

# SPECIAL EXCEPTION AMENDMENT PLANS

## SUNCOAST BUILDING MATERIAL

### 201 MARY JESS ROAD

### ORLANDO, FLORIDA

RECEIVED  
3/13/2023  
CITY OF EDGEWOOD

PARCEL I.D. No. 13-23-29-0000-00-009

**OWNER: MARY JESS LLC.**  
44700 N GROESBECK HWY  
CLINTON TOWNSHIP, MI 48036-1105  
PHONE: (586) 469-3404  
FAX: (586) 469-2084

**APPLICANT: SUNCOAST BUILDING MATERIALS, INC.**  
44700 GROESBECK  
CLINTON TWSP, MI 48036  
PHONE: (407) 857-0544  
FAX: (888) 226-8567

**GEOTECHNICAL: PROFESSIONAL SERVICE INDUSTRIES, INC.**  
1748 33RD STREET  
ORLANDO, FL 32839  
PHONE: (407) 304-5560  
FAX: (407) 304-5561

**SURVEYOR: ALLEN & COMPANY**  
16 EAST PLANT STREET  
WINTER GARDEN, FL 34787  
PHONE: 407-654-5355  
FAX: 407-654-5356

SITE VICINITY MAP



**PLAN INDEX**

- C-1 COVER SHEET**
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- C-2B TOPOGRAPHIC SURVEY (2 OF 5)**
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- C-2D TOPOGRAPHIC SURVEY (4 OF 5)**
- C-2E TOPOGRAPHIC SURVEY (5 OF 5)**
- C-3A SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN**
- C-3B SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION NOTES**
- C-4 SITE GEOMETRY PLAN**
- L-1 SITE LANDSCAPE PLAN**

NOT TO SCALE

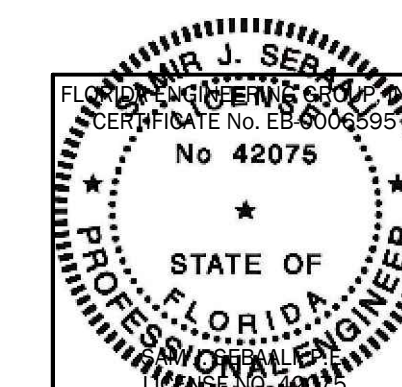
**UTILITY COMPANIES**

<b>WATER:</b>	<b>ON-SITE WELL</b>
<b>SEWER:</b>	<b>ON-SITE SEPTIC</b>
<b>ELECTRIC:</b> (800) 700-8744	<b>DUKE ENERGY</b>
<b>TELEPHONE:</b> (770) 918-5424	<b>AT&amp;T</b>
<b>CABLE:</b> (407) 532-8509	<b>CHARTER COMMUNICATIONS</b>
<b>FIBER OPTIC:</b> (407) 732-6732	<b>BOMBARDIER TRANSPORTATION OF N.A.</b>
<b>FIBER OPTIC:</b> (877) 366-8344	<b>LEVEL 3 COMMUNICATIONS</b>
<b>FIBER OPTIC:</b> (972) 729-6322	<b>MCI</b>
<b>GAS:</b> (407) 420-6609	<b>TECO PEOPLES GAS-ORLANDO</b>



5127 S. Orange Avenue, Suite 200  
Orlando, FL 32809  
Phone: 407-895-0324  
Fax: 407-895-0325

www.feg-inc.us



Samir J. Sebaali  
Digitally signed by Samir J. Sebaali

Date: 2023.03.13  
15:37:41 -04'00'

SAM J. SEBAALI, P.E.  
LICENSE NO. 42075



LEGAL DESCRIPTION:

THOSE CERTAIN TRACTS OR PARCELS OF LAND SITUATE, LYING AND BEING AT OR NEAR EDGEWOOD, ORANGE COUNTY, FLORIDA, AND DESCRIBED AS FOLLOWS, TO WIT:

PARCEL "A": COMMENCE AT THE SOUTHWEST CORNER OF SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, IN THE TOWN OF EDGEWOOD, THENCE RUN NORTH 00°00'51" WEST, ALONG THE WEST LINE OF SAID SECTION 13, A DISTANCE OF 632 FEET, THENCE NORTH 89°41'43" EAST, PARALLEL WITH THE SOUTH LINE OF SAID SECTION 13, A DISTANCE OF 490.0 FEET FOR A POINT OF BEGINNING; RUNNING THENCE SOUTH 00°00'51" EAST, PARALLEL TO AFORESAID WEST LINE, 297.77 FEET TO A POINT 8 FEET NORTHWARDLY MEASURED AT RIGHT ANGLES FROM THE CENTER LINE OF SEABOARD COAST LINE RAILROAD COMPANY'S TRACK NO. 6; THENCE NORTH 89°44'25" EAST, PARALLEL TO THE CENTER LINE OF SAID TRACK 6 AND A PROJECTION OF SAID CENTER LINE, A DISTANCE OF 439.88 FEET TO A POINT OF A CURVE OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 198.53 FEET; THENCE EASTERLY THROUGH A CENTRAL ANGLE OF 22°34'04" FOR AN ARC DISTANCE OF 78.20 FEET TO A POINT OF COMPOUND CURVE OF A CURVE CONCAVE SOUTHWESTERLY WITH A RADIUS OF 387.27 FEET AND WHICH IS 8 FEET MEASURED RADIALLY FROM THE CENTER LINE OF SEABOARD COAST LINE RAILROAD COMPANY'S TRACK NO. 5, SOUTHEASTERLY THROUGH A CENTRAL ANGLE OF 38°32'29" AN ARC DISTANCE OF 247.05 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF SEABOARD COAST LINE'S MAIN TRACK, SAID RIGHT OF WAY BEING 24 FEET MEASURED AT RIGHT ANGLES TO THE CENTER LINE OF SAID MAIN TRACK; THENCE NORTH 13°54'43" WEST, ALONG SAID RIGHT OF WAY 488.94 FEET; THENCE SOUTH 89°41'43" WEST 580.00 FEET TO THE POINT OF BEGINNING; CONTAINING 194,410 SQUARE FEET OR 4.463 ACRES, MORE OR LESS, ALSO;

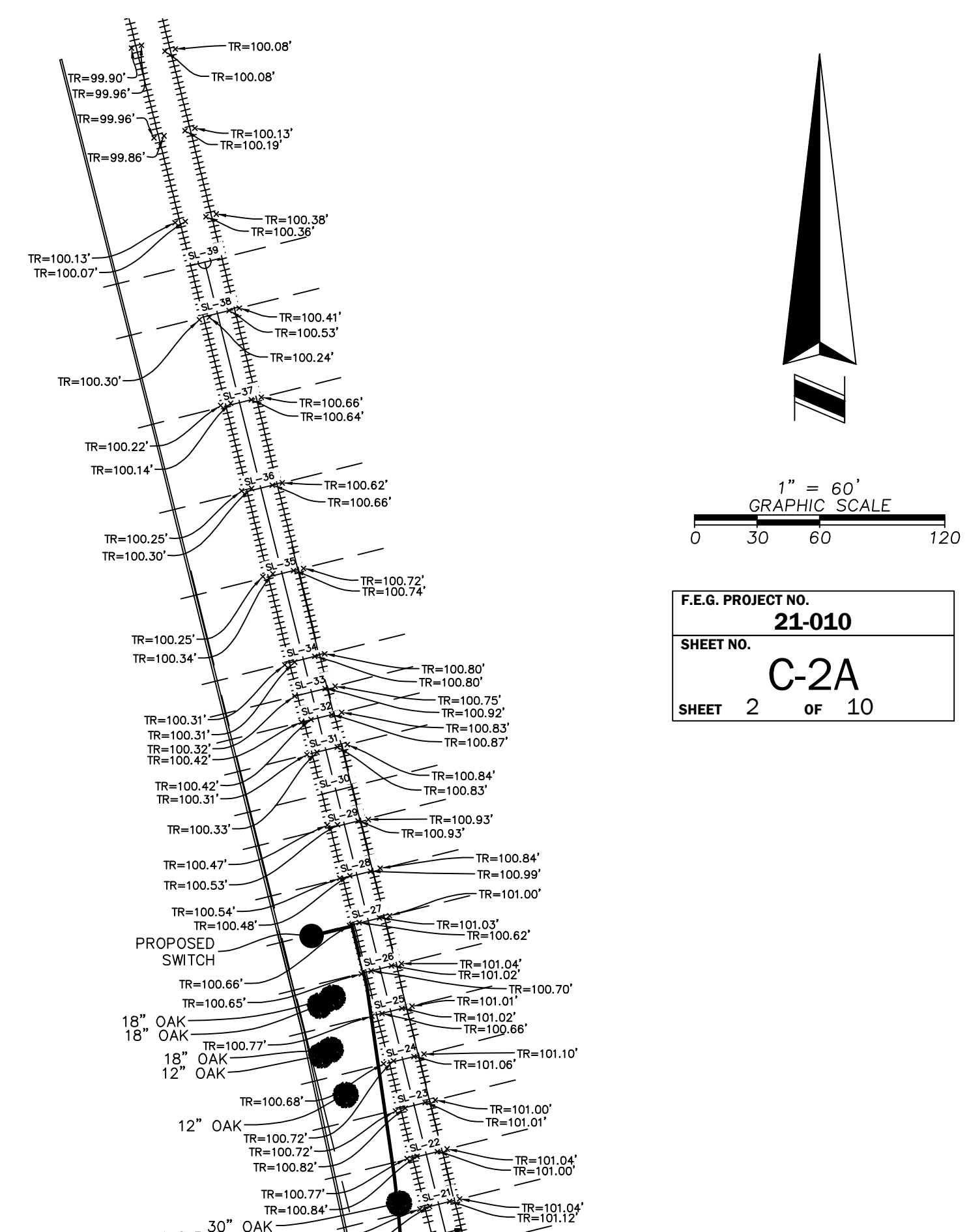
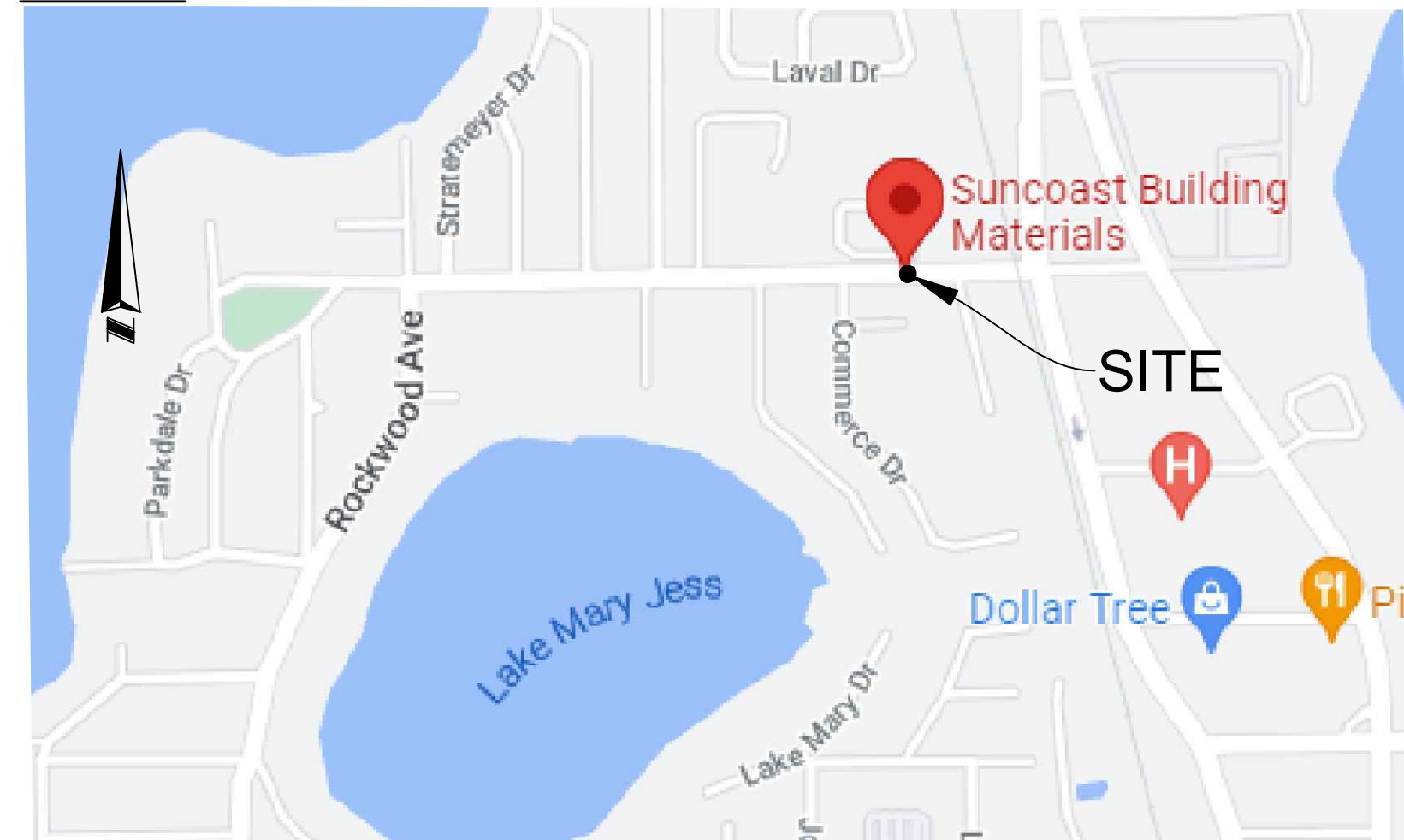
PARCEL "B": COMMENCE AT THE SOUTHWEST CORNER OF SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, IN THE TOWN OF EDGEWOOD, THENCE RUN NORTH 89°41'43" EAST, ALONG THE SOUTH LINE OF SAID SECTION 13, A DISTANCE OF 290.94 FEET, THENCE AT A RIGHT ANGLE, NORTH 00°18'17" WEST, 30.00 FEET FOR A POINT OF BEGINNING; RUNNING THENCE NORTH 00°18'17" WEST FOR A DISTANCE OF 257.92 FEET, TO A POINT 8.5 FEET SOUTHWARDLY MEASURED AT RIGHT ANGLES FROM THE CENTER LINE OF SEABOARD COAST LINE RAILROAD COMPANY'S TRACK NO. 3; THENCE NORTH 89°44'25" EAST, PARALLEL TO AND 8.5 FEET SOUTH OF SAID CENTER LINE, 590.54 FEET TO A POINT OF CURVE OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 350.77 FEET AND WHICH IS CONCENTRIC TO AND 8.5 FEET, MEASURED RADIALLY, FROM THE CENTER LINE OF SAID TRACK NO. 3; THENCE SOUTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 74°27'46" FOR AN ARC DISTANCE OF 455.87 FEET TO THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF MARY JESS ROAD; THENCE SOUTH 89°41'43" WEST, ALONG SAID RIGHT OF WAY LINE, 928.0 FEET TO THE POINT OF BEGINNING; CONTAINING 216,300 SQUARE FEET, OR 4.966 ACRES, MORE OR LESS.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT, FOR AN ACCESS PURPOSES, THROUGH OVER AND ACROSS THE FOLLOWING DESCRIBED STRIP OF LAND AT OR NEAR EDGEWOOD, ORANGE COUNTY, FLORIDA, AND DESCRIBED AS FOLLOWS, TO WIT:

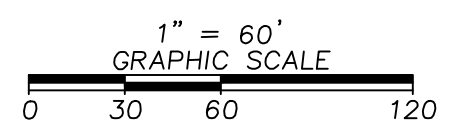
A STRIP OF LAND 24 FEET IN WIDTH, I.E.; 12 FEET WIDE ON EACH SIDE OF A CENTER LINE, WHICH CENTER LINE IS DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, SAID COUNTY AND STATE, RUN THENCE NORTH 89°41'43" EAST ALONG THE SOUTH LINE OF SAID SECTION 13, A DISTANCE OF 28.89 FEET; THENCE NORTH 00°11'07" WEST 30 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF MARY JESS ROAD, TO THE POINT OF BEGINNING; FROM THE POINT OF BEGINNING THUS DESCRIBED RUN NORTH 00°11'07" WEST 541.87 FEET TO A POINT OF CURVE, WHICH IS CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 29.29 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°23'43" A DISTANCE OF 45.72 FEET TO THE POINT OF TANGENCY; THENCE NORTH 89°41'36" EAST 433.95 FEET.

VICINITY MAP: NOT TO SCALE



F.E.G. PROJECT NO. 21-010  
SHEET NO. C-2A  
SHEET 2 OF 10

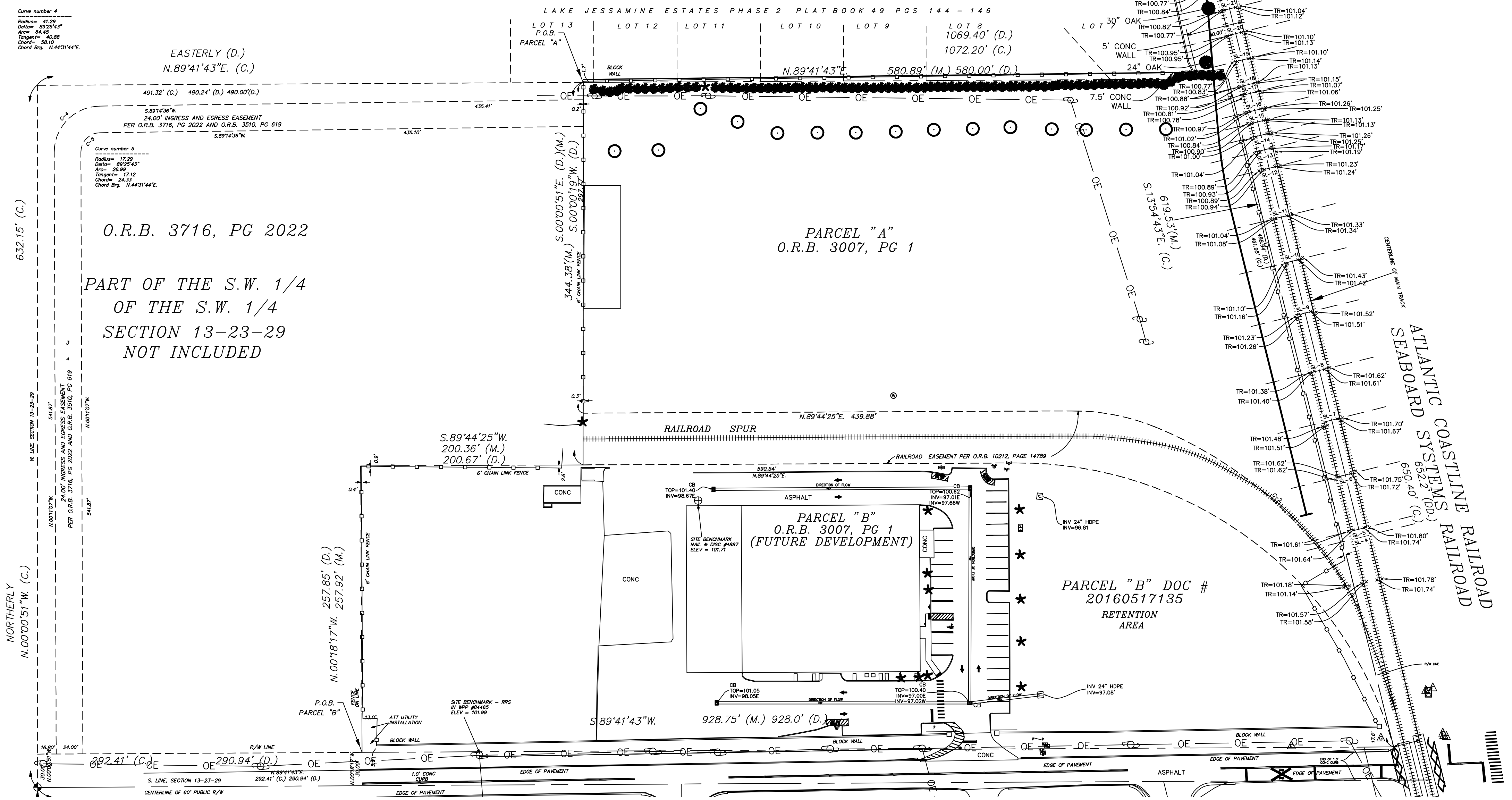


SURVEYOR'S NOTES:

- THIS IS NOT A BOUNDARY SURVEY.
- BOUNDARY INFORMATION SHOWN PER SURVEY PROVIDED BY CLIENT.
- UNDERGROUND IMPROVEMENTS NOT LOCATED (EXCEPT AS SHOWN).
- SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- LAST DATE IN FIELD 06/08/2022.
- ELEVATIONS RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), CITY OF ORLANDO BENCHMARK #4580003, RAILROAD SPIKE IN SOUTH FACE OF WOODEN POWER POLE #44465, NORTH SIDE OF MARY JESS ROAD AND 100 FT +/- EAST OF LAKE MARY JESS SHORES COURT, ELEVATION = 101.99'.

SYMBOL AND ABBREVIATION LEGEND:

	BENCHMARK LOCATION		MITERED END SECTION
	FIBER OPTIC MARKER		BACKFLOW PREVENTER
	SINGLE STAND SIGN		FIRE HYDRANT
	NATURAL GAS MARKER		FENCE LINE
	SANITARY SEWER MANHOLE		CHAIN LINK FENCE
	WOODEN POWER POLE		CONCRETE
	FOUND IRON ROD		RAILROAD
	FOUND NAIL & DISK		EASEMENT
	SET IRON ROD		E EAST/EASTING
	SET NAIL & DISK		N NORTH/NORTHING
	(M.) MEASURED		S SOUTH
	(D.) DEED		W WEST/WESTERLY
	(C.) CALCULATED		RAILROAD PROFILE
	SOFT SPOT ELEVATION		RAILROAD
	HARD SPOT ELEVATION		TOP OF RAIL
	TREE LIVE OAK		OVERHEAD ELECTRICAL LINE
	CATCH BASIN		CENTER LINE
	INV INVERT		OFFICIAL RECORDED BOOK
	RRS RAILROAD SPIKE		CATCH BASIN
	WPP WOODEN POWER POLE		P.O.B. POINT OF BEGINNING
	SMH SANITARY MAN HOLE		PAGE
	R/W RIGHT OF WAY		ELECTRICAL PANEL
	NG NATURAL GROUND		WATER VALVE
	RIGHT OF WAY		FIBER OPTIC VAULT
	LANDSCAPE TREES		
	HEDGES		
	TREE PALM		



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16 EAST PLANT STREET  
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**TOPOGRAPHIC SURVEY**  
OF  
**SUNCOAST BUILDING MATERIALS**  
ORANGE COUNTY, FLORIDA

FOR: **FLORIDA ENGINEERING GROUP, INC.**

FOR THE LICENSED BUSINESS #9723 BY: JAMES A. SHABELUK, P.S.M. #2027

DATE	REVISIONS
6/24/22	REVISIONS
	DATE
	REVISIONS

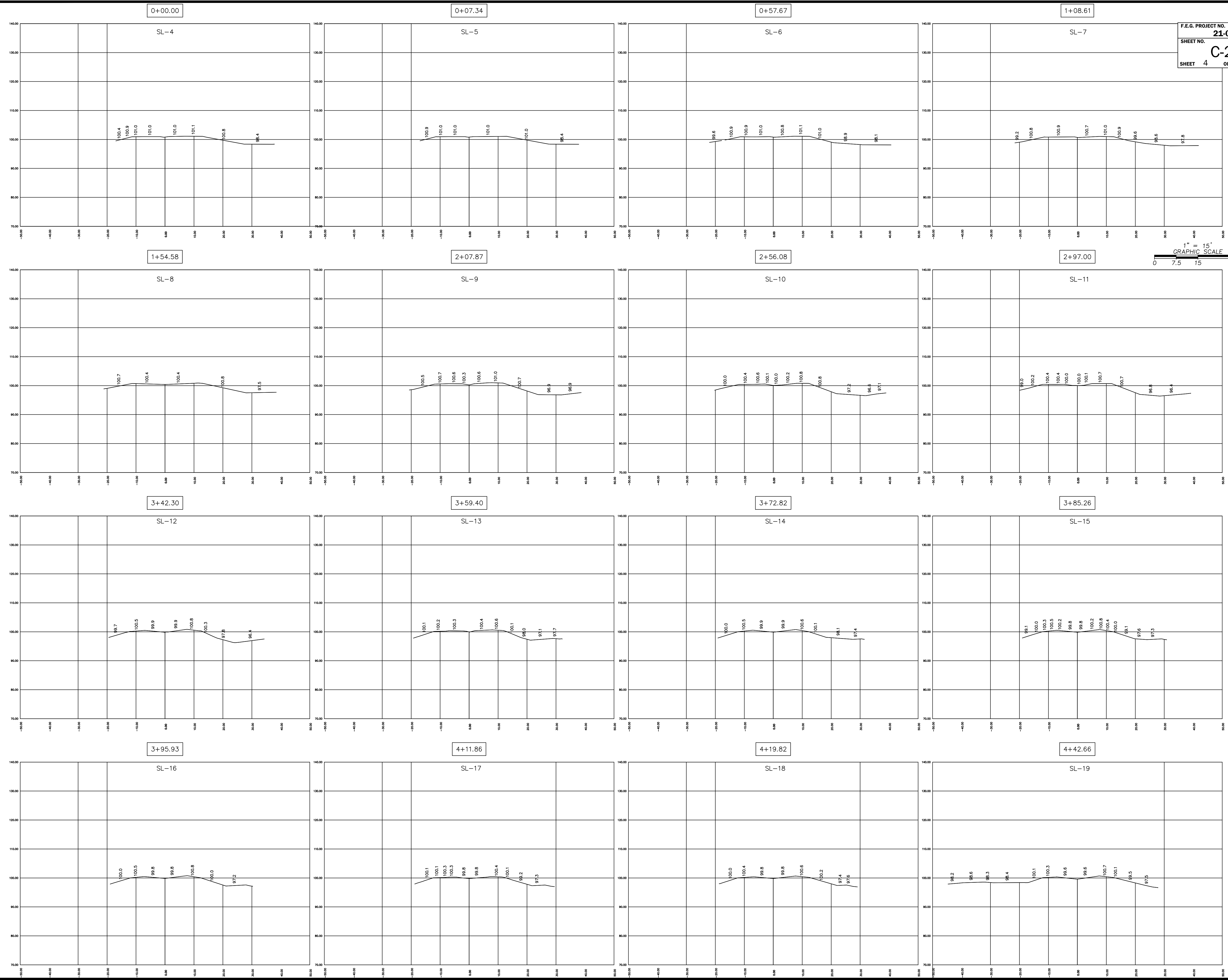
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Drawing name: C:\Users\james\Documents\PROJECTS\21-010\_Suncoast\North\Profile-Design\Profile\HMA\DM\WMS\SPECIAL\_EXCEPTION\CURRENT\PLANS\21-010\_Survey\_SHEET 3 OF 5



F.E.G. PROJECT NO. **21-010**  
 SHEET NO. **C-2C**  
 SHEET **4** OF **10**

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**TOPOGRAPHIC SURVEY**  
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 ORANGE COUNTY, FLORIDA

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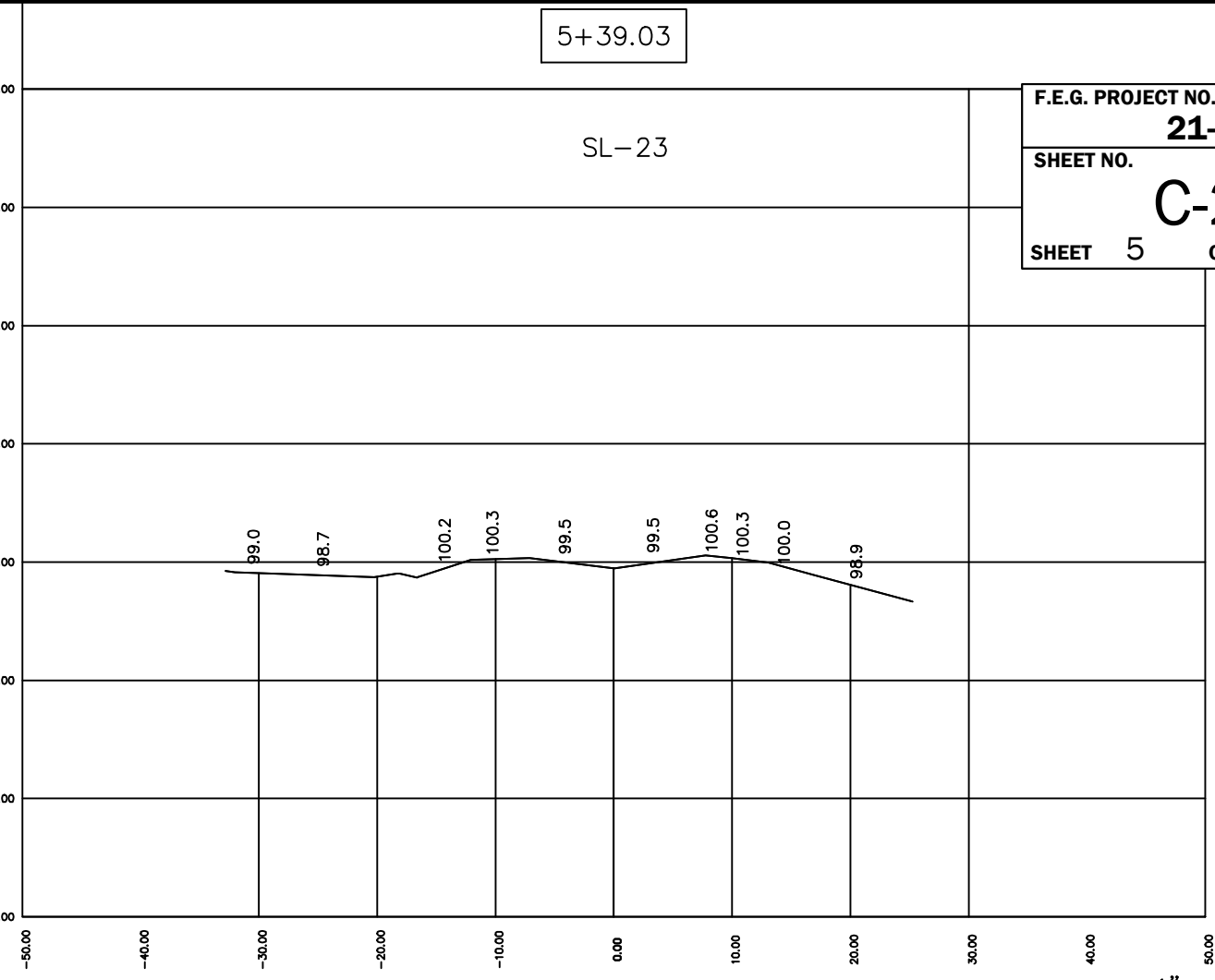
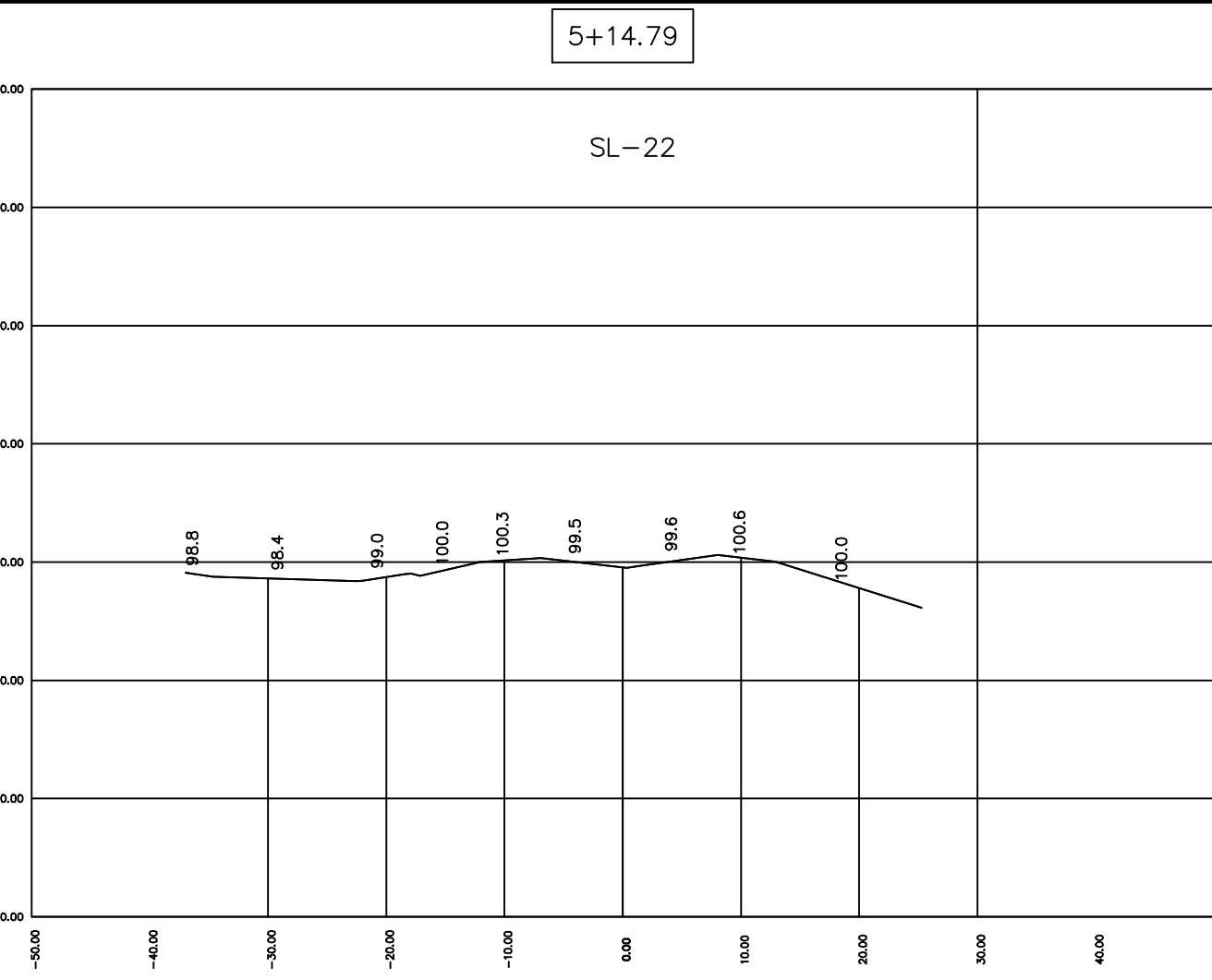
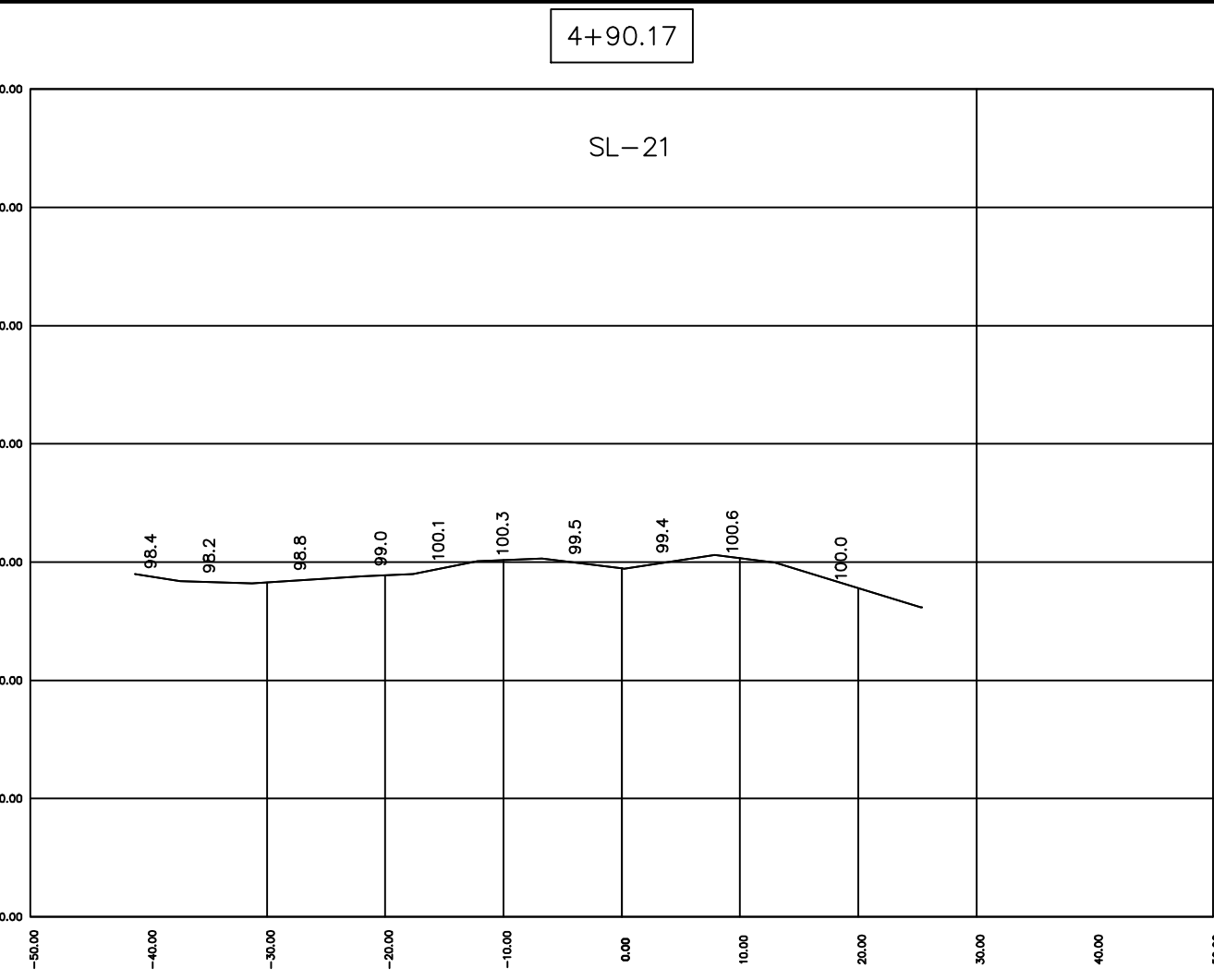
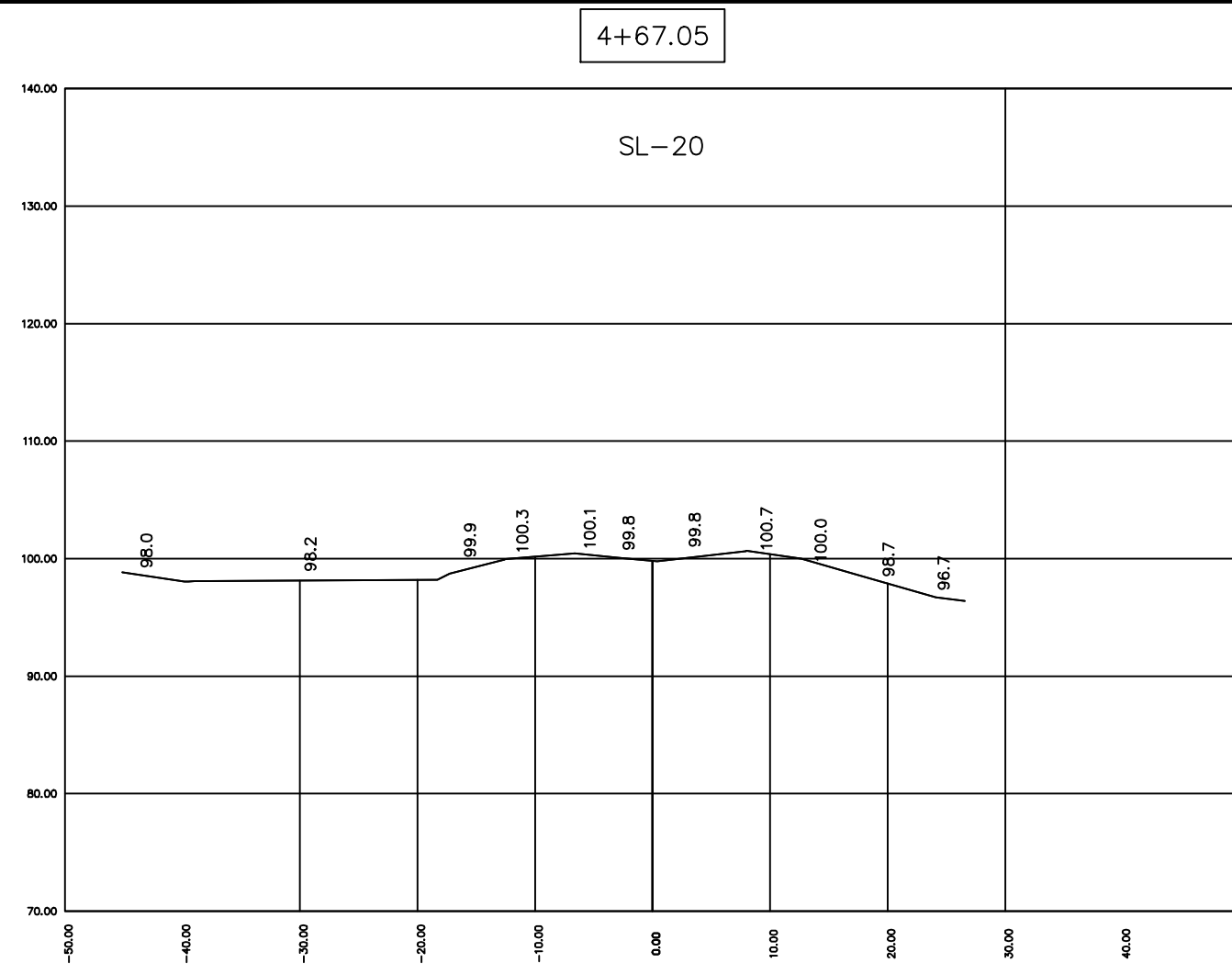
FOR THE LICENSED BUSINESS #723 BY:  
 JAMES A. SHABLUK, P.S.M. #7027

DATE	REVISIONS
6/24/22	REVISIONS

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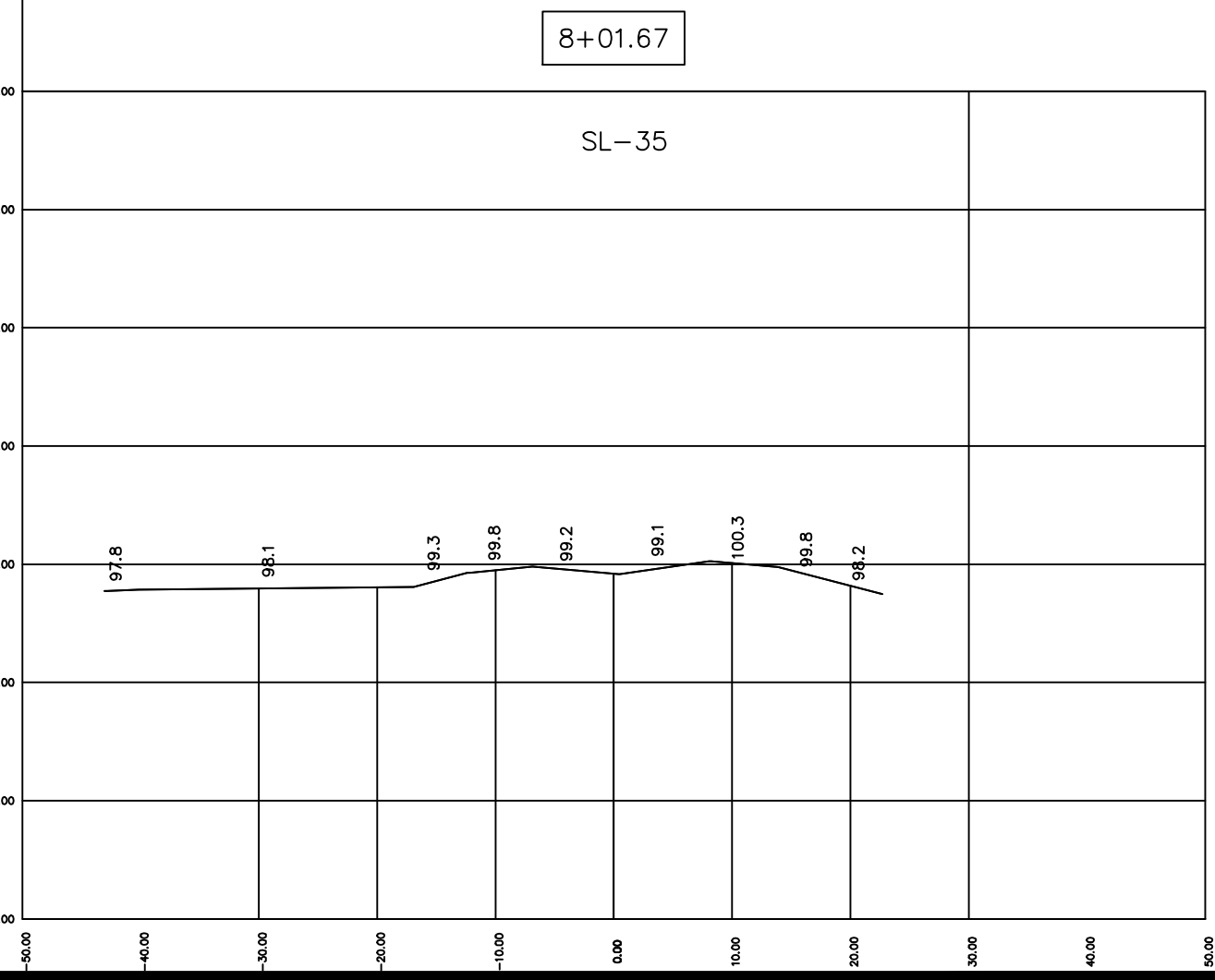
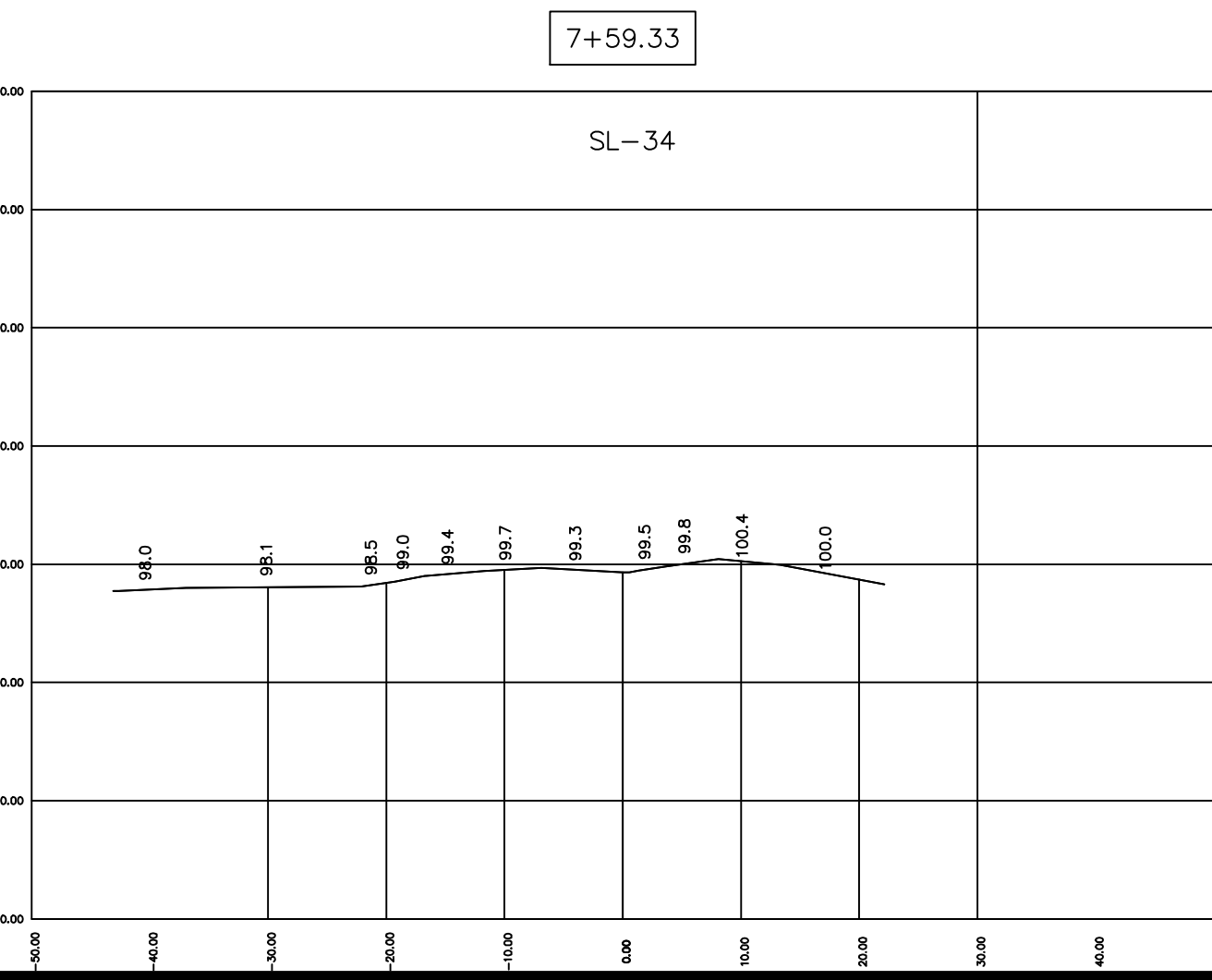
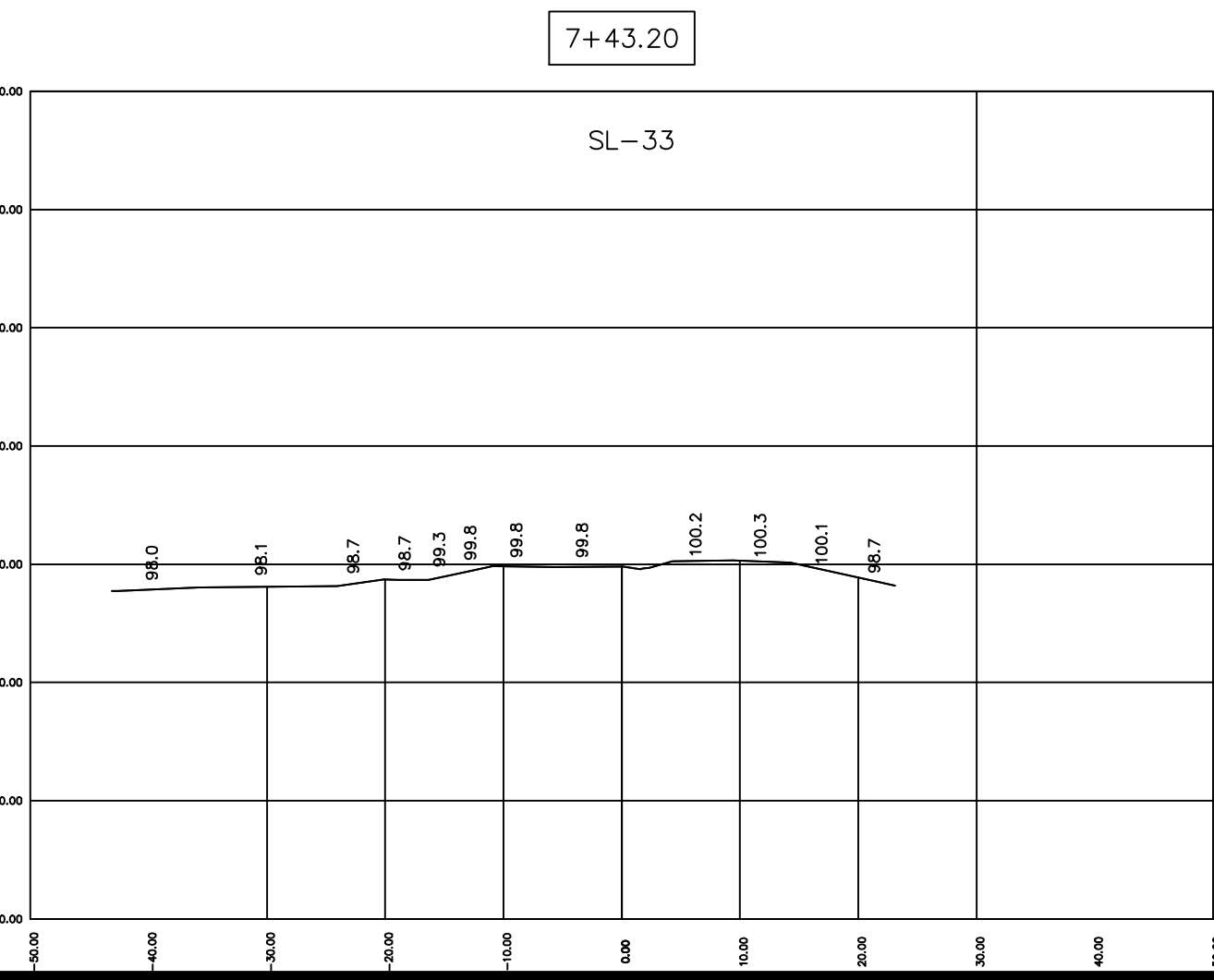
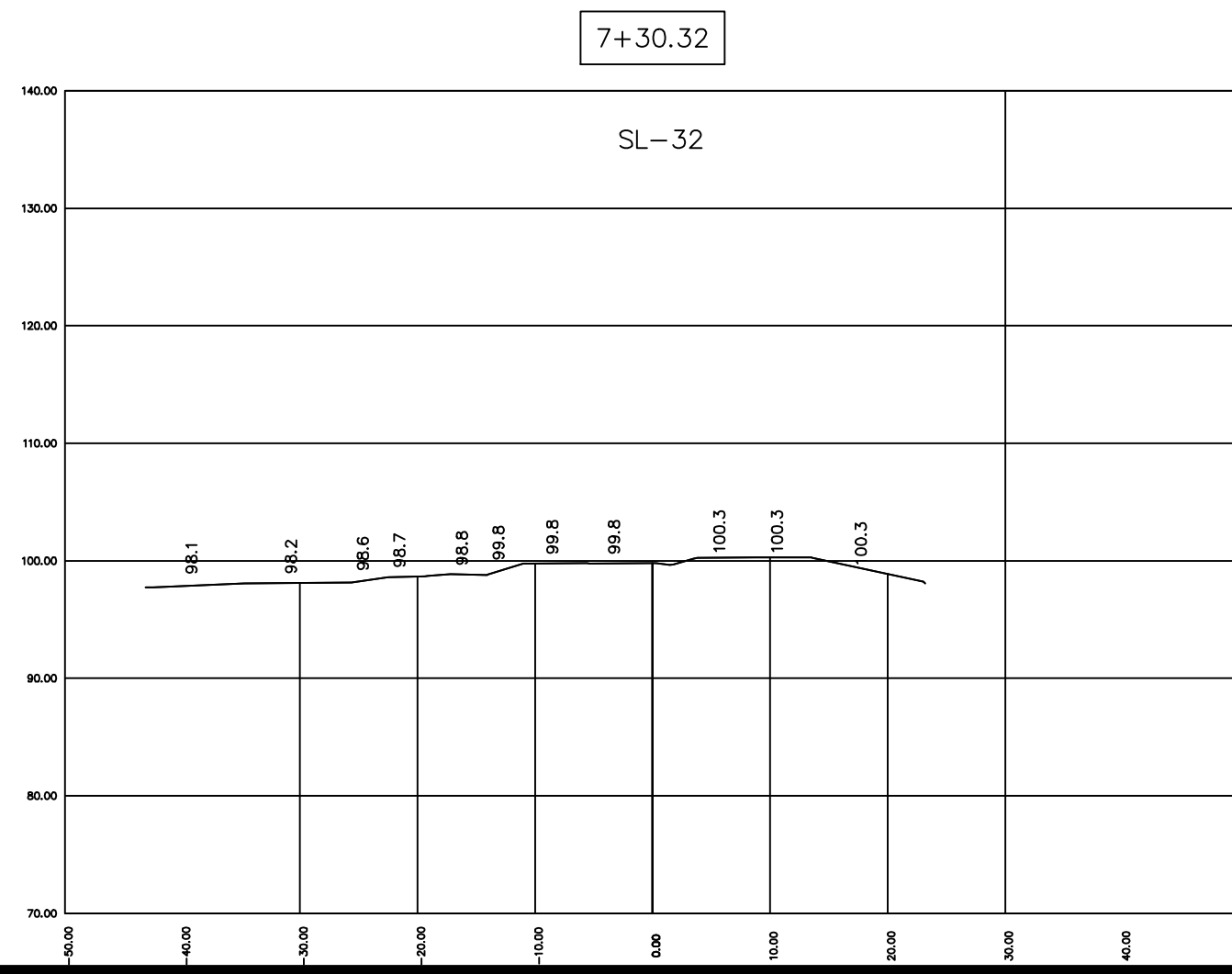
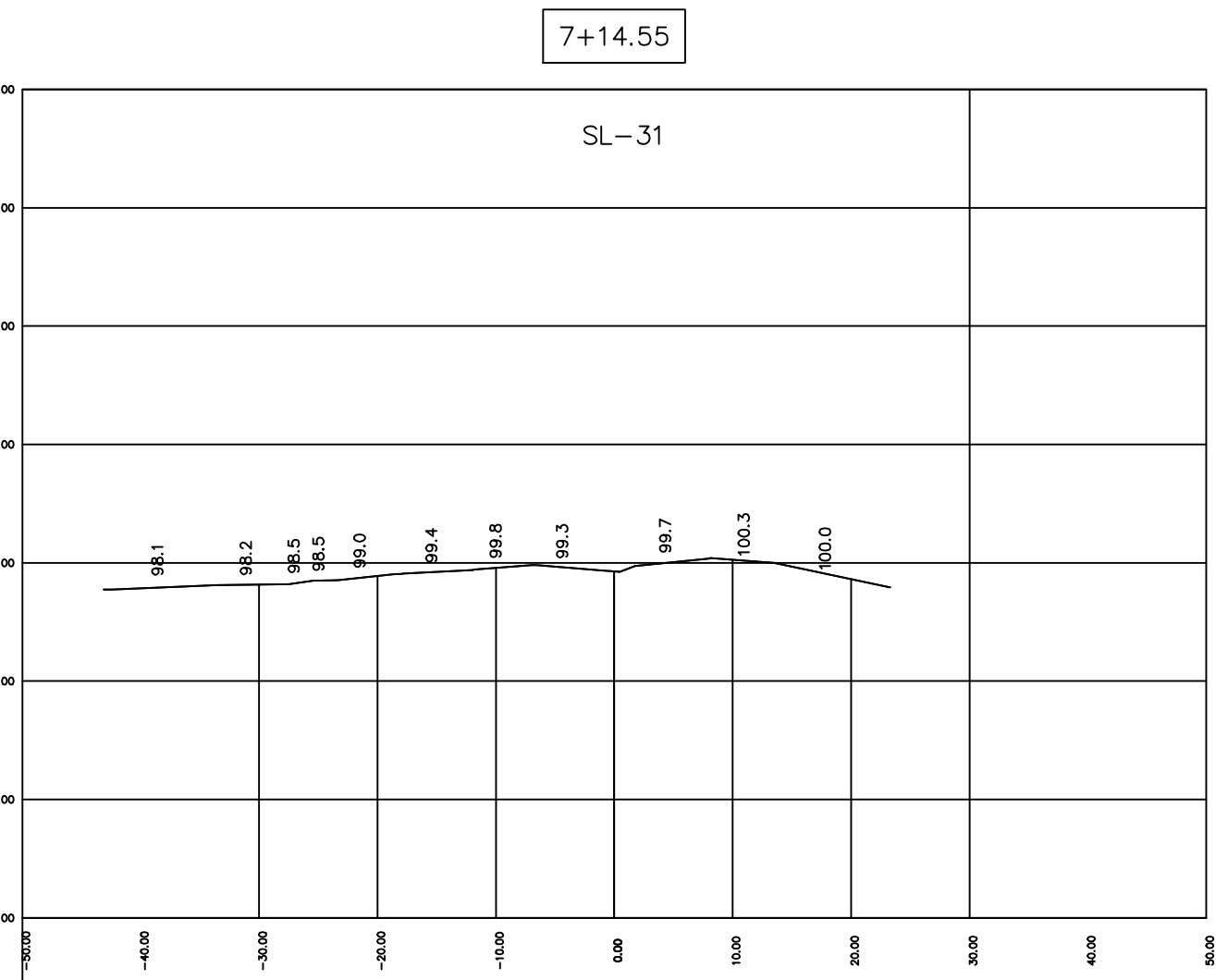
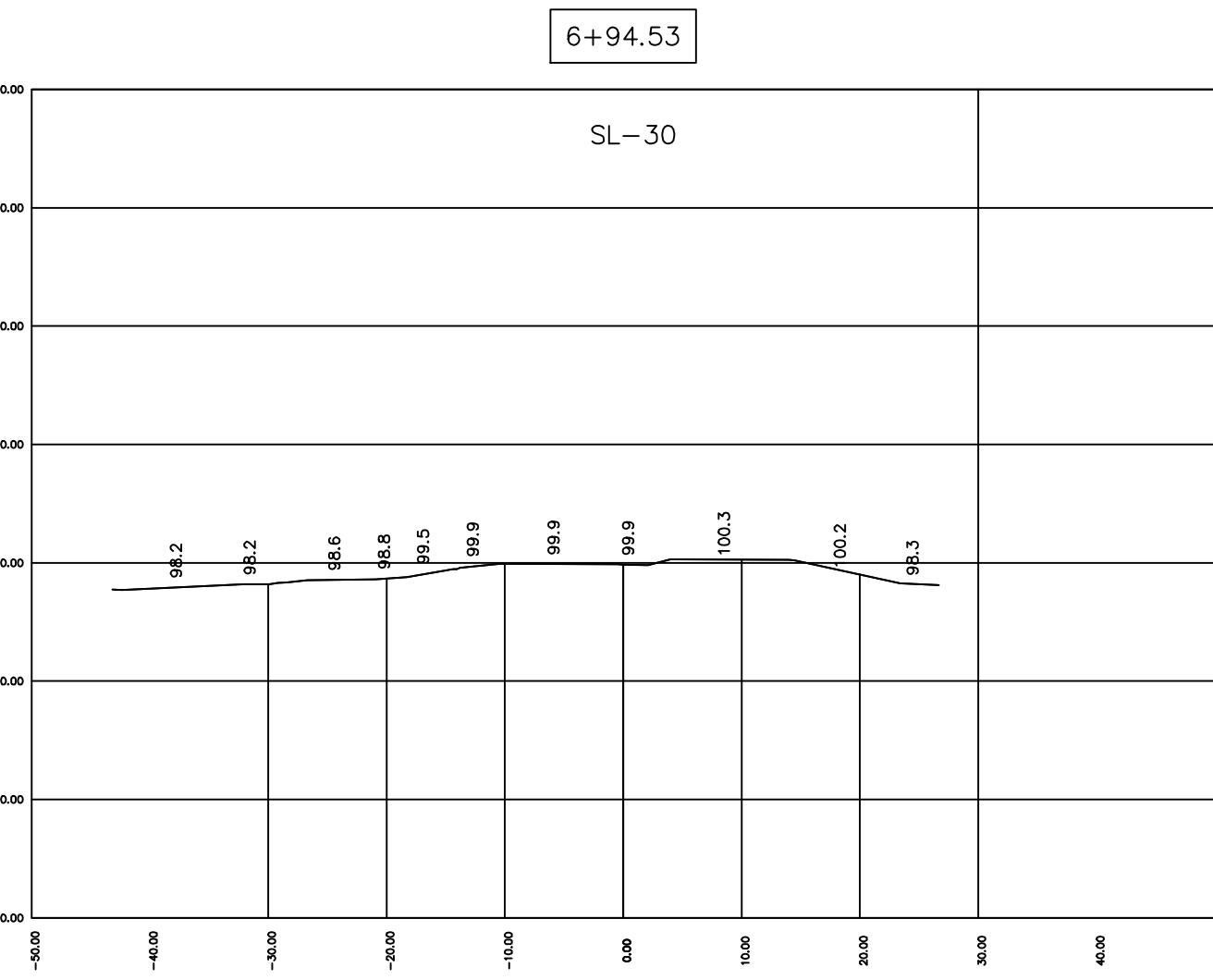
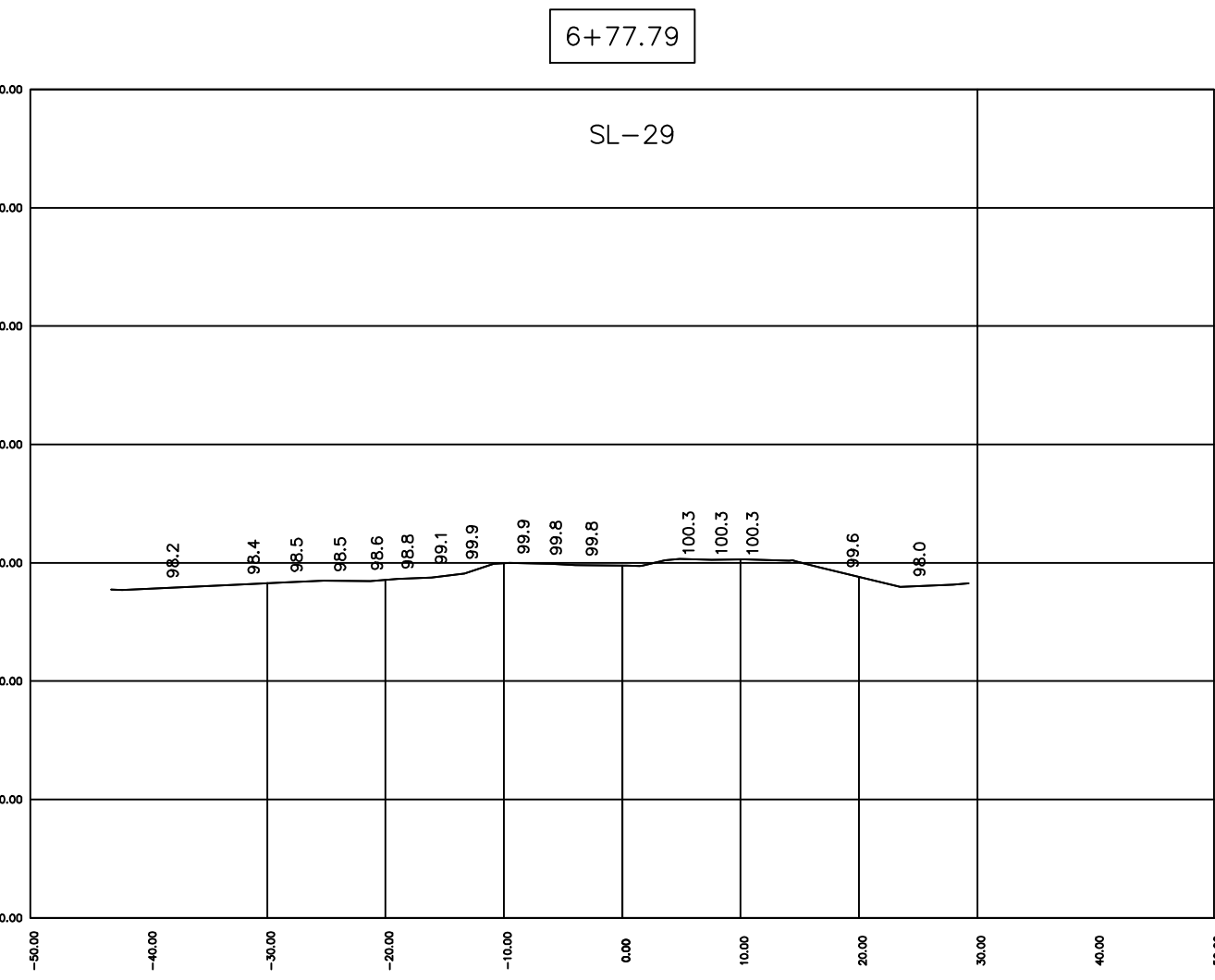
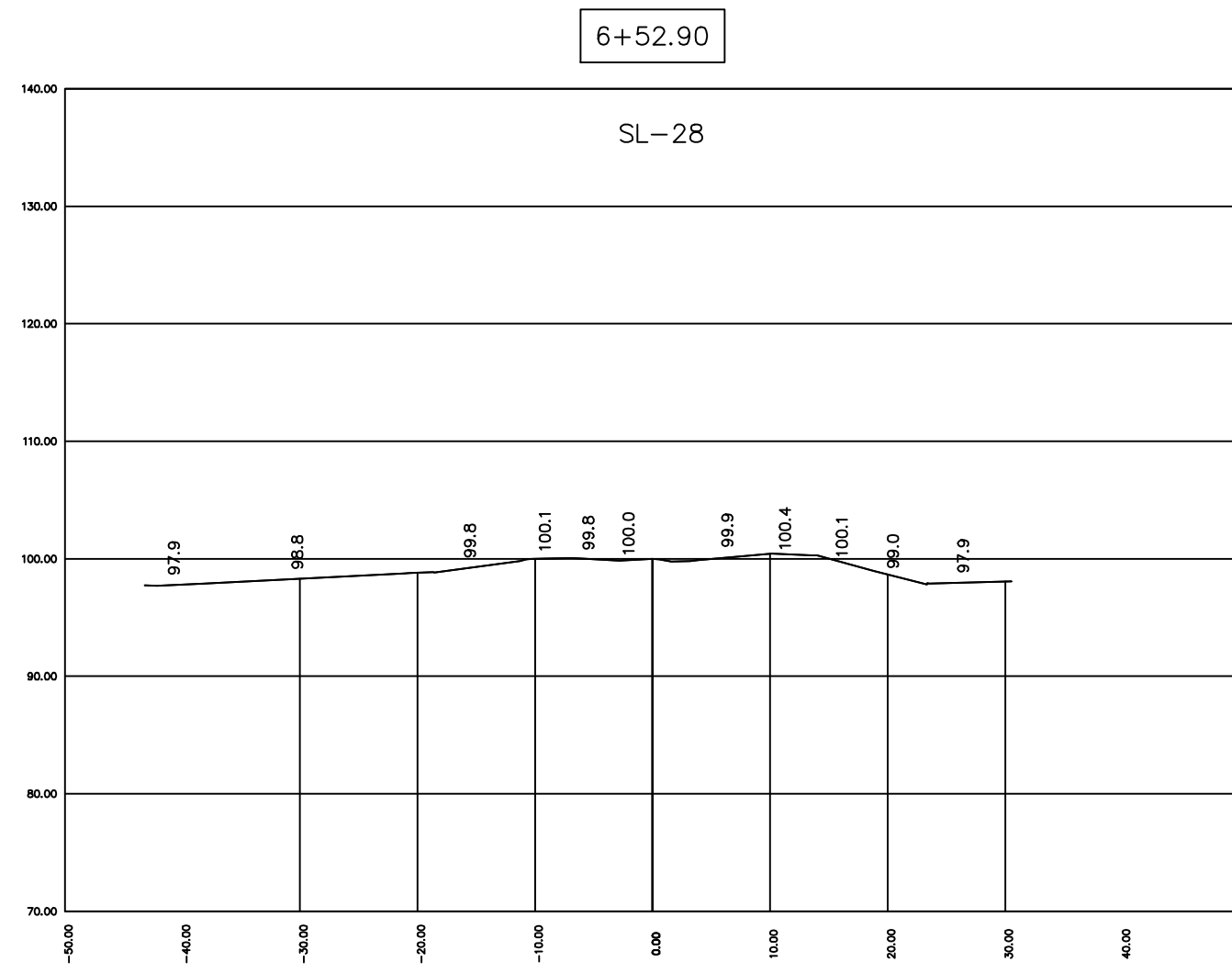
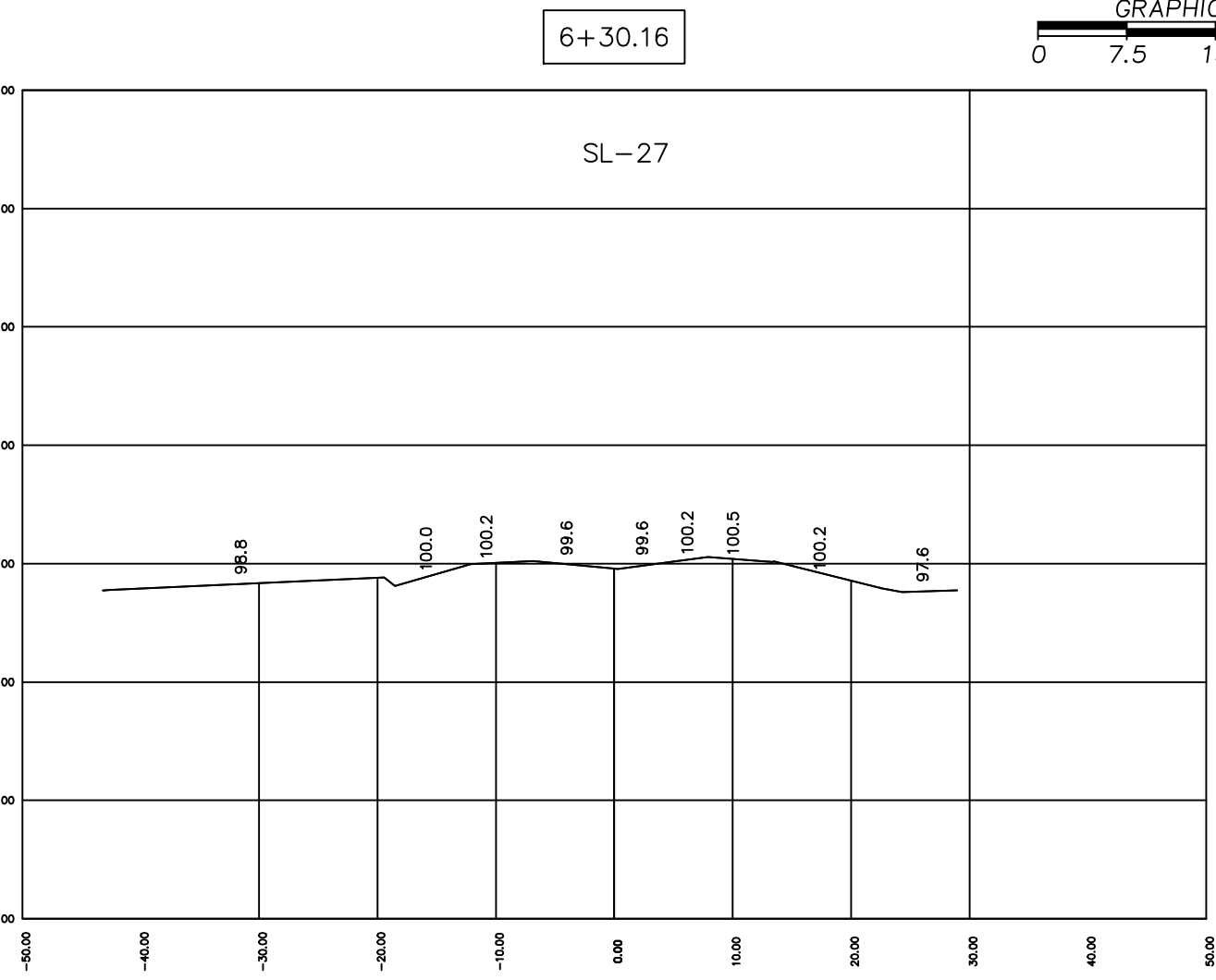
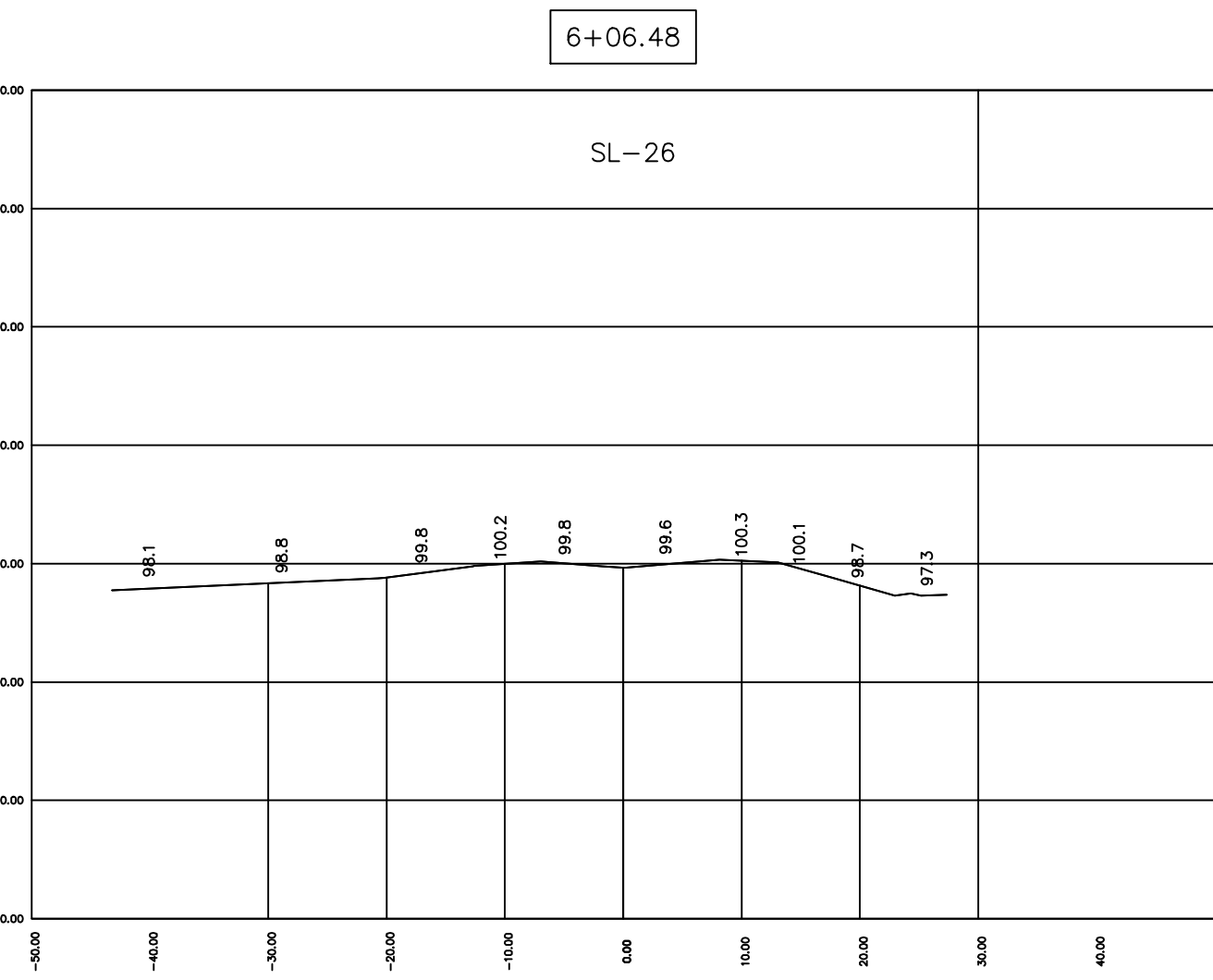
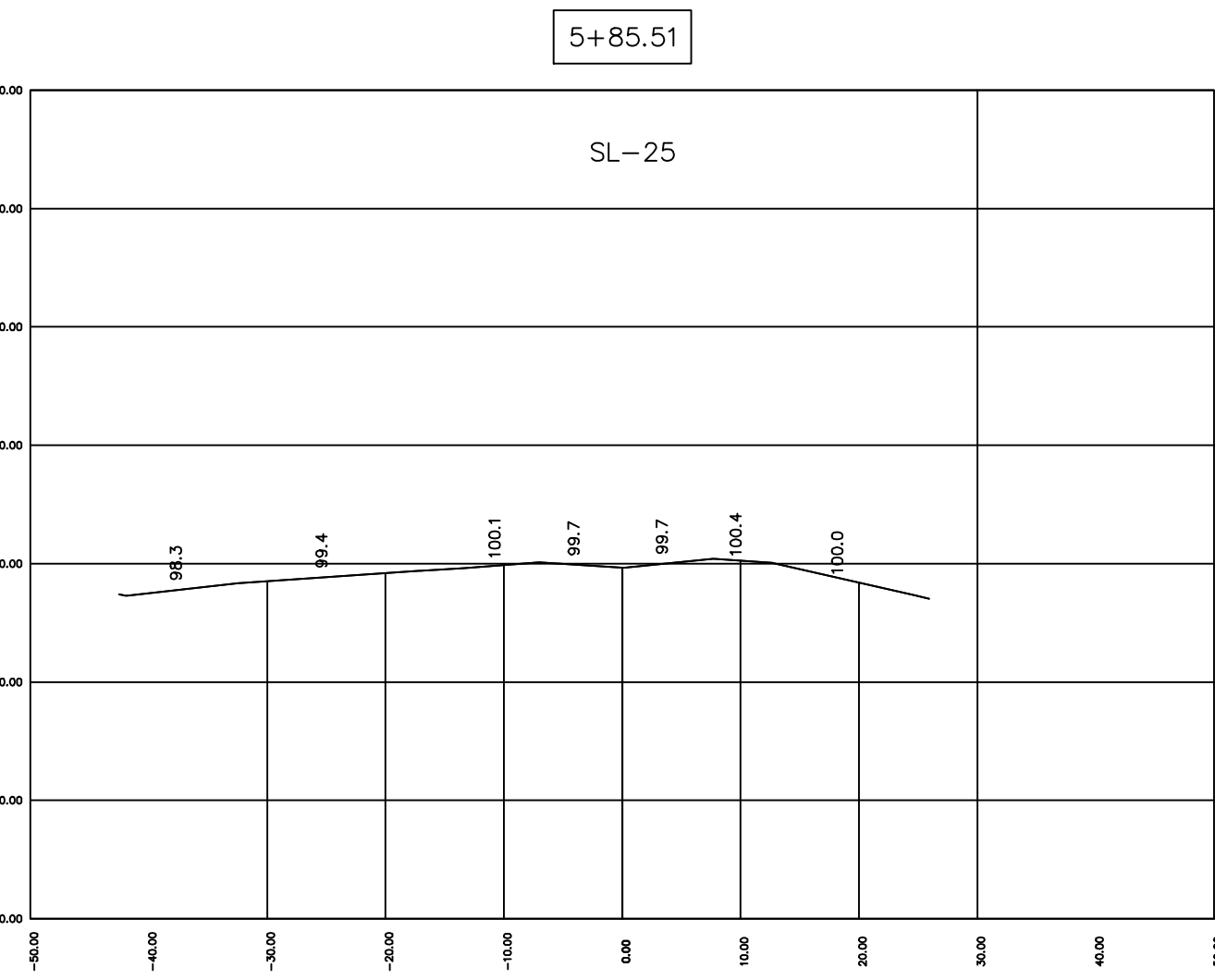
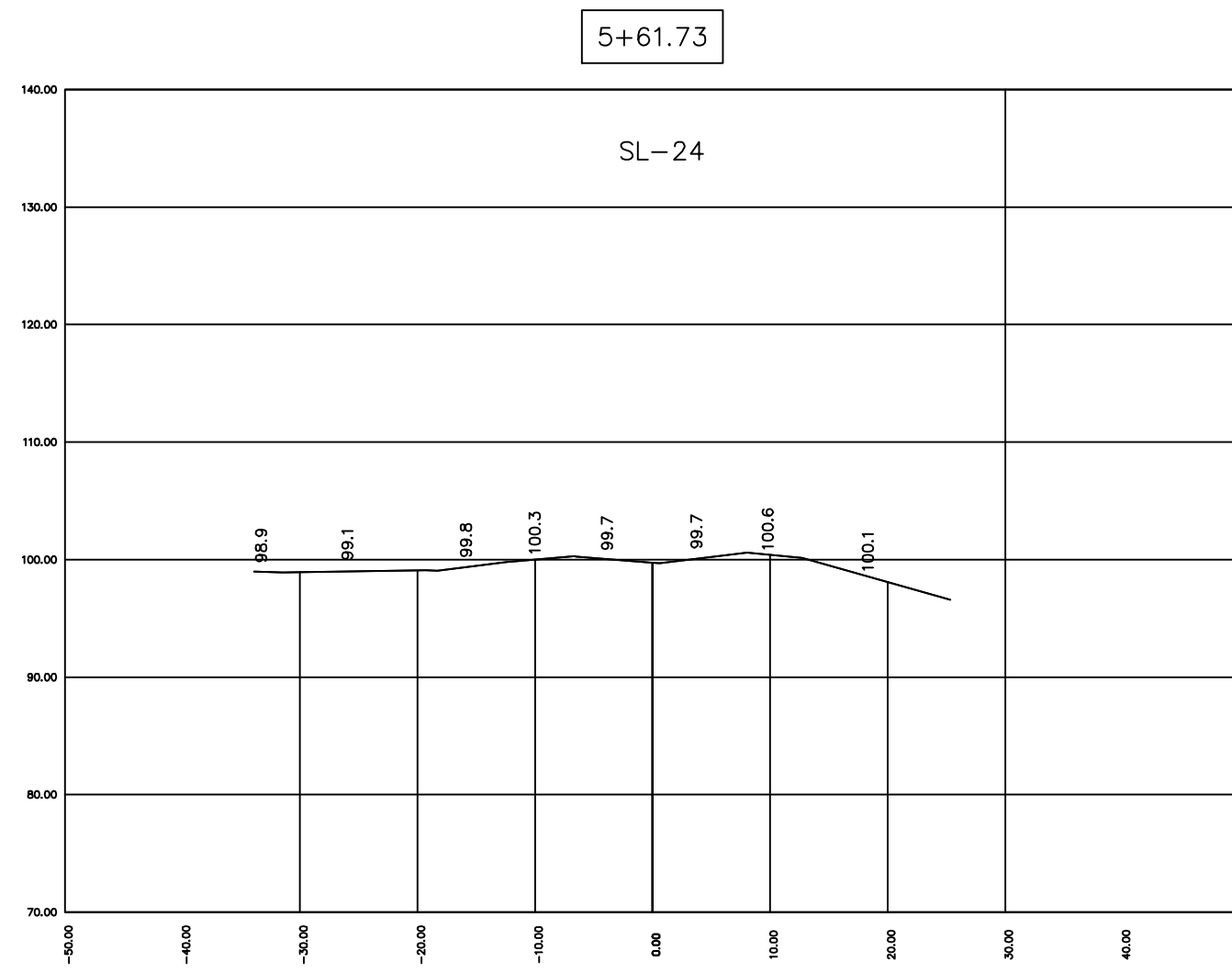


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F.E.G. PROJECT NO. **21-010**  
 SHEET NO. **C-2D**  
 SHEET **5** OF **10**

1" = 15'  
 GRAPHIC SCALE  
 0 7.5 15 30



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 WINTER GARDEN, FLORIDA 34787  
 (407) 654-5355 FAX (407) 654-5356

**TOPOGRAPHIC SURVEY**  
 OF  
**SUNCOAST BUILDING MATERIALS**  
 ORANGE COUNTY, FLORIDA

FOR:  
**FLORIDA**  
**ENGINEERING**  
**GROUP, INC.**

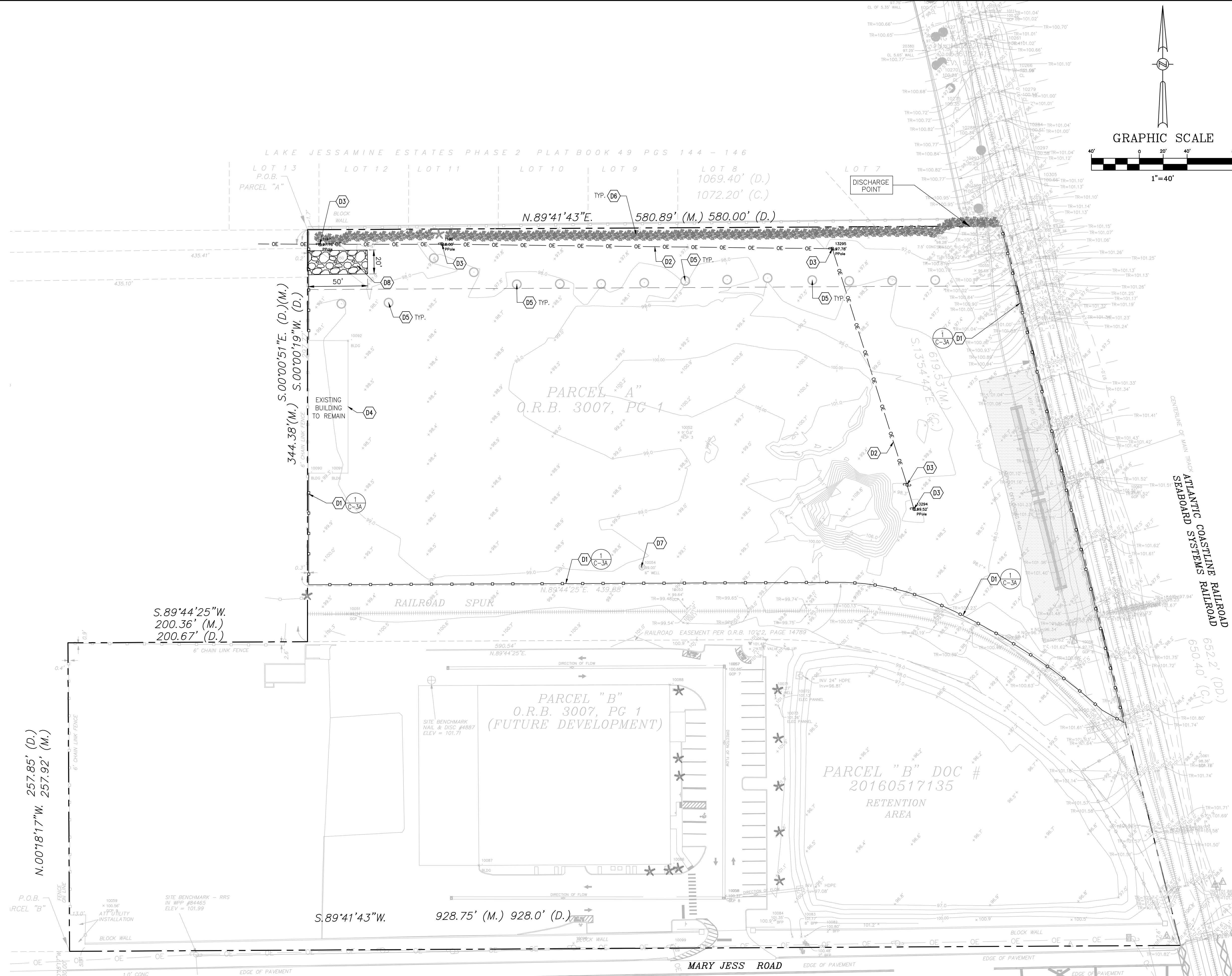
FOR THE LICENSED BUSINESS #9723 BY:  
 JAMES A. SHABELUK, P.S.M. #0227

DATE	REVISIONS
6/24/22	REVISIONS

JOB #: 20220398  
 DATE: 06/21/22  
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 CHECKED BY: JS

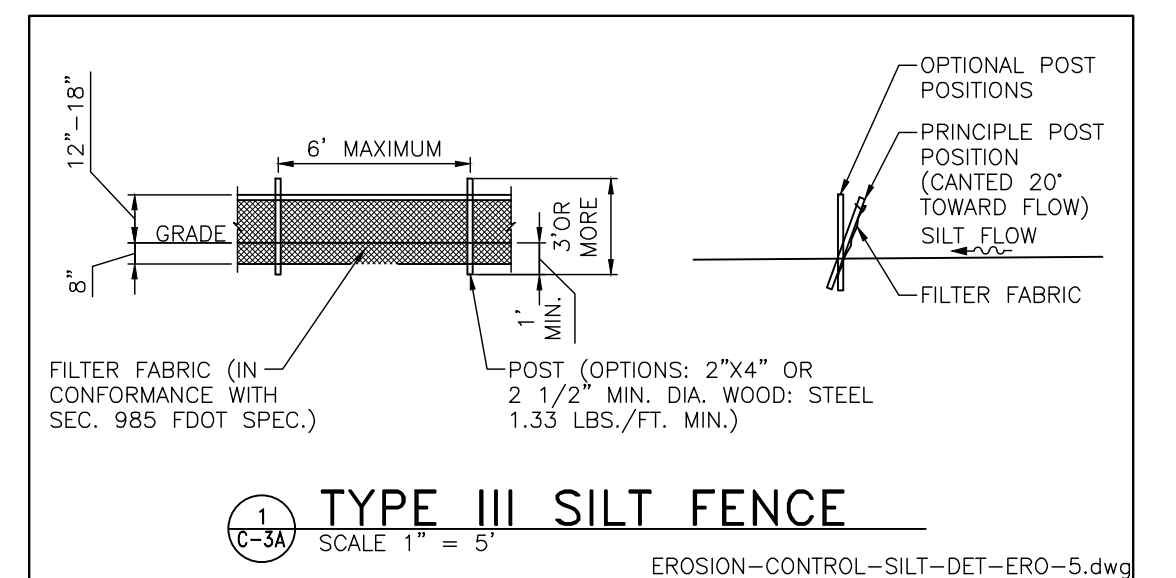






- ### DEMOLITION KEYNOTES
- D1. F.D.O.T. TYPE "III" SILT FENCE EROSION CONTROL BARRIER PER INDEX No. 102, TYPICAL.
  - D2. REMOVE EXISTING ELECTRICAL OVERHEAD WIRE. COORDINATE EXISTING ELECTRICAL POWER SERVICE REMOVAL WITH SITE ELECTRICAL PLANS AND POWER COMPANY.
  - D3. REMOVE EXISTING POLE.
  - D4. EXISTING BUILDING TO REMAIN.
  - D5. EXISTING TREE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
  - D6. EXISTING HEDGE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
  - D7. EXISTING 6" WELL TO REMAIN. REFER TO UTILITY PLANS FOR ADDITIONAL REQUIREMENTS.
  - D8. 20'X50' GRAVEL CONSTRUCTION ENTRANCE.

- ### DEMOLITION NOTES
1. THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF EXISTING UTILITIES & OTHER FEATURES ARE SHOWN ON THE PLANS ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES AFFECTING THE WORK PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY FEG OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROPOSED WORK.
  2. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
  3. THE CONTRACTOR SHALL, PRIOR TO INITIATION OF ANY SITE CLEARING OR OTHER CONSTRUCTION ACTIVITIES, INSTALL SILT SCREENS DOWNSTREAM OF ALL AREAS WHICH HAVE POTENTIAL OF EROSION OR SEDIMENT TRANSPORT OFFSITE OR TO WATER BODIES. THE CONTRACTOR SHALL IMPLEMENT OTHER STRUCTURAL EROSION CONTROL MEASURES IF REQUIRED TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES.
  4. ALL TRASH, DEBRIS, & OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
  5. ANY EXCAVATED TRENCHES ARE TO BE BACKFILLED WITH CLEAN SAND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY VALUE (AASHTO T-180). REFER TO GEOTECHNICAL REPORT FOR SPECIFIC COMPACTION REQUIREMENTS UNDER BUILDING & OTHER STRUCTURES.
  6. ALL EXISTING CONCRETE TO BE REMOVED SHALL BE SAWCUT & REMOVED @ THE FIRST AVAILABLE GOOD JOINT & REPLACED TO MATCH EXISTING.
  7. THE CONTRACTOR SHALL CONTACT THE GAS UTILITY FOR LOCATION BEFORE EXCAVATION. CHAPTER 17-153 F.S. REQUIRES THAT AN EXCAVATOR NOTIFIES ALL GAS UTILITIES AT LEAST TWO DAYS PRIOR TO EXCAVATING. ALSO CALL 1-800-432-4770 FOR SUNSHINE LOCATES, F.S. 556.101 THROUGH 111.
  8. CONTRACTOR TO PROVIDE TREE PROTECTION AROUND TREES TO REMAIN AS REQUIRED BY THE LOCAL JURISDICTION.
  9. NO EXCAVATING MATERIAL SHALL BE STOCKPILED IN A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.



**CONTRACTOR ACKNOWLEDGEMENT:**  
 THIS PLAN HAS BEEN PREPARED UNDER \_\_\_\_\_ DIRECTION AND KNOWLEDGE. I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.  
 DATE: \_\_\_\_\_  
 (NOTE: CONTRACTOR IS REQUIRED TO REVIEW & SIGN THIS PLAN PRIOR TO START CONSTRUCTION)

DATE	REVISIONS	BY	CHECKED

**SPECIAL EXCEPTION AMENDMENT PLANS**  
**SUNCOAST BUILDING MATERIAL**  
 201 MARY JESS ROAD  
 ORLANDO, FLORIDA

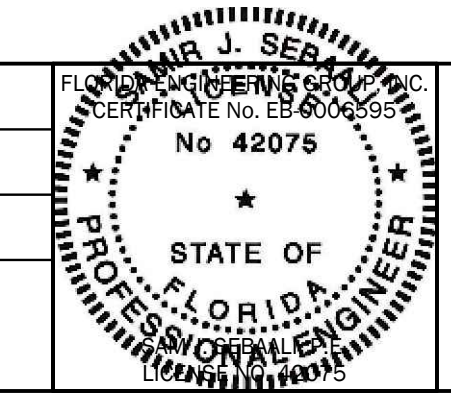


5127 S. Orange Avenue, Suite 200  
 Orlando, FL 32809  
 Phone: 407-895-0324  
 Fax: 407-895-0325  
 www.feg-inc.us

**SITE DEMOLITION AND STORMWATER PREVENTION PLAN**

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
SJS	JT	SJS	SJS

PROJECT NO.	21-010
SCALE	1"=40'
DATE	MARCH 13, 2023
SHEET NO.	C-3A
SHEET 7	OF 10



THIS ITEM, INCLUDING ANY BOUND SHEETS, HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAM J. SEVALL, P.E., ON MARCH 13, 2023 USING A DIGITAL SIGNATURE.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



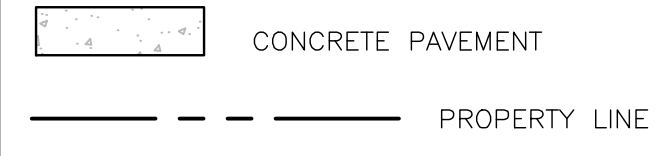




**# SITE CONSTRUCTION KEYNOTES**

- C1A. 6" HEAD CURB, TYPICAL.
- C1B. 3' TRANSITION CURB.
- C2. WHEELSTOP PER LATEST F.D.O.T. STANDARD PLANS INDEX 520-001, TYPICAL.
- C3A. LIGHT DUTY CONCRETE PAVEMENT.
- C3B. HEAVY DUTY CONCRETE PAVEMENT.
- C4A. MONOLITHIC CURB & SIDEWALK, TYPICAL.
- C4B. CONCRETE SIDEWALK, TYPICAL.
- C5. HANDICAP ACCESS RAMP WITH A MAXIMUM 12:1 SLOPE, TYPICAL.
- C6. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE 2004.
- C8. RETAINING WALL, DESIGN BY OTHERS.

**PLAN LEGEND**



**# SITE STRIPING & SIGNAGE KEYNOTES**

- S1. PROPERTY BOUNDARY.
- S2. HANDICAP PARKING STALL, TYPICAL.
- S3. HANDICAP SIGN.
- S4. DIRECTIONAL ARROWS PER LATEST F.D.O.T. STANDARD PLANS INDEX 711-001, TYPICAL.

**SITE DATA**

PROPERTY LOCATION: 201 MARY JESS ROAD, ORLANDO, FL 32893  
 PROPERTY ZONING: C-3 WHOLESALE COMMERCIAL DISTRICT WITH SPECIAL EXCEPTION APPROVAL: 2016-SE-03; 2016-SE-04; 2016-SE-05  
 PROPERTY FUTURE LAND USE DESIGNATION: COMMERCIAL  
 PARCEL I.D.: PARCEL "A" 13-23-29-0000-00-009  
 EXISTING USE: PARCEL "A" OUTDOOR STORAGE OF MERCHANDISE AND BUILDING MATERIAL STORAGE AND SALES  
 PROPOSED USE: PARCEL "A" OUTDOOR STORAGE OF MERCHANDISE, BUILDING MATERIAL STORAGE AND SALES & STORAGE AND WHOLESALE DISTRIBUTION WAREHOUSE

PROJECT AREA: 4.47 ACRES  
 TOTAL PROPOSED GROSS FLOOR AREA: 45,454 S.F.  
 EXISTING BUILDING: 3,454 S.F.  
 PROPOSED BUILDINGS: 42,000 S.F.  
 PROPOSED GROSS FLOOR AREA: 45,454 S.F.

BUILDING SETBACKS (REQUIRED)		BUILDING SETBACKS (PROPOSED)	
FRONT (SOUTH)	25'	FRONT (SOUTH)	81'
SIDE (EAST)	5'	SIDE (EAST)	112'
SIDE (WEST)	5'	SIDE (WEST)	183'(NEW BLDG)
REAR (NORTH)	30'	REAR (NORTH)	76'

MAXIMUM ALLOWABLE HEIGHTS PER 2016-SE-03; 2016-SE-04; 2016-SE-05:  
 BUILDING HEIGHT: 35' SINGLE STORY  
 STACKED MATERIALS AND EQUIPMENT: 25'  
 STACKED MATERIALS AND EQUIPMENT WITHIN 50' OF PROPERTY BOUNDARY: 10'

**BUFFER YARDS**

PROPOSED USE	ABUTTING USE	REQUIRED BUFFER	PROPOSED BUFFER
BUILDING MATERIAL STORAGE FRONT (SOUTH)	RAILROAD	0'	VARIES
BUILDING MATERIAL STORAGE SIDE (EAST)	RAILROAD	0'	7'
BUILDING MATERIAL STORAGE SIDE (WEST)	WAREHOUSING	50'	50' (BUFFER & DRAINAGE)*
BUILDING MATERIAL STORAGE REAR (NORTH)	RESIDENTIAL	50'	50' (BUFFER & DRAINAGE)*

\* PER SPECIAL EXCEPTION APPROVAL

**PARKING**

**PARKING REQUIRED**

WAREHOUSE	45,454 S.F. x (1 SPACE PER 1,000 S.F.)	46 SPACES
TOTAL PARKING REQUIRED		46 SPACES
SPACES REQUIRED TO BE RESERVED FOR HANDICAP		2 SPACES

**PARKING PROVIDED**

STANDARD PARKING SPACES	58 SPACES
HANDICAP PARKING	3 SPACES
TOTAL PARKING PROVIDED	61 SPACES

**SITE AREA CALCULATIONS:**

BUILDING FOOTPRINT	45,454 S.F.
SIDEWALK	1,625 S.F.
CONCRETE PAVING	60,568 S.F.
PAVEMENT (OFFLOADING PAD)	10,801 S.F.
IMPERVIOUS AREA	118,448 S.F.
PERVIOUS AREA	76,386 S.F.
TOTAL SITE AREA	194,834 S.F.

MINIMUM OPEN SPACE REQUIRED: 20%  
 OPEN SPACE PROVIDED: 39%

**FLOOD ZONE**

FLOOD ZONE X PER FEMA F.I.R.M. PANEL 12095C0430F DATED: 09/25/2009.

**SOILS**

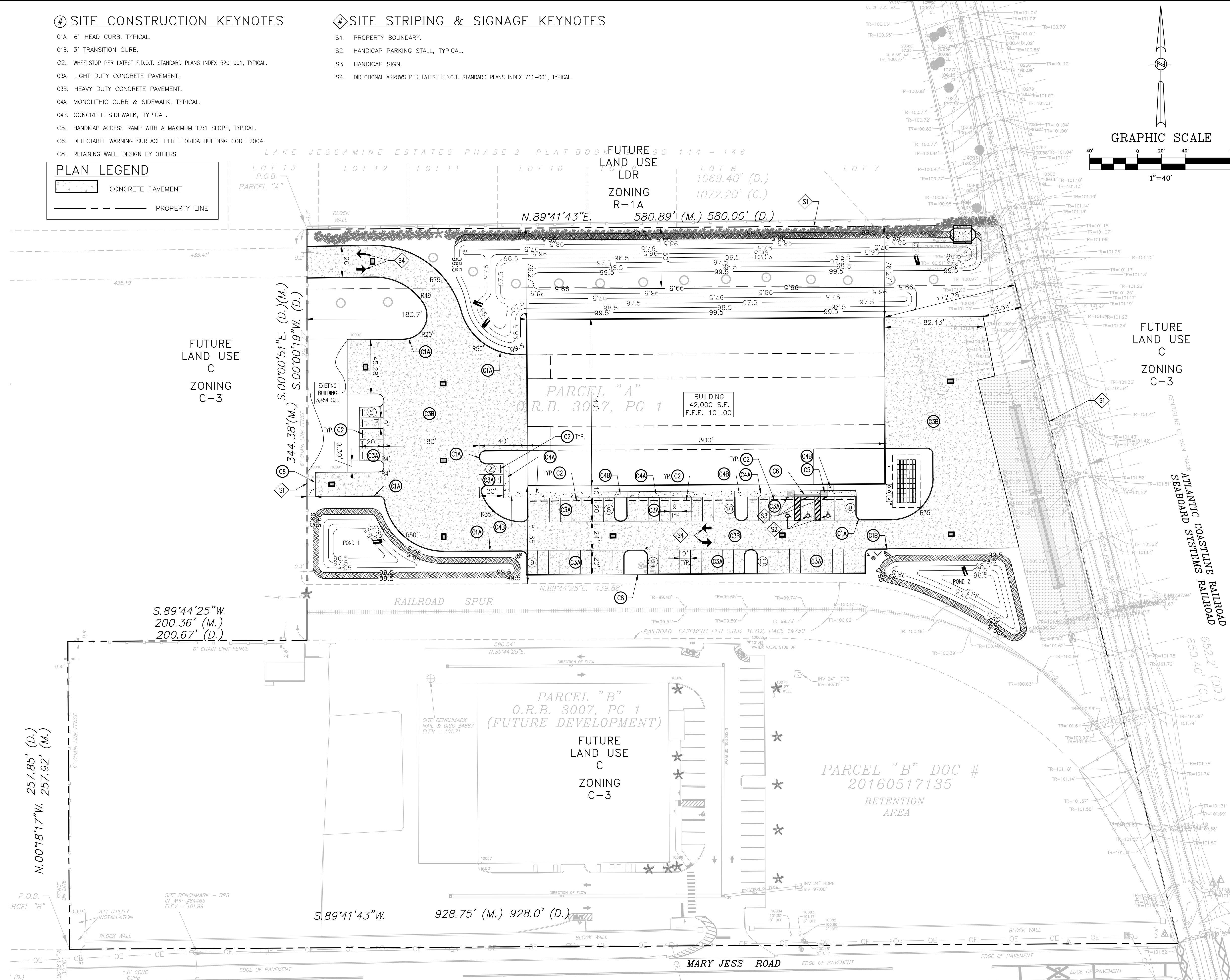
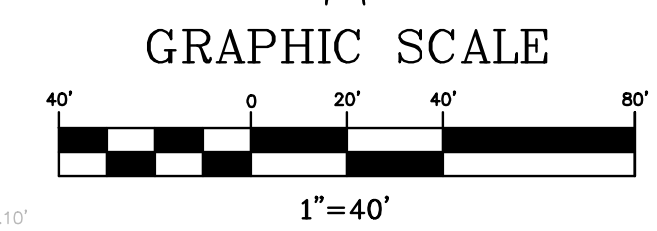
22 - LOCHLOOSA FINE SAND

**WETLAND STATEMENT**

THERE ARE NO JURISDICTIONAL WETLANDS WITHIN THE PROJECT SITE.

**SITE NOTES**

- ALL DIMENSIONS ARE PARALLEL & PERPENDICULAR TO A BEARING OF N 89°41'43" E. UNLESS OTHERWISE INDICATED WITH A \*\* OR BEARING.



DATE	REVISIONS	BY	CHECKED

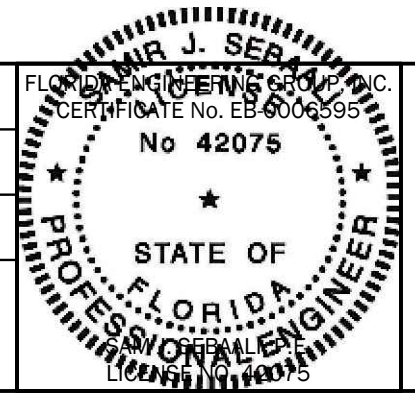
SPECIAL EXCEPTION AMENDMENT PLANS  
 SUNCOAST BUILDING MATERIAL  
 201 MARY JESS ROAD  
 ORLANDO, FLORIDA



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 Phone: 407-895-0324  
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 www.feg-inc.us

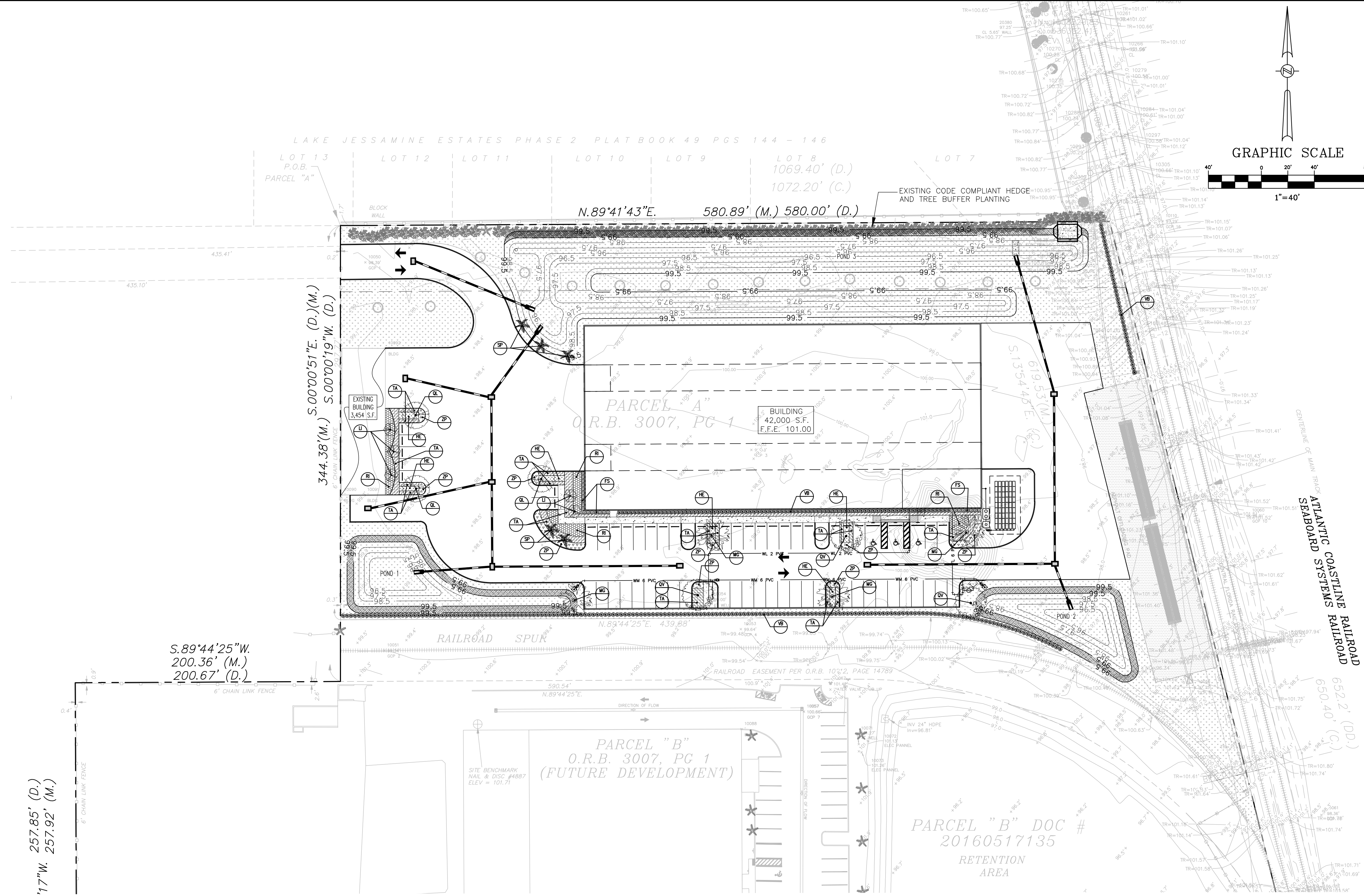
SITE GEOMETRY PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
SJS	JT	SJS	SJS

PROJECT NO.	21-010
SCALE	1"=40'
DATE	MARCH 13, 2023
SHEET NO.	C-4
SHEET 9	OF 10



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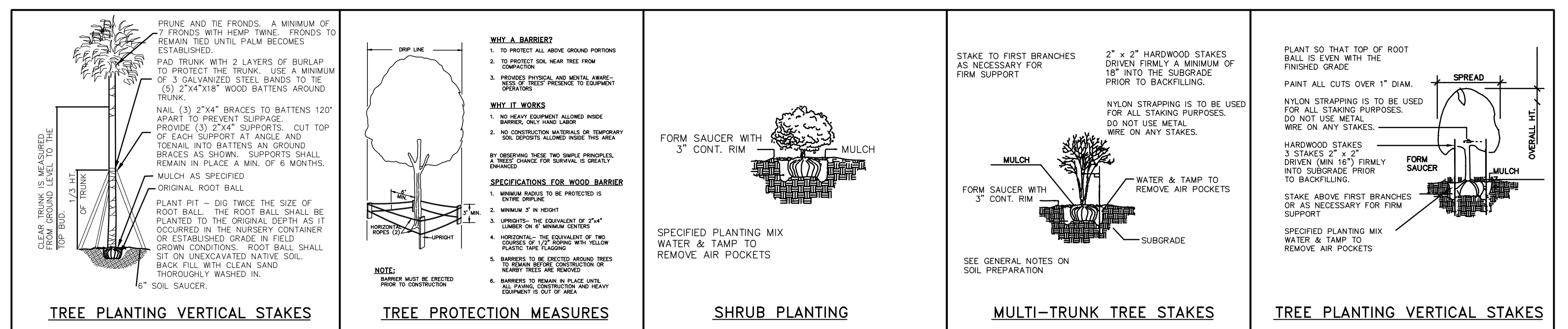




LANDSCAPE SCHEDULE						
TREES						
SYMBOL	ABR.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	QUANTITY	REMARKS
	QV	QUERCUS VIRGINICA 'HIGH RISE'	HIGH RISE LIVE OAK	12' HT. 2" CAL.	3	SINGLE STRAIGHT TRUNK
	QL	QUERCUS LAURIFOLIA	LAUREL OAK	10'-12' HT. 2" CAL.	3	SINGLE STRAIGHT TRUNK
	MG	MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	8'-10' HT.	4	SINGLE STRAIGHT TRUNK
	LI	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	10' HT	5	MULTI TRUNK 3-5 TRUNKS MIN.
	SP	SABAL PALMETTO	CABBAGE PALM	15'-18' HT. C.T.	5	SPECIMEN
	FS	FORESTIERA SECRAGATA	FLORIDA PRIVET	3 GAL. 36" HT. 30" O.C.	24	FULL
	VB	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	36" HT. 30" O.C.	306	FULL
	HE	DAYLILY	HEMEROCALLIS SPP.	1 GAL. 12" O.C.	700	
	RI	INDIAN HAWTHORN	RAPHIOLEPIS INDICA ALBA	3 GAL. 12"x15" 30" O.C.	240	
	TA	DWARF ASIATIC JASMINE	TRACHELOSPERMUM ASIATICUM	1 GAL. 12" O.C.	3,850	
	ZP	COONTIE	ZAMIA PUMILA	3 GAL. 18" O.C.	500	FULL
	SOD	BAHIA HYBRID			QTY. BY CONTRACTOR	

**LANDSCAPE NOTES**

- ALL PLANT MATERIAL SHALL BE "FLORIDA FANCY" AS OUTLINED IN THE FLORIDA "GRADES & STANDARDS FOR NURSERY PLANTS" & "GRADES & STANDARDS FOR NURSERY PLANTS PART 11 PALMS & TREES".
- IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH THE CITY OF EDGEWOOD.
- IN THE EVENT OF DISCREPANCY BETWEEN THE PLANT LIST AND ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FLORIDA ENGINEERING GROUP, INC. OF ANY DISCREPANCIES PRIOR TO ISSUANCE OF BIDS.
- ALL PLANTING BEDS AND TREE SAUCERS TO HAVE CYPRESS BARK MULCH TO A DEPTH OF 2" MIN. AREAS ON % SHALL HAVE A CYPRESS BARK MULCH DEPTH OF 3" MIN.
- A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIAL STARTING FROM TIME OF FINAL ACCEPTANCE BY OWNER. REPLACEMENT OF DEAD OR UNHEALTHY MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN THIRTY DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- CALIPER OF TREES SHALL BE MEASURED AT 12" ABOVE GRADE. ALL TREES SHALL BE INSTALLED IN AN UPRIGHT POSITION. CALIPER OF TREES SHALL TAKE PRECEDENCE OVER HEIGHT OR SPREAD.
- ALL DISTURBED AREAS ON SITE SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
- LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN COMPLIANCE WITH LOCAL LANDSCAPING ORDINANCE.
- GRADE, DRESS, AND SOD AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
- PLANT MIX OF 8" SHALL BE TILLED INTO EXISTING SOIL TO A DEPTH OF 24". REFER TO SHRUB AND TREE PLANTING DETAIL FOR EXTENT OF PLANT MIX TO BE PROVIDED. PLANT MIX SHALL CONSIST OF 1/3 PEAT MOSS AND 2/3 EXISTING SOIL.
- ALL PLANT MATERIALS SHALL RECEIVE A SLOW RELEASE FERTILIZER IN QUANTITIES AS DIRECTED BY THE MANUFACTURER.
- ALL PLANT MATERIAL SHALL BE SET BACK 2 FEET FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 3 FEET BACK FROM CURB.
- PIN ALL SOD ON 3:1 OR GREATER SLOPES.



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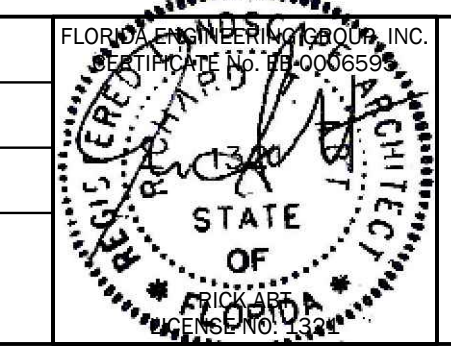
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SITE LANDSCAPE PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
RTA	SMH	RTA	RTA

PROJECT NO. 21-010  
 SCALE 1"=40'  
 DATE MARCH 13, 2023  
 SHEET NO. L-1  
 SHEET 10 OF 10



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