sewer and Water Notes – correct numbering under this section, some note numbers are repeated.
 18. Sheet C-100, change the lane line separating the drive-through from the circulating traffic to one single solid white line and add note referencing the lane line width and color.
 19. Sheet C-100, add the radius for the curbing on each side of the entrance/exit to Hansel Avenue verifying that the Fire Truck Turning Radius Plan, which is to be a 30-foot radius, is provided.
 20. Sheet C-100, add the call out for the Stop Sign and Right Turn Only Sign at the drive lane connection to Hoffner Avenue.
 21. Sheet C-300, eliminate the bend in the proposed gravity sanitary sewer to provide for a straight connection between the grease trap and the lift station.
 22. Sheet C-300, add notes to this plan sheet as well as the detail sheet referencing the installation and inspection of the new 1-inch water service and backflow prevention device shall be provided by Orlando Utilities Commission (OUC) prior to placing the water line into service.

23. Sheet C-300, add a note on this sheet for the contractor to coordinate with Orange County for the connection to the off-site force main when the tap to the existing force main is made.
24. Photometric plan, revise the plan sheet to show the property line around the site.
25. Tree-Topographic, Boundary Survey, Revise the title block to be “Tree-Topographic, Boundary Survey instead of “Map of Boundary and Topographic Survey.”
26. Address the following related to Stormwater Management Analysis.
 - a) Informational comment only - Half the site drains to the east, to the FDOT ROW. An FDOT stormwater permit will be required.
 - b) Page 1 of 4 of the report - The Methodology section is for a wet pond. Based on the plans, the pond is designed as a dry pond. The water quality paragraph states the volume is based on 2.5 inches of runoff over the impervious area for a wet pond. Please revise the narrative and revise the calculation for a dry pond.
 - c) Page 3 of 4 – Water Quality –check the required water quality volume required (two locations on this page).
 - d) Page 2 of 4 of the report - Post Construction Conditions – narrative states the East Basin runoff for the 25 year, 24 hour storm is 3.01 cfs. The Rational Method Table on page 11 of the storm report (PDF page 11) shows 2.98 cfs. These two numbers should match. Please double check the calculation on page 11 and the reported numbers on page 3 of 4.
 - e) Page 2 of 4 – the Post Condition narrative references the wrong area for the East Basin. Per the Pervious/Impervious table, the area is 0.557 acres. These numbers should match.
 - f) Page 11 of the report – Rational Method – East Basin. The calculation for the cfs discharge for the post development calculates to 3.20 cfs. The table shows 2.98 cfs. Please verify the numbers in the table (significant digits?).
 - g) Page 14 of the report (PDF page 14) - Water Quality Treatment calculations – East Basin – the total impervious and pervious area totals 19,788 SF. The basin area is listed as 24,472 SF. That is a difference of 4,684 SF, which should be area for the brick pavers.
 - h) Stormwater calculations – page 14 of the PDF is the water quality treatment required table. Footnote 1 states water quality treatment will not be required for the west basin. Since this basin drains directly to the FDOT ROW, we expect FDOT will require permitting which may require treatment. This will be determined by FDOT.

Informational Notes to Applicant

1. Failure to meet the conditions of approval may delay Council’s consideration.
2. Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State or County agencies which may have jurisdiction.
3. A separate wall permit application, with detail drawings, will be required.
4. Lift Station Voltage. The plans do not show the voltage. This may be required by Orange County as part of their review.

5. A tree removal permit application in accordance with Section 130-5(b) will be required with the submittal of the building permit application. Tree removal shall be coordinated with the Civil demolition plans and landscape plans.
6. Signage on site requires a separate permit/application.

END

RECEIVED
By Brett Solizzo at 9:05 am, Jan 28, 2022

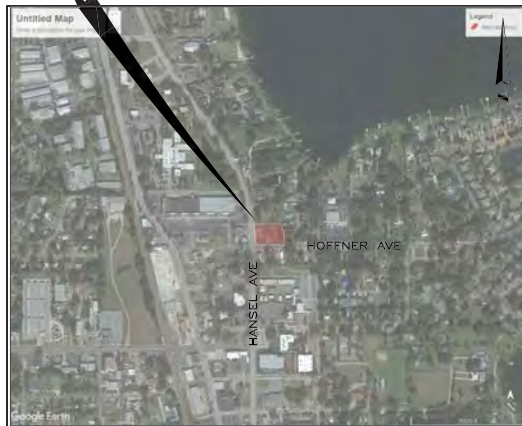
MECATOS BAKERY & CAFE

5645 HANSEL AVE
EDGEWOOD, FL 32809

CONSTRUCTION DOCUMENTS

SITE DATA TABLE UPDATED
PER COMMENTS

PROJECT
SITE



LOCATION MAP
N.T.S

INDEX OF SHEETS

- C-000 COVER SHEET
- C-001 GENERAL NOTES
- C-002 EXISTING CONDITIONS
- C-003 DEMOLITION AND EROSION CONTROL PLAN
- C-100 SITE AND GEOMETRY PLAN
- C-101 SITE COORDINATION WITH FDOT (HANSEL)
- C-200 GRADING AND DRAINAGE PLAN
- C-300 UTILITY PLAN
- C-400 DETAILS
- C-401 DETAILS
- C-402 LIFT STATION DETAIL
- L-101 LANDSCAPE SITE PLAN
- LI-101 IRRIGATION SITE PLAN
- L-501 LANDSCAPE DETAILS AND SPECIFICATIONS
- LI-501 IRRIGATION DETAILS AND SPECIFICATIONS

PREPARED BY

CIVIL ENGINEER
HARRIS CIVIL ENGINEERS, LLC.
1200 HILLCREST STREET, SUITE 200
ORLANDO, FL 32803
OFFICE: 407.629.4777

LANDSCAPE ARCHITECT
DALE & COMPANY
651 N. MILLS AVENUE
ORLANDO, FL 32803
OFFICE: 407.894.1317

ENGINEER OF RECORD: DAVID TAYLOR, P.E.
LICENSE NUMBER: 60928

HCE PROJECT NUMBER: 7391000
DATE: OCTOBER 25, 2021
REVISION 1: DECEMBER 20, 2021
REVISION 2: JANUARY 27, 2022

SITE DATA TABLE:		
PARCEL ACREAGE:	0.917 ACRES	
PARCEL:	24-23-29-3400-00-014	
PROPOSED USES:	FAST FOOD WITH DRIVE THRU	
ZONING:	EDGEWOOD CENTRAL DISTRICT (ECD)	
TRIP GENERATION:	FAST-FOOD RESTAURANT WITH DRIVE-THROUGH = 1315 TRIPS	FAST-FOOD RESTAURANT WITHOUT DRIVE-THROUGH = 1271 TRIPS
PROPOSED BUILDING AREA:	2,412.5 SF	
PROPOSED EXTERNAL SEATING:	930 SF	
ALLOWABLE BUILDING EXPANSION:	MAX 1,000 SF	PROPOSED 969.5 SF
PARKING:	MINIMUM REQUIRED: PER CITY CODE : 1 SPACE PER 100 SF GFA + 1 SPACE PER 200 SF EXTERNAL SEATING (INCLUSIVE OF HANDICAP ACCESSIBLE)	29 REGULAR
	PROVIDED:	27 REGULAR 2 COMPACT 2 HANDICAP ACCESSIBLE 31 TOTAL SPACES PROVIDED
BUILDING SETBACKS:	ECD REQUIRED	PROPOSED
BUILD-TO-LINE (W):	25' (BUILD LINE)	62* (BLDG)
*NOTE: 62' FRONT SETBACK IS ALLOWED PER CODE SECTION 134-474(c) EXPANSION OF EXISTING BUILDING		
BUILDING SETBACKS:	20' (BLDG) MIN. 0' (BLDG) MIN. 25' (BLDG) TO BUILD LINE	PROPOSED 126' (BLDG) 62' (BLDG) 65' (BLDG)
LOT WIDTH:	MIN. 100' 100'	ACTUAL 146' AT HANSEL 241 AT HOFFNER
BUILDING TO LOT WIDTH RATIO:	MIN(50%) 120.5'	PROPOSED 50*
*NOTE: PER CODE SECTION 134-474(c) EXPANSION OF EXISTING BUILDINGS, THE MINIMUM LOT TO BUILDING RATIO IS NOT REQUIRED SINCE BUILDING EXPANDS TOWARD SR 527		
FLOOR AREA RATIO:	ALLOWABLE 1.0 FAR	PROPOSED 0.0604 FAR
AREA CALCULATIONS:	PRE-DEVELOPMENT	POST DEVELOPMENT
TOTAL	39,938 (SF)	39,938 (SF)
TOTAL IMPERVIOUS	22,496 (SF)	21,861 (SF)
BUILDING	1,443 (SF)	2,412.5 (SF)
PAVEMENT	21,053 (SF)	19,448.5 (SF)
TOTAL PERVIOUS (SF)	17,442 (SF)	18,077 (SF)
OPEN SPACE (SF)	17,442 (SF)	13,022 (SF)
PAVERS (SF)	0 (SF)	5,055 (SF)*
*NOTE: PAVERS SURFACE AREA CALCULATED AT 100%, BUT STORMWATER VOLUME FOR ATTENUATION AT 25%.		

HARRIS
Harris Civil Engineers, LLC
1200 Hillcrest Street
Suite 200
Orlando, Florida 32803
Phone: (407) 629-4777
Fax: (407) 629-7988
www.harriscivilengineers.com
EB 9814

5645 HANSEL AVE, EDGEWOOD, FL
C/O NELSON LERMA, JR
1070 CAMPBELL ST
Orlando, Florida
32806

Revisions:	No.	Date	Description
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COVER SHEET

Design: DWT
Drawn: AJT
Checked: DWT

Scale: N.T.S.
Date: 2022-01-25
Project No: 7391000

David W. Taylor, PE
60928

Release:

CALL TWO BUSINESS DAYS BEFORE YOU DIG IT IS THE LAW. DIAL 811

C-000

LEGAL DESCRIPTION - VESTING DEED:

The land referred to herein being is situated in the County of Orange, State of Florida, and described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Honey Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 74, of the Public Records of Orange County, Florida.

TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

LEGAL DESCRIPTION - TITLE COMMITMENT:

The land referred to herein being is situated in the County of Orange, State of Florida, and described as follows:

Parcel 1:

A portion of Lot 1 of the Subdivision of the Honey Homestead, more particularly described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Honey Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

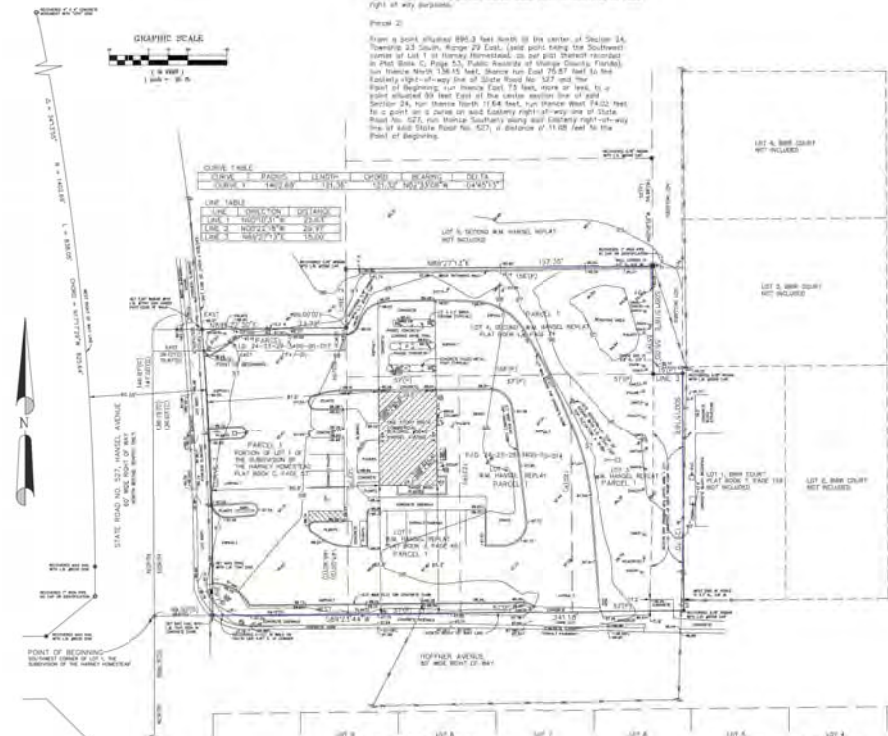
Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 74, of the Public Records of Orange County, Florida.

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

Parcel 2:

From a point situated 898.0 feet North 89 to the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Honey Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida); run thence North 134.5 feet; thence run East 75.87 feet to the Eastern right-of-way line of State Road No. 127 and the Point of Beginning; run thence East 19 feet, more or less, to a point situated 89 feet East of the Eastern section line of said Section 24, run thence North 11.64 feet, more or less, to a point on a curve on said Eastern right-of-way line of State Road No. 127, with the Southern bearing said Eastern right-of-way line of said State Road No. 127, of distance of 11.02 feet to the Point of Beginning.



SURVEYOR'S NOTES:

BEARINGS AS SHOWN HEREIN ARE BASED ON THE NORTH RIGHT OF WAY LINE OF HOPKINS AVENUE HAVING AN ASSUMED BEARING OF 00°00'00\"

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF AND IN RELIANCE UPON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON 3-10-2021 WITH FILE NO. 2021-197214. THIS SURVEY WAS CONDUCTED BY THE SURVEYOR, THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH SUFFICIENT INFORMATION TO BE USED FOR A MUTUAL CLOSURE AND TRANSFER OF TITLE CLOSURE TRANSACTION AND TOPOGRAPHIC INFORMATION TO BE FOR ANALYSIS OF POTENTIAL IMPROVEMENTS.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN. THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR OTHER INFORMATION THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREIN.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREIN.

UTILITY LOCATIONS AS SHOWN HEREIN ARE BASED ON FIELD LOCATION OF OBSERVABLE SURFACE AND ANY UNDERGROUND FACILITIES AND HOUR ATTENTION IS DRAWN TO THE FACT THAT SUCH MAY NOT BE ACCURATE. UTILITY LOCATIONS THAT DO NOT HAVE OBSERVABLE SURFACE EXPOSURE SHOULD BE LOCATED AND/OR SHOWN HEREIN.

BOUNDING CORNERS OF THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY IN THE OPERATION OF THE FLOOD CONTROL ACT OF 1954 ARE SHOWN AND LOCATIONS WHEREIN ARE REFERENCED TO THE NORTH AMERICAN DATUM, DATUM OF 1983 (NAD83).

THE SUBJECT PROPERTY CONTAINS 898.0 FEET ON 120°00'00\"

SURVEY DATE (LAST DATE OF FIELD WORK): APRIL 8, 2021.

TITLE COMMITMENT NOTES:

REGARDING THE EXCEPTIONS AS LISTED IN THE TITLE COMMITMENT REFERENCED IN THE SURVEYOR'S NOTES, THIS SURVEYOR WOULD HAVE THE FOLLOWING COMMENTS:

- EXCEPTION 1: RECORD A AND C, CHANGING EXCEPTIONAL WORKS, PLEASE DIRECT YOUR ATTENTION TO THE EAST END OF LOT 1, HANSEL AVENUE. THE EAST END PORTION OF LOT 1, AS SHOWN AND NOTED THEREON, IS PRESENTLY BEING USED FOR PARKING AND LOCATED FROM HEREON AS, BY THE COURTESY OF THE CLIENT, TO THE SOUTH END OF THE SUBJECT PROPERTY. THE CLIENT HAS NOT PROVIDED WITH ANY EASEMENT INFORMATION FOR THE EAST END PORTION OF LOT 1.
- EXCEPTION 4: RECORD B AND C, CHANGING EXCEPTIONAL WORKS, PLEASE DIRECT YOUR ATTENTION TO THE SUBJECT PROPERTY SHOWN ON THE PLAN OF THE SUBDIVISION OF THE HONEY HOMESTEAD. THIS SURVEYOR HAS NOT OBSERVED ANY MATTERS ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY.
- EXCEPTION 5: RECORD B AND C, CHANGING EXCEPTIONAL WORKS, PLEASE DIRECT YOUR ATTENTION TO THE SUBJECT PROPERTY SHOWN ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR HAS NOT OBSERVED ANY MATTERS ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY.
- EXCEPTION 6: RECORD B AND C, CHANGING EXCEPTIONAL WORKS, PLEASE DIRECT YOUR ATTENTION TO THE SUBJECT PROPERTY SHOWN ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR HAS NOT OBSERVED ANY MATTERS ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY.
- EXCEPTION 7: RECORD B AND C, CHANGING EXCEPTIONAL WORKS, PLEASE DIRECT YOUR ATTENTION TO THE SUBJECT PROPERTY SHOWN ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR HAS NOT OBSERVED ANY MATTERS ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY.
- EXCEPTION 8: RECORD B AND C, CHANGING EXCEPTIONAL WORKS, PLEASE DIRECT YOUR ATTENTION TO THE SUBJECT PROPERTY SHOWN ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR HAS NOT OBSERVED ANY MATTERS ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY.
- EXCEPTION 9: RECORD B AND C, CHANGING EXCEPTIONAL WORKS, PLEASE DIRECT YOUR ATTENTION TO THE SUBJECT PROPERTY SHOWN ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR HAS NOT OBSERVED ANY MATTERS ON THE PLAN THAT WOULD AFFECT THE SUBJECT PROPERTY.
- EXCEPTION 10: THIS EXCEPTION REFERS TO A RECORDS LINE THAT IS NOT A SURVEY MATTER.

CONVEYANCE STATEMENT:

BASED ON THE LEGAL DESCRIPTION (S) AND THE REFERENCED TITLE COMMITMENT ARE MADE ON THE BOUNDARY ENDORSEMENT ENDORSEMENT IN THE FIELD AND SHOWN AND NOTED HEREIN THIS SURVEYOR WOULD MAKE THE FOLLOWING STATEMENT:

PARCELS 1 AND 2 AS IDENTIFIED AS SUCH HEREIN ARE CONVEYED TO EACH OTHER ALONG WITH MODERATE DISCREPANCY BOUNDARIES WITH BY EACH OTHER ON MATTERS ALONG SUCH DISCREPANCY BOUNDARIES.

LEGAL DESCRIPTION STATEMENT:

THE LANDS SHOWN IN THE LEGAL DESCRIPTION - LESS ARE ONE AND THE SAME AS THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION - TITLE COMMITMENT.

SECTION 24 ONLY AND ENCLOSED TO:

STATE OF FLORIDA
FIRST AMERICAN TITLE INSURANCE COMPANY
ORANGE INVESTMENTS, LLC
NELSON LERMA, JR.
KIM MARR, R.A.

MAP SYMBOLS:

- (1) INDICATES A CALCULATED DISTANCE AND/OR BEARING.
- (2) INDICATES A DESCRIPTION DISTANCE AND/OR BEARING.
- (3) INDICATES A PLAT DESIGNATION AND/OR BEARING.
- (4) INDICATES A BEARING DISTANCE AND/OR BEARING.
- (5) INDICATES LAND SURVEYING BUSINESS.
- (6) INDICATES AN INDIVIDUAL LICENSED LAND SURVEYOR.
- (7) INDICATES PROFESSIONAL SUPERVISOR AND NUMBER.
- (8) INDICATES PROPERTY IDENTIFICATION NUMBER.
- (9) INDICATES A WOOD CULPIN POLE.
- (10) INDICATES A CITY WIRE AND/OR.
- (11) INDICATES AN EMBLEM LIGHT ON A CONCRETE PILE.
- (12) INDICATES A METAL SIGN OR A METAL POST.
- (13) INDICATES A PVC SANITARY BURNOUT.
- (14) INDICATES A WATER BAPT FURNACE HEATER.
- (15) INDICATES A CONCRETE PILE OR SIGN POSTER.
- (16) INDICATES A TRAFFIC SIGNAL AND/OR SIGN.
- (17) INDICATES A CONCRETE TRAFFIC SIGNAL PILE.
- (18) INDICATES A HANDICAP PARKING SPACE.
- (19) INDICATES AN ELECTRIC LIGHTING POLE.
- (20) INDICATES A SIGN OF AN AND/OR SIGN.
- (21) INDICATES A CHAIN LINK FENCE.
- (22) INDICATES A WOOD PRIVATE FENCE.
- (23) INDICATES OVERHEAD UTILITY LINES.
- (24) INDICATES A SPOT ELEVATION SHOT AT THE ORIGINAL POINT LOCATION.
- (25) INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
- (26) INDICATES A SPOT ELEVATION SHOT AT THE TURN LINE OF THE CONCRETE CURVE.
- (27) INDICATES THE APPROXIMATE LOCATION OF THE AN IRON CORNER.
- (28) INDICATES AN IRON NAIL HAVING A 2\"
- (29) INDICATES AN IRON NAIL HAVING A 2\"

RECEIVED
By Brett Solazzo at 9:05 am, Jan 28, 2022

AccuMap SURVEYING, LLC
1073 CAMPBELL STREET
ORLANDO, FLORIDA 32806
386-940-9888

MEMBER OF:
ORANGE INVESTMENTS, LLC
NELSON LERMA, JR.
1073 CAMPBELL STREET
ORLANDO, FLORIDA 32806
386-940-9888

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY
5643 AND 5645 HANSEL AVENUE
IN SECTION 24, TOWNSHIP 23 SOUTH, RANGE 29 EAST

SURVEYOR'S CERTIFICATION
I, THE SURVEYOR, HAVE PERSONALLY AND INDEPENDENTLY CONDUCTED A SURVEY OF THE LANDS SHOWN ON THIS PLAN AND HAVE FOUND THAT THE SAME ARE ACCURATELY SHOWN AND THAT THE SAME ARE NOT AFFECTED BY ANY MATTERS THAT WOULD AFFECT THE SUBJECT PROPERTY.

REVISIONS

No.	Date	Description
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SCALE 1" = 20'
JOB # 20212298
SHEET 1 OF 1

HARRIS
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ES 9814

5645 HANSEL AVE, EDGEWOOD, FL
C/O NELSON LERMA, JR
1073 CAMPBELL ST
Orlando, Florida
32806

Revisions:

No.	Date	Description
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EXISTING CONDITIONS

Scale: NTS
Date: 2021-10-26
Project No: 7391000

Design: DWIT
Drawn: AJT
Checked: DWT

David W. Taylor, PE
FLS # 40298

Release:

C-002

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By Brett Sollazzo at 9:13 am, Jan 28, 2022

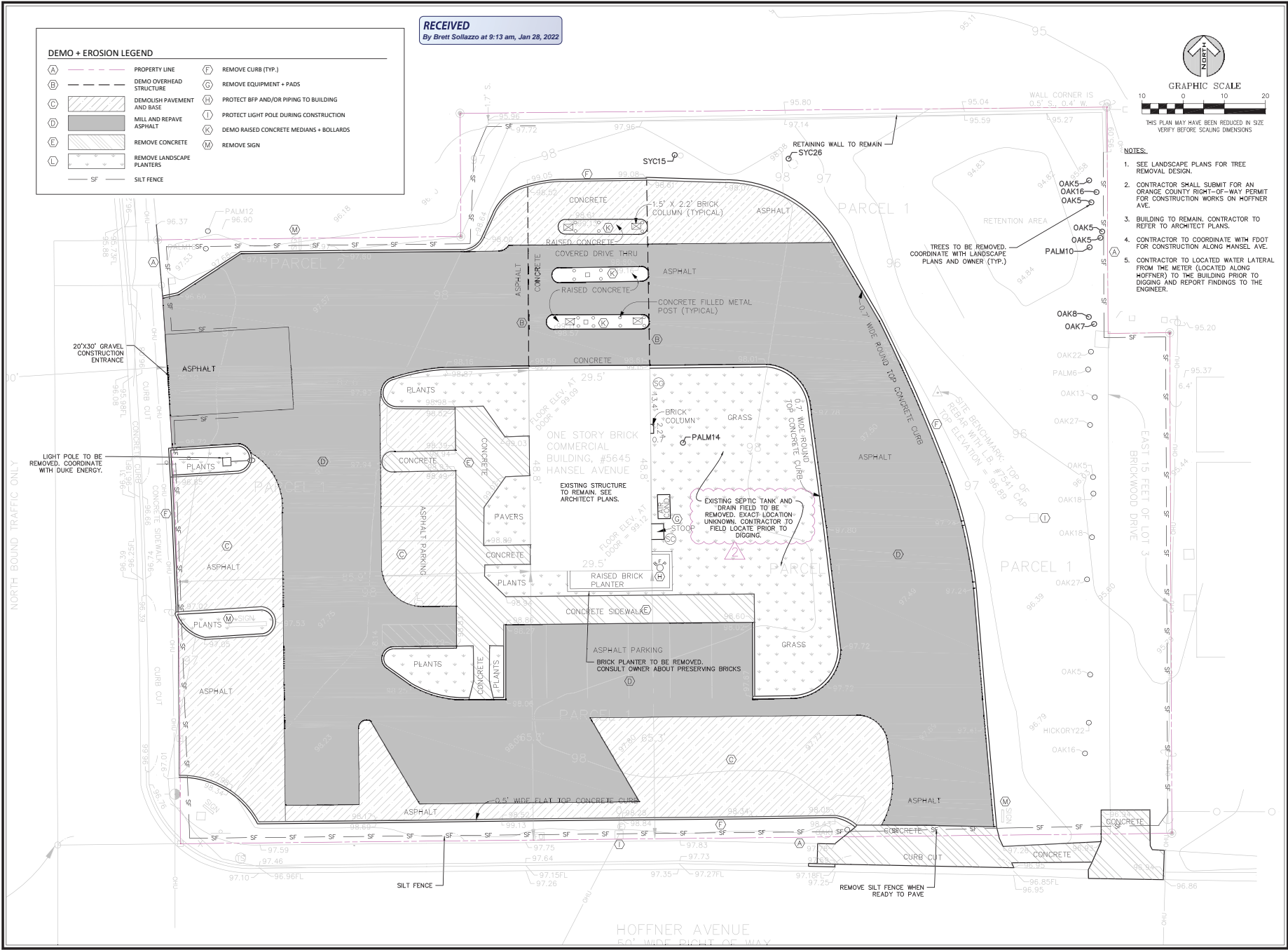
DEMO + EROSION LEGEND

(A) ---	PROPERTY LINE	(F) ---	REMOVE CURB (TYP.)
(B) ---	DEMO OVERHEAD STRUCTURE	(G) ---	REMOVE EQUIPMENT + PADS
(C) ---	DEMOLISH PAVEMENT AND BASE	(H) ---	PROTECT BFP AND/OR PIPING TO BUILDING
(D) ---	MILL AND REPAVE ASPHALT	(I) ---	PROTECT LIGHT POLE DURING CONSTRUCTION
(E) ---	REMOVE CONCRETE	(K) ---	DEMO RAISED CONCRETE MEDIANS + BOLLARDS
(L) ---	REMOVE LANDSCAPE PLANTERS	(M) ---	REMOVE SIGN
---	SILT FENCE		



GRAPHIC SCALE
10 0 10 20
THIS PLAN MAY HAVE BEEN REDUCED IN SIZE
VERIFY BEFORE SCALING DIMENSIONS

- NOTES:**
- SEE LANDSCAPE PLANS FOR TREE REMOVAL DESIGN.
 - CONTRACTOR SHALL SUBMIT FOR AN ORANGE COUNTY RIGHT-OF-WAY PERMIT FOR CONSTRUCTION WORKS ON HOFFNER AVE.
 - BUILDING TO REMAIN. CONTRACTOR TO REFER TO ARCHITECT PLANS.
 - CONTRACTOR TO COORDINATE WITH FDOT FOR CONSTRUCTION ALONG HANSEL AVE.
 - CONTRACTOR TO LOCATED WATER LATERAL FROM THE METER (LOCATED ALONG HOFFNER) TO THE BUILDING PRIOR TO DIGGING AND REPORT FINDINGS TO THE ENGINEER.



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EIR 9814

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Orlando, Florida
32806

Revisions:

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DEMOLITION AND EROSION CONTROL PLAN

Scale: SEE SHEET
Date: 02/10/25
Project No: 7891000

Design: DWI
Drawn: AJT
Checked: DWT

David W. Taylor, PE
FL #144295

Release:

C-003

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SITE LEGEND

- PROPERTY LINE
- BUILDING (BY OTHERS)
- ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
- PERVIOUS PAVERS (SEE DETAIL 5, SHEET C-400)
- CONCRETE PAVEMENT (SEE DETAIL 7, SHEET C-400)
- STAMPED ASPHALT WALKWAY SEE NOTE 5
- MASONRY WALL
- DIMENSION
- PARKING STALL COUNT
- ADA PARKING (SEE DETAIL 15, SHEET C-400)
- ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
- TYPE 'D' CURB (SEE DETAIL 8, SHEET C-400)
- RIBBON CURB, 5" TRANSITION TYP. (SEE DETAIL 9 SHEET C-400)
- 36" HIGH WALL DESIGNED BY ARCHITECT/STRUCTURAL ENGINEER

- NOTES:**
1. ALL SIDEWALK CURB RAMPS SHALL BE INSTALLED PER F.D.O.T INDEX S22 (CURRENT EDITION).
 2. ALL PARKING AND ROADWAY STRIPING PER F.D.O.T INDEX 711.
 3. WHITE DIRECTIONAL ARROWS REFER TO F.D.O.T INDEX 711.
 4. WHITE STOP BAR MARKING W/STOP SIGN REFER TO F.D.O.T INDEX 711.
 5. STAMPED ASPHALT WALKWAY TO BE PATTERN AND COLOR CONSISTENT WITH PERVIOUS PAVERS.

Revisions:

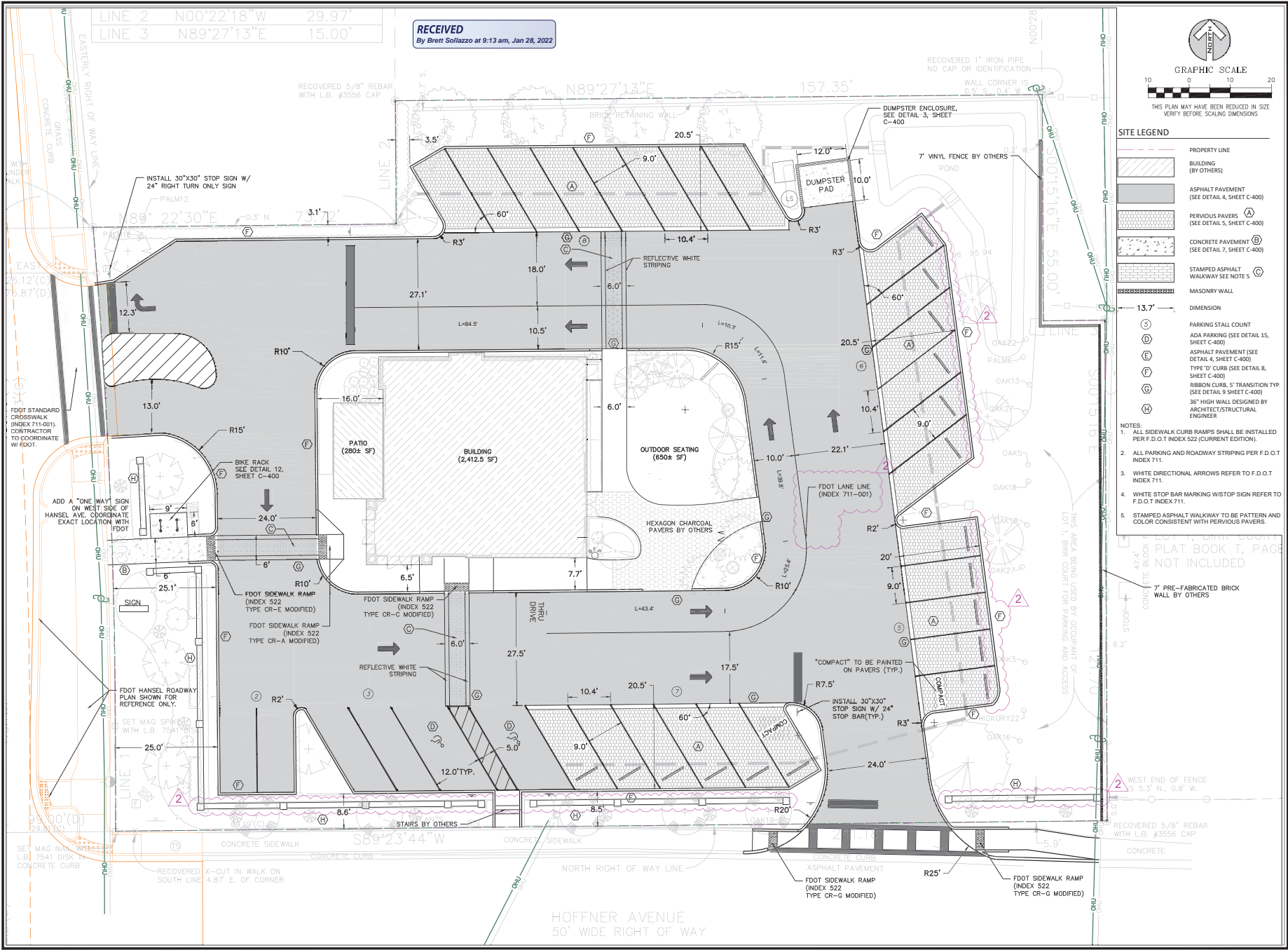
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SITE AND GEOMETRY PLAN
Scale: SEE SHEET
Date: 2021-10-25
Project No: 7891000

Design: DWT
Drawn: CT
Check/ect: DWT

Release:

C-100



LINE 2 N00°22'18"W 29.97'
LINE 3 N89°27'13"E 15.00'

HOFFNER AVENUE
50' WIDE RIGHT OF WAY

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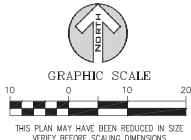
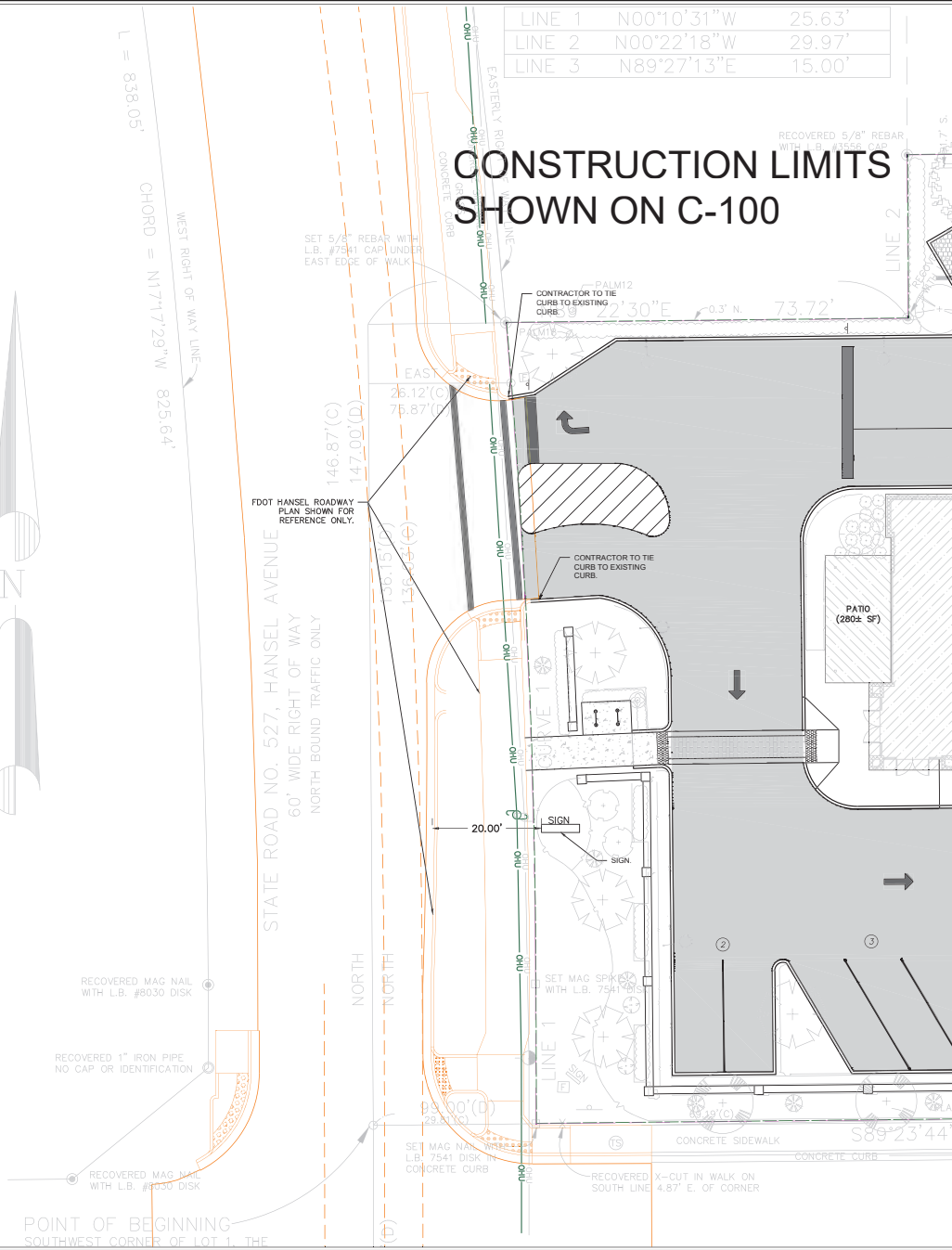


L = 838.05'
CHORD = N17°17'29"W 825.64'

STATE ROAD NO. 527, HANSEL AVENUE
60' WIDE RIGHT OF WAY
NORTH BOUND TRAFFIC ONLY

CONSTRUCTION LIMITS SHOWN ON C-100

LINE 1	N00°10'31"W	25.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'



- NOTES:**
1. FDOT PRELIMINARY LAYOUT SHOWN FOR REFERENCE. SITE CONTRACTOR TO COORDINATE CONSTRUCTION WITH FDOT PLANS AND CONTRACTOR.
 2. CONTRACTOR TO VERIFY/COORDINATE WITH FDOT PLANS FOR POSSIBLE CONNECTION TO FDOT LAYOUT FOR NEW CURB AND SIDEWALK LOCATION.

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C/O NELSON LERMA, JR
1073 CAMPBELL ST
Orlando, Florida
32806

Revisions:

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**SITE COORDINATION
WITH FDOT (HANSEL)**

Scale: SEE SHEET
Date: 2021-10-25
Project No: 738000

Design: DWT
Drawn: AJT
Check: DWT

David W. Taylor, PE
FL No. 442928

Release:

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C-101

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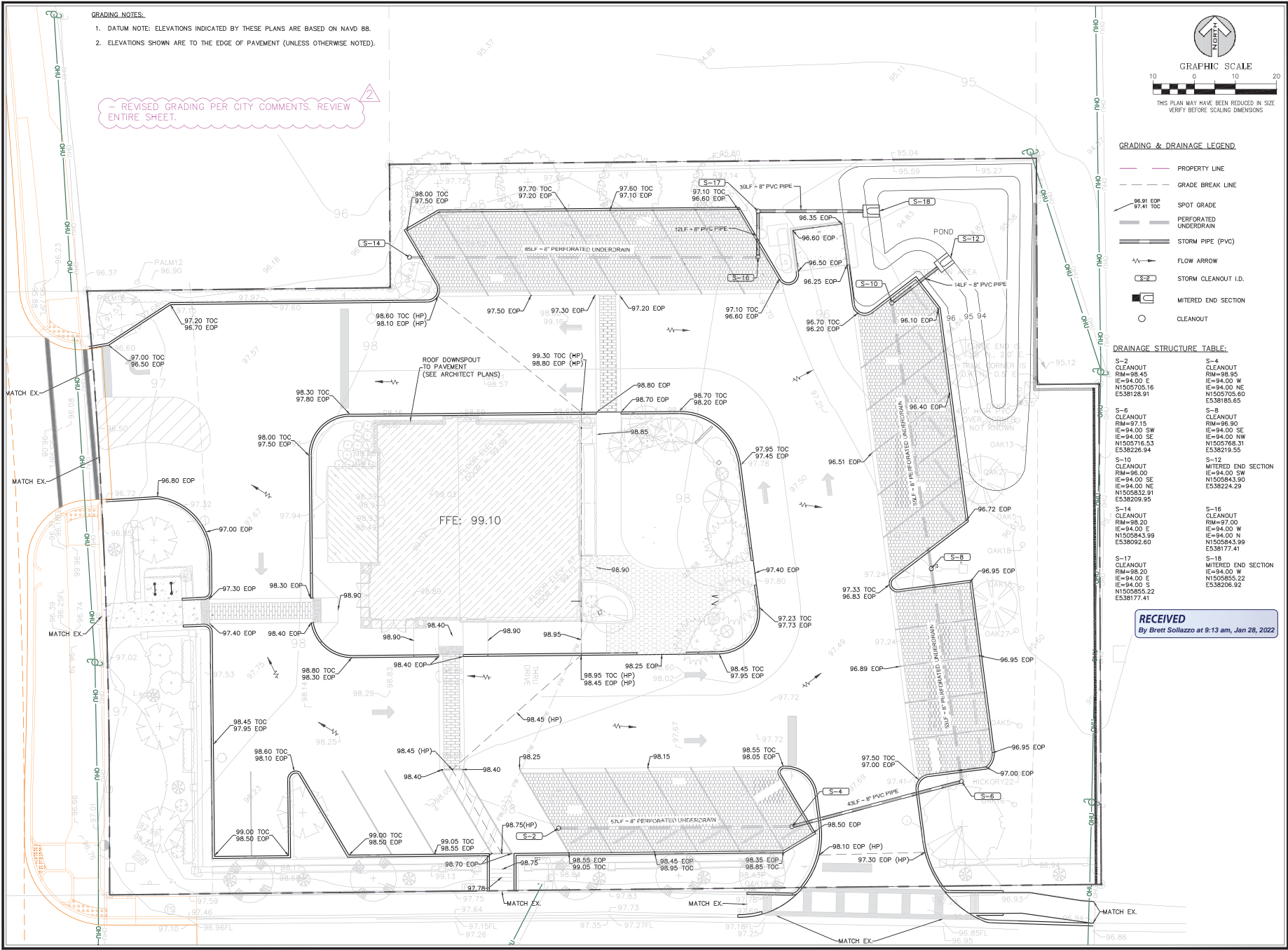
Grading and Drainage Plan

Scale: SEE SHEET
Date: 2024-09-25
Project: No. 7391000

Design: DWT
Drawn: AJT
Check: DWT

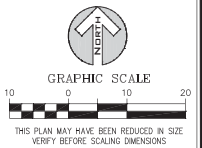
David W. Taylor, PE
FL No. 44093

Release:



- GRADING NOTES:**
- DATUM NOTE: ELEVATIONS INDICATED BY THESE PLANS ARE BASED ON NAVD 88.
 - ELEVATIONS SHOWN ARE TO THE EDGE OF PAVEMENT (UNLESS OTHERWISE NOTED).

REVISED GRADING PER CITY COMMENTS. REVIEW ENTIRE SHEET.



GRADING & DRAINAGE LEGEND

- PROPERTY LINE
- - - GRADE BREAK LINE
- SPOT GRADE
- ▨ PERFORATED UNDERDRAIN
- ▬ STORM PIPE (PVC)
- ↔ FLOW ARROW
- (with number) STORM CLEANOUT I.D.
- ▭ MITERED END SECTION
- CLEANOUT

DRAINAGE STRUCTURE TABLE:

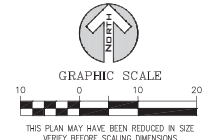
S-2 CLEANOUT RM=98.45 IE=94.00 SW N1505705.16 E538128.91	S-4 CLEANOUT RM=98.95 IE=94.00 W N1505705.60 E538185.65
S-6 CLEANOUT RM=97.15 IE=94.00 SW N1505716.53 E538226.94	S-8 CLEANOUT RM=96.90 IE=94.00 SE N1505768.31 E538219.55
S-10 CLEANOUT RM=96.00 IE=94.00 SE N1505843.99 E538209.95	S-12 MITERED END SECTION IE=94.00 SW N1505843.90 E538224.29
S-14 CLEANOUT RM=98.20 IE=94.00 E N1505843.99 E538092.60	S-16 CLEANOUT RM=97.00 IE=94.00 W N1505855.22 E538177.41
S-17 CLEANOUT RM=98.20 IE=94.00 E N1505855.22 E538177.41	S-18 MITERED END SECTION IE=94.00 W N1505855.22 E538208.92

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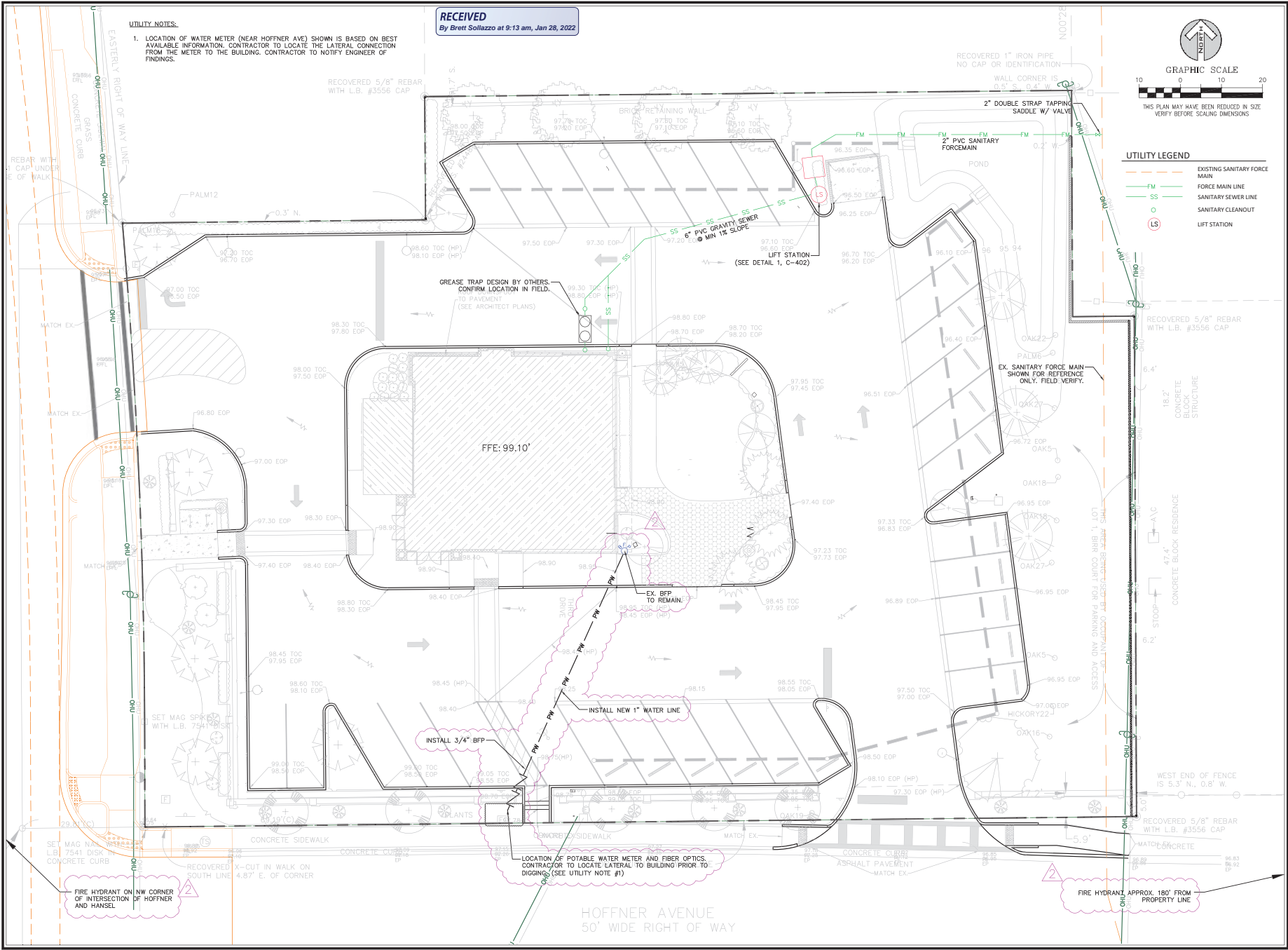
UTILITY NOTES.

1. LOCATION OF WATER METER (NEAR HOFFNER AVE) SHOWN IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR TO LOCATE THE LATERAL CONNECTION FROM THE METER TO THE BUILDING. CONTRACTOR TO NOTIFY ENGINEER OF FINDINGS.



UTILITY LEGEND

- FM EXISTING SANITARY FORCE MAIN
- FM FORCE MAIN LINE
- SS SANITARY SEWER LINE
- SS SANITARY CLEANOUT
- LS LIFT STATION



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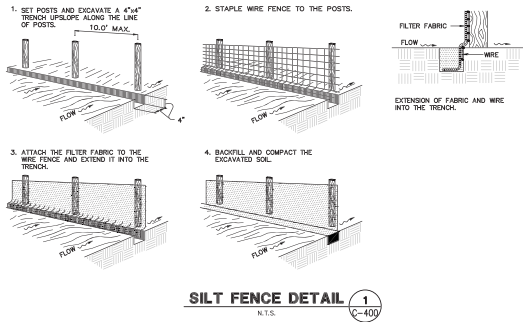
Revisions:

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UTILITY PLAN
Scale: SEE SHEET
Date: 2021-10-26
Project No: 7281000
Design: DWT
Drawn: AJT
Checked: DWT

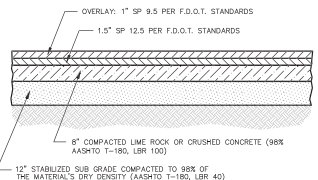
David W. Taylor, PE
EIR 9814
Release:

C-300

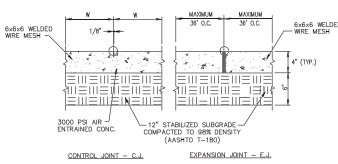


SILT FENCE DETAIL 1
N.T.S. C-400

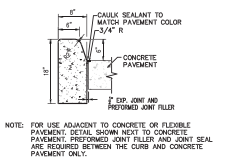
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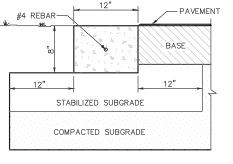
TYPICAL ASPHALT PAVEMENT DETAIL 4
N.T.S. C-400



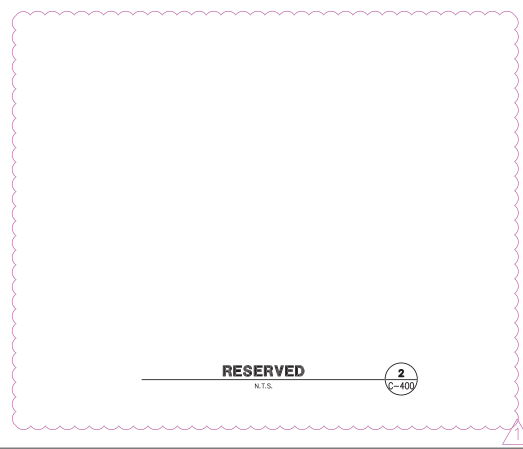
SIDEWALK DETAIL 7
N.T.S. C-400



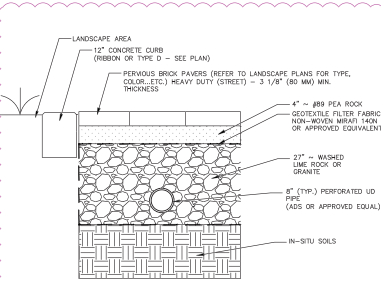
TYPE D CURB 8
N.T.S. C-400



RIBBON CURB DETAIL 9
N.T.S. C-400

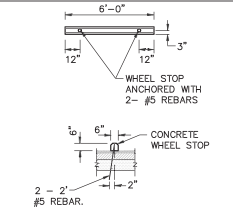


RESERVED 2
N.T.S. C-400

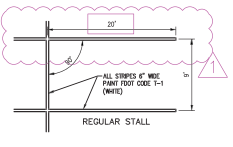


PERVIOUS PAVER DETAIL 5
N.T.S. C-400

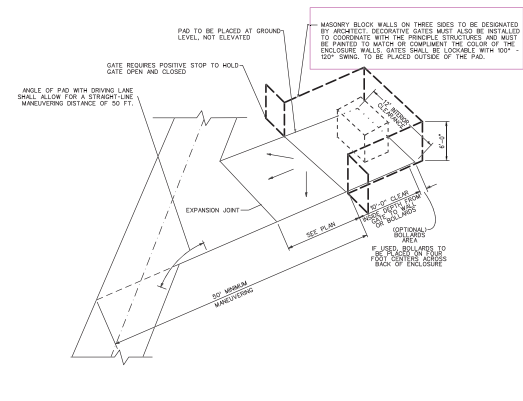
1. A THICKENED EDGE SHALL BE PROVIDED BETWEEN SIDEWALK, DRIVEWAYS OR PARKING LOT.
2. SLOPE CONC. SIDEWALKS AWAY FROM BLDGS TO PROVIDE POSITIVE DRAINAGE.
3. PROVIDE CONTROL JOINTS AT INTERVALS EQUAL TO SIDEWALK WIDTH.
4. PROVIDE EXPANSION JOINTS IN SIDEWALKS IN PLACE OF EVERY SIXTH CONTROL JOINT.
5. PROVIDE 1/2\" PREWOLDED EXPANSION JOINT WHERE CONCRETE WALL ABUTS STRUCTURES, POLES, AND OTHER SIDEWALKS, ETC.
6. ALL SIDEWALKS SHALL HAVE A MAXIMUM 2% CROSS-SLOPE.
7. SIDEWALKS SHALL BE MIN. 6 FT. WIDE.
8. ALL SIDEWALKS SHALL HAVE WELDED WIRE MESH, 2\"/>
- 9. CONCRETE SIDEWALK SHALL BE OF CLASS 1 CONCRETE.



WHEELSTOP DETAIL 10
N.T.S. C-400

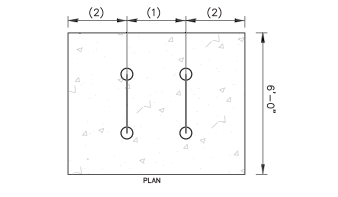


PARKING STALL STRIPING DETAIL 11
N.T.S. C-400



DUMPSTER ENCLOSURE DETAIL 3
N.T.S. C-400

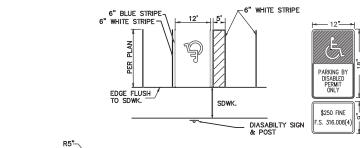
- NOTES:
1. CONTRACTOR SHALL INSTALL CLEANOUTS AT THE END OF EACH LINE AND AT EACH LINE INTERSECTION.



- NOTES:
1. 48\"/>
 - 2. 30\"/>
 - 3. TUBE DIAMETER MUST BE A MINIMUM OF 1.5\"/>
 - 4. RACK HEIGHT MUST BE NO TALLER THAN 35\"/>
 - 5. BIKE RACK TO HAVE POWDERED COATING.
 - 6. SEE IMAGE BELOW FOR VISUAL REFERENCE OF BIKE RACKS

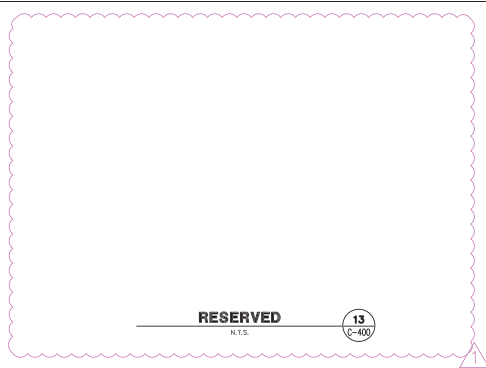


BIKE RACK DETAIL 14
N.T.S. C-400



ACCESSIBLE PARKING DETAIL 12
N.T.S. C-400

- NOTES:
1. ALL LETTERS ARE 1\"/>
 - 2. TOP PORTION OF SIGN SHALL HAVE REDUCED CONTRAST (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REDUCED CONTRAST LEGEND AND BORDER.
 - 3. BOTTOM PORTION OF SIGN SHALL HAVE A REDUCED CONTRAST (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPPOSITE LEGEND AND BORDER.
 - 4. ONE (1) SIGN IS REQUIRED FOR EACH PARKING SPACE.
 - 5. HEIGHT OF SIGN SHALL BE 7\"/>
 - 6. ALL ACCESSIBLE PARKING SPACES SHALL BE GRADED NOT TO EXCEED A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.



RESERVED 13
N.T.S. C-400

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1200 Hillcrest Street
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www.harrisengineers.com
EB 9814

5645 HANSEL AVE, EDGEWOOD, FL
C/O NELSON LERMA, JR
1073 CAMPBELL ST
Orlando, Florida
32806

Revisions:

No.	Date	Description
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DETAILS

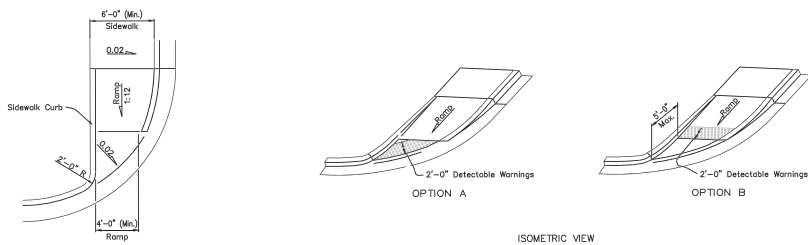
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Date: 02/27/22
Project No: 7291000

Design: DWT
Drawn: CT
Checked: DWT



Release:

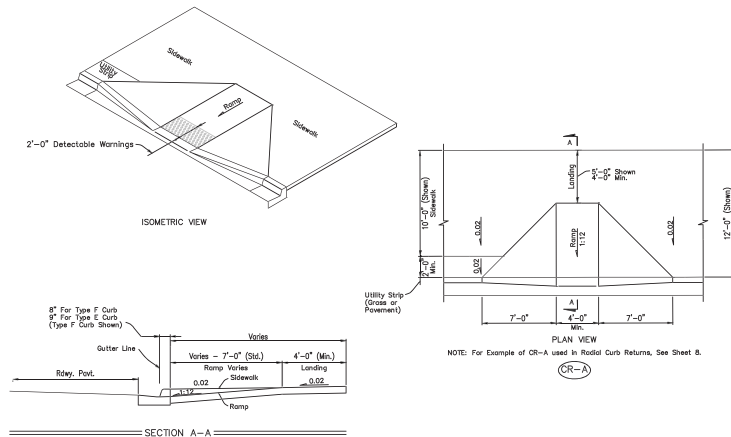
C-400



CURB RAMP CR-G DETAIL

N.T.S.

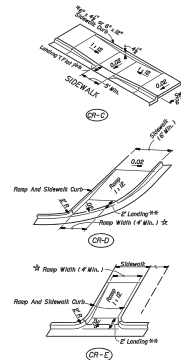
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C-401



CURB RAMP CR-A DETAIL

N.T.S.

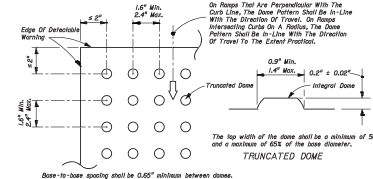
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C-401



CURB RAMP CR-C DETAIL

N.T.S.

3
C-401



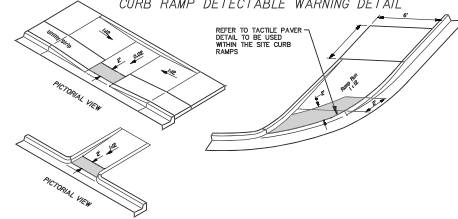
Dome-to-dome spacing shall be 0.60" minimum between domes.

PLAN VIEW

All Sidewalk Curb Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of The Ramp And In The Direction Of Travel 24 Inches (60 cm) From The Base Of Curb.

Tactile domes shall be concrete stamped. Dome area shall be integrally cast color concrete (red). Tactile dome mat will not be acceptable.

CURB RAMP DETECTABLE WARNING DETAIL



TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMPS

HARRIS

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Orlando, Florida

32806

Revisions:

No.	Date	Description
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DETAILS

Scale: N.T.S.
Date: 2022-10-25
Project No: 7391000

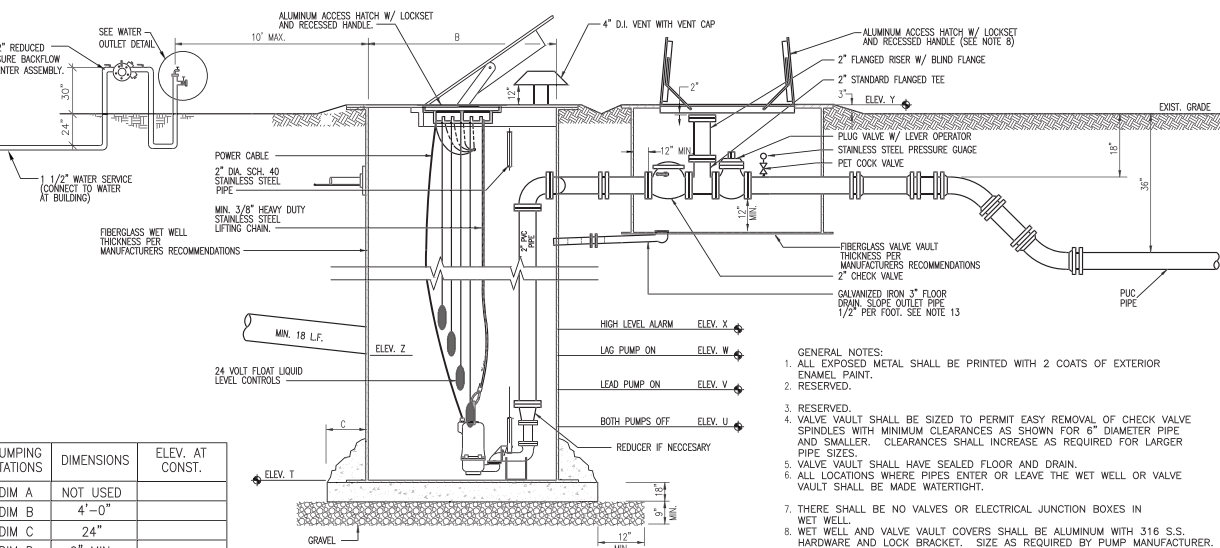
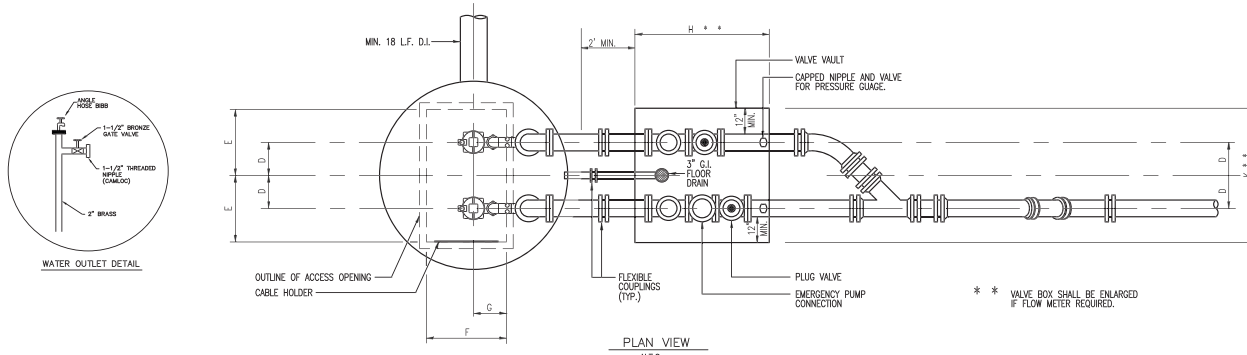
Design: DWT
Drawn: AL
Checked: DWT

David W. Taylor, PE
FL 054640000

Release:

RECEIVED
By Brett Sollazzo at 9:13 am, Jan 28, 2022

C-401



PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	NOT USED	
DIM B	4'-0"	
DIM C	24"	
DIM D	9" MIN.	
DIM E	18"	
DIM F	30"	
DIM G	*	
DIM H	5.00'	
DIM J		
DIM K	5.00'	
ELEV T		88.17'
ELEV U		90.17'
ELEV V		91.17'
ELEV W		91.67'
ELEV X		92.17'
ELEV Y		97.50'
ELEV Z		92.67'
* PER PUMP MANUFACTURERS REQUIREMENT		

SECTION VIEW
N.T.S.
PUMP STATION DETAILS
PLANS, SECTION, AND NOTES

- GENERAL NOTES:
- ALL EXPOSED METAL SHALL BE PRINTED WITH 2 COATS OF EXTERIOR ENAMEL PAINT.
 - RESERVED.
 - RESERVED.
 - VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE SIZES.
 - VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
 - ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT.
 - THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN WET WELL.
 - WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWARE AND LOCK BRACKET. SIZE AS REQUIRED BY PUMP MANUFACTURER.
 - FLEXIBLE COUPLING SHALL BE SLEEVE TYPE.
 - PUMPS SHALL BE:
MANUFACTURER: PENTAIR; MODEL: HVH200; IMP: -----; DIA: -----;
MM. SPEED: 3450 RPM; DISCHARGE SIZE: 1-1/4" IN.; VOLTAGE: ***;
HZ: 60; (PHASE: 3; H.P.: 2.0);
MIN. SOLID SIZE: ----- IN.; CURVE: -----
 - CONTRACTOR TO FIELD VERIFY AVAILABLE VOLTAGE AND PHASE PRIOR TO PROCUREMENT OF PUMPS
 - OPERATING CONDITIONS SHALL BE 20 GPM AT 73 FEET TDH.
 - ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.
 - CONTRACTOR MAY INSTALL A "P" TRAP BETWEEN THE VALVE VAULT AND WET WELL AS AN ALTERNATIVE TO THE FLOOR DRAIN SHOWN.
 - OTHER PUMPS WILL BE CONSIDERED DURING SHOP DRAWING REVIEW. ALL SUBSTITUTES ARE SUBJECT TO DENIAL AT THE DISCRETION OF THE ENGINEER.
 - CONTRACTOR TO PROVIDE MANUFACTURER'S DOCUMENTATION OF WET WELL AND VALVE VAULT H-20 LOADING CAPABILITY AT SHOP DRAWING REVIEW. SHOP DRAWINGS WILL NOT BE APPROVED OTHERWISE.

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Revisions:

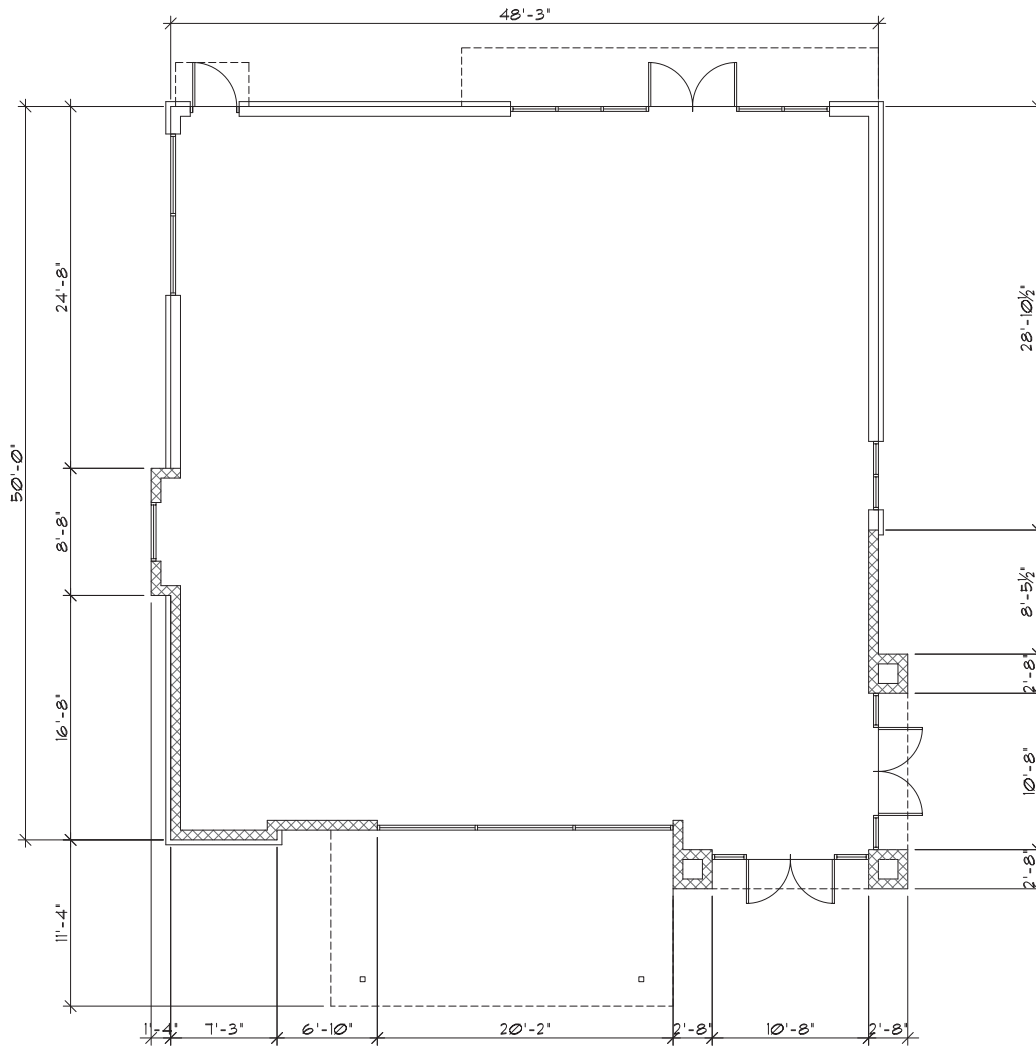
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LIFT STATION DETAIL
Scale: N.T.S.
Date: 02/21/05
Project No: 7391000
Design DWI
Drawn CT
Checked DWT

David W. Taylor, PE
FL No. 44293
Release:

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By Brett Sollazzo at 9:13 am, Jan 28, 2022

C-402



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



WALL LEGEND	
	1 HR FIRE RATED PARTITIONS FROM FLOOR TO BOTTOM OF ROOF/FLOOR DECK 3-5/8" MTL. STUDS (SEE CHART FOR GAUGE) W/ MIN. 1/2" GYP. BD. EACH SIDE
	1 HR FIRE RATED PARTITIONS FROM FLOOR BOTTOM OF DECK ABOVE 3-5/8" MTL. STUDS (SEE CHART FOR GAUGE) 3/8" TYPE X GYP. BD. EACH SIDE - UL 1465
	8" CMU WALL SEE STRUCTURAL DRAWINGS FOR ATTACHMENT TO EXISTING STRUCTURE
	2" COURSE OF 8" CMU WALL OVER EXISTING PARAPET SEE STRUCTURAL DRAWINGS FOR ATTACHMENT TO EXISTING STRUCTURE
	EXISTING WALLS & PARTITIONS
	INTERIOR ELEVATIONS

- NOTES:
- USE MOISTURE RESISTANT GYP BOARD IN ALL WET AREAS
 - PROVIDE MATERIAL SAMPLES FOR TENANT AND LANDLORD APPROVAL

NO.	REVISIONS
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PROJECT NO.	DATE
	8-9-2021

FIRST FLOOR PLAN

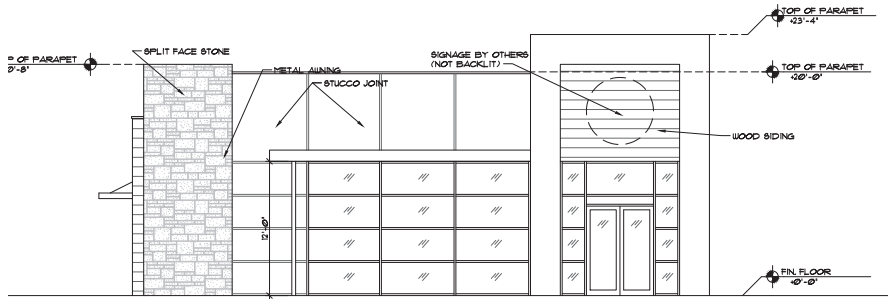
ALTERATIONS TO A
BUILDING FOR:
MECATO'S CAFE
5645 S. ORANGE AVE
EDGEWOOD, FLORIDA

RABITS & ROMANO ARCHITECTURE PLANNING AND DESIGN
18407 rabbits-architect.com
TEL: 407-400-0300
FAX: 407-522-0000
3127 SOUTH ORANGE AVE
SUITE 100 ORLANDO, FL 32809

SIGN/SEAL

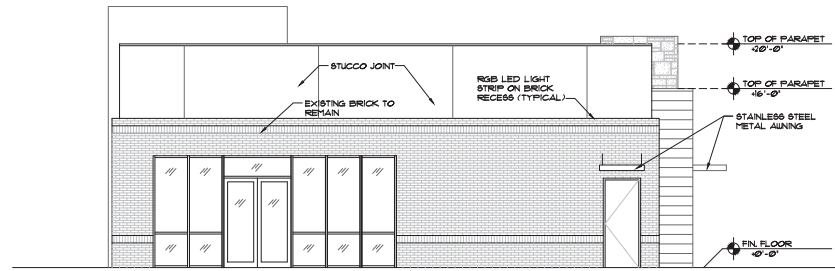
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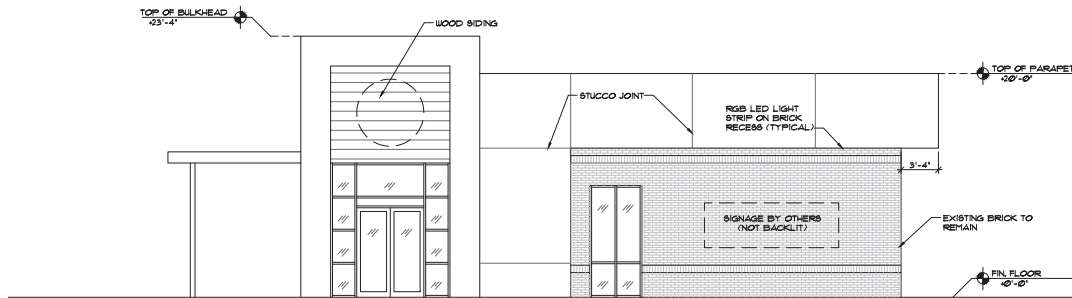
WEST ELEVATION

SCALE: 3/16"=1'-0"



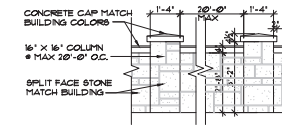
EAST ELEVATION

SCALE: 3/16"=1'-0"



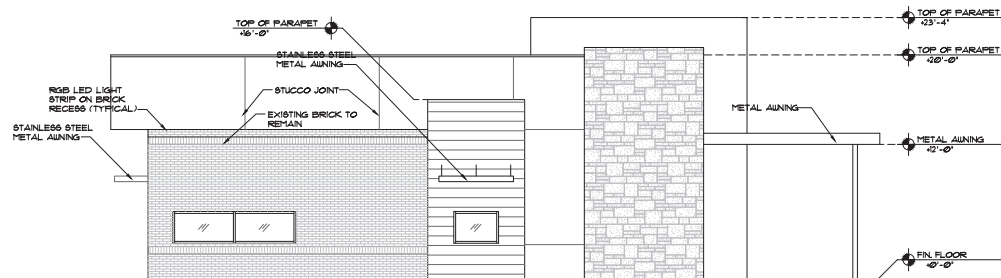
SOUTH ELEVATION

SCALE: 3/16"=1'-0"



TYPICAL PRIVACY WALL

SCALE: 3/8"=1'-0"



NORTH ELEVATION

SCALE: 3/16"=1'-0"

REVISIONS					
1					
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PROJECT NO.	
DATE	8-5-2021

ELEVATIONS

ALTERATIONS TO A
BUILDING FOR:
MECATO'S CAFE
5645 S. ORANGE AVE
EDGEWOOD, FLORIDA

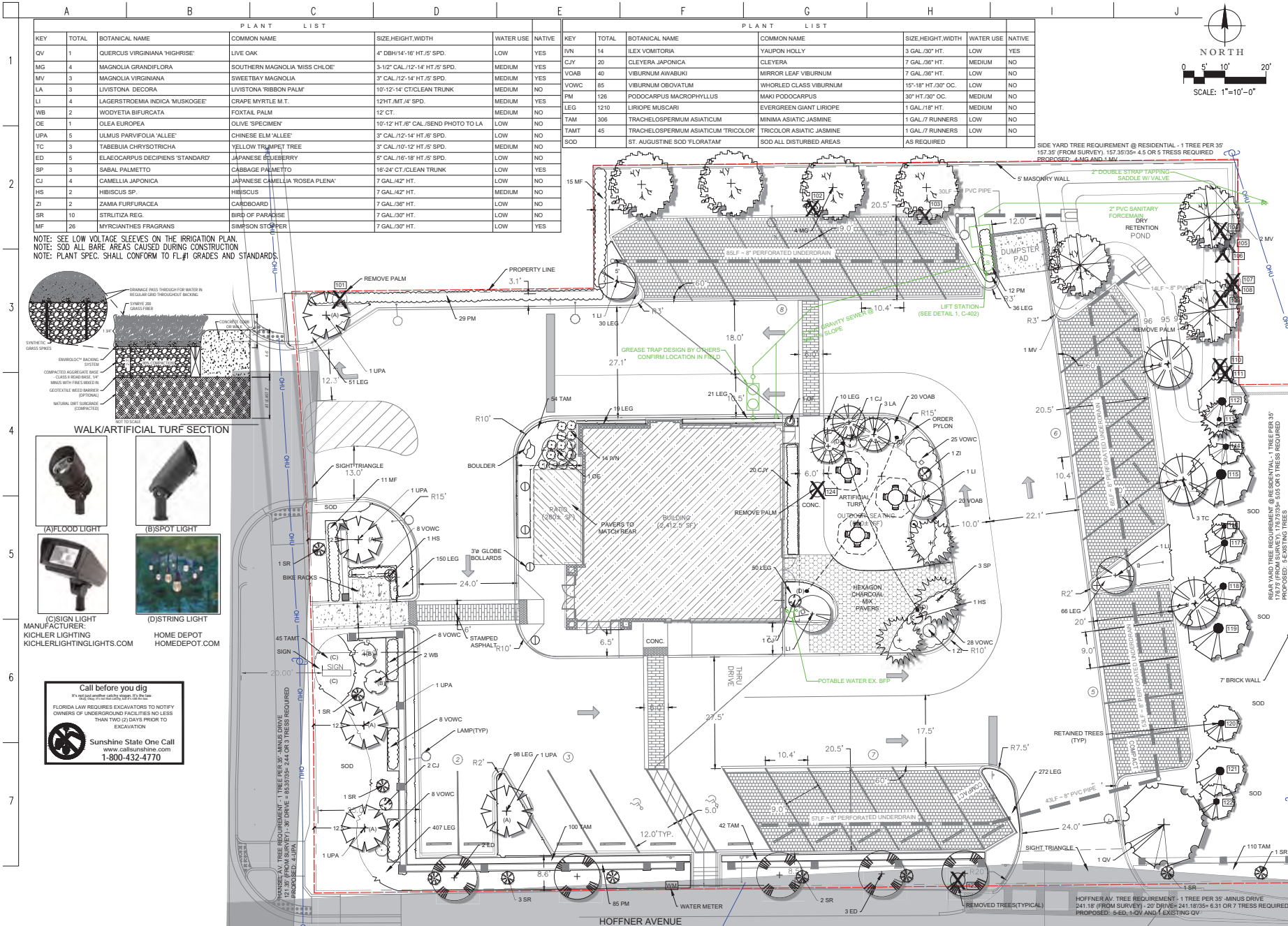
AA26002490
PLANNING
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TEL: 407-894-0150
5127 SOUTH ORANGE AVE.
SUITE 100 WALKERWOOD, FL 32789
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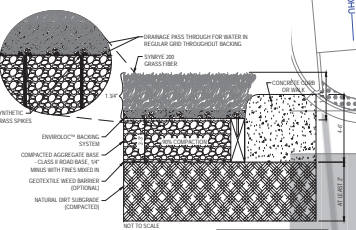
DATE

SHEET
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of
16



PLANT LIST						PLANT LIST							
KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE	KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE
QV	1	QUERCUS VIRGINIANA 'HIGHRISE'	LIVE OAK	4" DBH/14'-16" HT./5' SPD.	LOW	YES	RUN	14	ILEX VOMITORIA	YALPON HOLLY	3 GAL./30" HT.	LOW	YES
MG	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA 'MISS CHLOE'	3-1/2" CAL./12'-14" HT./5' SPD.	MEDIUM	YES	CJ7	20	CLEYERA JAPONICA	CLEYERA	7 GAL./30" HT.	MEDIUM	NO
MV	3	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	3" CAL./12'-14" HT./5' SPD.	MEDIUM	YES	VOAB	40	VIBURNUM ANABIKU	MIRROR LEAF VIBURNUM	7 GAL./30" HT.	LOW	NO
LA	3	LIVISTONA DECORA	LIVISTONA 'RIBBON PALM'	10'-12'-14" CT/CLEAN TRUNK	MEDIUM	NO	VOVC	85	VIBURNUM OBOVATUM	WORLEDED CLASS VIBURNUM	15'-18" HT./30" OC.	LOW	NO
LI	4	LAGERSTROEMIA INDICA 'MUSKOGEE'	CRAPE MYRTLE M.T.	12HT. MT.4' SPD.	MEDIUM	YES	PM	126	PODOCARPUS MACROPHYLLUS	EVERGREEN GIANT LIROPE	1 GAL./18" HT.	MEDIUM	NO
WB	2	WODYETIA BIFURCATA	FOXTAIL PALM	12' CT.	LOW	NO	LEG	1210	LIROPE MUSCARI	EVERGREEN GIANT LIROPE	1 GAL./18" HT.	MEDIUM	NO
OE	1	OLEA EUROPEA	OLIVE 'SPECIMEN'	10'-12" HT./8" CAL./SEND PHOTO TO LA	LOW	NO	TAM	306	TRACHELOSPERMUM ASIATICUM	MINIMA ASIATIC JASMINE	1 GAL./7 RUNNERS	LOW	NO
UPA	5	ULMUS PARVIFOLIA 'ALLEE'	CHINESE ELM 'ALLEE'	3" CAL./12'-14" HT./5' SPD.	LOW	NO	TAMT	45	TRACHELOSPERMUM ASIATICUM 'TRICOLOR'	TRICOLOR ASIATIC JASMINE	1 GAL./7 RUNNERS	LOW	NO
TC	3	TABEUIA CHRYSOTRICHIA	YELLOW TRUMPET TREE	5" CAL./10'-12" HT./5' SPD.	MEDIUM	NO	SOD		ST. AUGUSTINE SOD 'FLORATAM'	SOD ALL DISTURBED AREAS	AS REQUIRED		
ED	5	ELEOCHARIS DECIPENS 'STANDARD'	JAPANESE BLUEBERRY	5" CAL./16'-18" HT./5' SPD.	LOW	NO							
SP	3	SABAL PALMETTO	CABBAGE PALMETTO	16'-24" CT./CLEAN TRUNK	LOW	YES							
CJ	4	CAMELLIA JAPONICA	JAPANESE CAMELLIA 'ROSEA PLENA'	7 GAL./42" HT.	LOW	NO							
HS	2	HIBISCUS SP.	HIBISCUS	7 GAL./42" HT.	MEDIUM	NO							
ZI	2	ZAMIA FURFURACEA	CARDBOARD	7 GAL./36" HT.	LOW	NO							
SR	10	STRUTZIA REG.	BIRD OF PARADISE	7 GAL./30" HT.	LOW	NO							
MF	26	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	7 GAL./30" HT.	LOW	YES							

NOTE: SEE LOW VOLTAGE SLEEVES ON THE IRRIGATION PLAN. NOTE: SOD ALL BARE AREAS CAUSED DURING CONSTRUCTION. NOTE: PLANT SPEC. SHALL CONFORM TO FL.#1 GRADES AND STANDARDS.

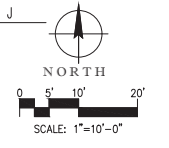


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Landscape Architecture Analysis Planning

FLORIDA
EDGEWOOD

LANDSCAPE SITE PLAN FOR
Mecatos Cafe

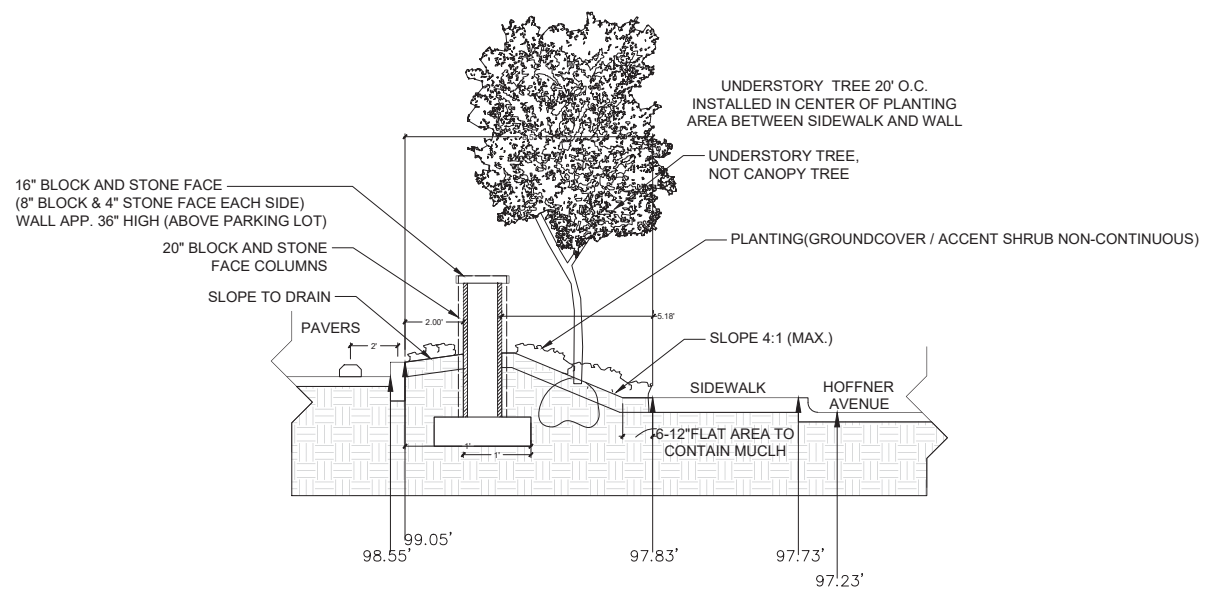
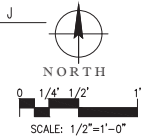
DESIGNED BY: RCD
DRAWN BY: KHD
CHECKED BY: RCD
DATE: 08-13-21

REVISIONS
1. 11-05-21
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3. 01-27-22
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TREE DISPOSITION TABLE

Tree No.	Description	DBH	Remove	Remain	Notes	Condition	Replacement Minimum Requirements	Proposed Replacement
101	Sable Palm	18	Yes				None	16-24' CT Sabal Palm
102	Sycamore	15	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Sweetbay Magnolia, 12-14' Ht. 5' Spr.
103	Sycamore	26	Yes		Specimen		6" Cal. @ 3' HT, 18' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
104	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Sweetbay Magnolia, 12-14' Ht. 5' Spr.
105	Oak	16	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Allele Elm 12-14' Ht. 6' Spr.
106	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
107	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
108	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
109	Palm	10	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
110	Oak	8	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
111	Oak	7	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
112	Oak	22		Yes	Specimen			
113	Palm	6		Yes				
114	Oak	13		Yes				
115	Oak	27		Yes	Historic			
116	Oak	5		Yes				
117	Oak	18		Yes	Specimen			
118	Oak	18		Yes	Specimen			
119	Oak	27		Yes	Historic			
120	Oak	5		Yes				
121	Hickory	22		Yes	Specimen			
122	Oak	16		Yes				
123	Oak	19	Yes		Specimen		6" Cal. @ 3' HT, 18' HT	6" Cal. Specimen Olive 10-12' Ht.
124	Palm	14	Yes				None	16-24' CT Sabal Palm

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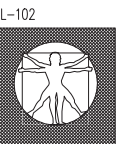


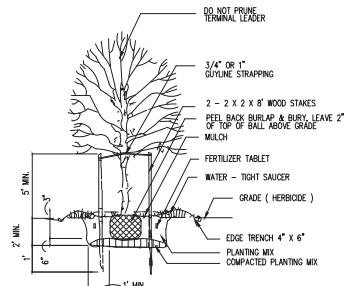
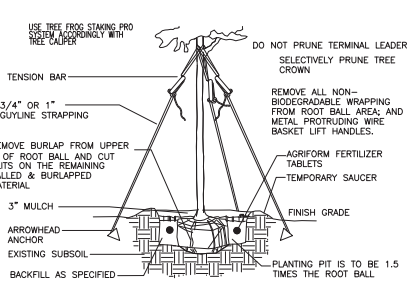
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 Fax: (407) 894-6966

LANDSCAPE SITE PLAN FOR
Mecatos Cafe
 EDGEWOOD FLORIDA

DESIGNED BY: RCD
 DRAWN BY: KHD
 CHECKED BY: RCD
 DATE: 01-25-22

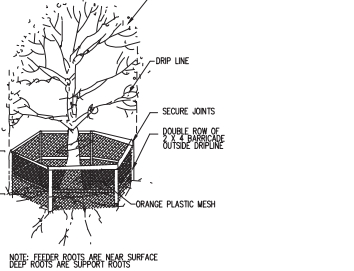
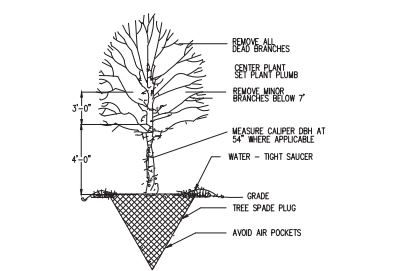
REVISIONS
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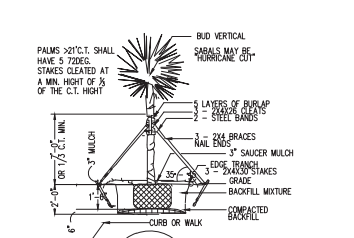
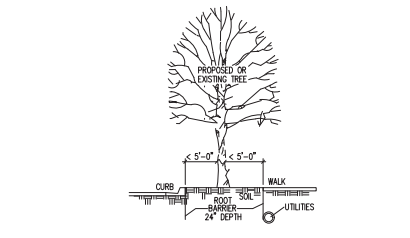
TREE STAKING DETAIL
CONTAINER OR BALL & BURLAP - 3 1/2" CAL. > NO SCALE

TREE DETAIL NO SCALE



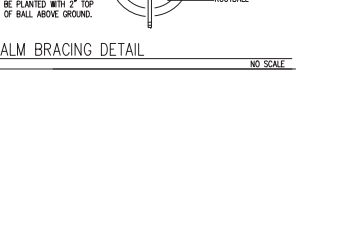
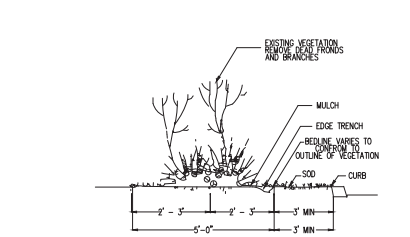
TREE TRANSPLANT DETAIL NO SCALE

TREE PROTECTION NO SCALE



ROOT BARRIER DETAIL NO SCALE

PALM BRACING DETAIL NO SCALE



SOD DETAIL NO SCALE

TREE DETAIL NO SCALE

SECTION 02900 LANDSCAPE PART ONE - GENERAL

- 1.0 SUMMARY**
- A. All portions of Division I - General Requirements are included with this section.
 - B. Furnish all transportation, materials, labor, equipment, taxes, and services to complete all work as shown on the drawings and as specified herein.
 - C. Avoid conditions which will create hazards. Post signs or barriers as required.
 - D. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains or winds etc. Repair or replace as directed.
 - E. Plant totals are for the completion of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.
 - F. Comply with all federal, state and local regulations.
 - G. Contractor shall notify L.A. of any adverse soil conditions encountered i.e. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
 - H. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

1.1 RELATED SECTIONS; SECTION 02810 IRRIGATION

- 1.2 REFERENCES**
- A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
 - B. Grades and Standards for Nursery Plants, Florida Department of Agriculture, Part II 1996
 - C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60. 1-1988)
 - D. Hortus Third, Liberty Hyde Bailey Hortorum 1976.
 - E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61080).

1.3 SUBMITTALS

- Provide to Owner's representative during:
- A. Preconstruction
 1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded.
 2. Proposed substitutions of materials or sizes.
 - B. Construction
 1. Plant inspection certificates and shipping invoices as required.
 2. All fertilizer labels and notarized letter of conformance with these specifications.
 - C. Contract Close-out
 1. Two sets as-built record documents (red-line prints).

1.4 QUALITY ASSURANCE

- A. All work shall be performed under the constant supervision of a foreman having at least one year experience or education in the nursery trades.
- B. Contractor is expected to participate in a pre-construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
- C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of work, and to establish a "Date of Substantial Completion."

1.5 MAINTENANCE

- A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the site caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed.
- B. Maintenance consists of pruning, cultivation, edging/beds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade, upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
- C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.

1.6 REPLACEMENTS

- A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the original planting and at no cost to the Owner.
- B. Replacement period commences at Date of Substantial Completion and continues as follows:
 - a. Trees - one (1) year
 - b. Shrubs - ninety (90) days
 - c. Sod - ninety (90) days
 - d. Other Products - one (1) year
- C. Time limit may be extended by mutual agreement for material in questionable health at end of guarantee period.
- D. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unreasonable planting are exempt from the guarantee provision.

3.3 INSTALLATION

- A. Topsoil
 1. Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches.
- B. Rough Grading
 1. Mold land surfaces to within 1 inch of final grade.
 2. Contractor swales and berms. Fill low areas.
 3. Ensure proper "drainage of all areas. Spread 6 inch Sod at 85% compaction (Proctor).
 4. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum.
- C. Final Grading
 1. Remove all non-conforming matter from site, such as rocks, soda, sticks, building rubble, wire, or cans.
 2. Dig out weeds by the roots.
 3. Fill in soil amendments such as lime, iron, or gypsum if indicated by local conditions; only after approval by landscape architect. Ensure uniform application.

PART TWO - PRODUCTS

- 2.0 MATERIALS**
- A. Topsoil shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conducive to production of plant life, or would interfere with future maintenance.
 - B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease and shall be stress-free. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

2.1 EQUIPMENT

- Use magnesium grading rakes of 30 inch minimum width to remove irregularities in final grade prior to sodding or seeding and to ensure a flat subgrade.

2.2 MIXES

- A. Planting Mixture
 1. Use the best natural soil existing on site, combined with fertilizer:

3.0 EXAMINATION

- A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
- B. Review engineering drawings for additional information.
- C. Coordinate work with Owner and other related trades.
- D. Relocate existing plant material as directed by landscape architect, and according to drawings.

3.1 PROTECTION

- Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.
- Remove from site existing soda, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.

3.2 PREPARATION

- 1. Sod all areas indicated on plan and areas disturbed by work of other trades.
- 2. Lay panels tightly together. Top dress cracks with sand. Water thoroughly.
- 3. Stake and guy . . . as per plan.
- 4. Fertilize Fertilize evenly at following rates:
 1. Tablet Fertilizer
 - 1 gallon plant - 1 tablet
 - 1 gallon plant - 1 to 2 tablets
 - 5 gallon plant - 2 to 3 tablets
 - Trees - 1 tablet per foot of height
 2. Granular Fertilizer
 - Work into the top 2" of soil at the rate of 20 pounds per 1000 square feet for lawn areas.
- 5. Prune Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.
- 6. Herbicide Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.
- 7. Mulch Spread to a uniform depth of 2" min. Fluff and pat in place.

3.3 FIELD QUALITY CONTROL

- A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
- B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

END OF SECTION

Call before you dig
 FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION
 Sunshine State One Call
 www.callbeforeyoudig.com
 1-800-432-4770



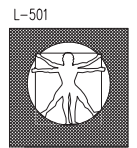
DALE & COMPANY
 Landscape Architecture Analysis Planning

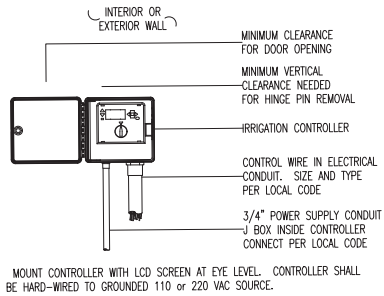
651 North Mills Avenue
 Orlando, Florida 32803
 Ph: (407) 894-1317
 Fax: (407) 894-8986

LANDSCAPE DETAILS & SPECIFICATIONS FOR
Mecatons Cafe
 FLORIDA
 EDGEWOOD

DESIGNED BY: RCD
 DRAWN BY: RCD
 CHECKED BY: RCD
 DATE: 08-13-21

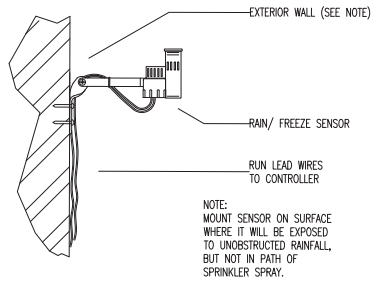
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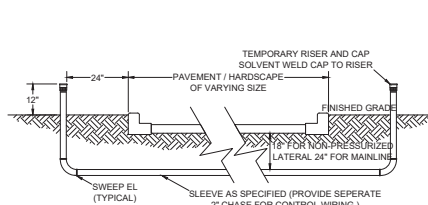


IRRIGATION CONTROLLER

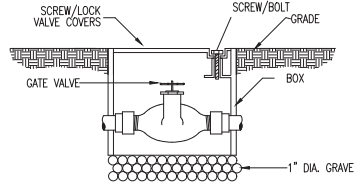
*IF THE PLAN SPECIFIES THE USE OF A TWO WIRE CONTROLLER, OR IF ONE WILL BE USED, PLEASE SEE THE ADDITIONAL DETAILS AND SPECIFICATIONS FOR IT LOCATED ON A SEPARATE SHEET. IF THE SHEET WAS NOT INCLUDED WITH THIS SET OF PLANS PLEASE CONTACT DALE AND COMPANY FOR A COPY.



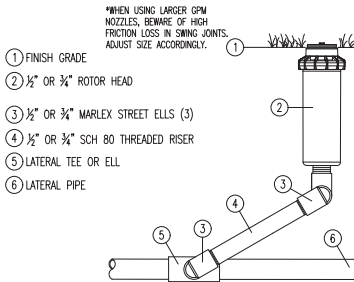
RAIN/ FREEZE SENSOR



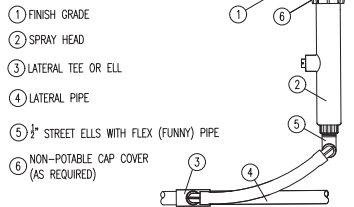
SLEEVE INSTALLATION



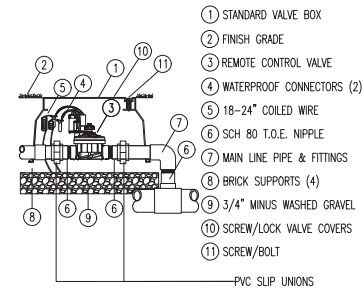
GATE VALVE



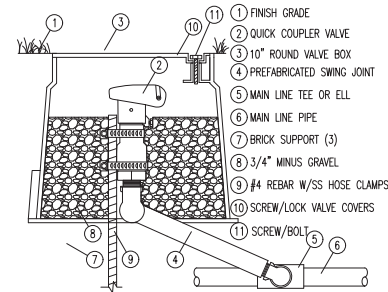
ROTOR HEAD



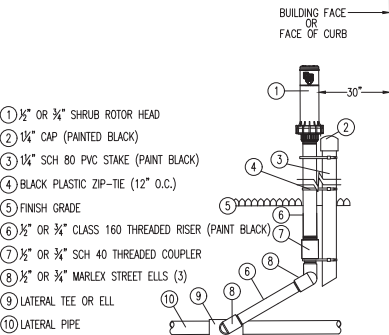
SPRAY HEAD



REMOTE CONTROL VALVE

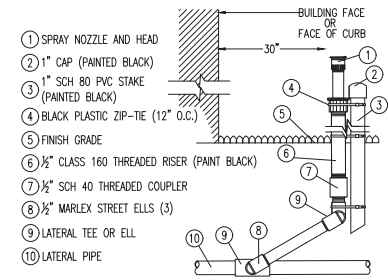


QUICK COUPLER VALVE



SHRUB ROTOR HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.



SHRUB SPRAY HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.

SECTION 0810 IRRIGATION SYSTEMS PART ONE - GENERAL

1.0 SUMMARY
A. All portions of Division 1 - General Requirements are included with this section.
B. Furnish all transportation, materials, labor, equipment, and services to complete all work shown on the drawings and as specified.

1.1 RELATED SECTIONS: section 0900 landscape planting

1.2 TOLERANCE

A. Install sprinkler heads where indicated by symbol.
B. Drawings are schematic. Adjust pipe and locations to conform to site conditions and to avoid obstructions. Conceal components behind walls of shrubbery where possible. Verify questionable locations before installation.

1.3 SUBMITTALS

A. Submit two bound folders containing:
1. Written operating instructions for all components.
2. Complete parts list and manufacturer's data.
3. Copy of well completion report.
4. Written maintenance instructions.
5. Provide 2 sets as-built record drawings with the following items dimensioned to the nearest foot:
a. Sprinkler main lines
b. Water source
c. Control valves
d. Gate valve
e. Electric control wire path (red-line print)
B. Products furnished but not installed:
1. 2 extra heads of each type and size
2. 2 extra nozzles of each type and size
3. 2 extra head wrenches for each type of head
4. 1 extra valve box with lid
1.4 COORDINATE WORK WITH OTHER AND OTHER TRADES
A. Licensed electrician will install power to the controller, pump, or fountain if utilized on project.

1.5 QUALITY ASSURANCE

A. Contractor is expected to participate in preconstruction meeting with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance criteria for payment.
B. Contractor is expected to participate in contract closeout meeting with Owner and landscape architect to verify proper completion of the work, establish Date of Substantial Completion, and advise Owner as to system operation.

1.6 WARRANTIES

A. Contractor will be fully responsible for system operation until Date of Substantial Completion.
B. Contractor is fully responsible for all parts and workmanship for one year after Date of Substantial Completion of each specific phase or portion of the project.
C. See to the fulfillment of all manufacturer's warranties.

PART TWO - PRODUCTS

2.0 MATERIALS

Backfill shall be free from stone, trash, or other debris.

2.1 MANUFACTURED UNITS

A. Automatic electro-mechanical controller fully installed and operating.
B. Electric valve installed in valve box.
C. Valve box with lid manufactured by Amtrol or "Brooks".
D. Connection for control wires manufactured by Penite or "Dix" installed as per manufacturer's directions, and above grade in valve boxes.
E. Gate valves shall be brass and installed in valve box.
F. Automatic drain valves shall be installed in 1 cubic foot gravel.

2.2 COMPONENTS

A. Control wire shall be direct burial #14, type UF. Tape to underside of main every 10 feet. Install spare ground wire - 5 extra wires.
B. Main line shall be class 200 PVC (ANSI/ASTM D2241).
C. Lateral line shall be class 160 PVC minimum (ANSI/ASTM D2241).
D. Sleeve at all roads and drive crossings shall be class 200 PVC.
E. All pipe, connectors and manhole fittings for the meter and check valve assembly will be galvanized.
F. All electrical work will conform to year construction N.E.C.

PART THREE - EXECUTION

3.0 EXAMINATION

Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.

3.1 PROTECTION

A. Locate identify, and mark all known utilities in area of the work.
B. Take reasonable care to avoid damage or hazards.
C. Damage caused by Contractor's work will be repaired to Owner's satisfaction at Contractor's expense.
D. Document any damage to work caused by other trades. Immediately bring costs to Owner's attention and quickly repair at Owner's expense, as directed.

3.2 PREPARATION

A. Surface Preparation. Stake out each run of pipes, each head, and each valve.
B. Test control wire for continuity before unrolling for installation.

3.3 INSTALLATION

A. Keep pipe interior clean and dry at all times.
B. Ensure a square cut at all joints and ream ends to a smooth finish, inside and out.
C. Lay all runs greater than 100 feet from side to side on trench bottom in serpentine pattern.
D. Support all pipe with clean, compact soil.
E. Backfill and compact to original soil.
F. Set heads plumb and flush with top of sod or mulch.
G. For lateral lines flush all debris from lines. Open valve and screw on one head at a time, starting at valve and continuing to the end. Ensure that lines are watertight.

3.4 TOLERANCES

A. Main line and drive crossings shall have 18 inches minimum cover.
B. Lateral line shall have 12 inches minimum cover.
C. All heads shall be 4 inches minimum from walls, drives, or curbs.
D. All pop-up heads and valve boxes shall be installed with top flush with grade.
E. All heads shall be installed plumb.

3.5 FIELD TESTS

Apply 100 psi hydrostatic pressure to main lines for 120 minutes. If a leak is found, repair and retest until satisfactory.

3.6 ADJUSTMENTS

A. Adjust sprinkler patterns and radius. Ensure uniform and sufficient coverage for optimum plant growth.
B. Be heads shall be allowed to spray walls, fences, walls, or drives.
C. Set times to operate as appropriate for season, soil type, drainage, and plant requirements.

3.7 FIELD QUALITY CONTROL

A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include, type, quantities, sizes, locations, dimensions, and quality of materials and workmanship.
C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work at all times.

END OF SECTION



DALE & COMPANY
Ph: (407) 894-1317
Fax: (407) 894-8986

651 North Mills Avenue
Orlando, Florida 32803

LANDSCAPE ARCHITECTURE ANALYSIS PLANNING

DESIGNED BY: RCD
DRAWN BY: RCD
CHECKED BY: RCD
DATE: 09-09-21

IRRIGATION DETAILS & SPECIFICATIONS FOR Mecatos Cafe

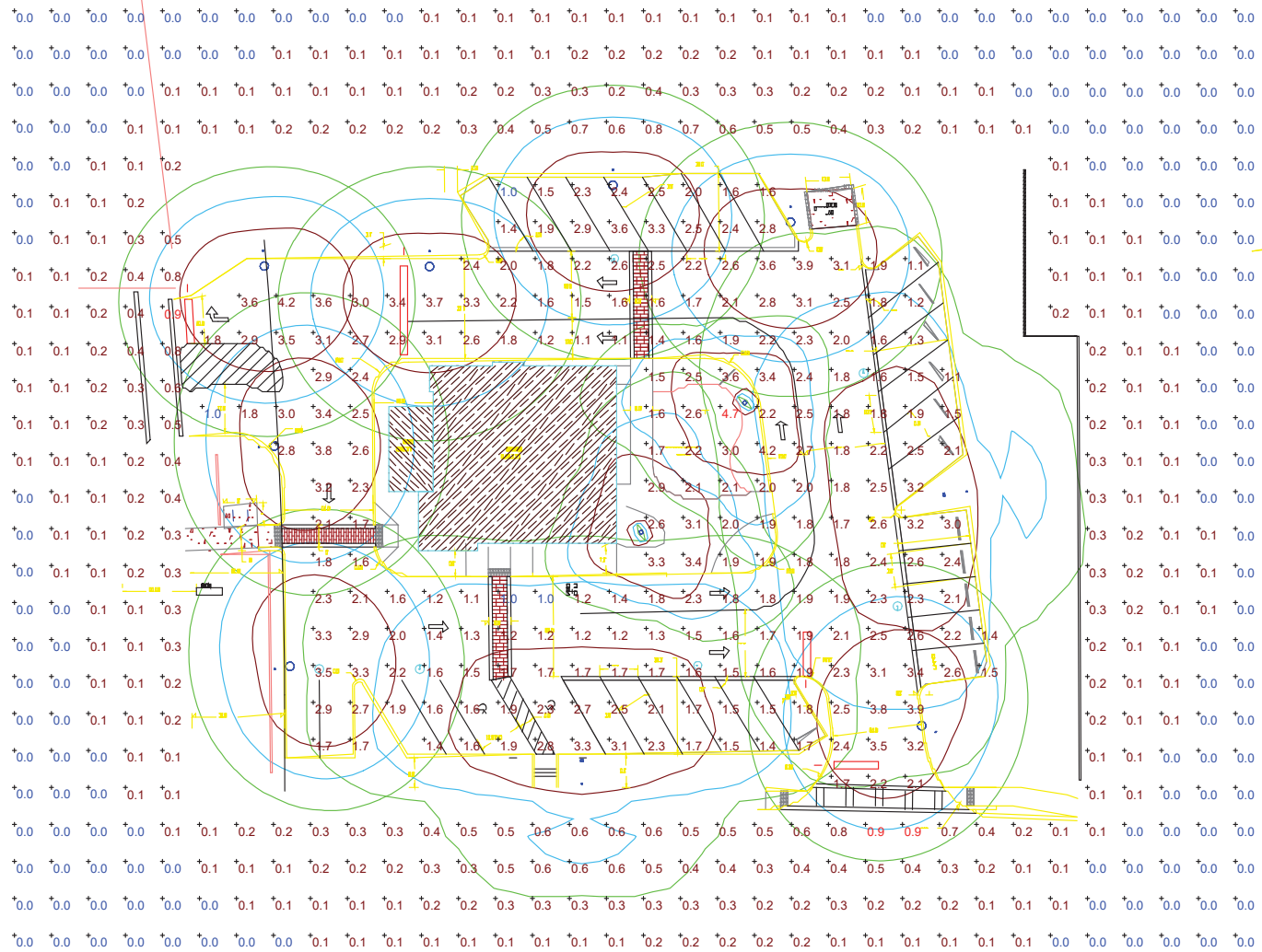
FLORIDA

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LI-501



Call before you dig
It's not just another calling program. It's the law.
FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION
Sunshine State One Call
www.callsunshine.com
1-800-432-4770



Catalog Number	
Notes	Type

GBLF3

GlasWerks® Luminescent LED Bern®



General Description

The architectural luminaire consists of a flat LED optical assembly shielded by a decorative formed housing and a top mounted cast aluminum electrical assembly. The optical assembly is seamlessly integrated into the form factor for beautiful daytime appearance and exceptionally uniform lighting at night.

Optical Assembly

The optical assembly consists of an edgelit waveguide light engine for unmatched visual comfort. Light from the LED module is distributed by proprietary wave guide technology to maximize uniformity and minimize glare. Configurable with CCT options of 2700K, 3000K, and 4000K. CRI is 70 minimum. Available with asymmetric, symmetric, or pathway distributions.

Mounting Style

Optional mounting styles include Quick Lock Stem, NPT threads, and horizontal arm.

Quick Lock Stem Mounting style is compatible with the following leveling fitters:

- Boston Harbor Decorative Arm Fitter (BHDF)
- GlasWerks Decorative Arm Fitter (GWDF)
- West Liberty Decorative Arm Fitter (WLDF)
- Ball Style Decorative Fitter (BADF)

Electrical Assembly

The cast aluminum electrical housing has a smooth domed contour. A (3) station terminal block is provided to accept #14 through #2 size wire. The electrical housing is hinged with a tool-less latch to provide easy access to the gear assembly. The unitized electrical assembly, containing the electronic driver and other electrical components, plugs into the quick disconnect receptacle. The pendant mount version has a welded stem (Quick Lock Stem Mounting), which aids in installation speed. The arm mount version is provided with two U-bolts with washers and nuts and two leveling set screws that lock the housing to a 2 inch nominal (2-3/8" O.D.) horizontal

arm and allow a $\pm 5^\circ$ degree adjustment from horizontal to the cover.

Electrical System

Programmable LED driver with 0-10V dimming. Optional DALI dimming. Driver life is rated to at least 100,000 hours. Luminaire surge protection rating of 20kV/10kA per ANSI/IEEE C62.41.2.

Finish

The luminaire is finished with corrosion resistance super durable powder coat paint to ensure maximum durability. Finish is rated to 5,000 hours salt spray per ASTM B117.

Listing

The luminaire is CSA certified to US and Canadian standards. IP55 rated electrical chamber, IP66 rated LED optic chamber. 20kV/10kA extreme surge protection per ANSI/IEEE C136.2. Suitable for operation in ambient temperatures from -40°C to 40°C

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Buy American

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

Warranty

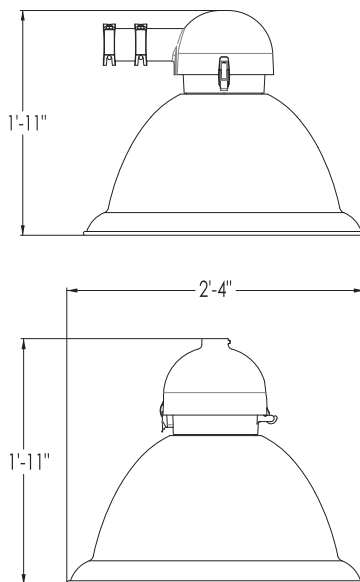
Limited warranty located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

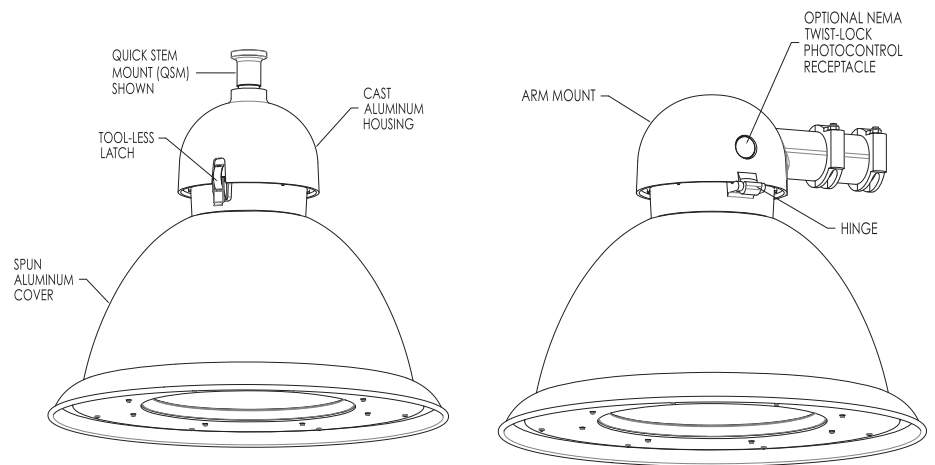
Specifications subject to change without notice.

DIMENSIONAL DATA



Maximum Weight - 51 lbs

Maximum Effective Projected Area - 1.2 ft²



ORDERING INFORMATION

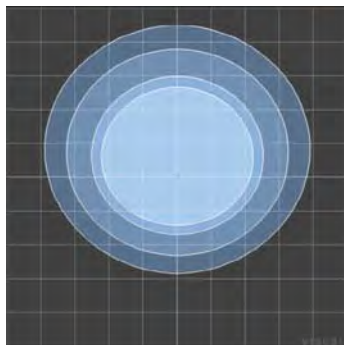
Example: GBLF3 P30 40K MVOLT ASY QSM BK

Cover Type	LED Lumen Package	Color Temperature	Voltage	Optics	Mounting Style	Finish Color
GBLF3 Bern	P10 P10 Performance Package	27K 2700K, 70 CRI	MVOLT 120-277V	ASY Asymmetric	ARM Horizontal Arm Mount	BK Black
	P20 P20 Performance Package	30K 3000K, 70 CRI	HVOLT 347-480V	SYM Symmetric	NPT 1.5" NPT Thread	BZ Bronze
	P30 P30 Performance Package	40K 4000K, 70 CRI		PTH Pathway	QSM Quick Stem Mount	GH Graphite
	P40 P40 Performance Package					GN Green
	P50 P50 Performance Package					GR Gray
	P60 P60 Performance Package					WH White
	P70 P70 Performance Package					
	P80 P80 Performance Package					

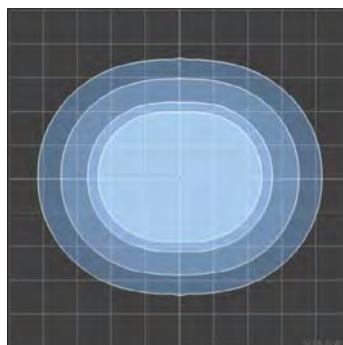
Options	
<u>Control Options:</u>	<u>Prewire Lead Options:</u>
PR3 3 pin NEMA photocontrol receptacle	L03 3ft prewire leads
PR7 7 pin NEMA photocontrol receptacle	L10 10ft prewire leads
PR3E 3 pin NEMA photocontrol external	L20 20ft prewire leads
PR7E 7 pin NEMA photocontrol external	L25 25ft prewire leads
P34 Solid state long life photocontrol (347V)	L30 30ft prewire leads
P48 Solid state long life photocontrol (480V)	
PCLL DLL photocontrol	<u>NEMA Label Options:</u>
SH Shorting cap	NL1X1 1" x 1" NEMA label
A0 Adjustable Output Module	NL3X3 3" x 3" NEMA label
DALI DALI dimming	
WG Wire guard (ships separately)	
HSS House side shield (ships separately)	

Accessories: Order as separate catalog number.	
GBLF3HSS	House side shield
GBLF3WG	Wire guard

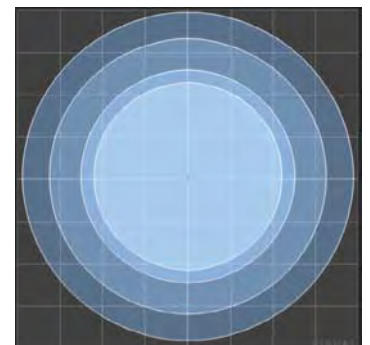
OPTICAL DISTRIBUTIONS



ASY



PTH



SYM

PERFORMANCE DATA

Lumen and Wattage Data

Lumen Package	System Wattage	Distribution	2700K, 70 CRI		3000K, 70 CRI		4000K, 70 CRI	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P10	30	ASY	3,738	126	3,870	130	4,122	139
		SYM	3,860	130	3,995	134	4,256	143
		PTH	3,681	124	3,811	128	4,059	137
P20	51	ASY	6,143	121	6,359	125	6,774	134
		SYM	6,343	125	6,565	129	6,994	138
		PTH	6,049	119	6,262	123	6,671	132
P30	62	ASY	7,377	118	7,636	122	8,135	130
		SYM	7,617	122	7,884	126	8,399	135
		PTH	7,264	116	7,520	120	8,011	128
P40	75	ASY	8,767	116	9,075	121	9,668	128
		SYM	9,052	120	9,370	124	9,982	133
		PTH	8,633	115	8,937	119	9,520	126
P50	95	ASY	10,810	114	11,190	118	11,920	125
		SYM	11,161	117	11,553	121	12,308	129
		PTH	10,645	112	11,019	116	11,738	123
P60	118	ASY	12,781	108	13,230	112	14,094	119
		SYM	13,196	111	13,660	115	14,551	123
		PTH	12,586	106	13,028	110	13,878	117
P70	151	ASY	15,726	104	16,278	108	17,341	115
		SYM	16,236	108	16,807	111	17,904	119
		PTH	15,485	103	16,029	106	17,076	113
P80	173	ASY	17,544	101	18,161	105	19,346	112
		SYM	18,114	105	18,750	108	19,974	115
		PTH	17,276	100	17,883	103	19,050	110

OPTIONS MATRIX

		Lumen Package								Voltage		Receptacle				Photocontrol				Dimming Options	
		P10	P20	P30	P40	P50	P60	P70	P80	MVOLT	HVOLT	PR3	PR7	PR3E	PR7E	PCLL	PCL3	PCL4	SH	AO	DALI
Lumen Package	P10		N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P20	N		N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P30	N	N		N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P40	N	N	N		N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P50	N	N	N	N		N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P60	N	N	N	N	N		N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P70	N	N	N	N	N	N		N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P80	N	N	N	N	N	N	N		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
Voltage	MVOLT	Y	Y	Y	Y	Y	Y	Y	Y		N	Y	Y	Y	Y	Y	N	N	Y	Y	RFD
	HVOLT	Y	Y	Y	Y	Y	Y	Y	Y	N		Y	Y	Y	Y	N	Y	Y	Y	Y	N
Receptacle	PR3	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	N	N	N	Y	Y	Y	Y	Y	RFD
	PR7	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	N	N	Y	Y	Y	Y	Y	RFD
	PR3E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N		N	N	Y	Y	Y	Y	Y	RFD
	PR7E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N		N	Y	Y	Y	Y	Y	RFD
Photocontrol	PCLL	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y		N	N	N	Y	RFD
	PCL3	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	N		N	N	Y	RFD
	PCL4	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	N	N		N	Y	RFD
	SH	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N	N		Y	RFD
Dimming Options	AO	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N
	DALI	RFD*	RFD*	RFD*	RFD*	RFD	RFD	RFD	RFD	RFD	N	RFD	RFD	RFD	RFD	RFD	RFD	RFD	RFD	RFD	N

Y = combination is available

N = combination is not available

RFD = consult factory, additional information required

RFD* = consult factory, additional information required, not CSA certified

GBLF3

GlasWerks® Luminescent LED Bern®



LED Lumen Maintenance					
25,000 hours	36,000 hours	50,000 hours	60,000 hours	75,000 hours	100,000 hours
98%	96%	94%	93%	91%	88%

Lumen maintenance calculated according to TM-21 at 25°C ambient. Italicized values are extrapolated beyond the standard.

Adjustable Output (AO) Response		
AO Setting	% Lumen Output	% Wattage
8	100%	100%
7	94%	94%
6	82%	81%
5	70%	68%
4	58%	56%
3	46%	43%
2	33%	31%
1	21%	19%

Luminaire Ambient Temperature Factor	
Ambient Temperature	Relative Lumen Output
0°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.99
40°C	0.98

Catalog Number	
Notes	Type

WFCL2

Utility Washington Series Luminaire
Full Cutoff LED2



Mechanical

- Heavy grade A360 cast aluminum (<1% copper)
- Tool-less access with a spring-loaded latch
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA twist lock photocontrol receptacle. Housing contains a tempered glass window to allow light to reach the cell for internal versions.
- Mount to slip-fitter that will accept 3" high by 2-7/8" to 3-1/8" O.D. pole tenon
- Decorative top cover contains stainless steel hinge which secures entry the LED optical chamber
- Polyester power coat paint to ensure maximum durability
- Finish meets 5,000-hour salt spray testing
- Holophane and RAL Classic finishes.

Electrical

- All surge protection meets ANSI/IEEE C62.41.2 10kV/10kA.
- Standard SPD meets 10kV/5kA per ANSI C136.2-2015.
- 20KV Option meets 20kV/10kA per ANSI C136.2-2015.
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional prewired leads for ease of installation
- LLED drivers meet maximum total harmonic distortion (THD) of 20%, >0.90 Power Factor and are ROHS compliant. Minimum operating temperature is -40C. Electronic driver has an estimated minimum life of 100,000 hours at 25°C.

Optical

- IP65 rated optical compartment
- LED circuit board located in the top cover
- Asymmetric or Symmetric full cutoff distributions
- 2700K, 3000K, 4000K, and 5000K CCT
- 70CRI Standard

Control Options

- Field Adjustable Output (AO) module - Onboard device that adjusts the light output and input wattage to meet site specific requirements. The AO module is preset at the factory to position number 8 (see chart).
- Wireless remote control for monitoring performance and/or maintenance of the system – ROAM
- Factory Programmed Driver (FPDxx) - Customize lumen output prior to manufacturing and still enables control leads so other options can also be used
- Long Life Photocontrols (PCLL) - 20 Year Life
- 3 and 7 pin photocontrol receptacles internally (P3, P7) or externally (P3E, P7E) mounted
- Part-night dimming (PND) enables luminaire to monitor and adjust 50% lumens based on season and geographic location, 8-day rolling average

Testing/Compliance

- UL 1598 - Wet Locations Safety Listing
- Suitable for ambient temperatures -40°C to 40°C
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check with the DLC Qualified Products List at www.designlights.org/QPL for updated list

Manufacturing

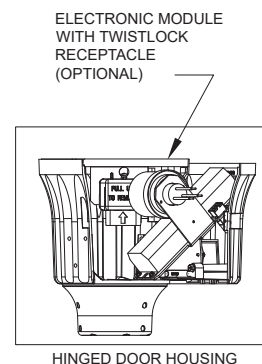
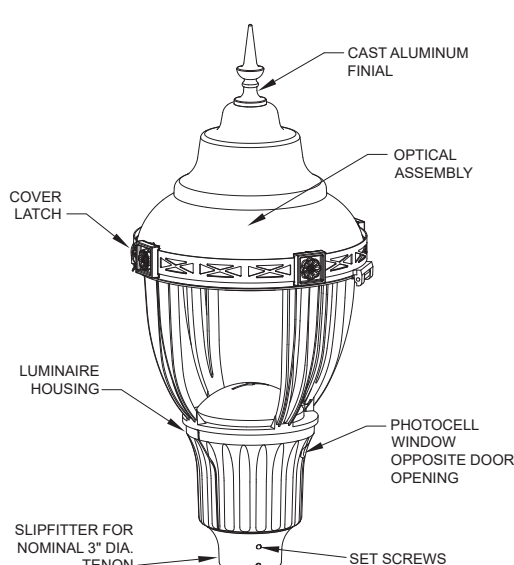
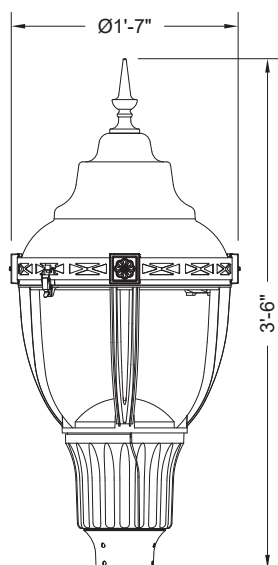
- Manufactured in Crawfordsville, Indiana, ARRA compliant
- 100% electrical testing on all luminaires before shipment
- Ten (10) years minimum experience in manufacturing LED based products

Warranty

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_Conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

DIMENSIONAL DATA



Maximum Weight - 57 lbs
Maximum Effective Projected Area - 1.72 sq. ft.

ORDERING INFORMATION

Example: WFCL2 P20 30K AS GN L2 N P73

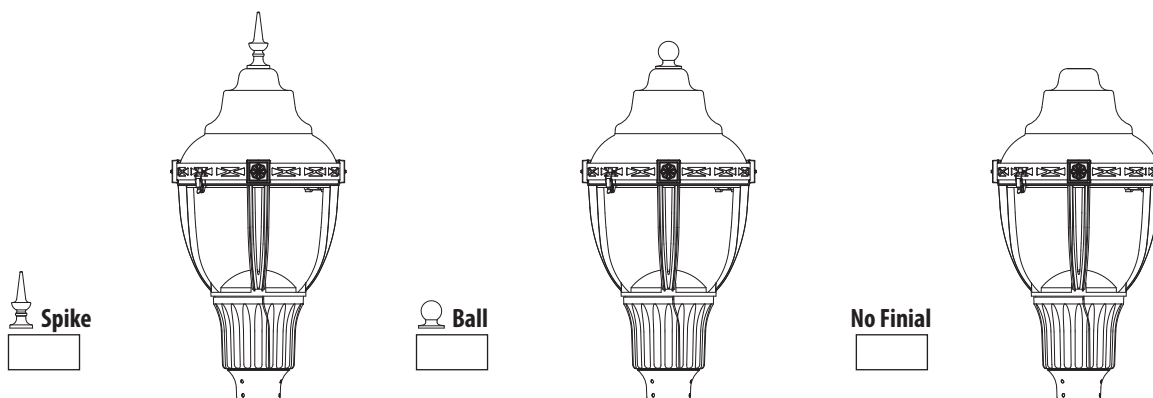
Series	Led performance package	LED Color temperature	Voltage	Housing color	Optics	Finial
WFCL2 Utility Washington LED FCO	P10 1,500 nominal lumens (amber only)	AM True amber 27K 2700K CCT	AS Auto-sensing voltage (120 thru 277) 50/60 HZ	BK Black GR Gray GH Graphite GN Green PP Prime paint WH White BZ Bronze TDC RAL Color color (RAL**) CMC Custom color match	L2 Type 2 distribution full cutoff	N None
	P20 4,500 nominal lumens	30K 3000K CCT			AH Auto-sensing voltage (347 thru 480) 50/60 HZ	L3 Type 3 distribution full cutoff
	P30 6,500 nominal lumens	40K 4000K CCT	L4 Type 4 distribution full cutoff			S Spike
	P40 8,500 nominal lumens	50K 5000K CCT	L5 Type 5 distribution full cutoff			
	P50 11,500 nominal lumens					

Options: Option Compatibility Matrix on page 3 of 4		
A0 Field Adjustable Output	P3E NEMA Twist Lock Dimming Photocontrol Receptacle - 3 PIN. Externally mounted	L1H 1.5 ft prewired leads
DE ROAM Hardware DecoNode and DCM Factory Installed	P7E NEMA Twist Lock Dimming Photocontrol Receptacle - 7 PIN. Externally mounted	L03 3ft prewired leads
FPDxx Factory Programmed Driver	RME ROAM Node (External)	L10 10 ft prewired leads
P3 NEMA Twist Lock photocontrol receptacle - 3 PIN receptacle only.	RME3 347V ROAM NODE (External)	L20 20 ft prewired leads
P7 NEMA Twist Lock Dimming photocontrol receptacle - 7 PIN receptacle only.	RME4 480V ROAM NODE (External)	L25 25 ft prewired leads
PCS DTL twistoff photocontrol for solid-state lighting 120-277V	PSC Shorting cap	L30 30 ft prewired leads
PCLL DTL long life twistlock photocontrol for solid-state AS	HSS House side shield	NL1X1 NEMA Label 1" X 1"
P34 DTL long life twistlock photocontrol for solid-state 347V		NL2X2 NEMA Label 2" X 2"
P48 DTL long life twistlock photocontrol for solid-state 480V		20KV 20kV/10kA surge protection
PND Part night dimming - down to 50%		

Accessories: Order as separate catalog number.	
XXCL2HSS1	Field Accessory - Louvered house side shield (Qty 1)
XXCL2HSSJ50	Field Accessory - Louvered house side shield (Bulk Qty 50)
XXCL2SPD10KAS	10kV/5kA Extreme surge 120-277V
XXCL2SPD10KAH	10kV/5kA Extreme surge 480V
XXCL2SPD20KAS	20kV/10kA Extreme surge 120-277VV
XXCL2SPD20KAH	20kV/10kA Extreme surge 480V

FINIAL INFORMATION

Mark Appropriate Box for Finial Options



OPTIONS MATRIX

Mounting		SELECTED OPTION (start here)																
		AO	DE	FPDxx	P3	P3E	P7	P7E	P34	P48	PCLL	PCS	PND	PSC	RME	RME3	RME4	20kV
LED Performance Package	P10	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P20	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P30	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P40	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P50	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	N
Voltage	AS	Y	Y	Y	Y	Y	Y	Y	N	N	Y	Y	Y	Y	Y	N	N	Y
	AH	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	N	N	Y	N	Y	Y	Y
Finial	B	Y	Y	Y	Y	N	Y	N	Y	Y	Y	Y	Y	Y	N	N	N	Y
	S	Y	Y	Y	Y	N	Y	N	Y	Y	Y	Y	Y	Y	N	N	N	Y
	N	Y	Y	Y	Y	M	Y	M	Y	Y	Y	Y	Y	Y	M	M	M	Y
Compatible Options	AO		N	Y	Y	Y	F	F	Y	Y	Y	Y	N	Y	N	N	N	Y
	DE	N		Y	Y	N	N	N	N	N	N	N	N	Y	N	N	N	Y
	FPDxx	Y	Y		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P3	F	M	Y	N	N	N	N	Y	Y	Y	Y	M	Y	N	N	N	Y
	P3E	F	N	Y	N		N	N	Y	Y	Y	Y	N	Y	N	N	N	Y
	P7	F	N	Y	N	N		N	Y	Y	Y	Y	N	Y	N	N	N	Y
	P7E	F	N	Y	N	N	N		Y	Y	Y	Y	N	Y	I	I	I	Y
	P34	Y	N	Y	Y	Y	Y	Y		N	N	N	N	N	N	N	N	Y
	P48	Y	N	Y	Y	Y	Y	Y	N		N	N	N	N	N	N	N	Y
	PCLL	Y	N	Y	Y	Y	Y	Y	N	N		N	M	N	N	N	N	Y
	PCS	Y	N	Y	Y	Y	Y	Y	N	N	N		M	N	N	N	N	Y
	PND	N	N	Y	Y	N	N	N	N	N	M	M		Y	N	N	N	Y
	PSC	Y	N	Y	Y	Y	Y	Y	N	N	N	N	Y		N	N	N	Y
	RME	N	N	Y	N	N	N	Y	N	N	N	N	N	N		N	N	Y
	RME3	N	N	Y	N	N	N	Y	N	N	N	N	N	N	N		N	Y
	RME4	N	N	Y	N	N	N	Y	N	N	N	N	N	N	N	N		Y
20kV	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		

Y = Valid Option Combination

F = Future ready (wired with "AO", but could accept control device with tool-less field wiring)

M = Must have: one of these must be installed for the luminaire to operate

N = Combination Not available

ROAM OPTION DETAILS

DE = UL listed components without GPS capability, external antenna is black and includes ROAM capable node only, ROAM service package sold separately via Acuity Controls

RME = UL listed device without GPS capability, blue housing color, includes ROAM capable node only, ROAM service package sold separately via Acuity Controls and contact Acuity Controls for RME device with GPS capability or non-standard color

RME3 = UL listed device without GPS capability, green housing color, includes ROAM capable node only, ROAM service package sold separately via Acuity Controls and contact Acuity Controls for RME device with GPS capability or non-standard color

RME4 = UL listed device without GPS capability, yellow housing color, includes ROAM capable node only, ROAM service package sold separately via Acuity Controls and contact Acuity Controls for RME device with GPS capability or non-standard color

LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Use the factors to determine relative lumen output for average ambient temperatures from 0-40C (32-104F)

Ambient Temp (degrees C) Lumen Multiplier								
0	5	10	15	20	25	30	35	40
1.05	1.04	1.03	1.02	1.01	1.00	0.99	0.98	0.97

PROJECTED LED LUMEN MAINTENANCE

Data references the extrapolated performance projections for the platforms noted in 25C ambient, based on 6,000 hours of IED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Package	Lumen Maintenance						L70 Hrs
	25k hrs	36k hrs	50k hrs	60k hrs	75k hrs	100k hrs	
P20-P40	0.97	0.96	0.95	0.94	0.93	0.91	383,000
P50	0.96	0.94	0.93	0.91	0.90	0.87	267,667

PERFORMANCE DATA

LED Package	Distribution	System Watts	2700K		3000K		4000K		5000K	
			Lumens	LPW	Lumens	LPW	Lumens	LPW	Lumens	LPW
P20	L2	45	4174	93	4265	95	4701	104	4853	108
	L3	45	3756	83	3838	85	4230	94	4357	97
	L4	45	3968	88	4054	90	4468	99	4603	102
	L5	45	4120	92	4210	94	4640	103	4780	106
P30	L2	66	5952	90	6082	92	6703	102	6905	105
	L3	66	5355	81	5472	83	6031	91	6213	94
	L4	66	5657	86	5781	88	6371	97	6563	99
	L5	66	5874	89	6002	91	6615	100	6815	103
P40	L2	89	7656	86	7823	88	8622	97	8882	100
	L3	89	6888	77	7038	79	7757	87	7991	90
	L4	89	7277	82	7436	84	8195	92	8442	95
	L5	89	7667	85	7721	87	8509	96	8766	98
P50	L2	139	11058	80	11300	81	12454	90	12830	92
	L3	139	9959	72	10166	73	11205	81	11543	83
	L4	139	10511	76	10740	77	11837	85	12195	88
	L5	139	10914	79	11152	80	12291	88	12662	91

FPDXX DATA OPTIONS

FPDxx Setting		P20 27K				P20 30K				P20 40K				P20 50K			
Setting	Wattage	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	45	4174	3756	3968	4120	4265	3838	4054	4210	4701	4230	4468	4640	4843	4357	4603	4780
FPD95	43	3966	3568	3769	3914	4052	3646	3852	3999	4466	4018	4245	4408	4601	4139	4373	4541
FPD90	41	3757	3380	3571	3708	3839	3454	3649	3789	4231	3807	4021	4176	4359	3921	4143	4302
FPD85	38	3548	3192	3372	3502	3626	3262	3446	3578	3996	3595	3798	3944	4117	3704	3913	4063
FPD80	36	3339	3004	3174	3296	3412	3070	3243	3368	3761	3384	3575	3712	3874	3486	3683	3824
FPDxx Setting		P30 27K				P30 30K				P30 40K				P30 50K			
Setting	Wattage	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	66	5952	5355	5657	5874	6082	5472	5781	6002	6703	6031	6371	6615	6905	6213	6563	6815
FPD95	63	5654	5087	5374	5580	5778	5198	5492	5702	6368	5729	6053	6285	6560	5902	6235	6474
FPD90	59	5357	4819	5092	5287	5474	4925	5203	5402	6033	5428	5734	5954	6215	5591	5907	6134
FPD85	56	5059	4552	4809	4993	5170	4651	4914	5102	5698	5126	5415	5623	5870	5281	5579	5793
FPD80	53	4762	4284	4526	4699	4865	4377	4625	4802	5362	4825	5097	5292	5524	4970	5251	5452
FPD75	50	4464	4016	4243	4406	4561	4104	4336	4502	5027	4523	4778	4962	5179	4660	4923	5111
FPD70	46	4166	3748	3960	4112	4257	3830	4046	4202	4692	4221	4460	4631	4834	4349	4594	4771
FPDxx Setting		P40 27K				P40 30K				P40 40K				P40 50K			
Setting	Wattage	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	89	7656	6888	7277	7556	7823	7038	7436	7721	8622	7757	8195	8509	8882	7991	8442	8766
FPD95	85	7273	6543	6913	7178	7432	6686	7064	7335	8191	7369	7785	8084	8438	7592	8020	8328
FPD90	80	6890	6199	6549	6800	7041	6334	6692	6949	7760	6891	7375	7658	7994	7192	7598	7889
FPD85	76	6507	5855	6185	6422	6649	5982	6320	6562	7329	6593	6966	7233	7550	6792	7176	7451
FPD80	71	6125	5510	5821	6045	6258	5631	5948	6176	6897	6206	6566	6807	7106	6393	6754	7013
FPDxx Setting		P50 27K				P50 30K				P50 40K				P50 50K			
Setting	Wattage	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	139	11058	9949	10511	10914	11300	10166	10740	11152	12454	11205	11837	11291	12830	11543	12195	12662
FPD95	132	10506	9452	9985	10368	10735	9658	10203	10594	11831	10644	11245	11677	12188	10966	11585	12029
FPD90	125	9953	8954	9460	9822	10170	9150	9666	10037	11209	10084	10654	11062	11547	10389	10975	11396
FPD85	118	9400	8457	8934	9277	9605	8641	9129	9479	10586	9524	10062	10447	10905	9811	10365	10763
FPD80	111	8847	7959	8409	8731	9040	8133	8592	8922	9963	8964	9470	9833	10264	9234	9756	10130

WFCL2

Utility Washington Series Luminaire Full Cutoff LED2

COMPONENTS & OPTIONS DATA



A0
Manual field adjustable output dimming device



RME (External)
Remote Asset Management Control Dimming Device
(specify with receptacle)



DE
Remote Asset Management Control Decorative Node
(specify with P3 receptacle)



20kV
Safeguard your investment from extreme voltage spikes with our new Extreme 20kV/10kA SPD



HSS
Minimize backlight with a louvered house-side-shield. Available as a factory option or field accessory

LEGAL DESCRIPTION - VESTING DEED:

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Horney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

LEGAL DESCRIPTION - TITLE COMMITMENT:

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Parcel 1:

A portion of Lot 1 of The Subdivision of the Horney Homestead, more particularly described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Horney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

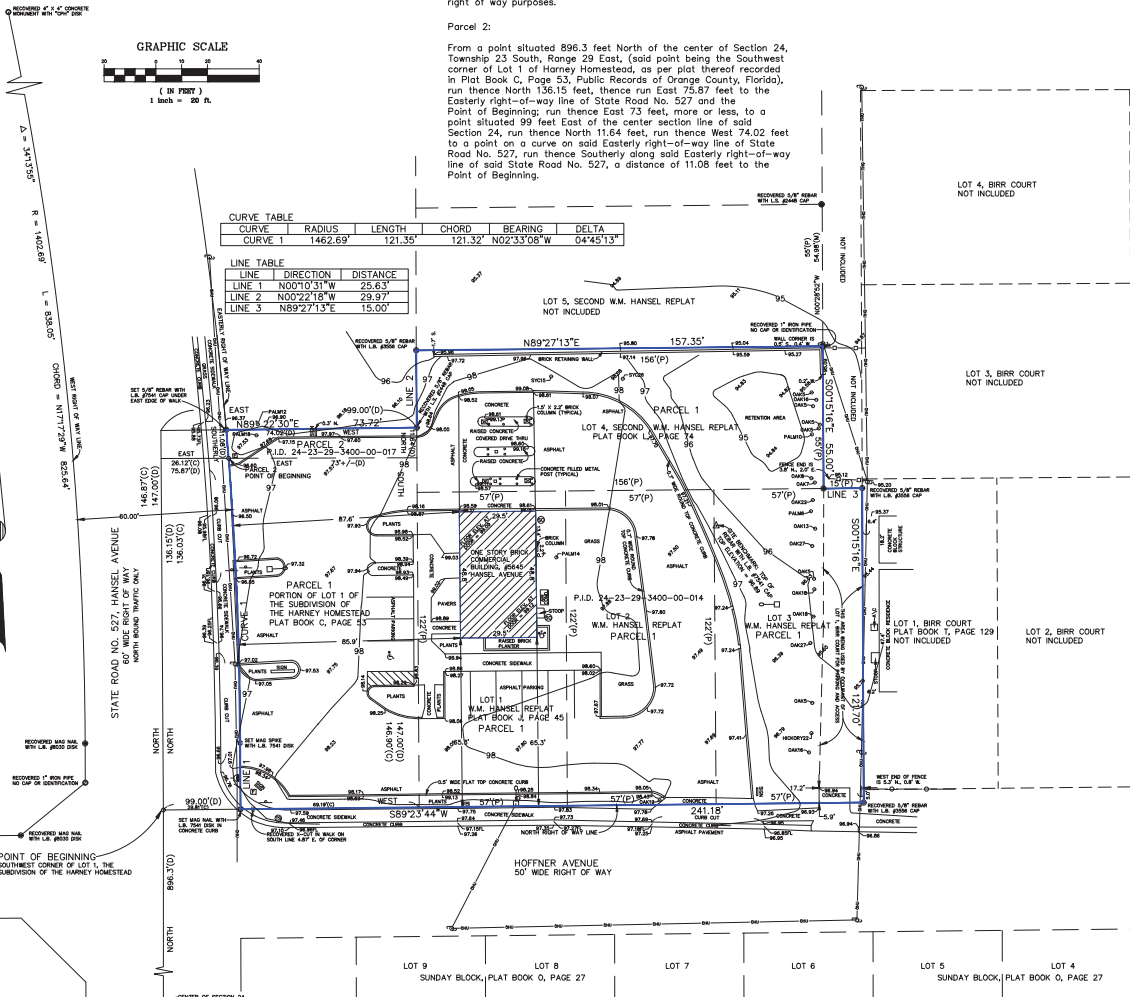
TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

Parcel 2:

From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Horney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.87 feet to the Easterly right-of-way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right-of-way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.08 feet to the Point of Beginning.



SURVEYOR'S NOTES:

BEARINGS AS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF HOFFNER AVENUE HAVING AN ASSUMED BEARING OF 89°23'44" W.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF AND IN RELIANCE UPON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON 2-01-2021 WITH FILE NO. 2037-5182324. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY INFORMATION TO BE USED FOR A MORTGAGE LOAN AND TRANSFER OF TITLE CLOSING TRANSACTION AND TOPOGRAPHIC INFORMATION TO BE FOR ANALYSIS OF POTENTIAL IMPROVEMENTS.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN. THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF OBSERVABLE SURFACE AND ABOVE GROUND EVIDENCE OF UTILITY FACILITIES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY UNDERGROUND FACILITIES AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT DID NOT HAVE OBSERVABLE SURFACE EVIDENCE WHICH COULD BE LOCATED AND/OR SHOWN HEREON.

HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "X", DEFINED ON SAID F.I.R.M. AS "AREAS OF MINIMAL FLOODING". SEE MAP NUMBER 12095C0430 F, DATED 9-25-2009.

ELEVATIONS AS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK H709002 AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

THE SUBJECT PROPERTY CONTAINS 39,941 SQUARE FEET OR 0.917 ACRES, MORE OR LESS.

SURVEY DATE (LAST DATE OF FIELD WORK): APRIL 8, 2021.

TITLE COMMITMENT NOTES:

REFERRING TO THE EXCEPTIONS AS LISTED IN THE TITLE COMMITMENT REFERENCED IN THE SURVEYOR'S REPORT, THIS SURVEYOR WOULD HAVE THE FOLLOWING COMMENTS:
EXCEPTIONS 1 THROUGH 3 ARE STANDARD EXCEPTIONS, HOWEVER, PLEASE DIRECT YOUR ATTENTION TO THE EAST SIDE OF LOT 3, HANSEL REPLAT, THE EASTERLY PORTION OF LOT 3, AS SHOWN AND NOTED HEREON IS PRESENTLY BEING USED FOR PARKING AND ACCESS FROM HOFFNER AVE. BY THE OCCUPANT OF THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRK COURT. THIS SURVEYOR WAS NOT PROVIDED WITH ANY EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3.
EXCEPTIONS 4 THROUGH 8 ARE STANDARD EXCEPTIONS.
EXCEPTION 9: MATTERS SHOWN ON THE PLAT OF THE SUBDIVISION OF THE HORNEY HOMESTEAD, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
EXCEPTION 10: MATTERS SHOWN ON THE PLAT OF THE W.M. HANSEL REPLAT. THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
EXCEPTION 11: MATTERS SHOWN ON THE PLAT OF SECOND W.M. HANSEL REPLAT. THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
EXCEPTION 12: DISTRIBUTION EASEMENT TO FLORIDA POWER CORP. RECORDED IN O.R. BOOK 3873, PAGE 1565. THIS EASEMENT AFFECTS THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A FLOTTABLE LEGAL DESCRIPTION THAT CAN BE PLOTTED AND SHOWN HEREON.
EXCEPTION 13: THIS EXCEPTION REFERS TO A RECORDED LEASE THAT IS NOT A SURVEY MATTER.

CONTIGUITY STATEMENT:

BECAUSE OF THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT AND ALSO ON THE BOUNDARY EVIDENCE RECOVERED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEYOR WOULD MAKE THE FOLLOWING STATEMENT:
PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER ALONG THEIR RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, GORES OR HATTUSES ALONG SUCH COMMON BOUNDARIES.

LEGAL DESCRIPTION STATEMENT:

THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION - DEED ARE ONE AND THE SAME AS THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION - TITLE COMMITMENT.

CERTIFIED SOLELY AND EXCLUSIVELY TO:

WHITE & LUCZAK, P.A.
FIRST AMERICAN TITLE INSURANCE COMPANY
ORNL INVESTMENTS LLC
AORAN BANK, N.A.



MAP LEGEND:

- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
- (D) INDICATES A DESCRIPTION DISTANCE AND/OR DIRECTION.
- (P) INDICATES A PLAT DISTANCE AND/OR DIRECTION.
- (M) INDICATES A MEASURED DISTANCE AND/OR DIRECTION.
- LB INDICATES LAND SURVEYING BUSINESS.
- LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.
- PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
- P.I.D. INDICATES PROPERTY IDENTIFICATION NUMBER.
- ☉ INDICATES A WOOD UTILITY POLE.
- ← INDICATES A GUY WIRE ANCHOR.
- ⊠ INDICATES AN OVERHEAD LIGHT ON A CONCRETE POLE.
- ▲ INDICATES A METAL SIGN ON A METAL POST.
- ⊙ INDICATES A PVC SANITARY CLEANOUT.
- ⊖ INDICATES A WATER BACK FLOW PREVENTER.
- ⊙ INDICATES A CONCRETE POLE OR SIGN FOOTER.
- ⊙ INDICATES A TRAFFIC SIGNAL JUNCTION BOX.
- ⊙ INDICATES A CONCRETE TRAFFIC SIGNAL POLE.
- ⊙ INDICATES A HANDICAP PARKING SPACE.
- ⊙ INDICATES AN ELECTRIC JUNCTION BOX.
- ⊙ INDICATES A FIBER OPTIC JUNCTION BOX.
- INDICATES A CHAIN LINK FENCE.
- INDICATES A WOOD PRIVACY FENCE.
- INDICATES OVERHEAD UTILITY LINE(S).
- ⊙ INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
- ⊙-21 INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
- ⊙-84.31 INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
- ⊙-98 INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.
- ⊙-1023 INDICATES AN OAK TREE HAVING A 22" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.
- ⊙-1044 INDICATES AN OAK TREE HAVING A 14" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.

AccuMap SURVEYING, LLC
We draw this line around your piece of the sunshine.
2919 MONTICHEL LANE, WINTER PARK, FL 32792-4317
Tel. 407-657-2568 E-mail. accu@surreyinc.com
Certificate of Authorization Number: LB 7541

PREPARED FOR:
ORNL INVESTMENTS, LLC
NELSON LERMA, JR.

1073 CAMPBELL STREET
ORLANDO, FLORIDA 32806
352-262-8955

MAP OF BOUNDARY
AND TOPOGRAPHIC
SURVEY

5643 AND 5645
HANSEL AVENUE

IN SECTION 24,
TOWNSHIP 23 SOUTH,
RANGE 29 EAST

Surveyor's Certification
I, **Shawn A. Moore**, 10-15-21
Surveyor No. 10468, Florida License #4868
FIRST AMERICAN TITLE INSURANCE COMPANY
ORNL INVESTMENTS LLC
AORAN BANK, N.A.
I HAVE APPRENTICE TO THE BOARD AND SURVEYED ON OR OCTOBER 28, 2021
I HAVE APPRENTICE TO THE BOARD AND SURVEYED ON OR OCTOBER 28, 2021
I HAVE APPRENTICE TO THE BOARD AND SURVEYED ON OR OCTOBER 28, 2021

Revisions

NO.	DATE	BY	REVISION
1	04/08/21	AS	ISSUED FOR PERMIT
2	04/08/21	AS	ISSUED FOR PERMIT
3	04/08/21	AS	ISSUED FOR PERMIT
4	04/08/21	AS	ISSUED FOR PERMIT
5	04/08/21	AS	ISSUED FOR PERMIT
6	04/08/21	AS	ISSUED FOR PERMIT
7	04/08/21	AS	ISSUED FOR PERMIT
8	04/08/21	AS	ISSUED FOR PERMIT
9	04/08/21	AS	ISSUED FOR PERMIT
10	04/08/21	AS	ISSUED FOR PERMIT

SCALE 1" = 20'
JOB # S242329B
SHEET 1 OF 1

Mecato Bakery and Cafe
City of Edgewood



Trip Generation Calculation

Source: ITE Trip Generation Manual, 10th Edition

Land use by name and by code
Building GFA

933 - Fast-Food Restaurant without a Drive-Through Window
2412.5 SF

Time of Day/Week	Vehicle Trip Generation per	
	1000 SF GFA (average rate)	Trips
Weekday	450.49	1087
AM Weekday ¹	43.18	104
PM Weekday ²	33.21	80
Total:		1271

Land use by name and by code
Building GFA

934 - Fast-Food Restaurant with Drive-Through Window
2412.5 SF

Time of Day/Week	Vehicle Trip Generation per	
	1000 SF GFA (average rate)	Trips
Weekday	467.48	1128
AM Weekday ¹	44.61	108
PM Weekday ²	33.03	80
Total:		1315

Footnotes:

- ¹ Peak Hour of Adjacent Street Traffic, one hour between 7-9 am
- ² Peak Hour of Adjacent Street Traffic, one hour between 4-6 pm

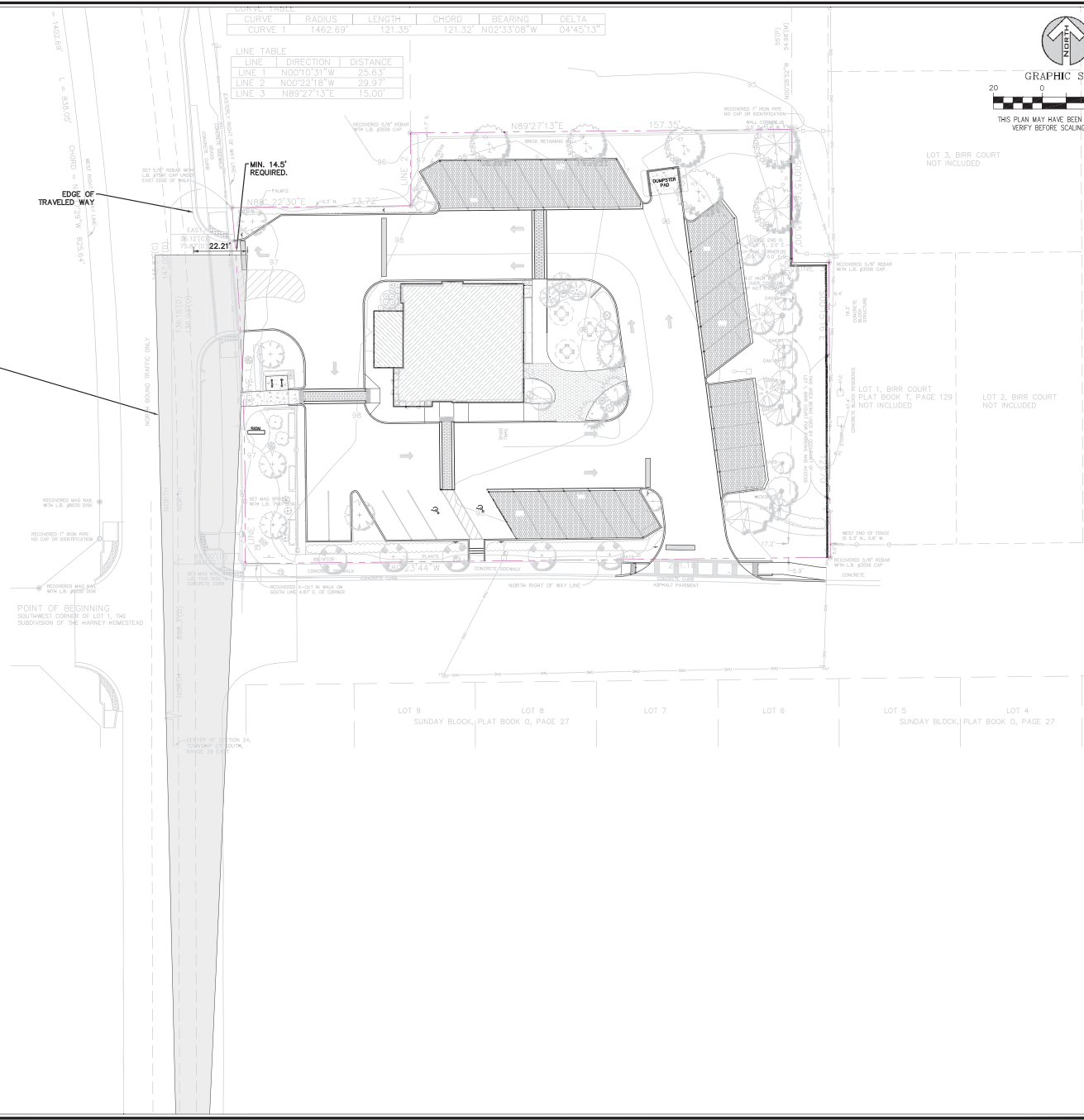
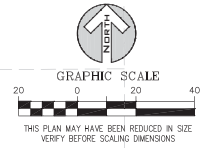
SIGHT TRIANGLE NOTES:

FDOT DESIGN MANUAL (FDOT DESIGN MANUAL SECTION 212.11.1)
 PICTORIAL: 2 LANE UNDIVIDED - ONE-WAY (RIGHT-ONLY)
 ASSUMED DESIGN SPEED: 40 MPH

SIGHT DISTANCE (S)
 LOOKING SOUTH ON HANSEL
 AVENUE = 560 FEET

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
CURVE 1	1462.69'	121.35'	121.32'	N02°33'08" W	04°45'13"

LINE	DIRECTION	DISTANCE
LINE 1	N00°02'31" W	25.63'
LINE 2	N00°22'18" W	23.97'
LINE 3	N89°27'13" E	15.00'



HARRIS

Harris Civil Engineers, LLC
 1200 Hillcrest Street
 Suite 200
 Orlando, Florida 32803
 Phone: (407) 629-4777
 Fax: (407) 629-7888
 www.harriscivilengineers.com
 EB 9814

5645 HANSEL AVE, EDGEWOOD, FL
C/O NELSON LERMA, JR
1073 CAMPBELL ST
Orlando, Florida
32806

Revisions:

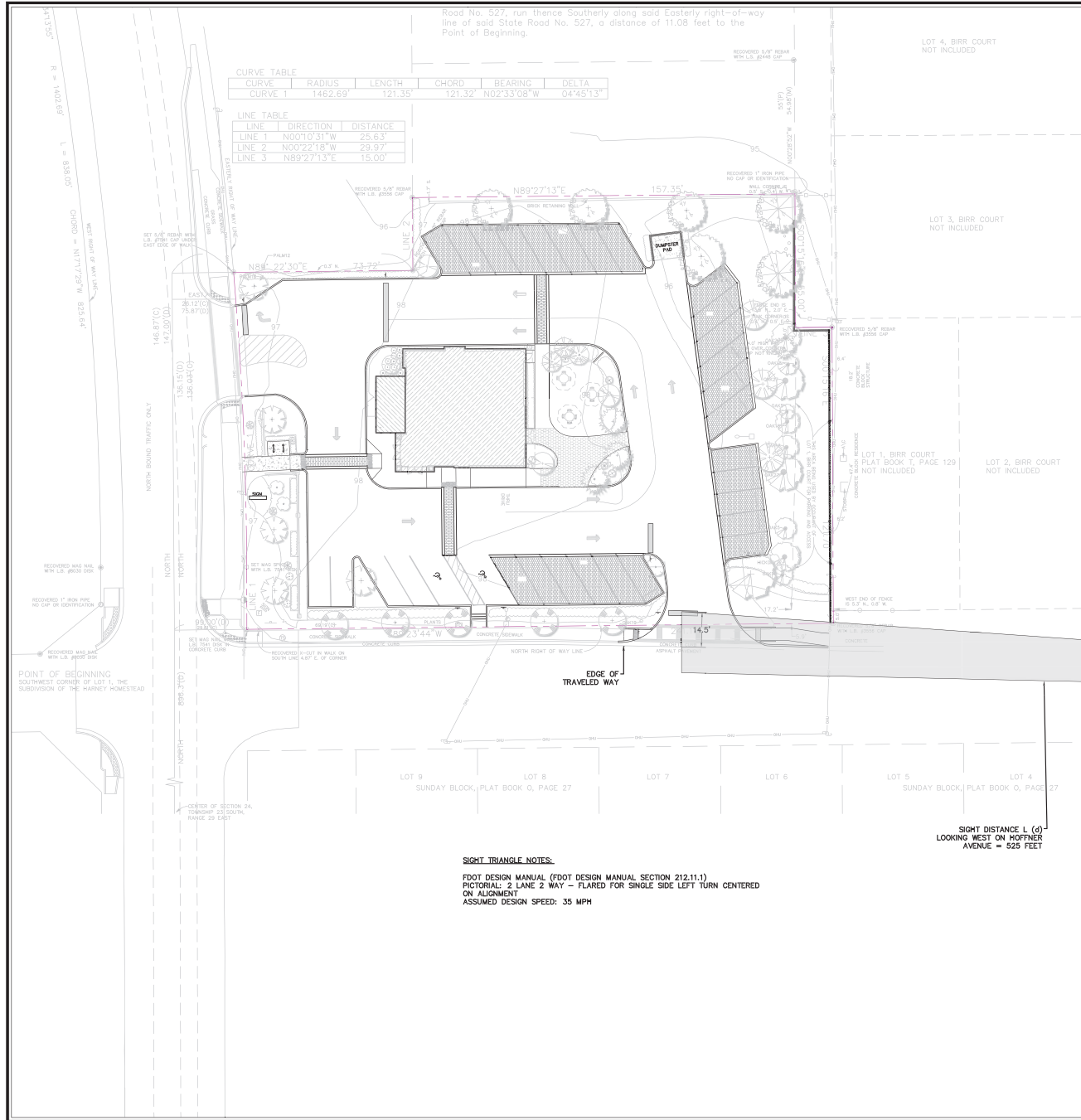
No.	Date	Description
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EXHIBIT 1 - SIGHT TRIANGLE ANALYSIS (HANSEL AVE)
 Scale: NTS
 Date: 2022-10-12
 Project No: 7381000
 Design: DWT
 Drawn: AL
 Check/ect: DWT

This item has been digitally signed and sealed by David Taylor, P.E., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



David W. Taylor, P.E.
 PLS 8-60328
Release:



Curve Table

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
CURVE 1	1462.69'	121.35'	121.32'	N02°33'08"W	04°45'13"

Line Table

LINE	DIRECTION	DISTANCE
LINE 1	N00°10'31"W	75.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'

THE EAST SIDE OF LOT 3, HANSEL REPLAT, THE EASTERLY PORTION OF LOT 3, AS SHOWN HEREON IS PRESENTLY BEING USED FOR PARKING AND AS SUCH, HOFFNER AVE. BY THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRN COURT. THE SURVEYOR WAS NOT PRESENT FOR THE EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3. THE HARNEY HOME SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SURVEY. EXCEPTION 9; MATTERS SHOWN ON THE PLAT OF THE SURVEY WOULD AFFECT THE SURVEY. EXCEPTION 10; MATTERS SHOWN ON THE PLAT OF THE SURVEY WOULD AFFECT THE SURVEY. EXCEPTION 11; MATTERS SHOWN ON SAID PLAT THAT WOULD AFFECT THE SURVEY. EXCEPTION 12; DISTRIBUTION EASEMENT T. R. BO. PAGE 1565. THIS EASEMENT AFFECTS THE SURVEY. THIS PLAN MAY HAVE BEEN REDUCED IN SIZE. EXCEPTION 13; THIS EXCEPTION REFERS TO A REVERIFY BEFORE SCALING DIMENSIONS A SURVEY.

CONTIGUITY STATEMENT:
 BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT A BOUNDARY EVIDENCE RECOVERED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEY MAKE THE FOLLOWING STATEMENT:
 PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER, RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, CORES OR HIATUSES ALONG SUCH COMMON BOUNDARIES.

LEGAL DESCRIPTION STATEMENT:
 THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION - DEED ARE ONE AND THE SAME AS IN THE LEGAL DESCRIPTION - TITLE COMMITMENT.

CERTIFIED SOLELY AND EXCLUSIVELY:
 WHITE & LUZZAK, P.A.
 FIRST AMERICAN TITLE INSURANCE COMPANY
 CNRM INVESTMENTS LLC
 AXIOM BANK, N.A.

MAP LEGEND:

- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
- (D) INDICATES A DESCRIPTION DISTANCE AND/OR DIRECTION.
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- PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
- P.I.D. INDICATES PROPERTY IDENTIFICATION NUMBER.
- W.U. INDICATES A WOOD UTILITY POLE.
- INDICATES A GUY WIRE ANCHOR.
- INDICATES AN OVERHEAD LIGHT ON A CONCRETE POLE.
- INDICATES A METAL SIGN ON A METAL POST.
- INDICATES A PVC SANITARY CLEANOUT.
- INDICATES A WALTER BACK FLOW PREVENTER.
- INDICATES A CONCRETE POLE OR SIGN FOOTING.
- INDICATES A CONCRETE TRAFFIC SIGNAL POLE.
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- INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
- INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
- INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.

SIGHT TRIANGLE NOTES:
 FDOT DESIGN MANUAL (FDOT DESIGN MANUAL SECTION 212.1.1)
 PICTORIAL: 2 LANE 2 WAY - FLARED FOR SINGLE SIDE LEFT TURN CENTERED ON ALIGNMENT
 ASSUMED DESIGN SPEED: 35 MPH

HARRIS
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 Fax: (407) 629-7888
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 EB 9814

5645 HANSEL AVE, EDGEWOOD, FL
C/O NELSON LERMA, JR
 1073 CAMPBELL ST
 Orlando, Florida
 32806

Revisions:

No.	Date	Description
1		
2		
3		
4		
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6		
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EXHIBIT 3 - SIGHT TRIANGLE ANALYSIS (HOFFNER AVE)
 Scale: NTS
 Date: 2025-10-12
 Project No: 7381000
 Design: DWT
 Drawn: AL
 Check/ect: DWT

This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

David W. Taylor, PE
 P.E. # 40209

Release:

EX-3

Revisions:

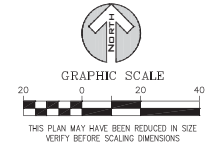
No.	Date	Description
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FIRE TRUCK ACCESS PLAN
 Scale: SEE SHEET
 Date: 2021-09-08
 Project No: 7991000
 Design: DWT
 Drawn: CT
 Checked: DWT

This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

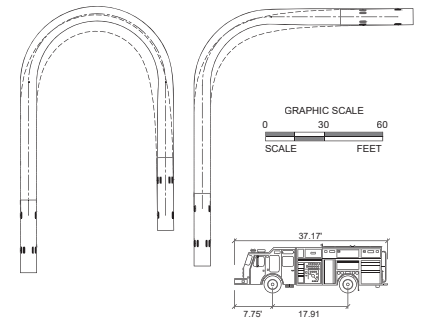
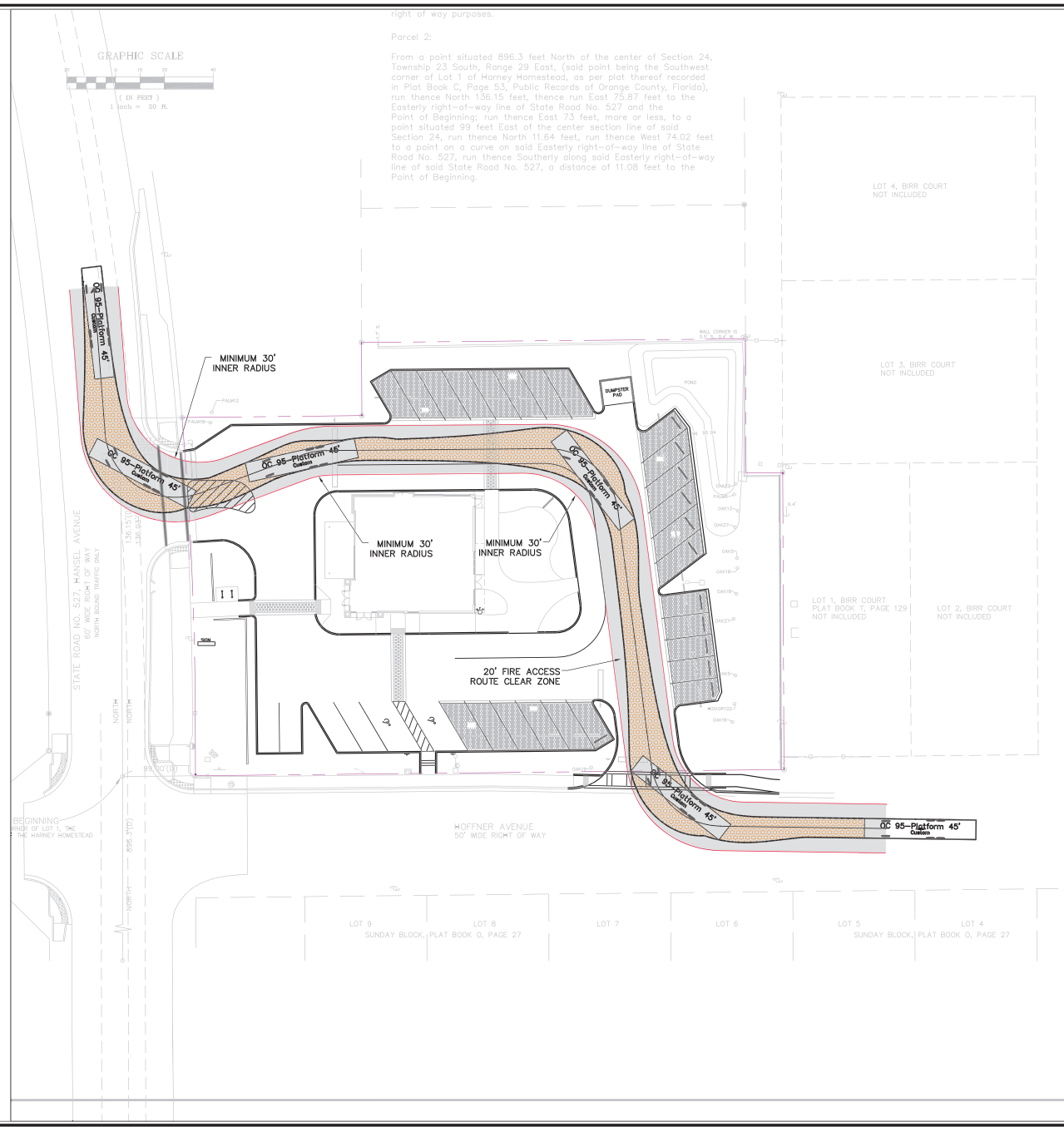
David W. Taylor, P.E.
 PLS: 8-40003

Release:



right-of-way purposes.

Parcel 2:
 From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Harney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.97 feet to the Easterly right-of-way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right-of-way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.08 feet to the Point of Beginning.



ORANGE COUNTY HP75 AERIAL LADDER

Width	: 8.33'
Track	: 8.33'
*Lock to Lock Time	: 6.0
*Steering Angle	: 31.8
*Min. Centerline Radius	: 34.0'
*Modified SU AASHTO 2004 (US) North America	

FIRE TRUCK DIMENSIONS
 N.T.S.

*NOTE:
 ASSUMPTIONS AND MODIFIED
 TEMPLATES TAKEN FROM
 AUTOTURN 6.2 SOFTWARE.

LOT 9 SUNDAY BLOCK, PLAT BOOK Q, PAGE 27
 LOT 8
 LOT 7
 LOT 6
 LOT 5 SUNDAY BLOCK, PLAT BOOK Q, PAGE 27
 LOT 4

