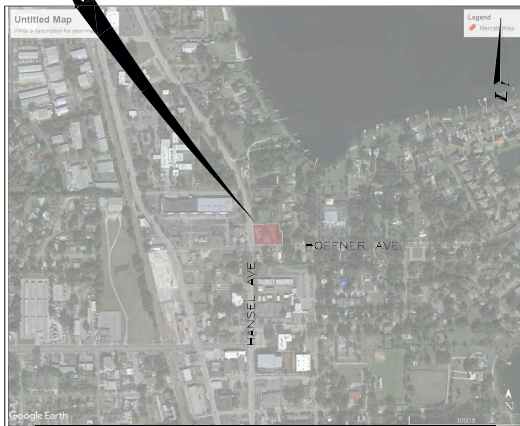


MECATOS BAKERY & CAFE

5645 HANSEL AVE
EDGEWOOD, FL 32809

CONSTRUCTION DOCUMENTS

PROJECT SITE



LOCATION MAP
N.T.S.

PREPARED BY

CIVIL ENGINEER
HARRIS CIVIL ENGINEERS, LLC.
1200 HILLCREST STREET, SUITE 200
ORLANDO, FL 32803
OFFICE: 407.629.4777

LANDSCAPE ARCHITECT
DALE & COMPANY
651 N. MILLS AVENUE
ORLANDO, FL 32803
OFFICE: 407.894.1317

ENGINEER OF RECORD: DAVID TAYLOR, P.E.
LICENSE NUMBER: 60928

HCE PROJECT NUMBER: 7391000
DATE: OCTOBER 25, 2021

INDEX OF SHEETS

- C-000 COVER SHEET
- C-001 GENERAL NOTES
- C-002 EXISTING CONDITIONS
- C-003 DEMOLITION AND EROSION CONTROL PLAN
- C-100 SITE AND GEOMETRY PLAN
- C-101 SITE AND GEOMETRY PLAN
- C-200 GRADING AND DRAINAGE PLAN
- C-300 UTILITY PLAN
- C-400 DETAILS
- C-401 DETAILS
- C-402 LIFT STATION DETAIL
- L-101 LANDSCAPE SITE PLAN

SITE DATA TABLE	
PARCEL ACREAGE:	0.906 ACRES
PARCEL:	24-23-29-3400-00-014
PROPOSED USES:	FAST FOOD WITH DRIVE THRU
ZONING:	O-1
SPECIAL DISTRICT:	EDGEWOOD CENTRAL DISTRICT(ECCO)
PARKING:	MINIMUM REQUIRED: 29 REGULAR SPACES REQUIRED (1 SPACE PER 100 SF GFA + 1 SPACE PER 200 SF EXTERNAL SEATING)
	(2,309 SF OF BLDG) 2 ADA ACCESSIBLE SPACE
	(960 SF EXTERNAL) 29 TOTAL SPACES REQUIRED
PROVIDED:	29 REGULAR SPACES 2 ADA ACCESSIBLE SPACE 31 TOTAL SPACES PROVIDED
BUILDING SETBACKS:	MIN PROPOSED
FRONT W:	25' (BLDG) 62' (BLDG)
REAR E:	20' (BLDG) 128' (BLDG)
SIDE N:	25' (BLDG) 62' (BLDG)
SIDE S:	25' (BLDG) 65' (BLDG)
AREA:	PRE-DEVELOPMENT POST DEVELOPMENT
TOTAL IMPERVIOUS =	39,936 SF 19,031 SF
TOTAL BUILDING =	21,063 SF 15,031 SF
BUILDING =	1,443 SF 2,309 SF
PAVEMENT =	21,063 SF 15,031 SF
TOTAL PAVEMENT =	17,442 SF 17,848 SF
TOTAL OPEN SPACE =	17,442 SF 13,784 SF
PAVERS =	0 SF 4,464 SF
EXPANSION AREA:	
ALLOWABLE EXPANSION AREA	1,436SF + 1,000SF = 2,436SF
PROPOSED EXPANSION AREA	2,309SF
LOT TO BUILDING RATIO - REQUESTING WAIVER	

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EB 9814

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C/O NELSON LERMA, JR
1070 CAMPBELL ST
Orlando, Florida
32806

No.	Date	Description

COVER SHEET

Designs: DWT
Drawn: A/T
Checked: DWT

Scale: N.T.S.
Date: 2024-10-25
Project No: 7391000

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David W. Taylor, P.E.
60928

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CALL 48 HOURS BEFORE YOU DIG IT IS THE LAW. DIAL 811



C-000

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NOV 09 2021

CITY OF EDGEWOOD

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PROJECT NO	
DATE	8-8-2021

ELEVATIONS

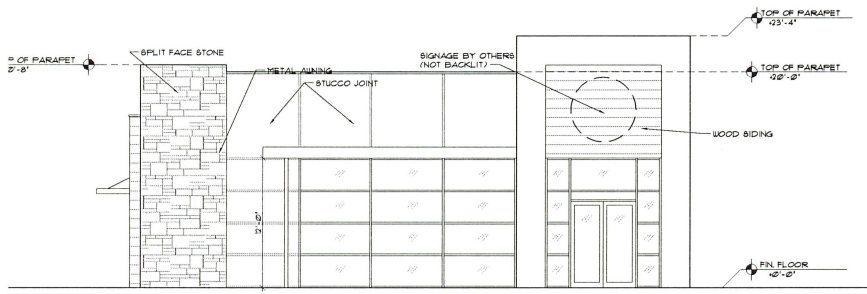
ALTERATIONS TO A BUILDING FOR MECATO'S CAFE
5645 S. ORANGE AVE
EDGEWOOD, FLORIDA

06PZ009ZVW
RABITS & ROMANO ARCHITECTURE PLANNING AND DESIGN
1323 SOUTH ORANGE AVENUE
SUITE 110 ORLANDO, FL 32839
TEL: 407-280-0010
FAX: 407-232-0008
WWW.RRA-ARCHITECT.COM

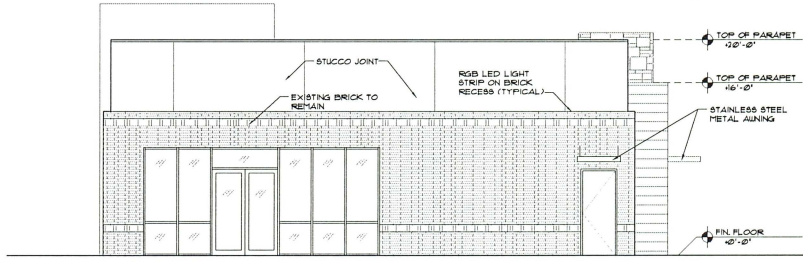
SIGN/SEAL

DATE

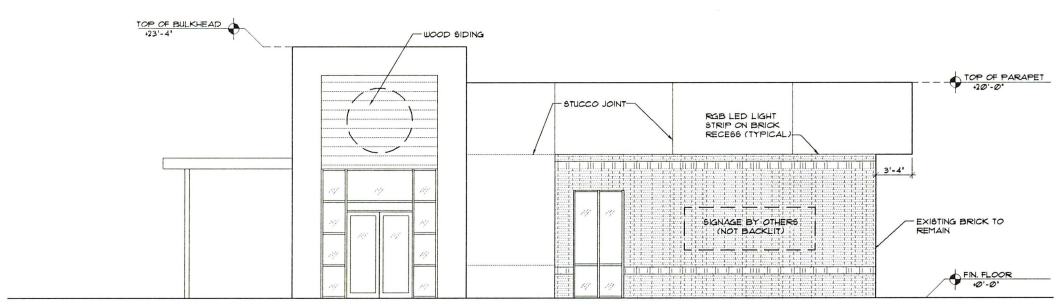
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OF
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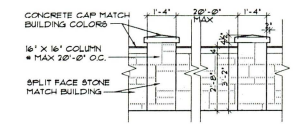
WEST ELEVATION
SCALE: 3/16"=1'-0"



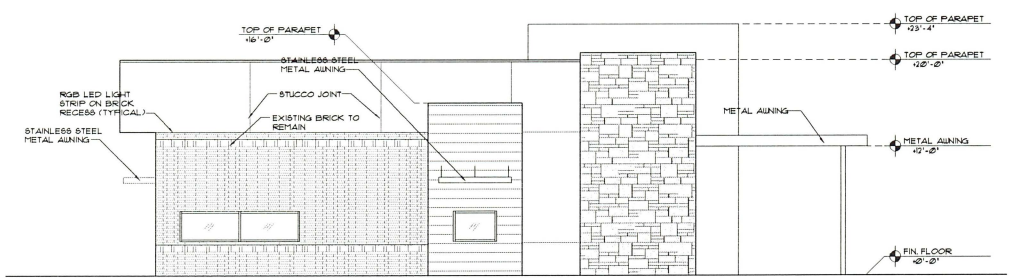
EAST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"



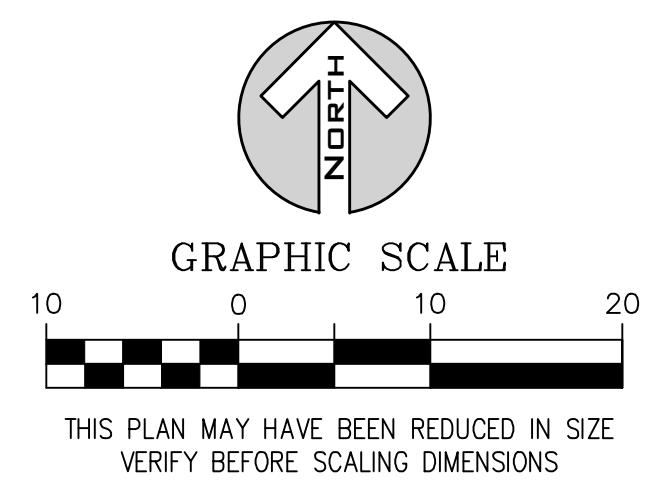
TYPICAL PRIVACY WALL
SCALE: 3/8"=1'-0"



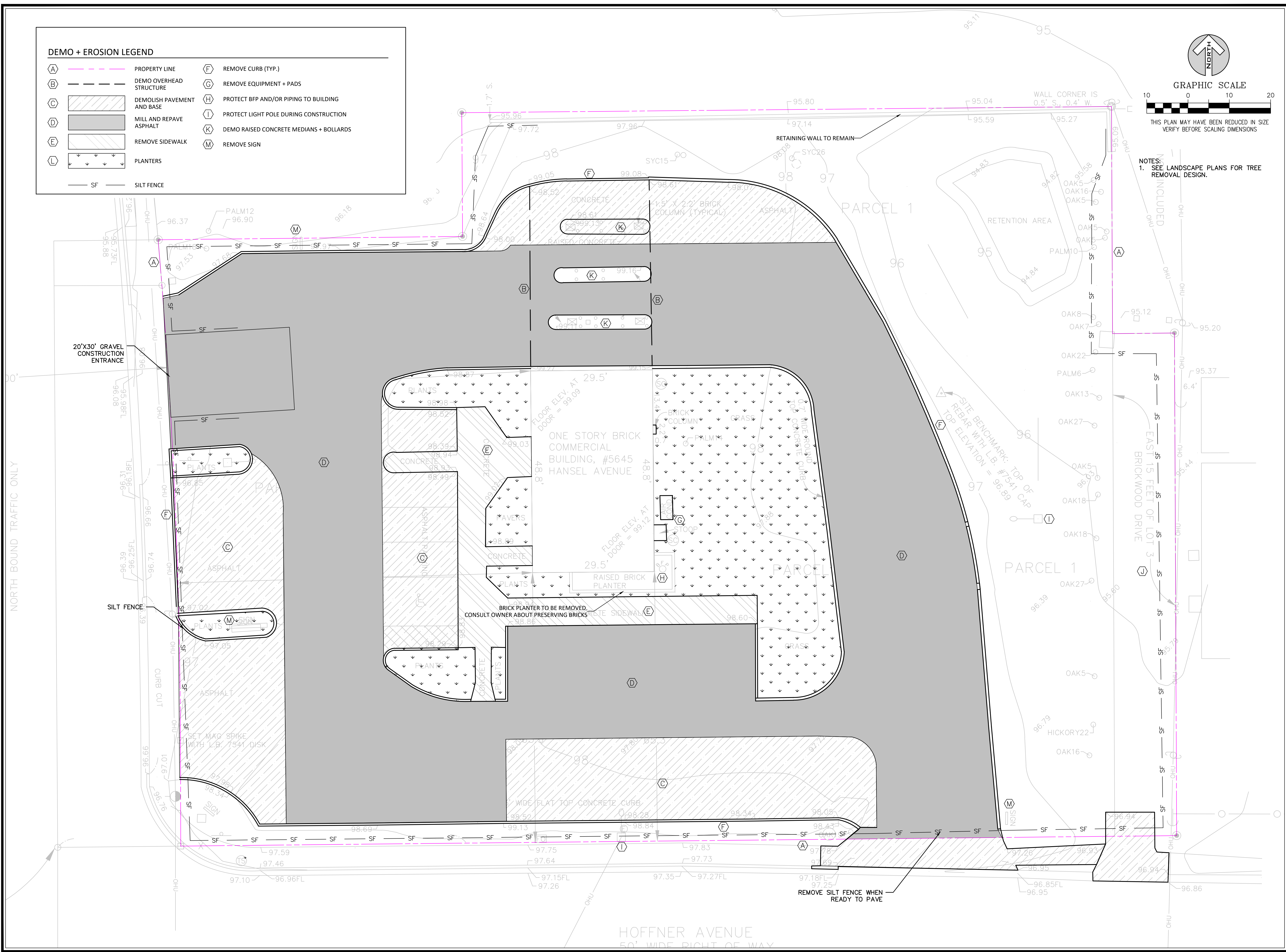
NORTH ELEVATION
SCALE: 3/16"=1'-0"

DEMO + EROSION LEGEND

(A) ---	PROPERTY LINE	(F) ---	REMOVE CURB (TYP.)
(B) ---	DEMO OVERHEAD STRUCTURE	(G) ---	REMOVE EQUIPMENT + PADS
(C) [Hatched Box]	DEMOLISH PAVEMENT AND BASE	(H) ---	PROTECT BFP AND/OR PIPING TO BUILDING
(D) [Solid Grey Box]	MILL AND REPAVE ASPHALT	(I) ---	PROTECT LIGHT POLE DURING CONSTRUCTION
(E) [Diagonal Lines]	REMOVE SIDEWALK	(K) ---	DEMO RAISED CONCRETE MEDIANS + BOLLARDS
(L) [Downward Arrows]	PLANTERS	(M) ---	REMOVE SIGN
--- SF ---	SILT FENCE		



NOTES:
1. SEE LANDSCAPE PLANS FOR TREE REMOVAL DESIGN.



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C/O NELSON LERMA, JR
1073 CAMPBELL ST
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32806

Revisions:

No.	Date	Description
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DEMOLITION AND EROSION CONTROL PLAN
Scale: SEE SHEET
Date: 2021-10-25
Project No: 7991000
Design: DWT
Drawn: AJT
Checked: DWT

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32806

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SITE AND GEOMETRY PLAN

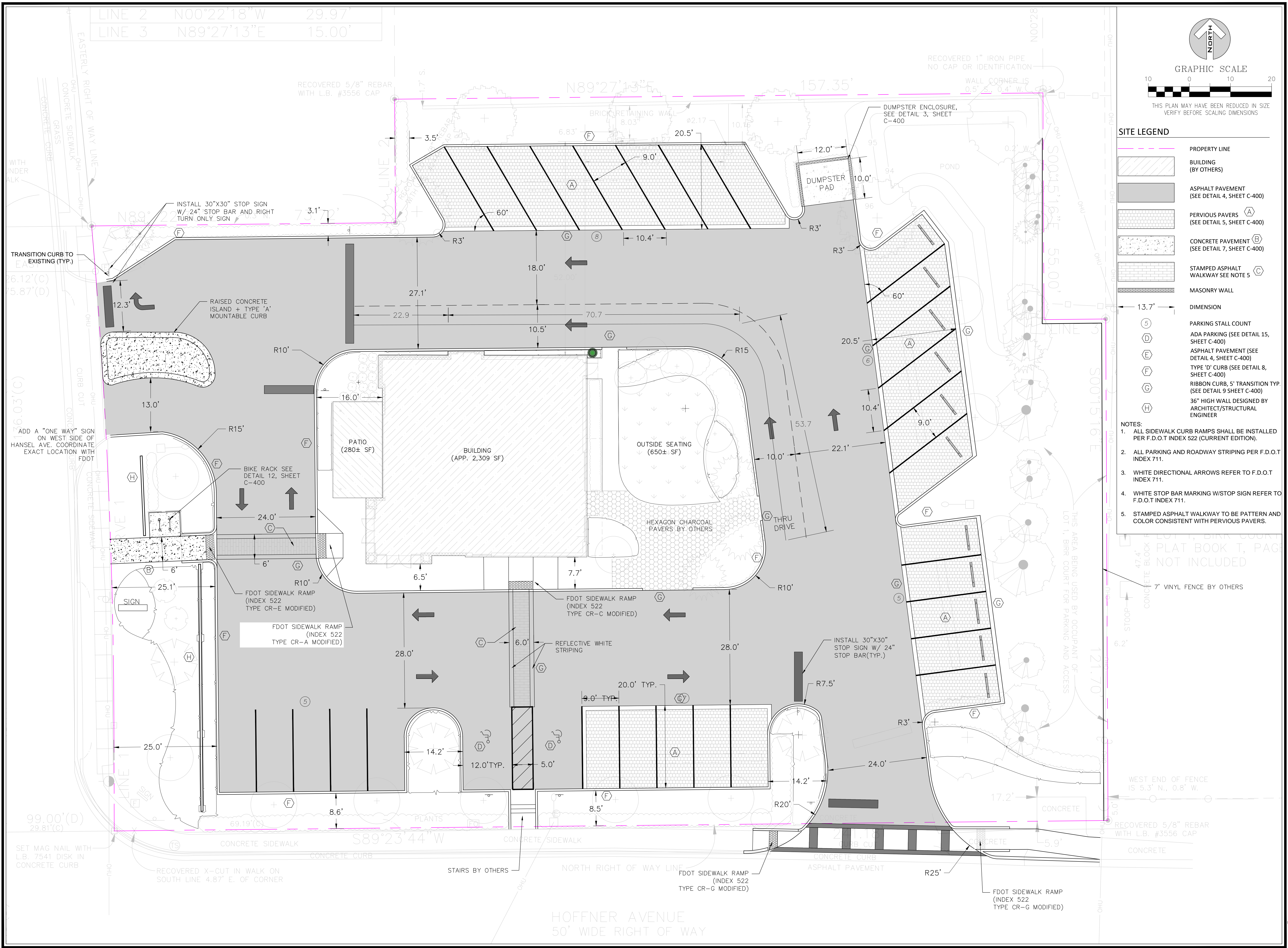
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Date: 2021-09-03
Project No: 799000

Design: DWT
Drawn: CT
Checked: DWT

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SITE LEGEND

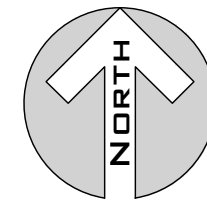
- PROPERTY LINE
- BUILDING (BY OTHERS)
- ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
- PERVIOUS PAVERS (SEE DETAIL 5, SHEET C-400)
- CONCRETE PAVEMENT (SEE DETAIL 7, SHEET C-400)
- STAMPED ASPHALT WALKWAY SEE NOTE 5
- MASONRY WALL
- DIMENSION
- PARKING STALL COUNT
- ADA PARKING (SEE DETAIL 15, SHEET C-400)
- ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
- TYPE 'D' CURB (SEE DETAIL 8, SHEET C-400)
- RIBBON CURB, 5' TRANSITION TYP. (SEE DETAIL 9 SHEET C-400)
- 36" HIGH WALL DESIGNED BY ARCHITECT/STRUCTURAL ENGINEER

NOTES:

- ALL SIDEWALK CURB RAMPS SHALL BE INSTALLED PER F.D.O.T INDEX 522 (CURRENT EDITION).
- ALL PARKING AND ROADWAY STRIPING PER F.D.O.T INDEX 711.
- WHITE DIRECTIONAL ARROWS REFER TO F.D.O.T INDEX 711.
- WHITE STOP BAR MARKING W/STOP SIGN REFER TO F.D.O.T INDEX 711.
- STAMPED ASPHALT WALKWAY TO BE PATTERN AND COLOR CONSISTENT WITH PERVIOUS PAVERS.



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GRAPHIC SCALE



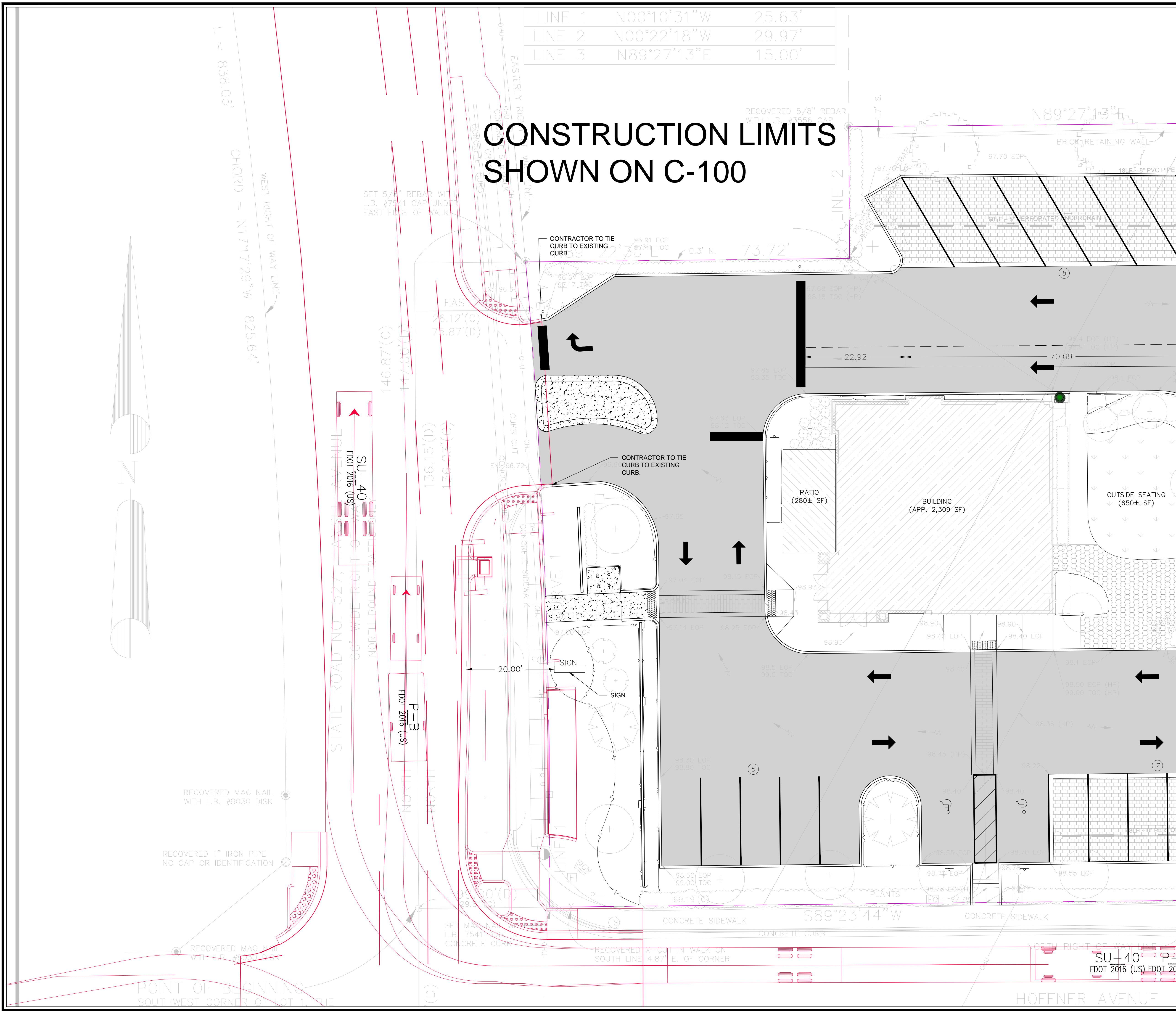
THIS PLAN MAY HAVE BEEN REDUCED IN SIZE
VERIFY BEFORE SCALING DIMENSIONS

NOTES:

1. FDOT PRELIMINARY LAYOUT SHOWN FOR REFERENCE. SITE CONTRACTOR TO COORDINATE CONSTRUCTION WITH FDOT PLANS AND CONTRACTOR.
2. CONTRACTOR TO VERIFY/COORDINATE WITH FDOT PLANS FOR POSSIBLE CONNECTION TO FDOT LAYOUT FOR NEW CURB AND SIDEWALK LOCATION.

LINE 1	N00°10'31"W	25.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'

CONSTRUCTION LIMITS SHOWN ON C-100



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SITE COORDINATION WITH FDOT (HANSEL)

Scale: SEE SHEET
 Date: 2021-09-25
 Project No.: 7991000

Design: DWT
 Drawn: AJT
 Checked: DWT

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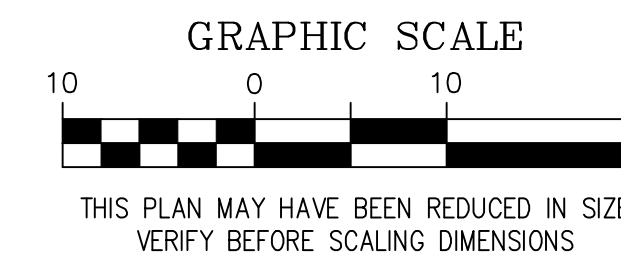
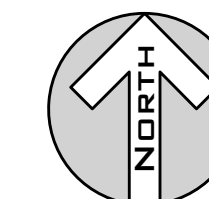
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GRADING NOTES

- DATUM NOTE: ELEVATIONS INDICATED BY THESE PLANS ARE BASED ON NAVD 88
- ELEVATIONS SHOWN ARE TO THE EDGE OF PAVEMENT (UNLESS OTHERWISE NOTED).

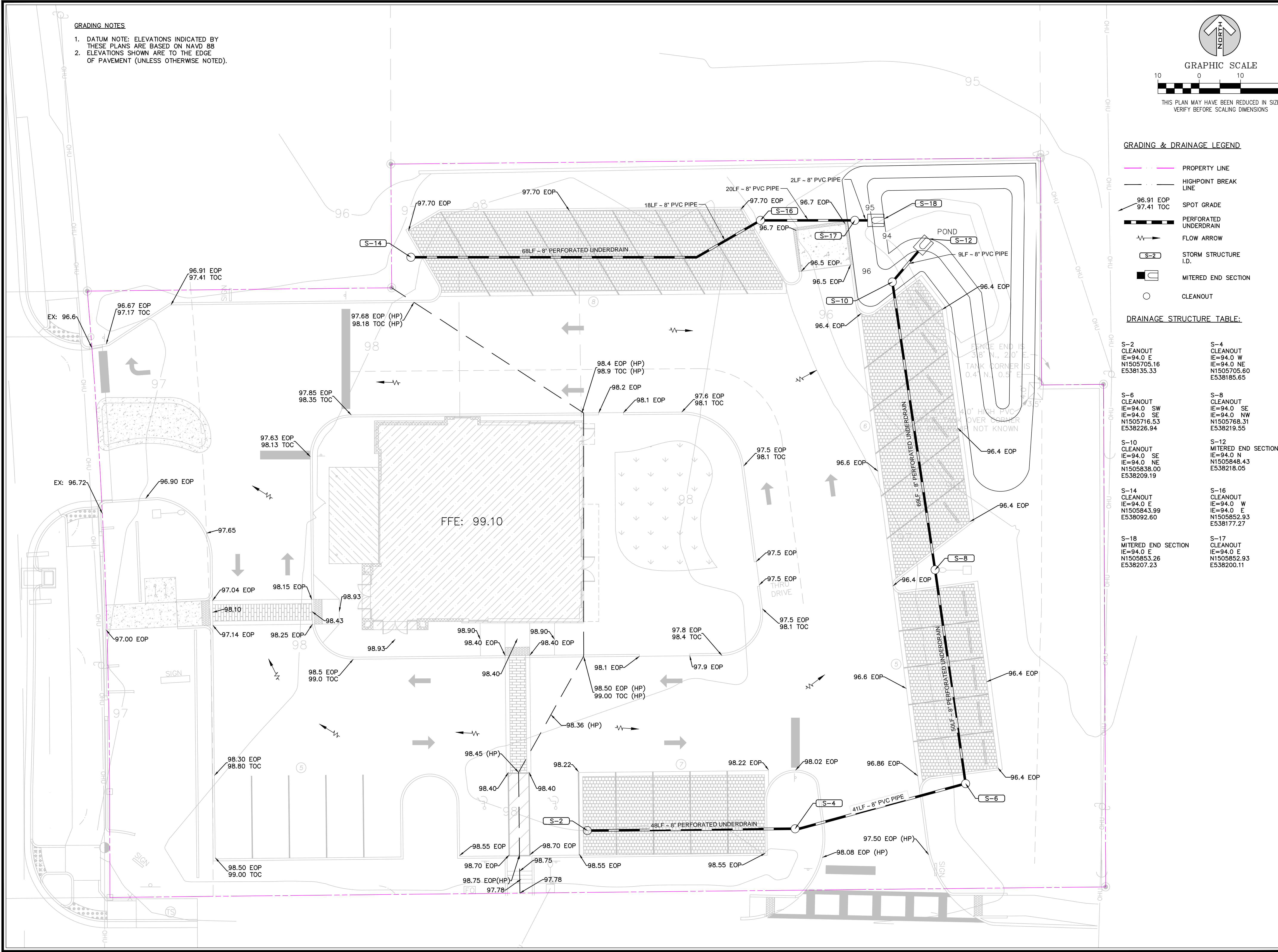


GRADING & DRAINAGE LEGEND

- PROPERTY LINE
- HIGHPOINT BREAK LINE
- SPOT GRADE
- PERFORATED UNDERDRAIN
- FLOW ARROW
- STORM STRUCTURE I.D.
- MITERED END SECTION
- CLEANOUT

DRAINAGE STRUCTURE TABLE:

No.	Description
S-2	CLEANOUT IE=94.0 E N1505705.16 E538135.33
S-4	CLEANOUT IE=94.0 W N1505705.16 E538185.65
S-6	CLEANOUT IE=94.0 SW N1505705.16 E538228.94
S-8	CLEANOUT IE=94.0 SE N1505768.31 E538219.55
S-10	CLEANOUT IE=94.0 SE N1505843.99 E538209.19
S-12	MITERED END SECTION IE=94.0 N N1505848.43 E538218.05
S-14	CLEANOUT IE=94.0 E N1505843.99 E538092.60
S-16	CLEANOUT IE=94.0 W N1505852.93 E538177.27
S-18	MITERED END SECTION IE=94.0 E N1505853.26 E538207.23
S-17	CLEANOUT IE=94.0 E N1505852.93 E538200.11



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EB 9814

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GRADING AND DRAINAGE PLAN

Scale: SEE SHEET
Date: 2021-09-25
Project No.: 7391000

Design: DWT
Drawn: AJT
Checked: DWT

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UTILITY PLAN

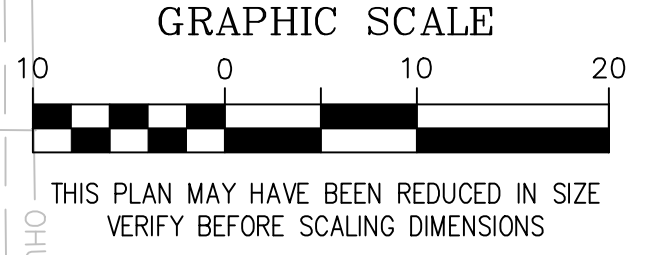
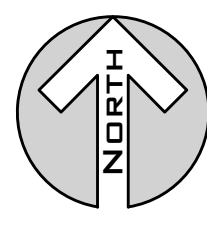
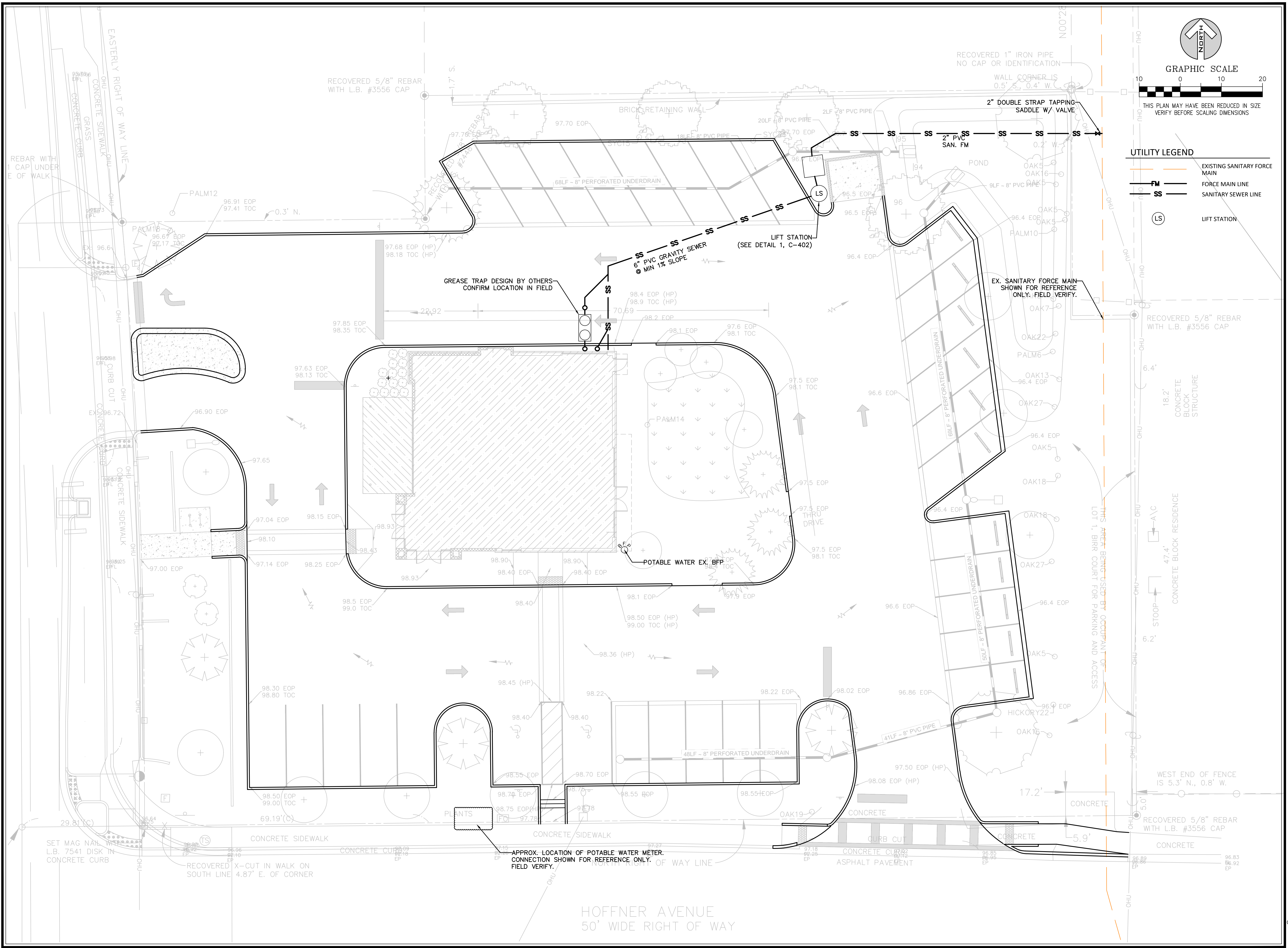
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Date: 2021-08-16
Project No: 7391000

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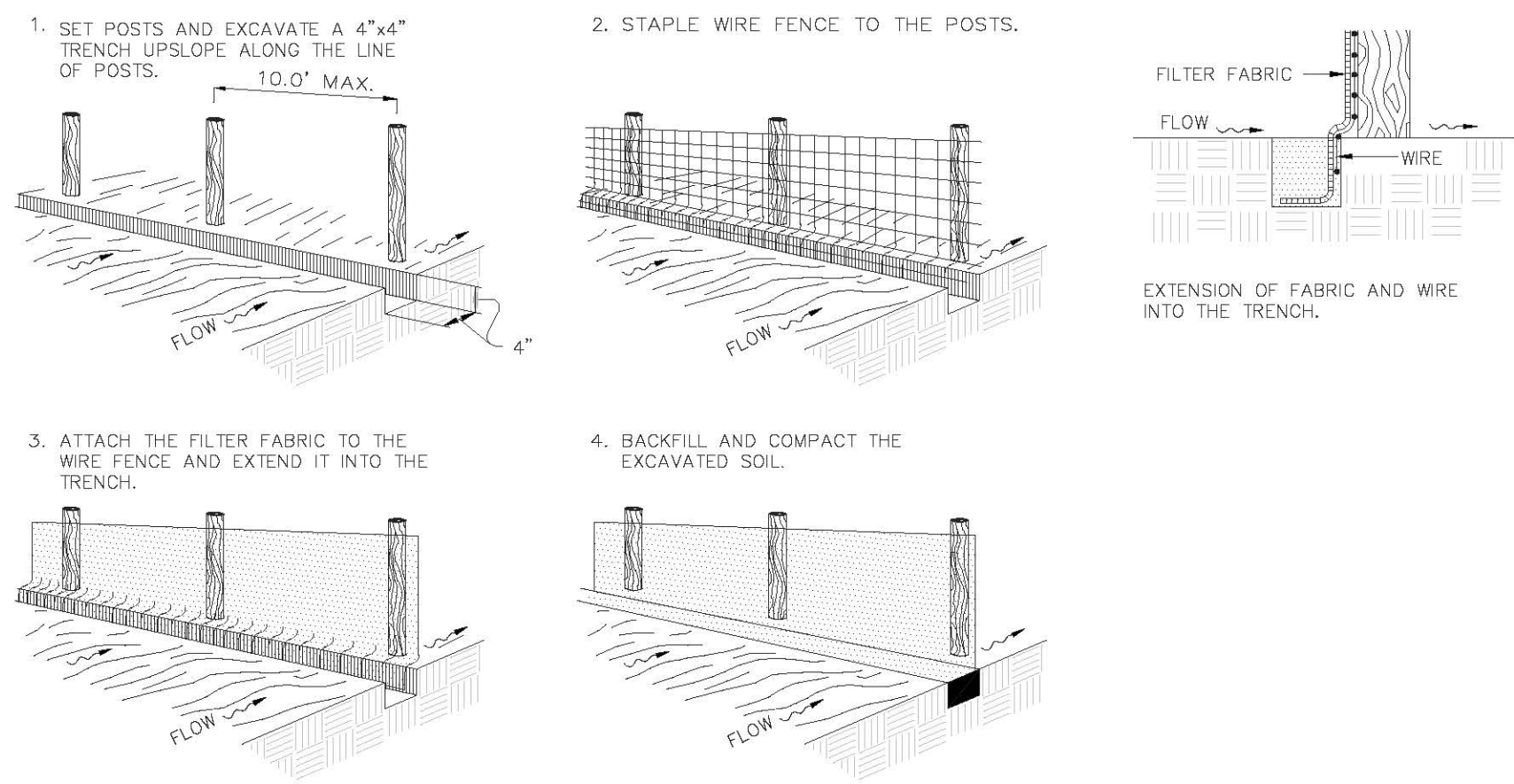
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FL PE # 60928

Release:

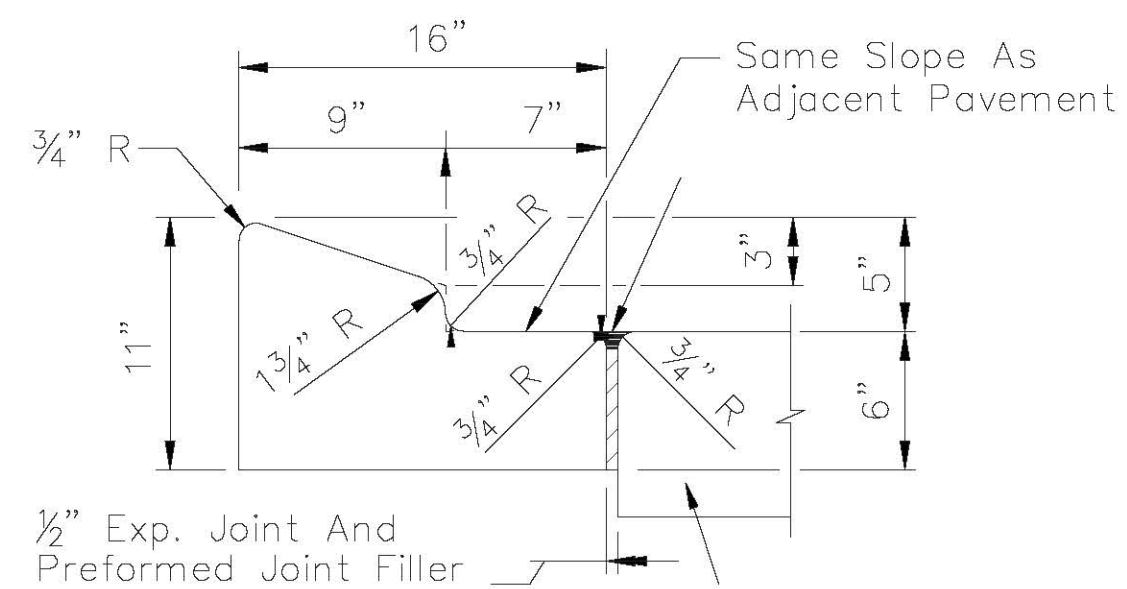


- UTILITY LEGEND
- EXISTING SANITARY FORCE MAIN
 - FORCE MAIN LINE
 - SANITARY SEWER LINE
 - LIFT STATION

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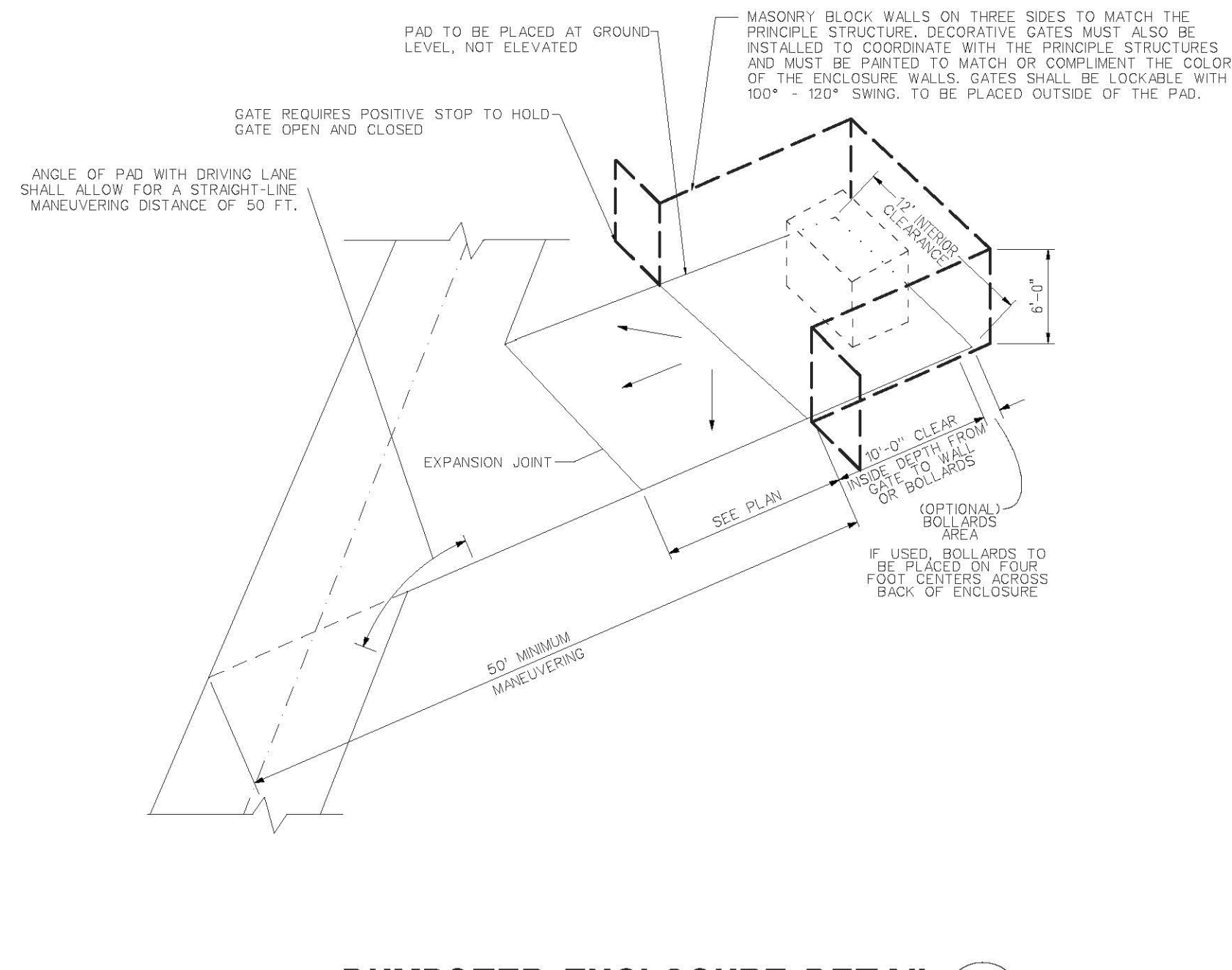
SILT FENCE DETAIL 1
N.T.S. C-400



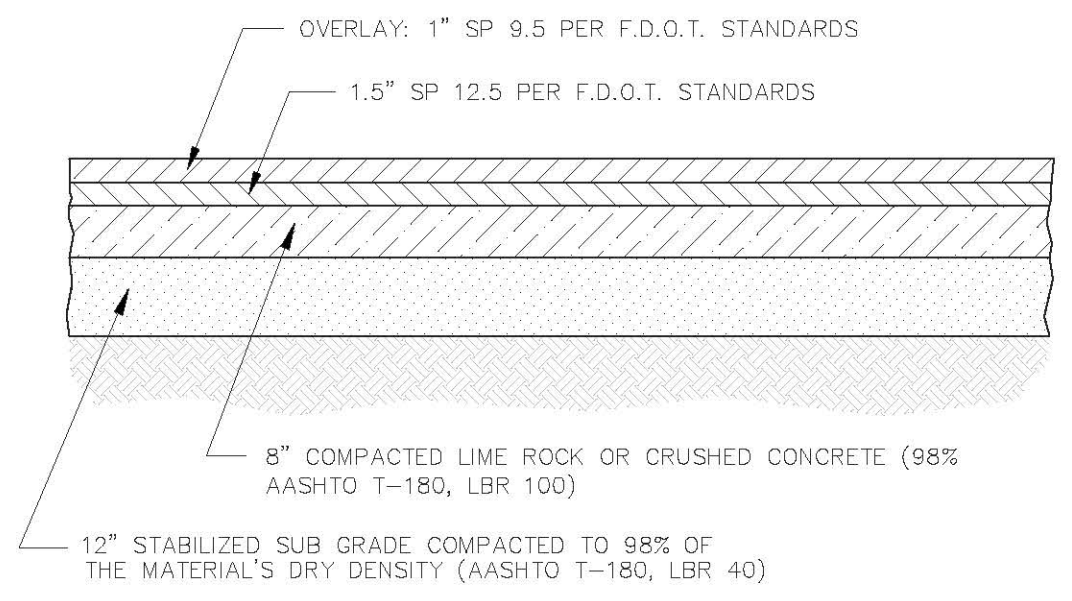
For details depicting usage adjacent to flexible pavement, see Sheet 2.

TYPE A

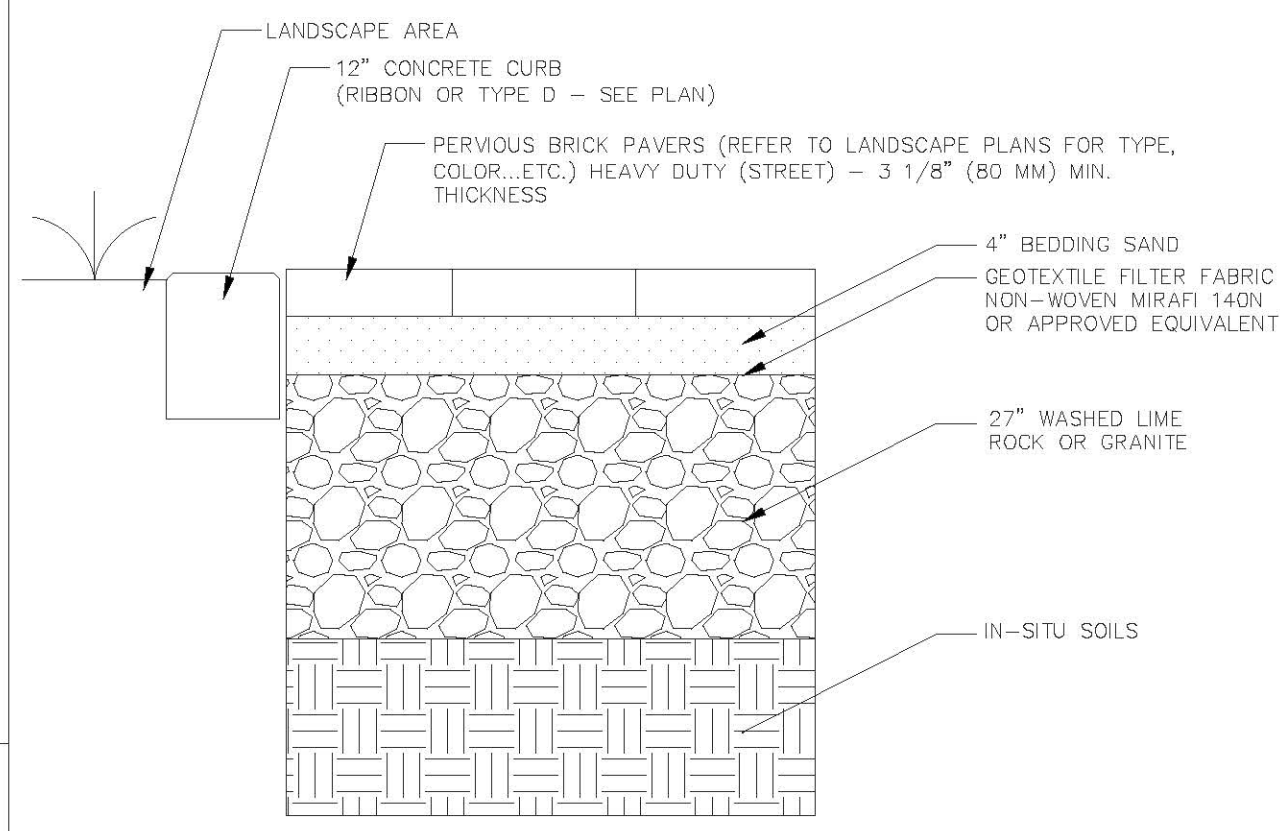
FDOT TYP A CURB 2
N.T.S. C-400



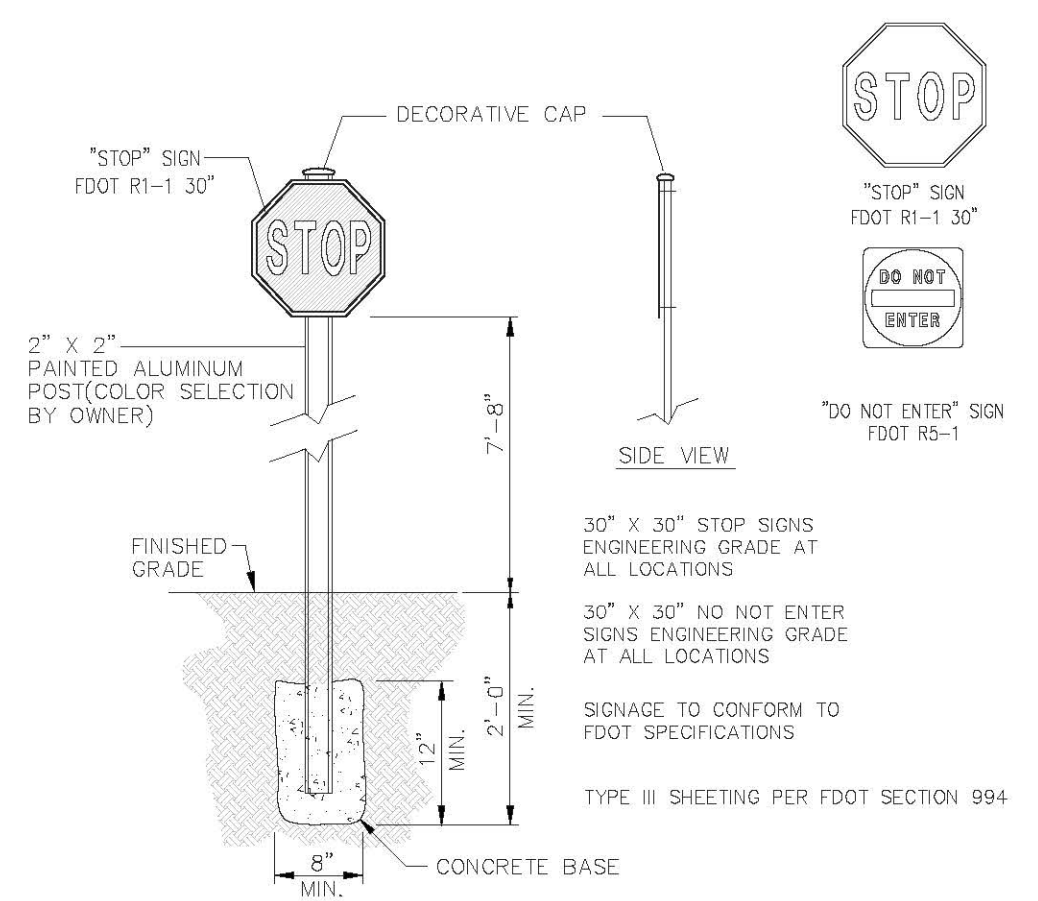
DUMPSTER ENCLOSURE DETAIL 3
N.T.S. C-400



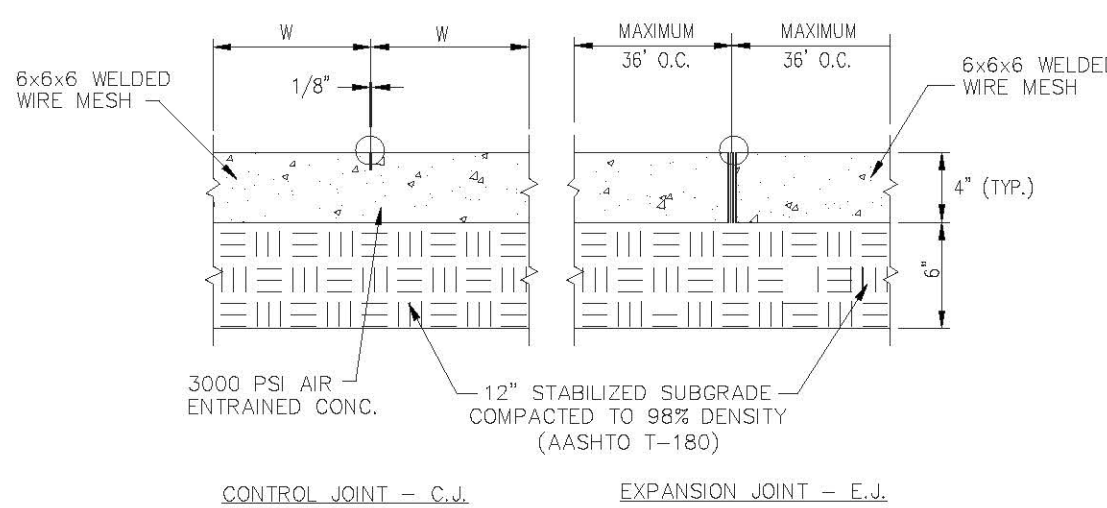
TYPICAL ASPHALT PAVEMENT DETAIL 4
N.T.S. C-400



PERVIOUS PAVER DETAIL 5
N.T.S. C-400

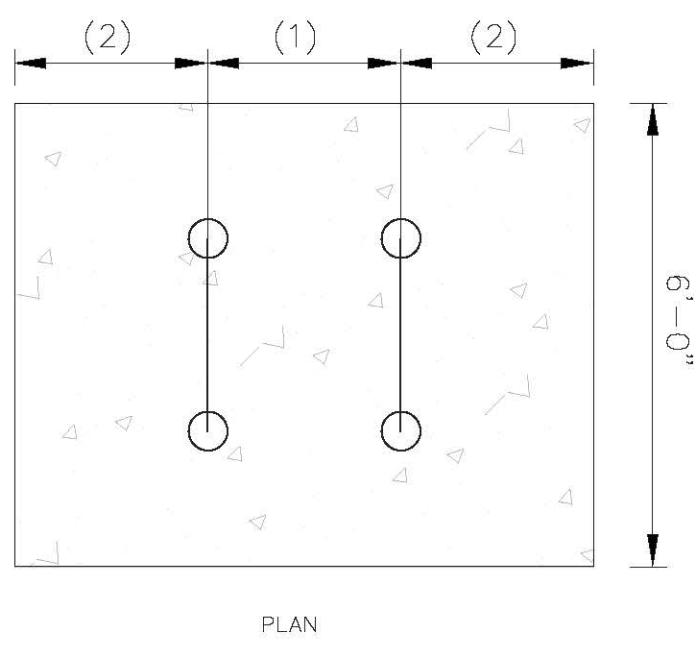


TYPICAL SIGN DETAIL 6
N.T.S. C-400

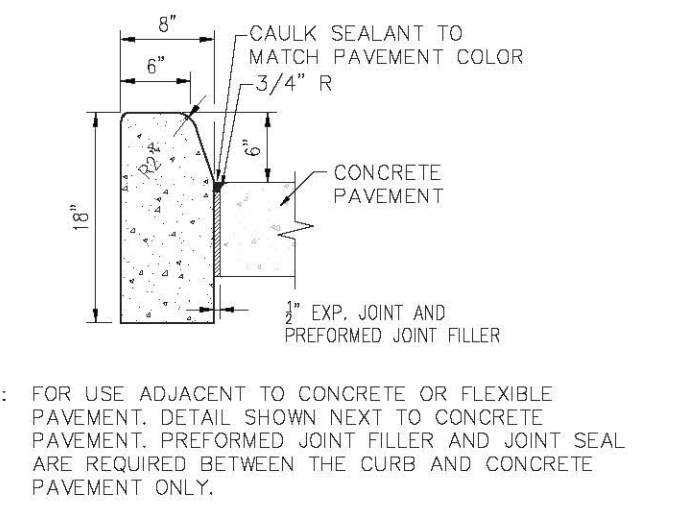


SIDEWALK DETAIL 7
N.T.S. C-400

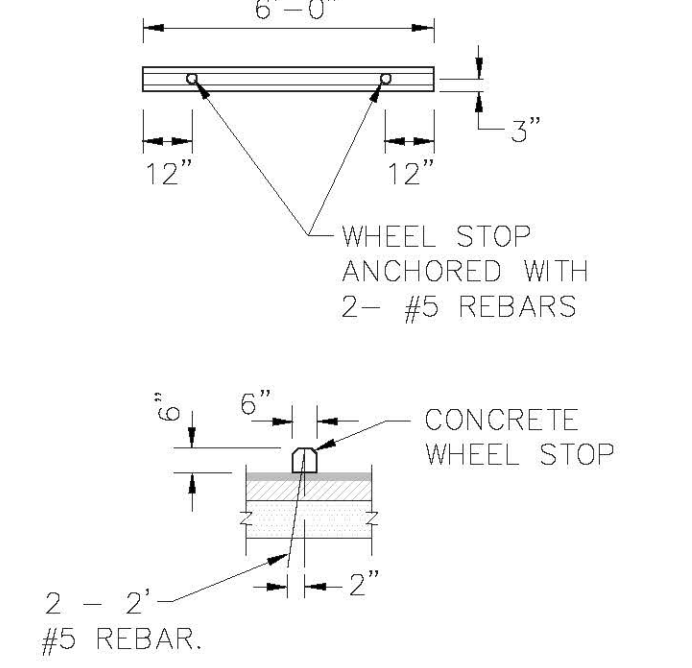
- A THICKENED EDGE SHALL BE PROVIDED BETWEEN SIDEWALK, DRIVEWAYS OR PARKING LOT.
- SLOPE CONC. SIDEWALKS AWAY FROM BLDGS TO PROVIDE POSITIVE DRAINAGE.
- PROVIDE CONTROL JOINTS AT INTERVALS EQUAL TO SIDEWALK WIDTH.
- PROVIDE EXPANSION JOINTS IN SIDEWALKS IN PLACE OF EVERY SIXTH CONTROL JOINT.
- PROVIDE 1/2" PREMOULDED EXPANSION JOINT WHERE CONCRETE WALK ABUTS STRUCTURES, POLES, AND OTHER SIDEWALKS, ETC.
- ALL SIDEWALKS SHALL HAVE A MAXIMUM 2% CROSS-SLOPE.
- SIDEWALKS SHALL BE MIN. 6 FT. WIDE.
- ALL SIDEWALKS SHALL HAVE WELDED WIRE MESH, 6"x6"x6" WITH ONE #5 CONTINUOUS REINFORCING BAR IN EACH SIDE.
- CONCRETE SIDEWALK SHALL BE OF CLASS 1 CONCRETE.



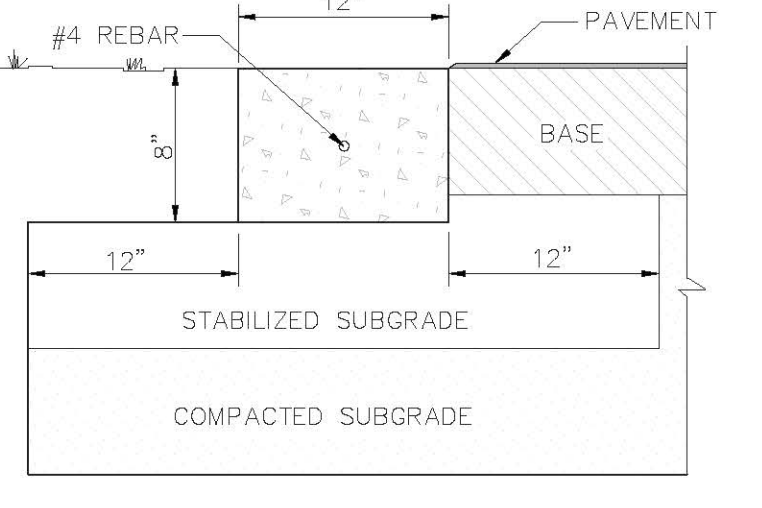
BIKE RACK DETAIL 14
N.T.S. C-400



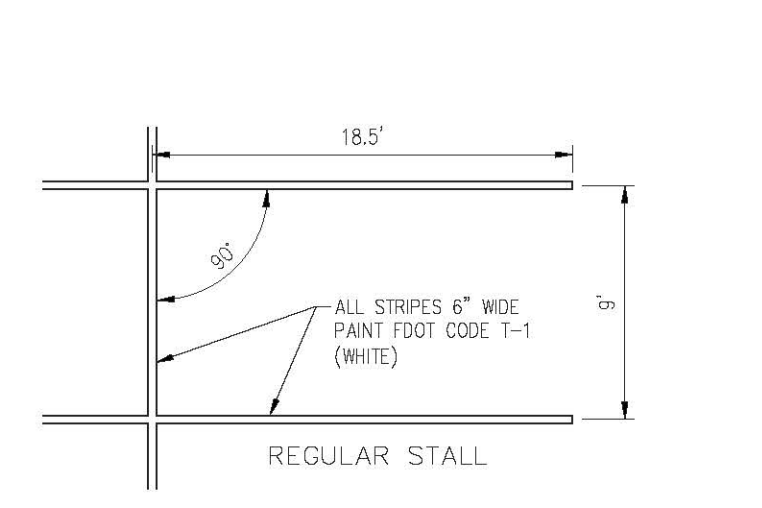
TYPE D CURB 8
N.T.S. C-400



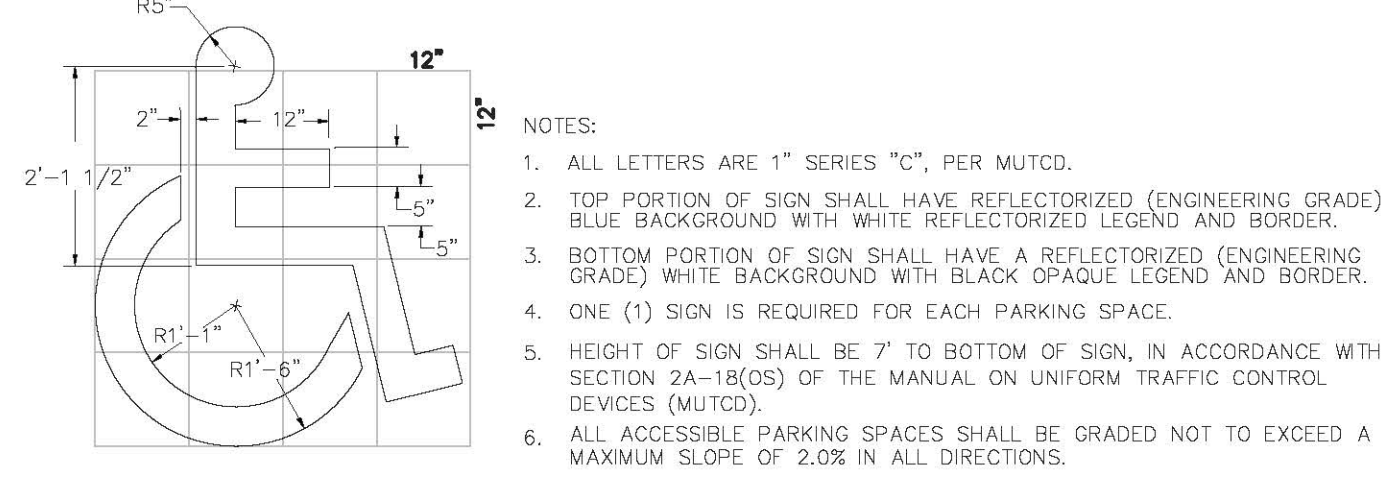
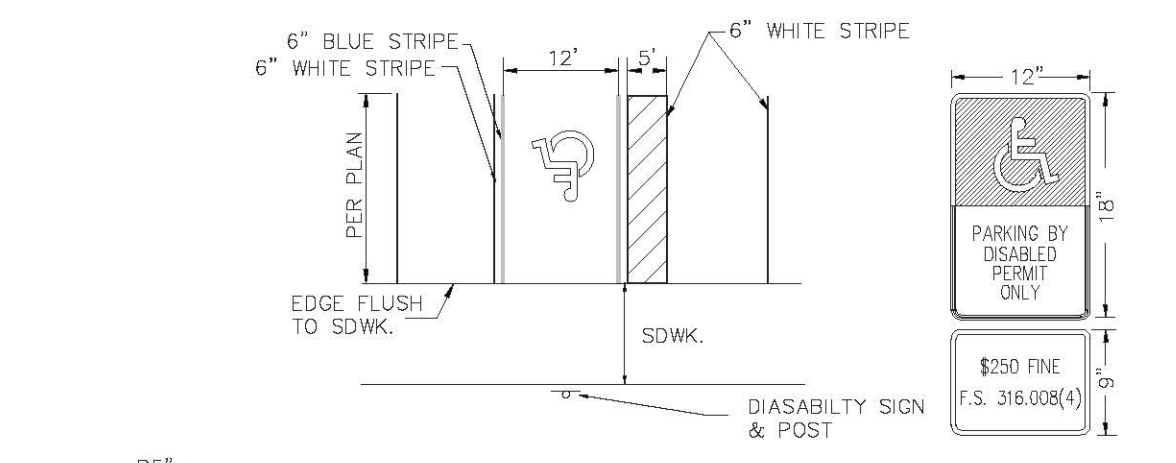
WHEELSTOP DETAIL 10
N.T.S. C-400



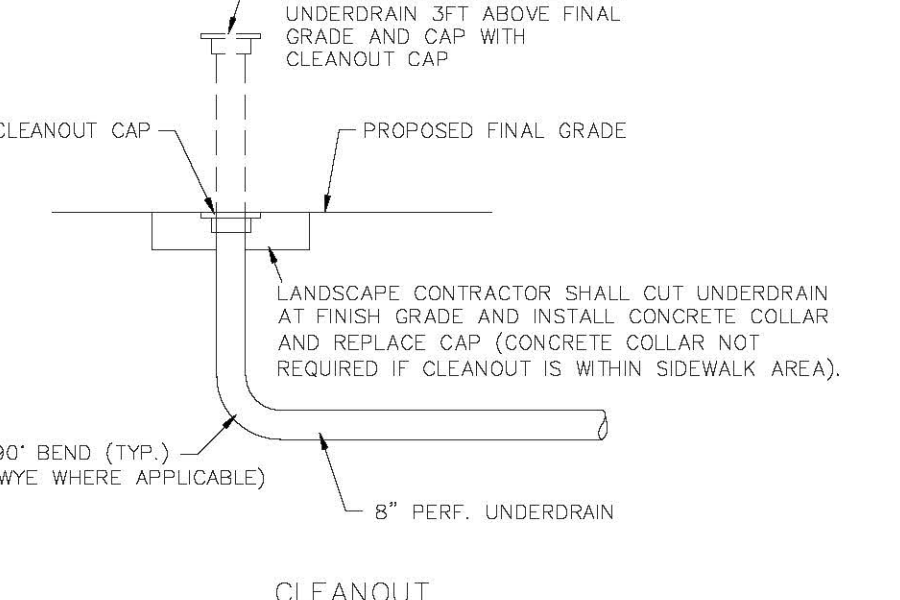
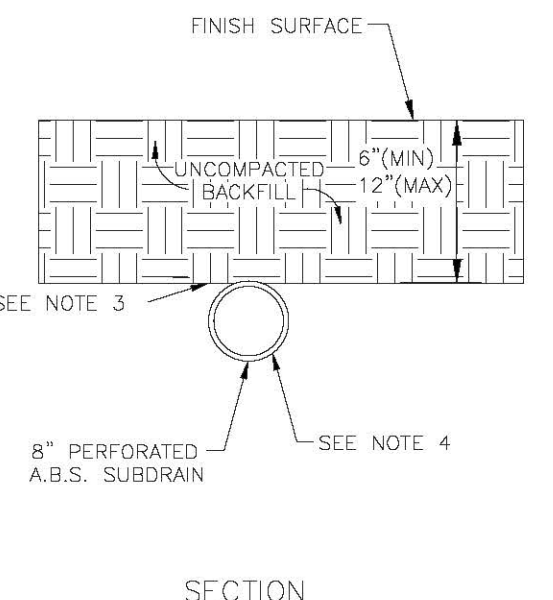
RIBBON CURB DETAIL 9
N.T.S. C-400



PARKING STALL STRIPING DETAIL 11
N.T.S. C-400



ACCESSIBLE PARKING DETAIL 12
N.T.S. C-400



- CONTRACTOR SHALL INSTALL CLEANOUTS AT THE END OF EACH LINE AND AT EACH LINE INTERSECTION.
- CONTRACTOR SHALL INSTALL UNDERDRAIN 1 FOOT BEHIND BACK OF CURB.
- SOILS WITHIN 12" OF THE SURFACE TO COMPLY WITH SPECIFICATION SECTION 310000 PART 2 - 2.2.
- INSTALL FILTER FABRIC SOCK IN ACCORDANCE WITH SPECIFICATION SECTION 334000 PART 2 - 2.2-A.

UNDERDRAIN DETAIL 13
N.T.S. C-400

Revisions:

No.	Date	Description
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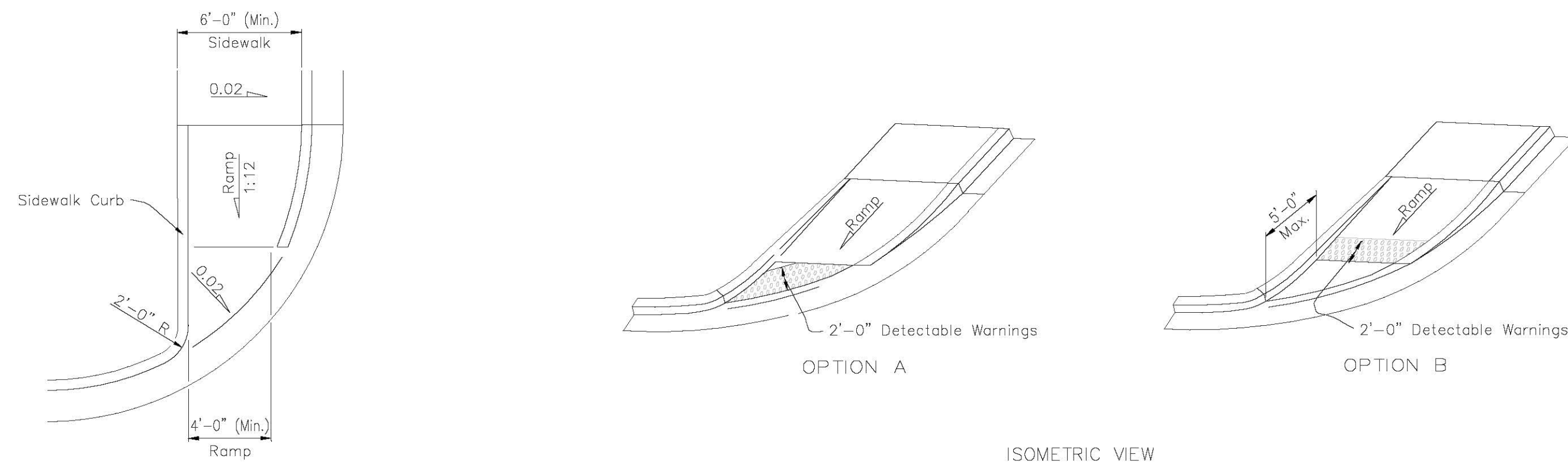
DETAILS

Scale: N.T.S. Design: DWT
Date: 2021-09-25 Drawn: NL
Project No.: 7391000 Checked: DWT

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David W. Taylor, PE
FI PE # 60928

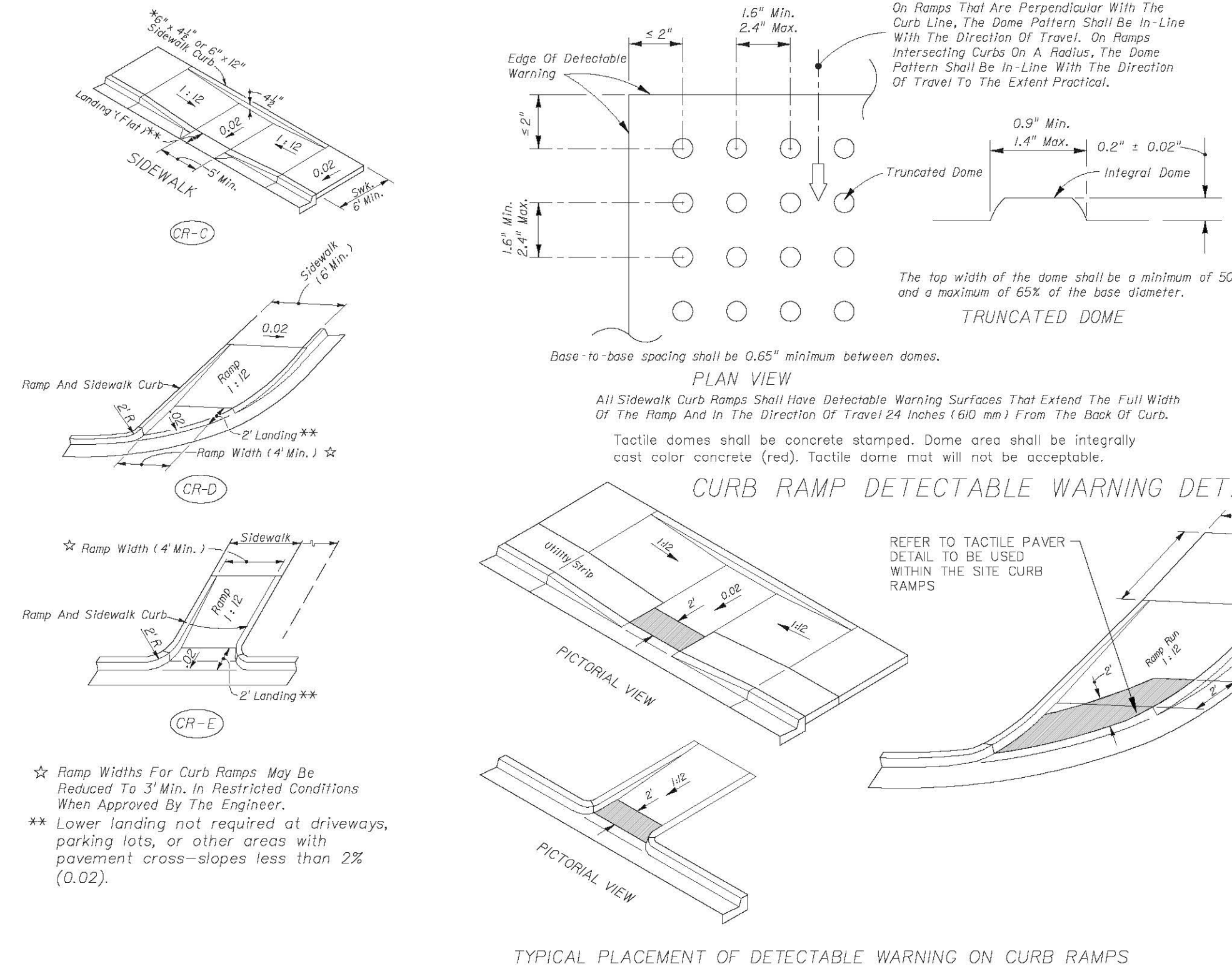
Release:



CURB RAMP CR-G DETAIL

N.T.S.

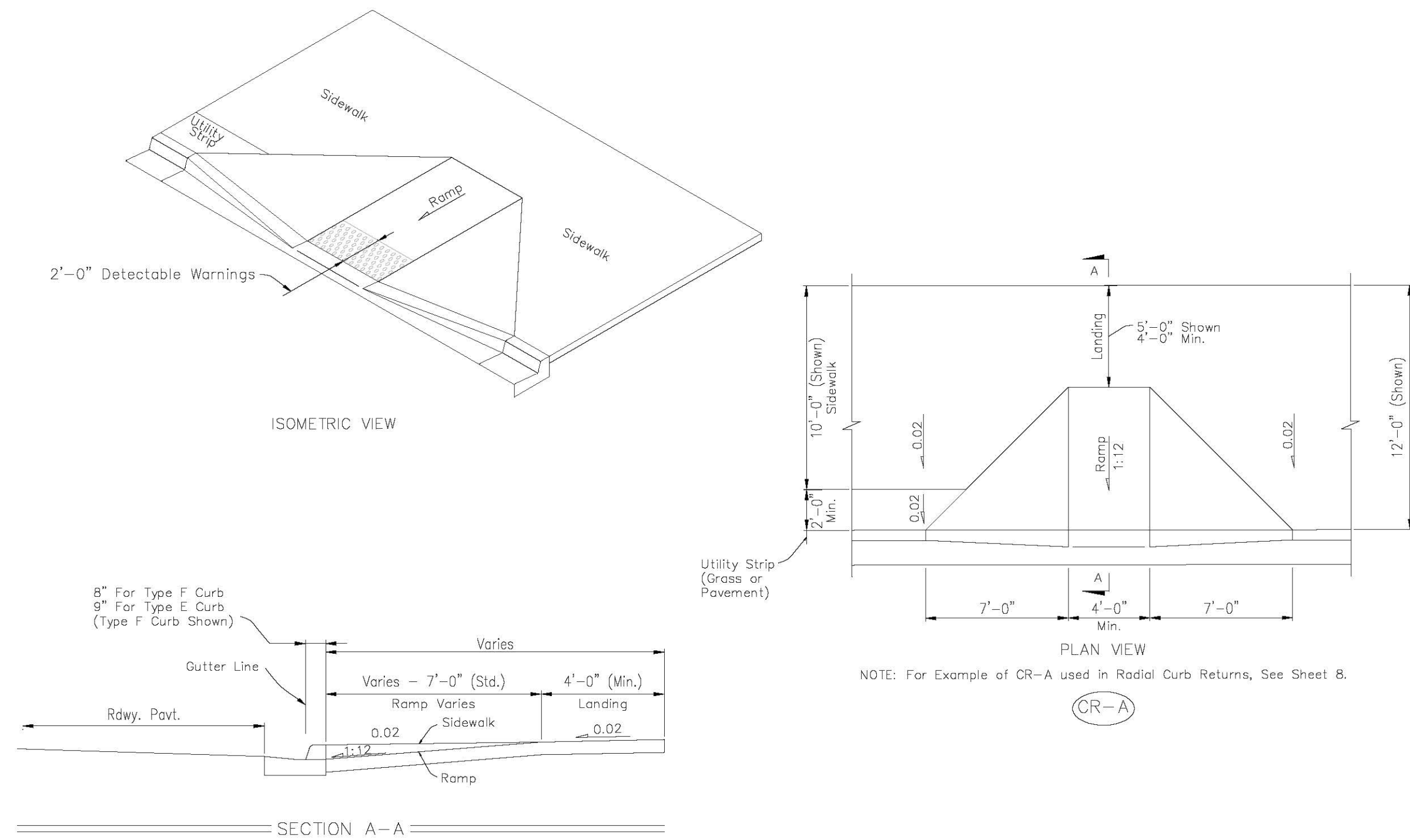
1
C-401



CURB RAMP CR-C DETAIL

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C-401



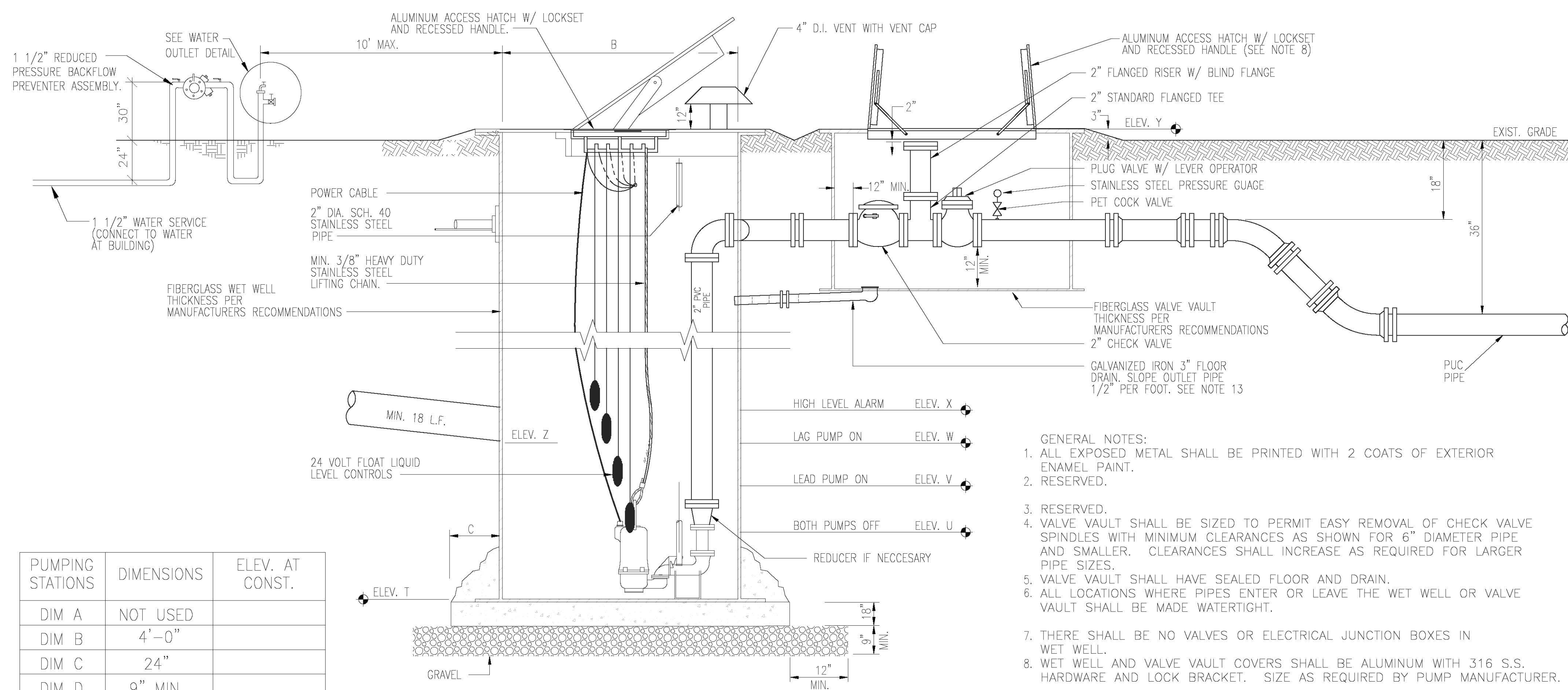
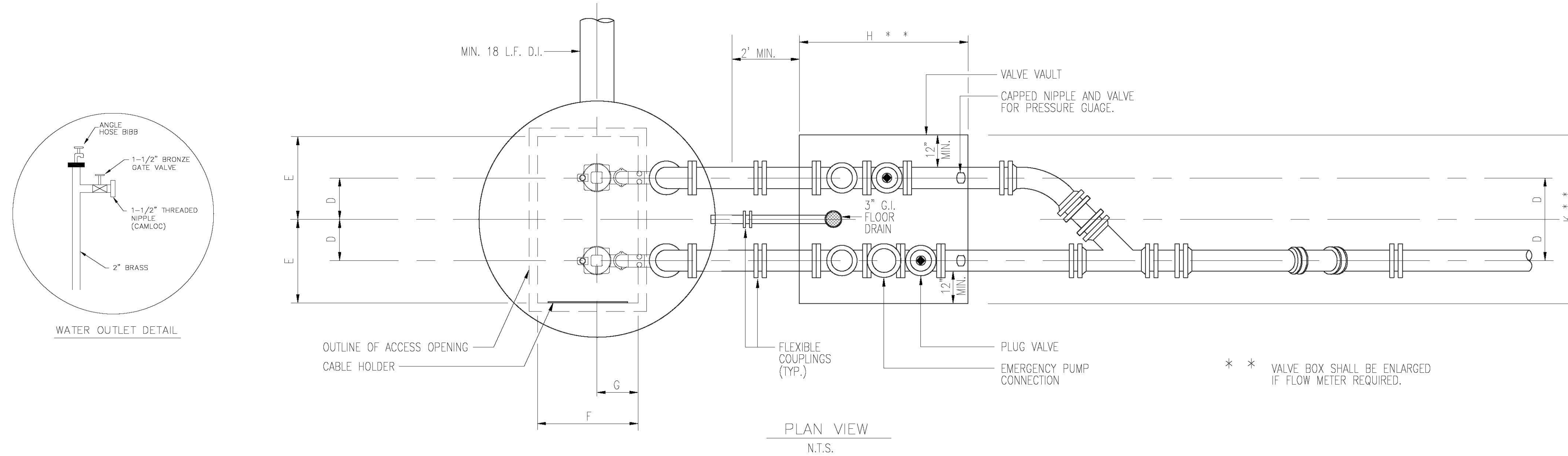
CURB RAMP CR-A DETAIL

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Orlando, Florida
32806



PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	NOT USED	
DIM B	4'-0"	
DIM C	24"	
DIM D	9" MIN.	
DIM E	18"	
DIM F	30"	
DIM G	*	
DIM H	5.00'	
DIM J		
DIM K	5.00'	
ELEV T		88.17'
ELEV U		90.17'
ELEV V		91.17'
ELEV W		91.67'
ELEV X		92.17'
ELEV Y		97.50'
ELEV Z		92.67'
* PER PUMP MANUFACTURERS REQUIREMENT		

SECTION VIEW
N.T.S.
PUMP STATION DETAILS
PLANS, SECTION, AND NOTES

- GENERAL NOTES:
- ALL EXPOSED METAL SHALL BE PRINTED WITH 2 COATS OF EXTERIOR ENAMEL PAINT.
 - RESERVED.
 - RESERVED.
 - VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE SIZES.
 - VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
 - ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT.
 - THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN WET WELL.
 - WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWARE AND LOCK BRACKET. SIZE AS REQUIRED BY PUMP MANUFACTURER.
 - FLEXIBLE COUPLING SHALL BE SLEEVE TYPE.
 - PUMPS SHALL BE:
MANUFACTURER: PENTAIR; MODEL: HVH200; IMP: _____; DIA: _____;
MM. SPEED: 3450 RPM; DISCHARGE SIZE: 1-1/4" IN.; VOLTAGE: ***;
HZ.: 60; PHASE: 3; H.P.: 2.0; TO BE FIELD VERIFIED
MIN. SOLID SIZE: _____ IN.; CURVE: _____
 - CONTRACTOR TO FIELD VERIFY AVAILABLE VOLTAGE PRIOR TO PROCUREMENT OF PUMPS
 - OPERATING CONDITIONS SHALL BE 20 GPM AT 73 FEET TDH.
 - ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.
 - CONTRACTOR MAY INSTALL A "P" TRAP BETWEEN THE VALVE VAULT AND WET WELL AS AN ALTERNATIVE TO THE FLOOR DRAIN SHOWN.
 - OTHER PUMPS WILL BE CONSIDERED DURING SHOP DRAWING REVIEW. ALL SUBSTITUTES ARE SUBJECT TO DENIAL AT THE DISCRETION OF THE ENGINEER.
 - CONTRACTOR TO PROVIDE MANUFACTURER'S DOCUMENTATION OF WET WELL AND VALVE VAULT H-20 LOADING CAPABILITY AT SHOP DRAWING REVIEW. SHOP DRAWINGS WILL NOT BE APPROVED OTHERWISE.

Revisions:

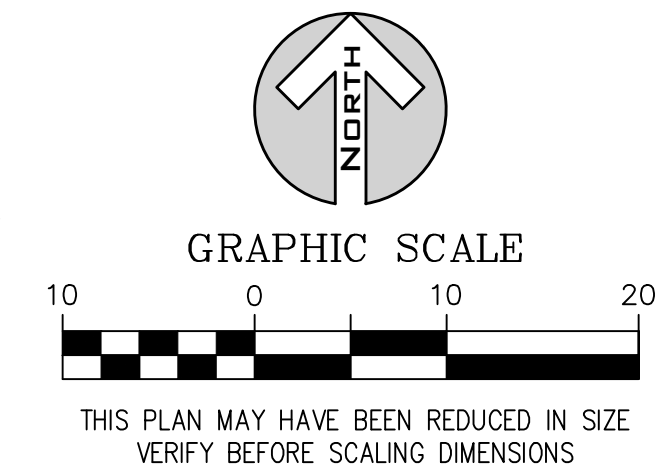
No.	Date	Description
6		
5		
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1		

LIFT STATION DETAIL
Scale: N.T.S. Design: DWT
Date: 2021-09-03 Drawn: CT Checked: DWT
Project No.: 7391000

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FI PE # 60928

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Revisions:

No.	Date	Description
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8		
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GRADING AND DRAINAGE PLAN

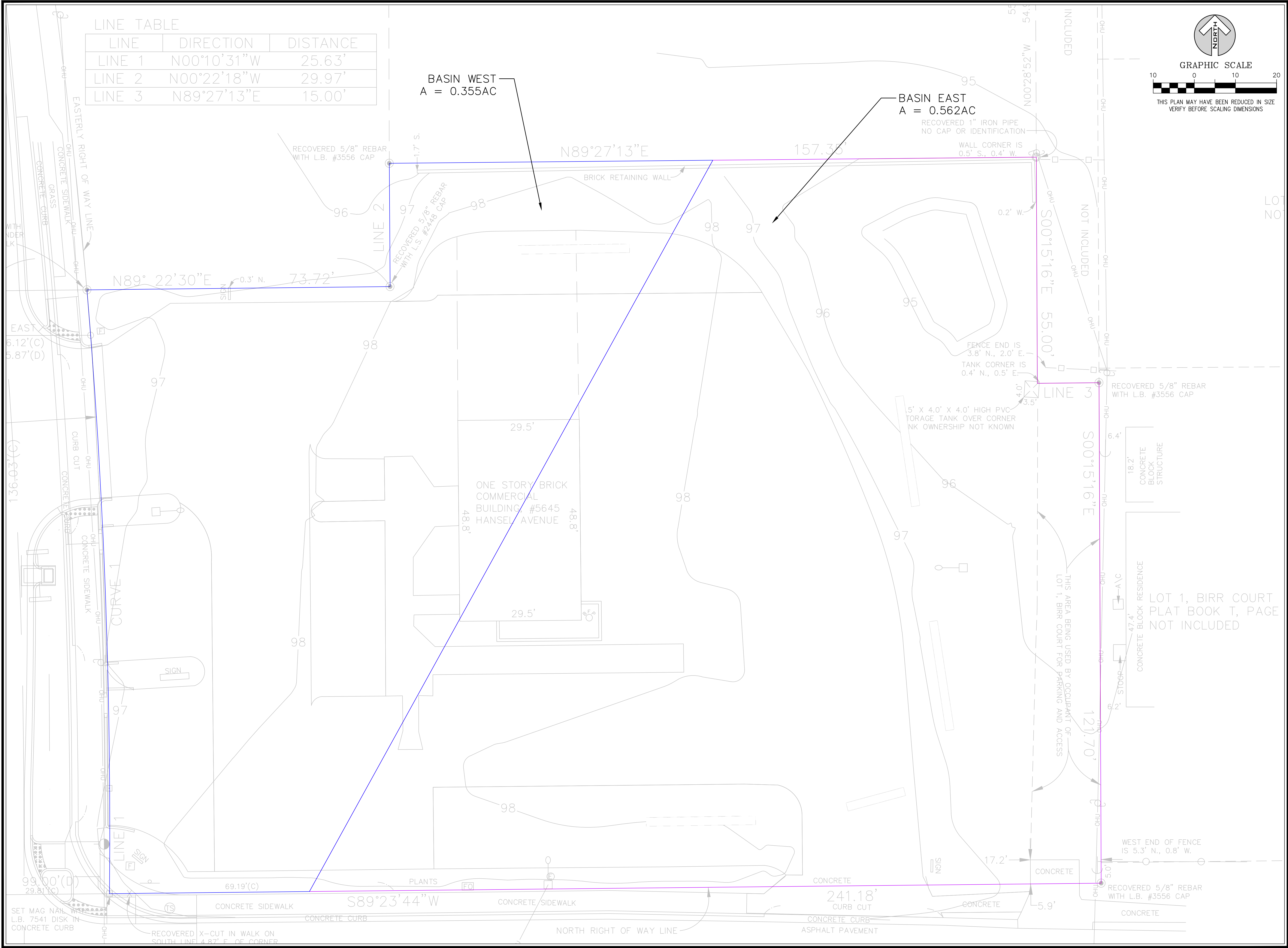
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Date: 2021-09-03 Drawn: AJT
Project No.: 7391000 Checked: DWT

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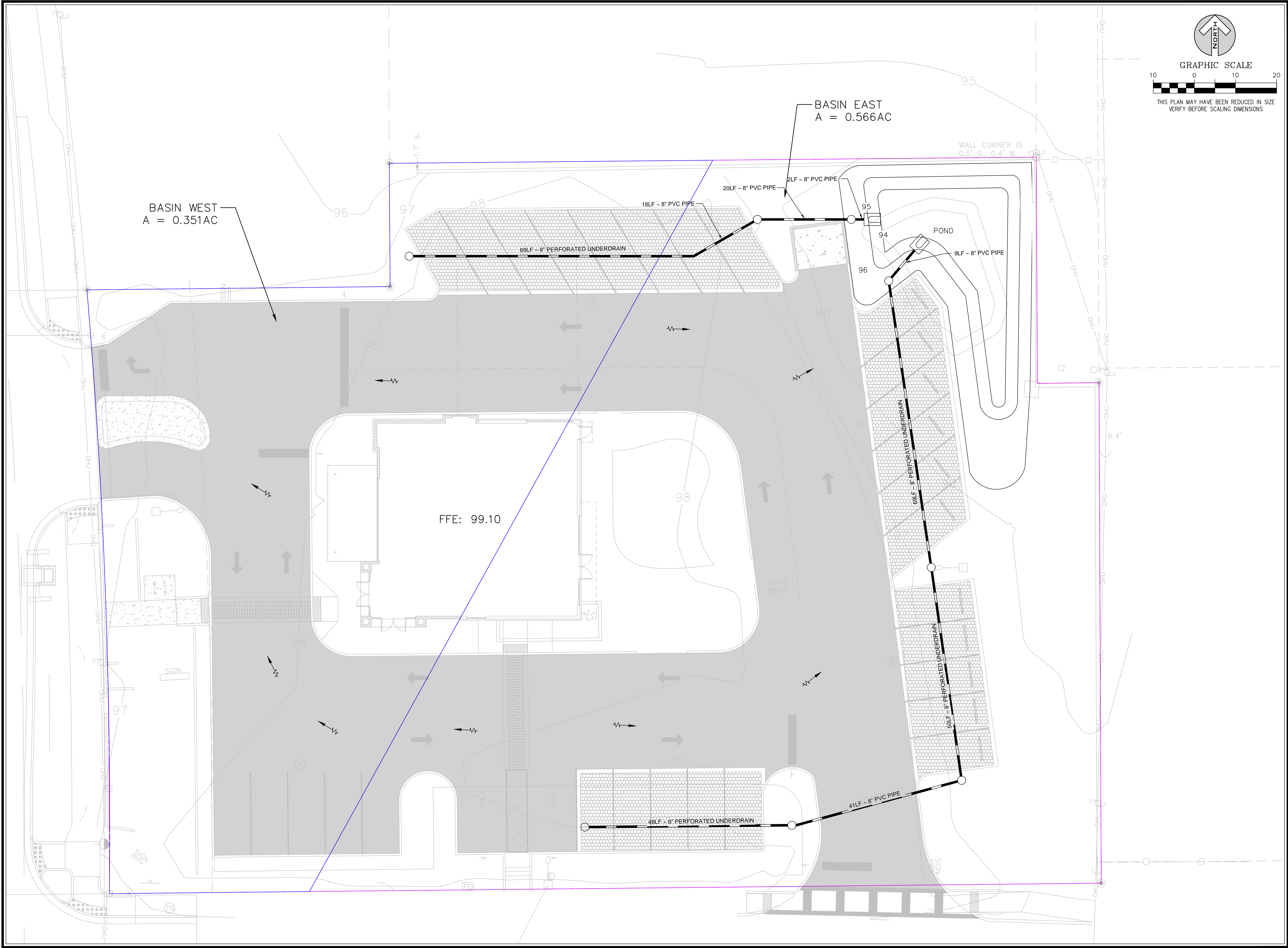
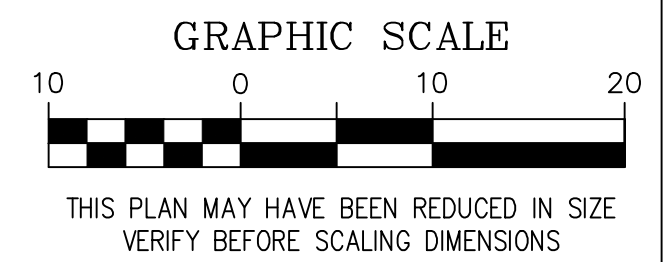
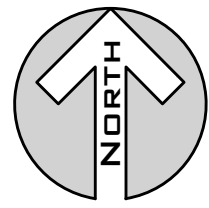
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Fl PE # 60928

Release:

PRE



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Revisions:

No.	Date	Description
1		
2		
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4		
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6		
7		
8		
9		

GRADING AND DRAINAGE PLAN

Scale: SEE SHEET
Date: 2021-09-03
Project No.: 7391000
Design: DWT
Drawn: AJT
Checked: DWT

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David W. Taylor, PE
FL PE # 60928

Release:

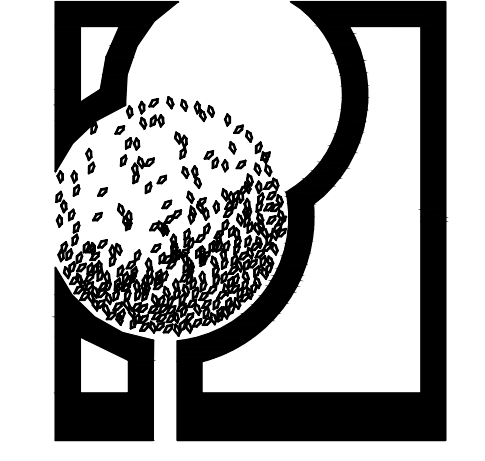
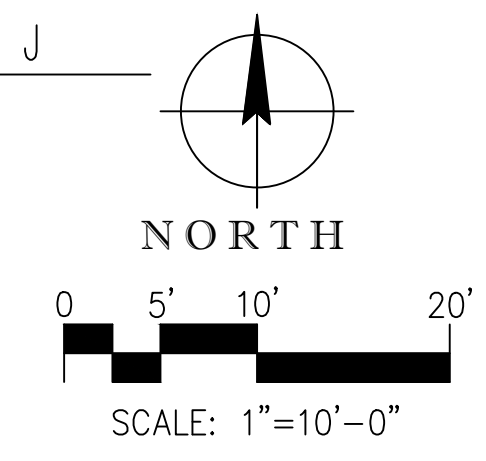
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PLANT LIST						
KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE
QV	4	QUERCUS VIRGINIANA	LIVE OAK 'SEEDLING'	3" CAL./14'-16" HT./5' SPD.	LOW	YES
MG	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA 'MISS CHLOE'	3" CAL./12'-14" HT./5' SPD.	MEDIUM	YES
LA	3	LIVISTONA DECORA	LIVISTONA 'RIBBON PALM'	10'-12'-14" CT.	MEDIUM	NO
LI	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	CRAPE MYRTLE	12'-14" HT./MT.	MEDIUM	YES
WB	2	WODYETIA BIFURCATA	FOXTAIL PALM	12' CT.	MEDIUM	NO
JS	1	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	3" CAL./12'-14" HT.	LOW	YES
OE	1	OLEA EUROPEA	OLIVE 'SPECIMEN'	10'-12" HT.	LOW	NO
UPA	3	ULMUS PARVIFOLIA 'ALLEE'	CHINESE ELM 'ALLEE'	3" CAL./12'-14" RPG	LOW	NO
TC	3	TABEBUIA CHRYSOTRICHIA	YELLOW TRUMPET TREE	3" CAL./10'-12" HT.	MEDIUM	NO
ED	8	ELAEOCARPUS DECIPiens	JAPANESE BLUEBERRY	3" CAL./12'-14" HT.	LOW	NO
SP	3	SABAL PALMETTO	CABBAGE PALMETTO	16'-24' CT.	LOW	YES
OF	1	OSMANTHUS FRAGRANS	TEA OLIVE	7 GAL./36" HT.	MEDIUM	NO
CJ	4	CAMELLIA JAPONICA	JAPANESE CAMELLIA 'ROSEA PLENA'	7 GAL./36" HT.	LOW	NO
HS	1	HIBISCUS SP.	HIBISCUS	7 GAL./42" HT.	MEDIUM	NO
ZI	2	ZAMIA FURFURACEA	CARDBOARD	7 GAL./36" HT.	LOW	NO
MF	23	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	7 GAL./30" HT.	LOW	YES
IVN	14	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	7 GAL./18" HT.	LOW	YES

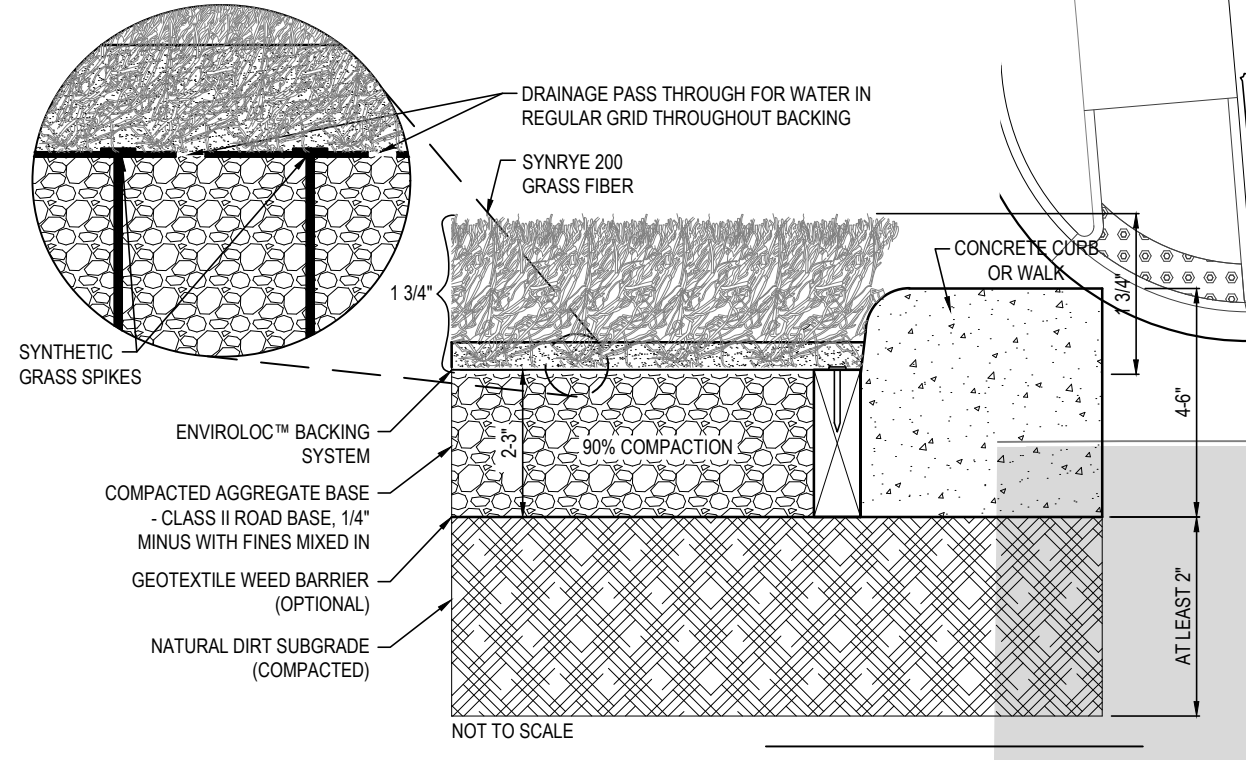
PLANT LIST						
KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE
CJY	20	CLEYERA JAPONICA	CLEYERA	7 GAL.	MEDIUM	NO
VOAB	40	VIBURNUM AWABUKI	MIRROR LEAF VIBURNUM	30" OC.	LOW	NO
VOVC	53	VIBURNUM OBOVATUM	WHORLED CLASS VIBURNUM	15"-18" HT./30" OC.	LOW	NO
PM	131	PODOCARPUS MACROPHYLLUS	MAKI PODOCARPUS	30" HT./30" OC.	MEDIUM	NO
JPU	50	JASMINUM PUBESCENS	STAR JASMINE	3 GAL.	MEDIUM	NO
LEG	985	LIRIOPE MUSCARI	EVERGREEN GIANT LIRIOPE	1 GAL.	MEDIUM	NO
TAM	54	TRACHELOSPERMUM ASIATICUM	MINIMA ASIATIC JASMINE	1 GAL.	LOW	NO
TAMT	45	TRACHELOSPERMUM ASIATICUM 'TRICOLOR'	TRICOLOR ASIATIC JASMINE	1 GAL.	LOW	NO
SOD		ST. AUGUSTINE SOD 'FLORATAM'	SOD ALL DISTURBED AREAS	AS REQUIRED		

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NOTE: SEE LOW VOLTAGE SLEEVES ON THE IRRIGATION PLAN.
 NOTE: SOD ALL BARE AREAS CAUSED DURING CONSTRUCTION
 NOTE: PLANT SPEC. SHALL CONFORM TO FL.#1 GRADES AND STANDARDS.



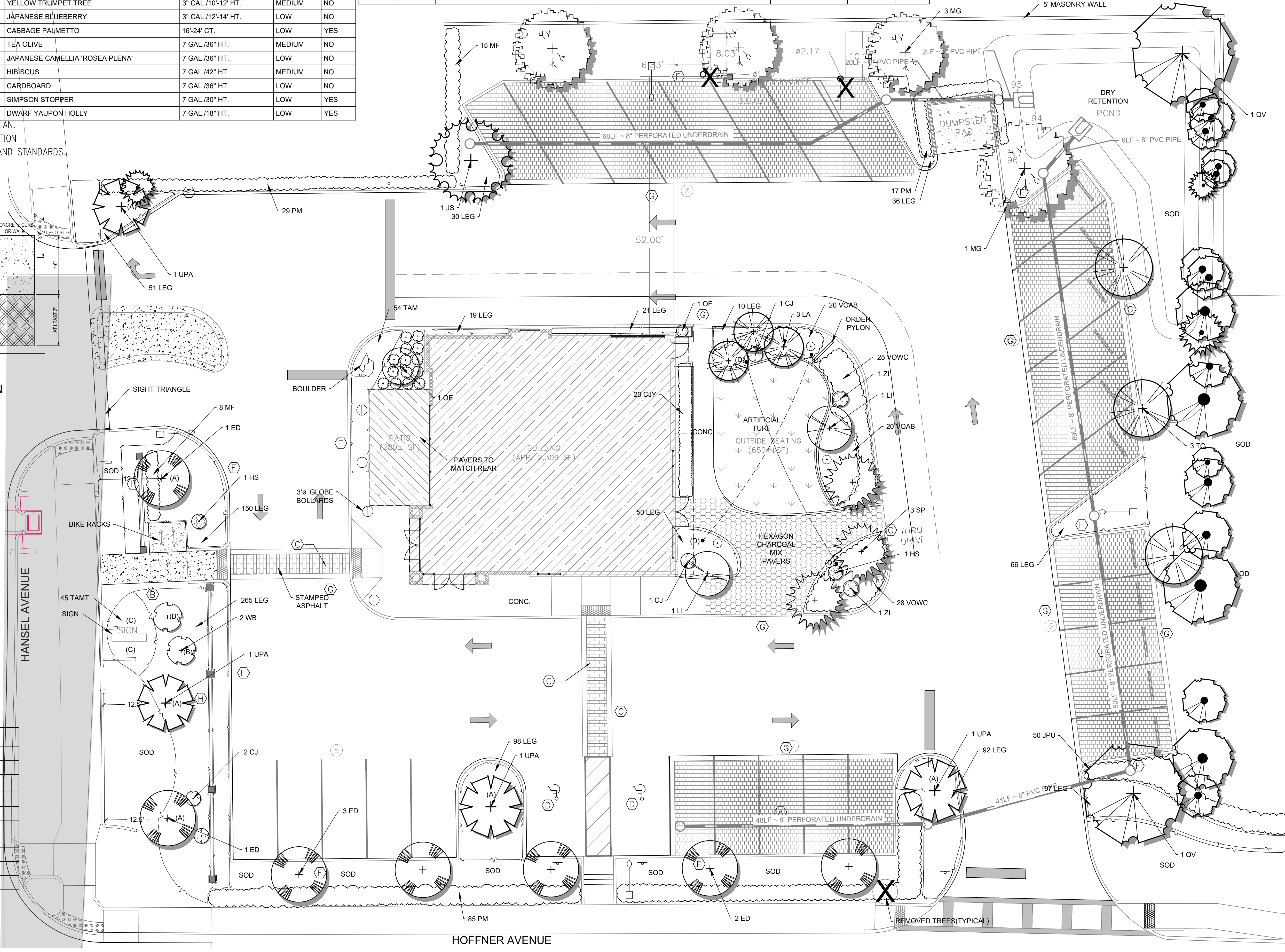
WALK/ARTIFICIAL TURF SECTION



MANUFACTURER:
 KICHLER LIGHTING
 KICHLERLIGHTINGLIGHTS.COM
 HOME DEPOT
 HOMEDEPOT.COM

TREE DATA:

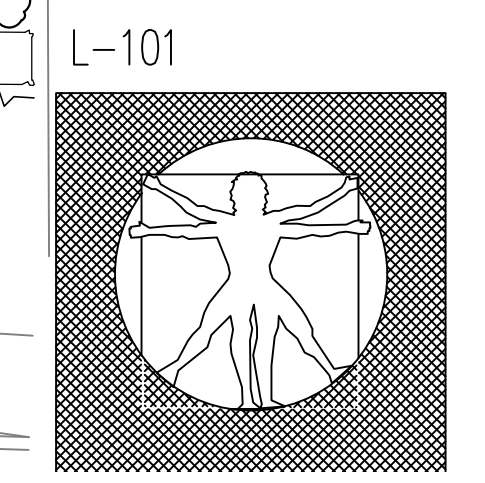
LOST	PROPOSED			
QV	19"	4 QV	3" CAL.	12"
SYC	26"	4 MG	3" CAL.	12"
SYC	15"	3 LA	10'-12'14" CT.	-----
		2 LI	12'-14" HT./MT./3" CAL.	6"
		1 JS	3" CAL.	3"
		1 OE	10'-12" HT./5" CAL.	5"
		3 UPA	3" CAL.	9"
		3 TC	10'-12" HT./5" CAL.	15"
		8 ED	3" CAL.	24"
TOTAL	60"			86"



LANDSCAPE SITE PLAN FOR
Mecatos Cafe
 EDGEWOOD FLORIDA

DESIGNED BY: RCD
 DRAWN BY: KHD
 CHECKED BY: RCD
 DATE: 08-13-21

- REVISIONS
- 1.
 - 2.
 - 3.
 - 4.
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 - 6.



HUNTER IRRIGATION LEGEND

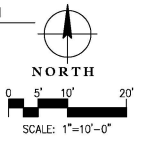
KEY	MODEL DESCRIPTION	NOZZLE	RADIUS	GPM	ARC	PSI	COMMENTS/GENERAL
1	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
2	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
3	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
4	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
5	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
6	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
7	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
8	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
9	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
10	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
11	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
12	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
13	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
14	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
15	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
16	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
17	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
18	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
19	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
20	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
21	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
22	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
23	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
24	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
25	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
26	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
27	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
28	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
29	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
30	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
31	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
32	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
33	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
34	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
35	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
36	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
37	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
38	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
39	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	
40	HUNTER PROSPR180-PRO-SPRAY-HEAD-180	1/2"	5.0'	1.5	180°	30	

SLEEVE SIZE SCHEDULE

PIPE SIZES	SLEEVE SIZES
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3"	6"

IRRIGATION WATER DEMAND

- *GALLONS PER CYCLE
- *GALLONS PER WEEK
- *GALLONS PER YEAR, 52 WEEKS
- **GALLONS PER YEAR, 48 WEEKS
- *TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (34 WEEKS), ONCE A WEEK DURING STANDARD TIME (18 WEEKS).
- ** 8 WEEKS OF RAINY SEASON TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (28 WEEKS), ONCE A WEEK DURING STANDARD TIME (18 WEEKS).

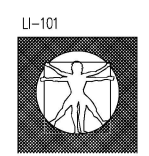


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IRRIGATION SITE PLAN FOR
Mecatos Cafe
 ORLANDO FLORIDA

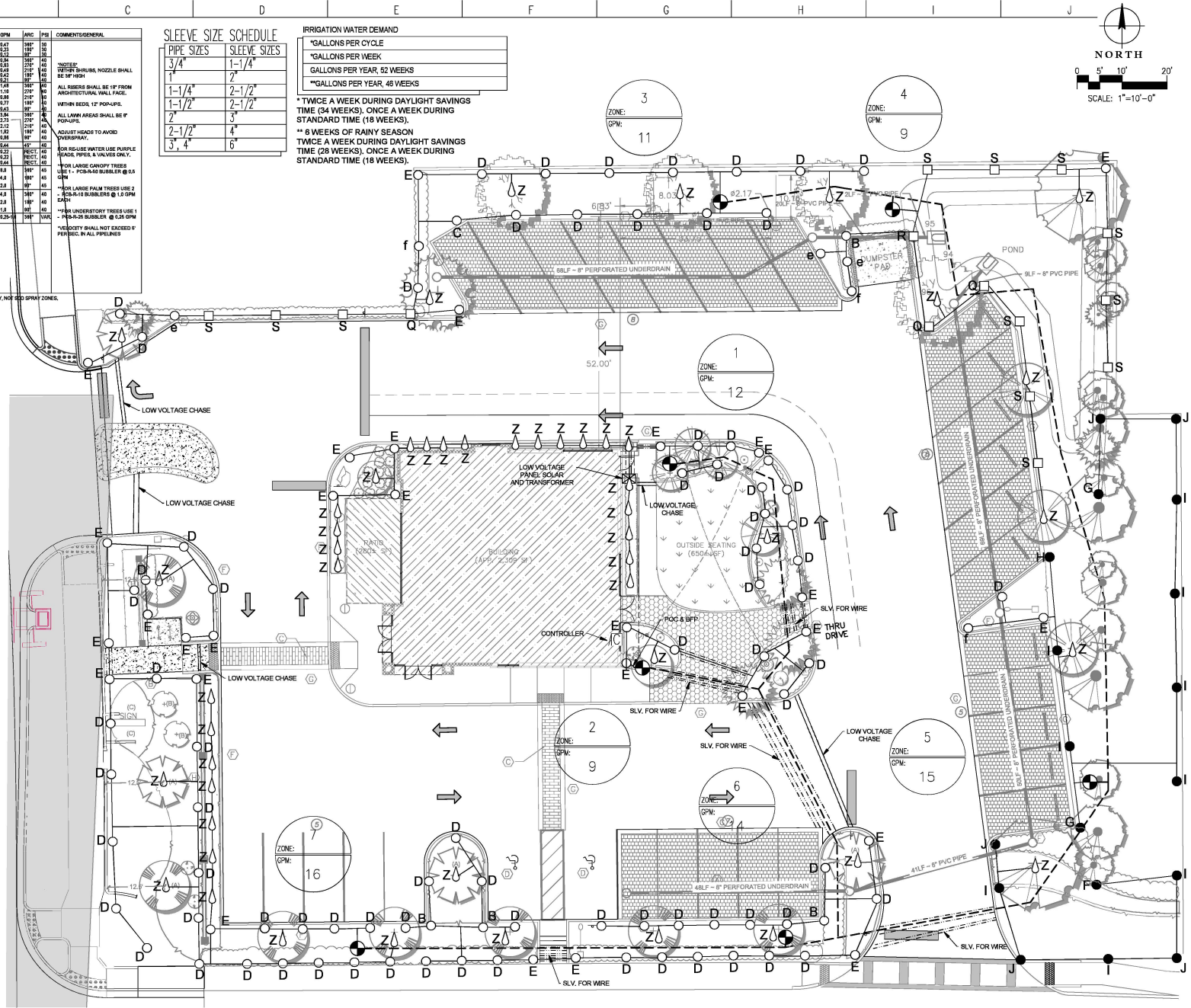
DESIGNED BY: KHD
 DRAWN BY: AP
 CHECKED BY: RCD
 DATE: 09-09-21

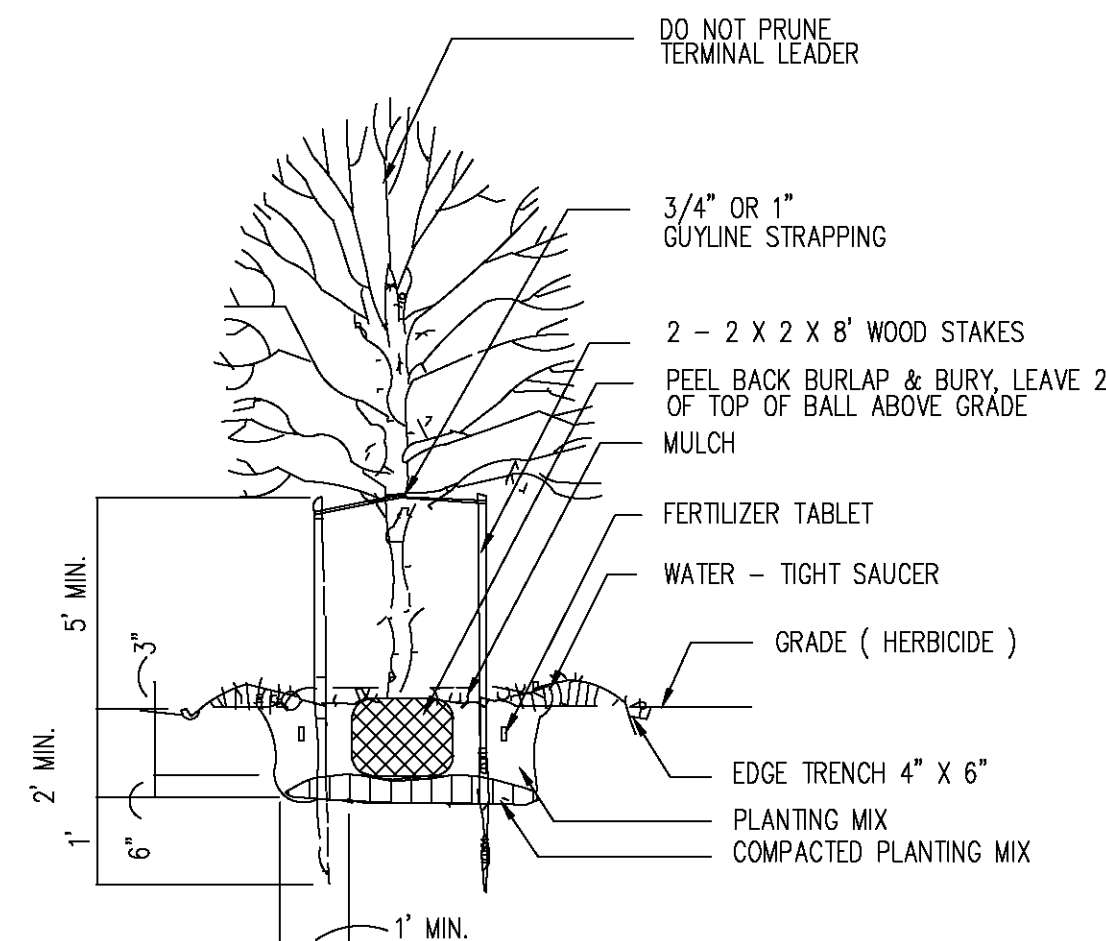
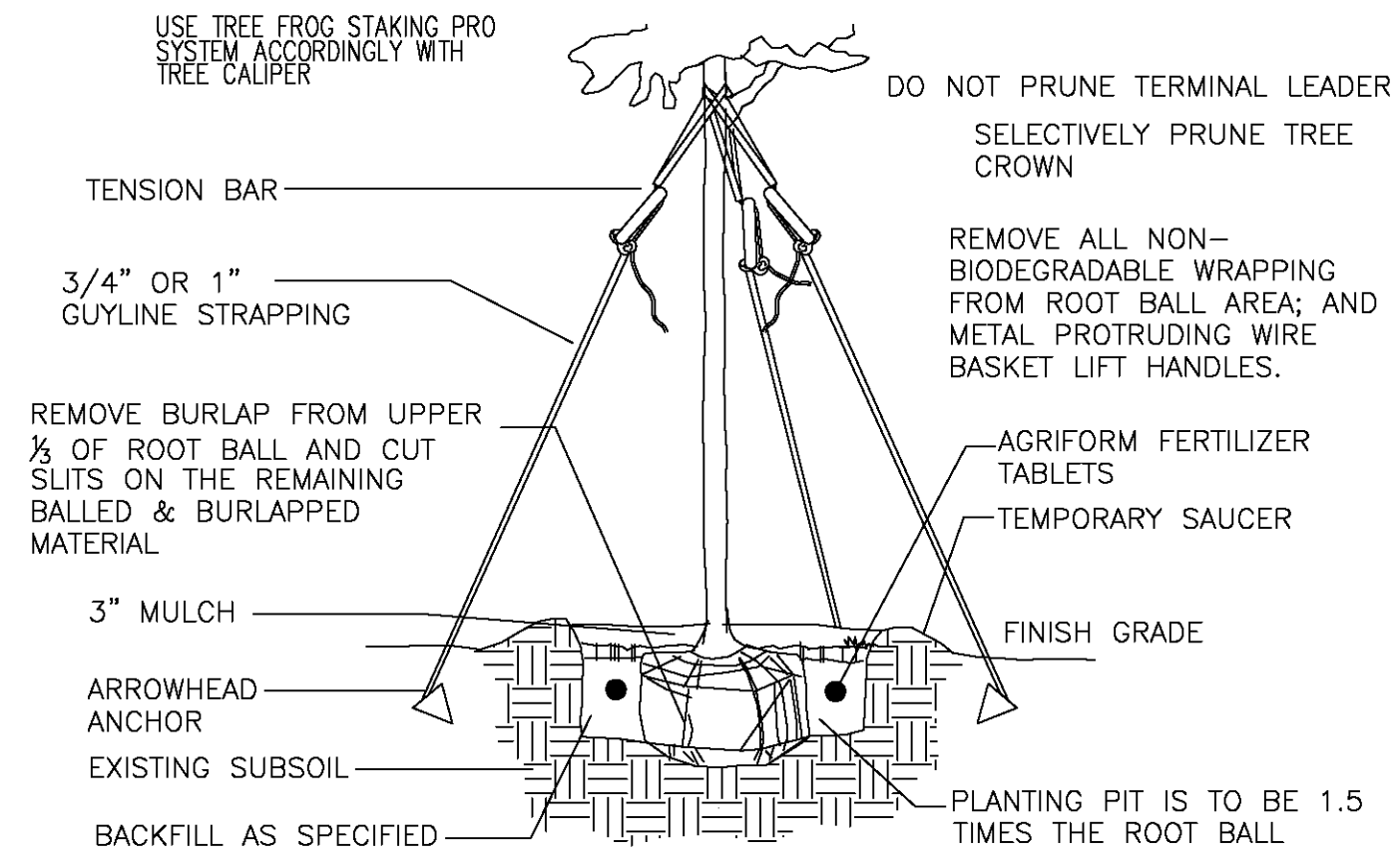
- REVISIONS
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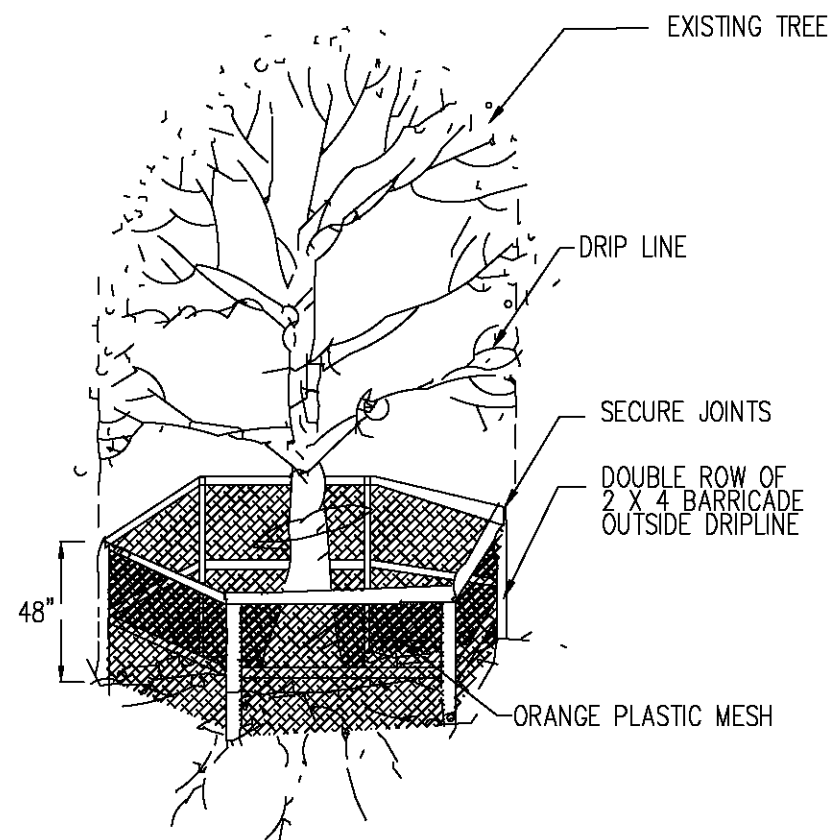
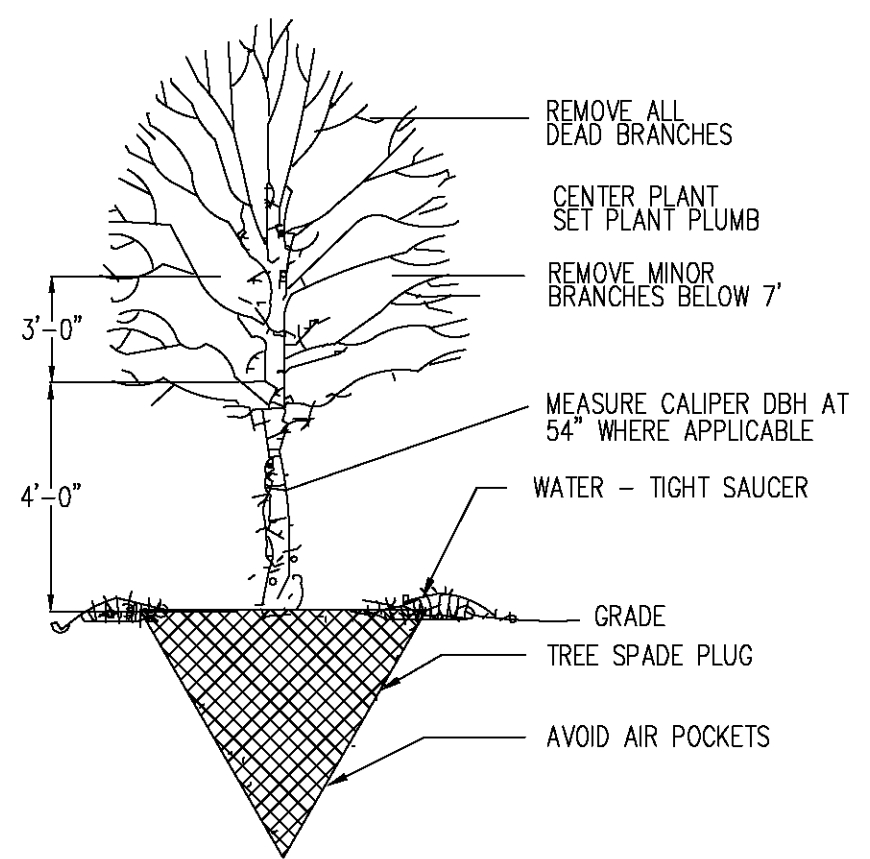
Digitally signed by Ronald C Dale
 Reason: I am approving this document
 Location: Orlando, Florida
 Date: 2021.11.05 10:09:06 -0400





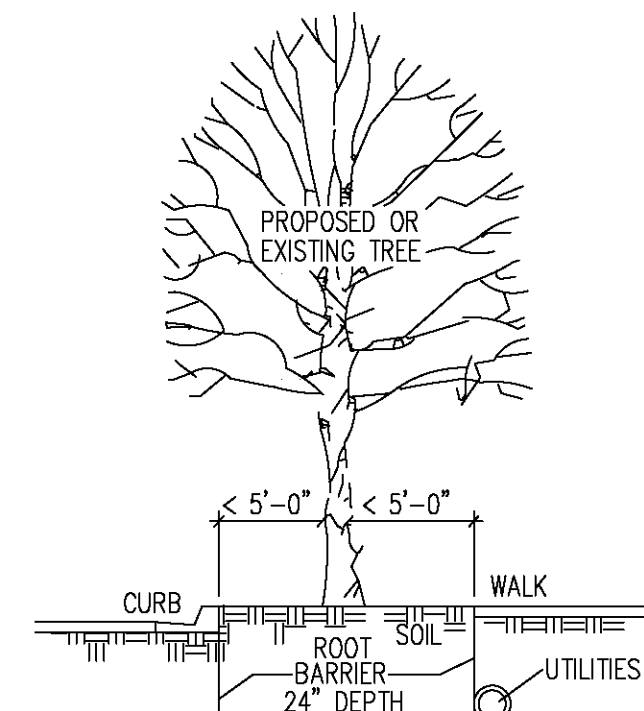
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TREE STAKING DETAIL NO SCALE

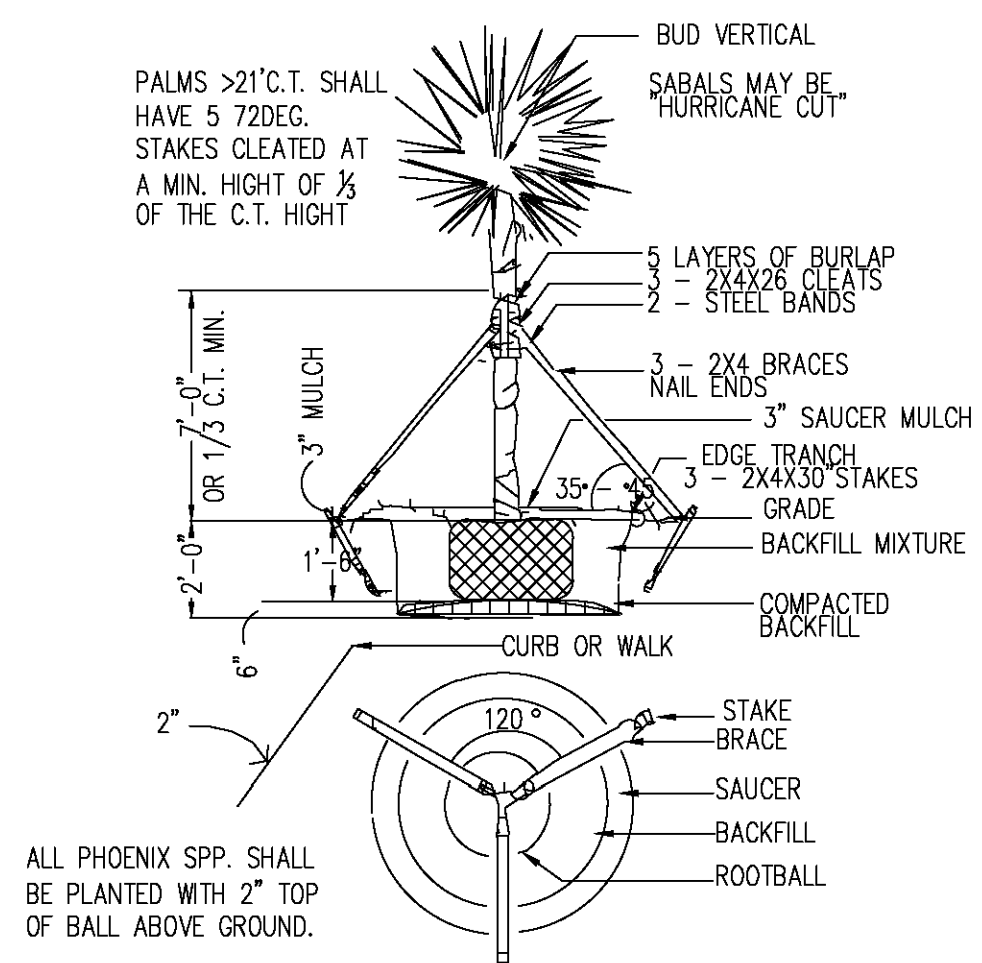


TREE PROTECTION NO SCALE

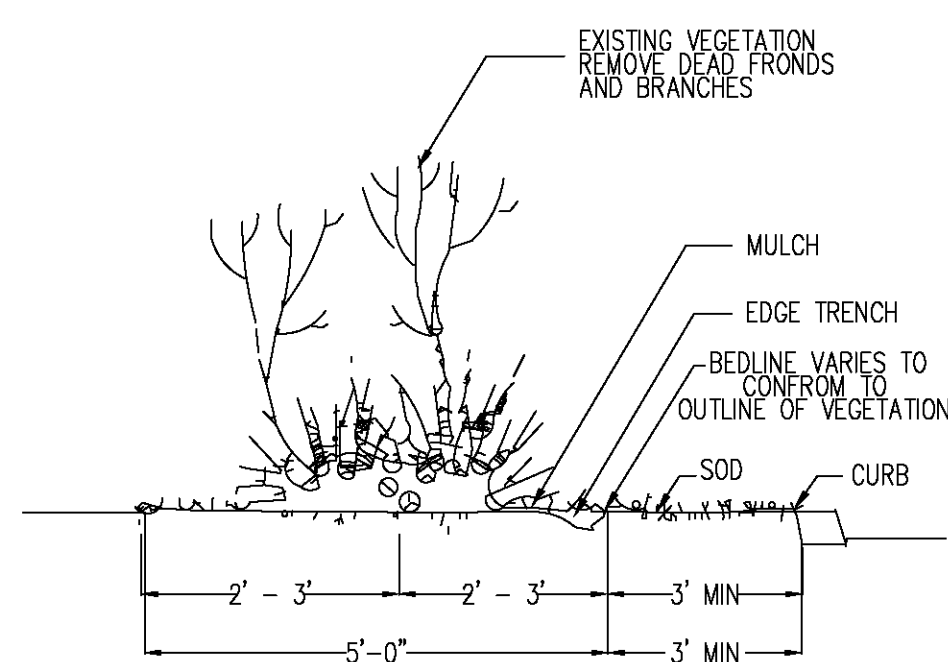
TREE TRANSPLANT DETAIL NO SCALE



ROOT BARRIER DETAIL NO SCALE



PALM BRACING DETAIL NO SCALE



SOD DETAIL NO SCALE

SECTION 02900 LANDSCAPE PART ONE - GENERAL

- 1.0 SUMMARY
A. All portions of Division 1 - General Requirements are included with this section.
B. Furnish all transportation, materials, labor, equipment, taxes, and service to complete all work as shown on the drawings and as specified herein.
C. Avoid conditions which will create hazards. Post signs or barriers as required.
D. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains or winds, etc. Repair or replace such damage.
E. Plant totals are for the convenience of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.
F. Comply with all federal, state and local regulations.
G. Contractor shall notify L.A. of any adverse soil conditions encountered i.e. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
H. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

- 1.1 RELATED SECTIONS; SECTION 02810 IRRIGATION
1.2 REFERENCES
A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
B. Grades and Standards for Nursery Plants, Florida Department of Agriculture, Part II 1998
C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60. 1-1986)
D. Hortus Third, Liberty Hyde Bailey Hortorium 1976.
E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61098).

- 1.3 SUBMITTALS
Provide to Owner's representative during:
A. Preconstruction
1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded.
2. Proposed substitutions of materials or sizes. Obtain approval by both landscape architect and Owner's representative.
B. Construction
1. Plant inspection certificates and shipping invoices as requested.
2. All fertilizer labels and notarized letter of conformance with these specifications.
C. Contract Close-out
1. Two sets as-built record documents (red-line prints).
1.4 QUALITY ASSURANCE
A. All work shall be performed under the constant supervision of a foreman, having at least one year experience or education in the nursery trades.
B. Contractor is expected to participate in a pre-construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of the work, and to establish a "Date of Substantial Completion".

- 1.5 MAINTENANCE
A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the work caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed.
B. Maintenance consists of pruning, cultivation, edging and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.

- 1.6 REPLACEMENTS
A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the original planting and at no cost to the Owner.
B. Replacement period commences at Date of Substantial Completion and continues as follows:
a. Trees - one (1) year
b. Shrubs - ninety (90) days
c. Sod - ninety (90) days
d. Other Products - one (1) year
Time limit may be extended by mutual agreement for material in questionable health at end of guarantee period.
C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unseasonable planting are exempt from the guarantee provision.

- 3.3 INSTALLATION
A. Topsoil
Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches.
B. Rough Grading
1. Mold land surfaces to within 1 inch of final grade. Construct swales and berms. Fill low areas. Ensure proper drainage of all areas. Spread 6 inch lifts at 85% compaction (Proctor)
2. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum.
C. Final Grading
1. Remove all non-conforming matter from site, such as rocks, sods, sticks, building rubble, wire, or cans.
2. Dig out weeds by the roots.
3. Till in soil amendments such as lime, iron, or gypsums if indicated by local conditions, but only after approval by landscape architect. Ensure uniform application.

PART TWO - PRODUCTS

- 2.0 MATERIALS
A. Topsoils shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conducive to production of plant life, or would interfere with future maintenance.
B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease or insect stress. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

- C. Seed shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed. Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall beat the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.
D. Fertilizer
1. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5 formulation.
2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.

- E. Peat
Incorporate black Florida peat into planting mix when specified on plant list at the following rates:
1. 1 gallon plants - 1/8 cubic feet
2. 3 gallon plants - 1 cubic feet
3. Trees - 1/2 cubic foot per foot of height
F. Herbicide
"Seifan" or "Preen" pre-emergent.
G. Additional Soil Amendments
1. Apply as needed to bring soil into optimum growth range for specified plants.
2. If soil is below 5.0 ph incorporate enough horticultural lime to bring within 5.6 to 6.5 ph range.

- H. Plants
1. Measured standing in natural form of the size indicated on "plant list" and grade "Florida No 1" unless otherwise indicated.
2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil level.
3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.
4. Form shall be symmetrical or typical for species and variety.
5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character.
6. Trees having rootballs wrapped with synthetic burlap will be rejected.
I. Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.

- 2.1 EQUIPMENT
Use magnesium grading rakes of 30 inch minimum width to remove irregularities in final grade prior to sodding or seeding and to ensure a flat subgrade.

- 2.2 MIXES
A. Planting Mixture
1. Use the best natural soil existing on site, combined with fertilizer.

PART THREE - EXECUTION

- 3.0 EXAMINATION
A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
B. Review engineering drawings for additional information.
C. Coordinate work with Owner and other related trades.
D. Relocate existing plant material as directed by landscape architect, and according to drawings.

- 3.1 PROTECTION
Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.

- 3.2 PREPARATION
Remove from site existing sods, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.

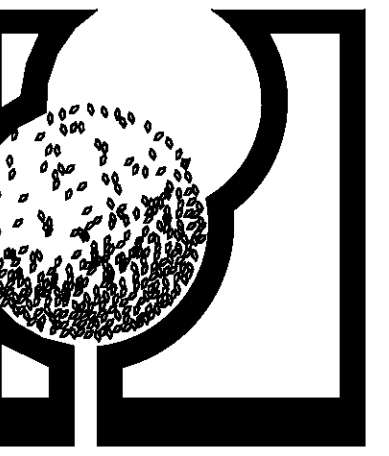
- D. Planting Pits
Excavate to dimensions shown on plan.
E. Plant Installation
1. Do not crack or break soil away from root ball.
2. Carefully set plant plumb, best side facing "out", at the same soil level, to 1" higher, as previously grown.
3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in backfill with slow hose.
4. Form shallow basin at each plant. Adjust grade to 1 1/2" below adjacent pavement. All plants shall be 30" minimum from walls, walks and fences.
5. Space ground cover in triangle pattern with outside row parallel to bedline, 1/2 plant spacing distance from edge.
F. Sod Installation
1. Sod all areas indicated on plan and areas disturbed by work of other trades.
2. Lay panels tightly together. Top dress cracks with sand. Water thoroughly.
G. Stake and Guy
Stake and guy ..as per plan.
H. Fertilize
Fertilize evenly at following rates:

1. Tablet Fertilizer
1 gallon plant - 1 tablet
2 gallon plant - 1 to 2 tablets
5 gallon plant - 2 to 3 tablets
Trees - 1 tablet per foot of height
2. Granular Fertilizer
Work into the top 2 " of soil at the rate of 20 pounds per 1000 square feet for lawn areas.
I. Prune
Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.
J. Herbicide
Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.
K. Mulch
Spread to a uniform depth of 2"min. Fluff and pat in place.

3.4 FIELD QUALITY CONTROL

- A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

END OF SECTION



DALS & COMPANY

PL: (407) 894-1317

Fax: (407) 894-8986

651 North Mills Avenue

Orlando, Florida 32803

Landscape Architecture Analysis Planning

LANDSCAPE DETAILS & SPECIFICATIONS FOR

Mecatots Cafe

FLORIDA

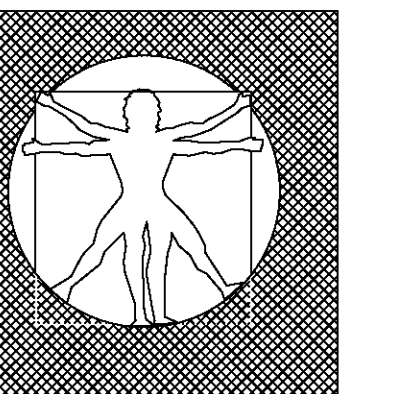
EDGEWOOD

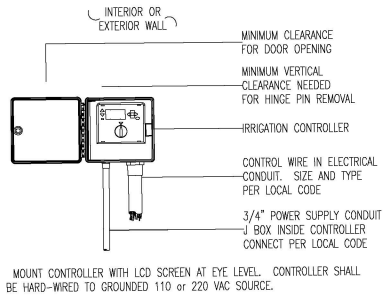
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DESIGNED BY: RCD
DRAWN BY: KHD
CHECKED BY: RCD
DATE: 08-13-21

- REVISIONS
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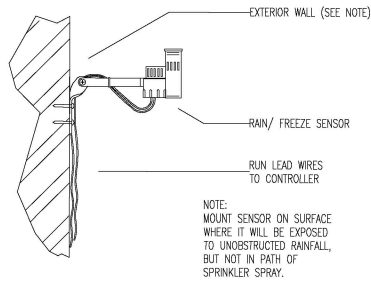
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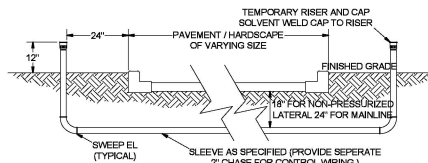


IRRIGATION CONTROLLER

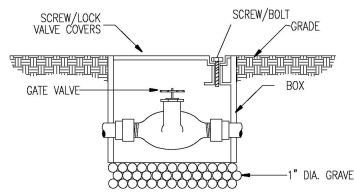
*IF THE PLAN SPECIFIES THE USE OF A TWO WIRE CONTROLLER, OR IF ONE WILL BE USED, PLEASE SEE THE ADDITIONAL DETAILS AND SPECIFICATIONS FOR IT LOCATED ON A SEPARATE SHEET. IF THE SHEET WAS NOT INCLUDED WITH THIS SET OF PLANS PLEASE CONTACT DALE AND COMPANY FOR A COPY.



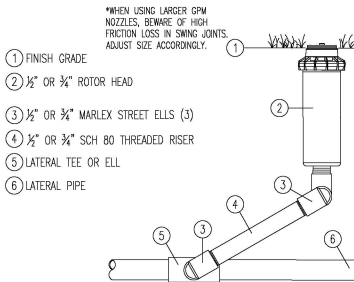
RAIN/ FREEZE SENSOR



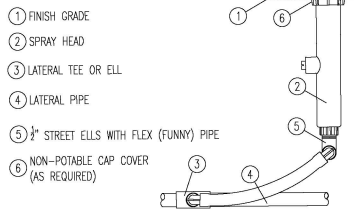
SLEEVE INSTALLATION



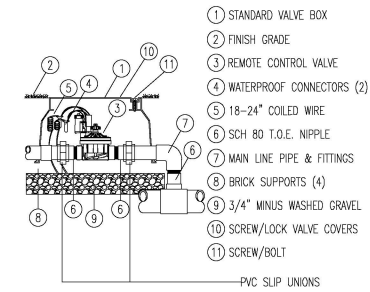
GATE VALVE



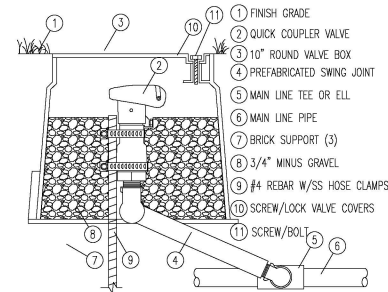
ROTOR HEAD



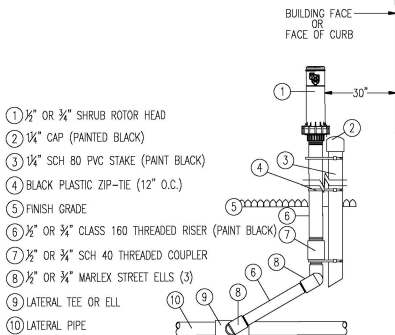
SPRAY HEAD



REMOTE CONTROL VALVE

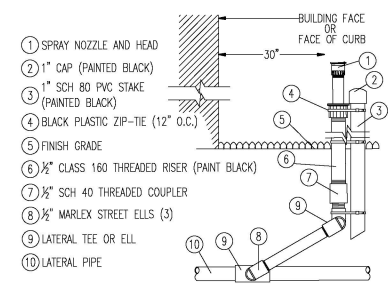


QUICK COUPLER VALVE



SHRUB ROTOR HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.



SHRUB SPRAY HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.

SECTION 0810 IRRIGATION SYSTEMS

PART ONE - GENERAL

- 1.0 SUMMARY**
 A. All portions of Division 1 - General Requirements are included with this section.
 B. Furnish all transportation, materials, labor, equipment, and services to complete all work shown on the drawings and as specified.
- 1.1 RELATED SECTIONS:** section 02900 landscape planting
- 1.2 TOLERANCE**
 A. Install sprinkler heads where indicated by symbol.
 B. Drawings are schematic. Adjust pipe and locations to conform to site conditions and to avoid obstructions. Conceal components behind walls of shrubbery where possible. Verify questionable locations before installation.
- 1.3 SUBMITTAL**
 A. Submit two bound folders containing:
 1. Written operating instructions for all components.
 2. Complete parts list and manufacturer's data.
 3. Copy of well completion report.
 4. Written maintenance instructions.
 5. Provide 2 sets as-built record drawings with the following items dimensioned to the nearest foot:
 a. Sprinkler main lines
 b. Water source
 c. Control valves
 d. Gate valve
 e. Electric control wire path (red-line print)
 f. Products furnished but not installed:
 1. 2 extra heads of each type and size
 2. 2 extra nozzles of each type and size
 3. 2 extra head wrenches for each type of head
 4. 1 extra valve box with lid
 1.4 COORDINATE WORK WITH OWNER AND OTHER TRADES
 A. Licensed electrician will install, provide power to the controller, pump, or fountain if utilized on project.
- 1.5 QUALITY ASSURANCE**
 A. Contractor is expected to participate in preconstruction meeting with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance criteria for payment.
 B. Contractor is expected to participate in contract closeout meeting with Owner and landscape architect to verify proper completion of the work, establish Date of Substantial Completion, and advise Owner as to system operation.
- 1.6 WARRANTIES**
 A. Contractor will be fully responsible for system operation until Date of Substantial Completion.
 B. Contractor is fully responsible for all parts and workmanship for one year after Date of Substantial Completion of each specific phase or portion of the project.
 C. See to the fulfillment of all manufacturer's warranties.

PART TWO - PRODUCTS

- 2.0 MATERIALS**
 Backfill shall be free from stone, trash, or other debris.
- 2.1 MANUFACTURED UNITS**
 A. Automatic electro-mechanical controller fully installed and operating.
 B. Electric valve installed in valve box.
 C. Valve box with lid manufactured by "Amtek" or "Brooks".
 D. Connections for control wires manufactured by "Penlite" or "OM" installed as per manufacturer's directions and above grade in valve boxes.
 E. Gate valves shall be brass and installed in valve box.
 F. Automatic drain valves shall be installed in 1 cubic foot gravel.
- 2.2 COMPONENTS**
 A. Control wire shall be direct burial #14, type UF. Tape to underside of main every 10 feet. Install spare ground wire - 5 extra wires.
 B. Main line shall be class 200 PVC (ANSI/ASTM D2241).
 C. Lateral lines shall be class 160 PVC minimum (ANSI/ASTM D2241).
 D. Sleeve at all road and drive crossings shall be class 200 PVC.
 E. All pipe, connections and fittings for the meter and check valve assembly will be galvanized.
 F. All electrical work will conform to year construction N.E.C.

PART THREE - EXECUTION

- 3.0 EXAMINATION**
 A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for contractor to perform his duties under the terms of this contract.
- 3.1 PROTECTION**
 A. Locate identify, and mark all known utilities in area of the work. Take reasonable care to avoid damage or hazards.
 B. Damage caused by Contractor's work will be repaired to Owner's satisfaction at Contractor's expense.
 C. Document any damage to work caused by other trades. Immediately bring costs to Owner's attention and quickly repair at Owner's expense, as directed.
- 3.2 PREPARATION**
 A. Surface Preparation. Stake out each run of pipes, each head, and each valve.
 B. Test control wire for continuity before unreeing for installation.
- 3.3 INSTALLATION**
 A. Keep pipe interior clean and dry at all times.
 B. Ensure a square cut at all joints and ream ends to a smooth finish, inside and out.
 C. Lay all runs greater than 100 feet from side to side on trench bottom in serpentine pattern.
 D. Support all pipe with clean, compact soil.
 E. Backfill and compact to original soil.
 F. Set heads plumb and flush with top of sod or mulch.
 G. For lateral lines flush all debris from lines. Open valve and screw on one head at a time, starting at valve and continuing to the end. Ensure that lines are watertight.

- 3.4 TOLERANCES**
 A. Main line and drive crossings shall have 18 inches minimum cover.
 B. Lateral lines shall have 12 inches minimum cover.
 C. All heads shall be 4 inches minimum from walks, drives, or curbs.
 D. All pop-up heads and valve boxes shall be installed with top flush with grade.
 E. All heads shall be installed plumb.
- 3.5 FIELD TESTS**
 Apply 100 psi hydrostatic pressure to main lines for 120 minutes. If a leak is found, repair and retest until satisfactory.
- 3.6 ADJUSTMENTS**
 A. Adjust sprinkler patterns and radius. Ensure uniform and sufficient coverage for optimum plant growth.
 B. No heads shall be allowed to spray walls, fences, walks, or drives.
 C. Set lines to operate as appropriate for season, soil type, drainage, and plant requirements.

- 3.7 FIELD QUALITY CONTROL**
 A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
 B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract.
 Items to be reviewed include: type, quantities, sizes, locations, dimensions, and quality of materials and workmanship.
 C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work at all times.

END OF SECTION

Digitally signed by Ronald D Dale
 Reason: I am approving this document
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 Date: 2021.11.05 10:09:26 -04'00'

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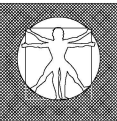
651 North Mills Avenue
 Orlando, Florida 32803
 Ph: (407) 894-1317
 Fax: (407) 894-8986

IRRIGATION DETAILS & SPECIFICATIONS FOR
Mecatons Cafe
 EDGEWOOD
 FLORIDA

DESIGNED BY: RCD
 DRAWN BY: RCD
 CHECKED BY: RCD
 DATE: 09-09-21

REVISIONS
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LI-501



LEGAL DESCRIPTION – VESTING DEED;

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

LEGAL DESCRIPTION – TITLE COMMITMENT;

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Parcel 1:

A portion of Lot 1 of The Subdivision of the Harney Homestead, more particularly described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

Parcel 2:

From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Harney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.87 feet to the Easterly right-of-way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right-of-way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.08 feet to the Point of Beginning.

SURVEYOR'S NOTES:

BEARINGS AS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF HOFFNER AVENUE HAVING AN ASSUMED BEARING OF S89°23'44"W.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF AND IN RELIANCE UPON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON 2-01-2021 WITH FILE NO. 2037-5167324. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY INFORMATION TO BE USED FOR A MORTGAGE LOAN AND TRANSFER OF TITLE CLOSING TRANSACTION AND TOPOGRAPHIC INFORMATION TO BE FOR ANALYSIS OF POTENTIAL IMPROVEMENTS.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN.

THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF OBSERVABLE SURFACE AND ABOVE GROUND EVIDENCE OF UTILITY FACILITIES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY UNDERGROUND FACILITIES AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT DID NOT HAVE OBSERVABLE SURFACE EVIDENCE WHICH COULD BE LOCATED AND/OR SHOWN HEREON.

HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "X", DEFINED ON SAID F.I.R.M. AS "AREAS OF MINIMAL FLOODING." SEE MAP NUMBER 12095C0430 F, DATED 9-25-2009.

ELEVATIONS AS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK H709002 AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

THE SUBJECT PROPERTY CONTAINS 39,941 SQUARE FEET OR 0.917 ACRES, MORE OR LESS. SURVEY DATE (LAST DATE OF FIELD WORK): APRIL 8, 2021.

TITLE COMMITMENT NOTES:

REFERRING TO THE EXCEPTIONS AS LISTED IN THE TITLE COMMITMENT REFERENCED IN THE SURVEYOR'S NOTES, THIS SURVEYOR WOULD HAVE THE FOLLOWING COMMENTS:
 EXCEPTIONS 1 THROUGH 3 ARE STANDARD EXCEPTIONS, HOWEVER, PLEASE DIRECT YOUR ATTENTION TO THE EAST SIDE OF LOT 3, HANSEL REPLAT. THE EASTERLY PORTION OF LOT 3, AS SHOWN AND NOTED HEREON IS PRESENTLY BEING USED FOR PARKING AND ACCESS FROM HOFFNER AVE. BY THE OCCUPANT OF THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRRCOURT. THIS SURVEYOR WAS NOT PROVIDED WITH ANY EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3.
 EXCEPTIONS 4 THROUGH 8 ARE STANDARD EXCEPTIONS.
 EXCEPTION 9; MATTERS SHOWN ON THE PLAT OF THE SUBDIVISION OF THE HARNEY HOMESTEAD, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
 EXCEPTION 10; MATTERS SHOWN ON THE PLAT OF THE W. M. HANSEL REPLAT, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
 EXCEPTION 11; MATTERS SHOWN ON THE PLAT OF SECOND W. M. HANSEL REPLAT, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
 EXCEPTION 12; DISTRIBUTION EASEMENT TO FLORIDA POWER CORP. RECORDED IN O.R. BOOK 3873, PAGE 1565. THIS EASEMENT AFFECTS THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE LEGAL DESCRIPTION THAT CAN BE PLOTTED AND SHOWN HEREON.
 EXCEPTION 13; THIS EXCEPTION REFERS TO A RECORDED LEASE THAT IS NOT A SURVEY MATTER.

CONTIGUITY STATEMENT:

BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT AND ALSO ON THE BOUNDARY EVIDENCE RECOVERED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEYOR WOULD MAKE THE FOLLOWING STATEMENT:
 PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER ALONG THEIR RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, GORES OR HIATUSES ALONG SUCH COMMON BOUNDARIES.

LEGAL DESCRIPTION STATEMENT:

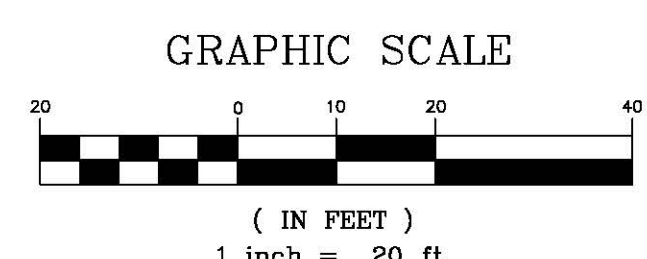
THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION – DEED ARE ONE AND THE SAME AS THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION – TITLE COMMITMENT.

CERTIFIED SOLELY AND EXCLUSIVELY TO:

WHITE & LUZAK, P.A.
 FIRST AMERICAN TITLE INSURANCE COMPANY
 CNBM INVESTMENTS LLC
 AXIOM BANK, N.A.

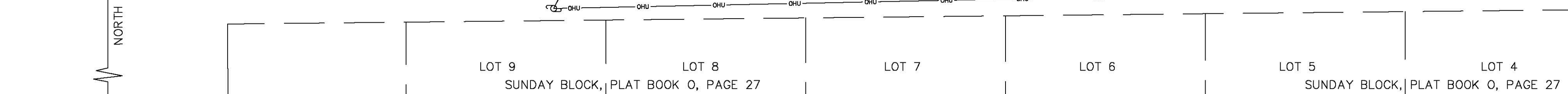
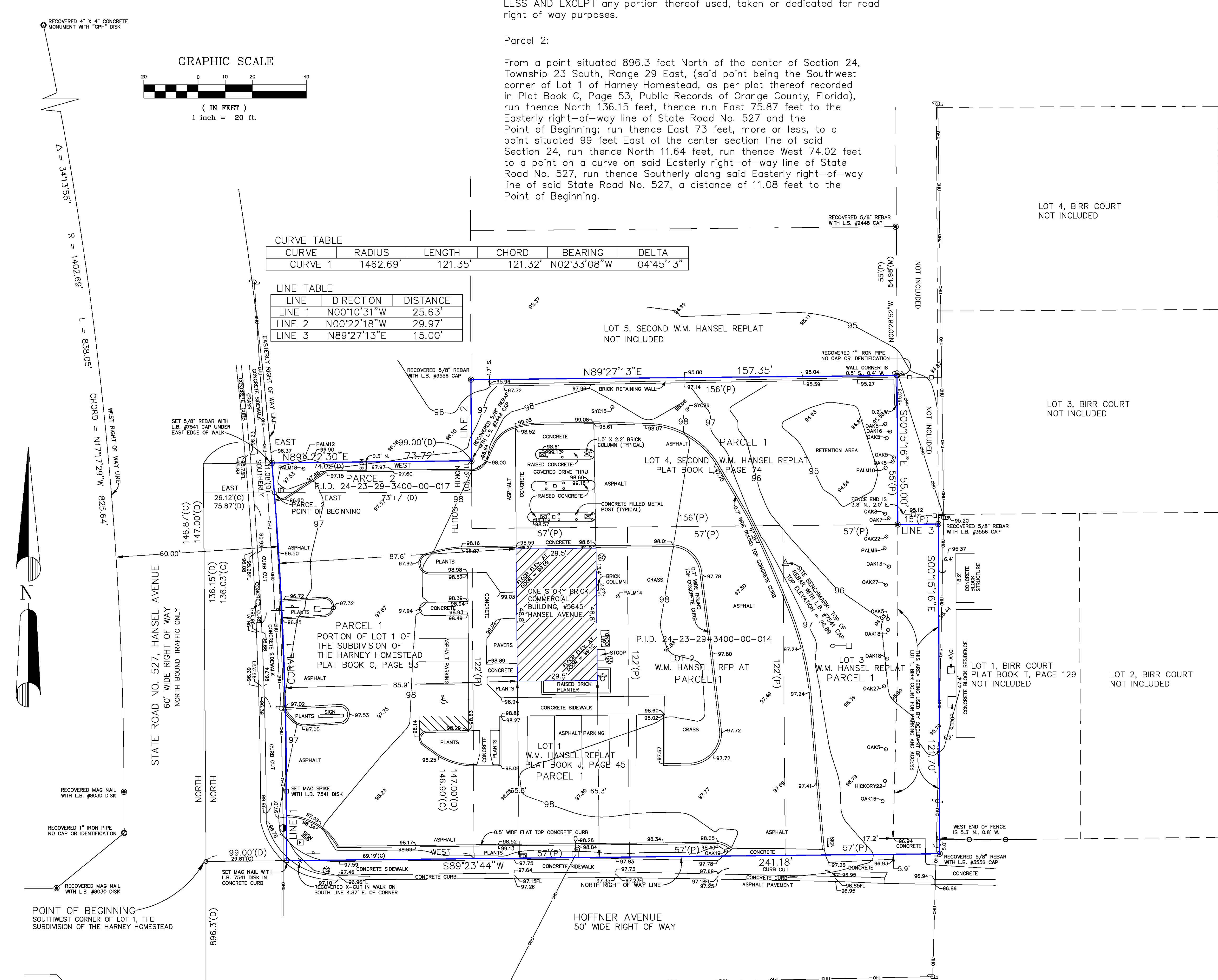
MAP LEGEND:

- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
- (D) INDICATES A DESCRIPTION DISTANCE AND/OR DIRECTION.
- (P) INDICATES A PLAT DISTANCE AND/OR DIRECTION.
- (M) INDICATES A MEASURED DISTANCE AND/OR DIRECTION.
- LB INDICATES LAND SURVEYING BUSINESS.
- LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.
- PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
- P.I.D. INDICATES PROPERTY IDENTIFICATION NUMBER.
- ☉ INDICATES A WOOD UTILITY POLE.
- ☉ INDICATES A GUY WIRE ANCHOR.
- ☉ INDICATES AN OVERHEAD LIGHT ON A CONCRETE POLE.
- ☉ INDICATES A METAL SIGN ON A METAL POST.
- ☉ INDICATES A PVC SANITARY CLEANOUT.
- ☉ INDICATES A WATER BACK FLOW PREVENTER.
- ☉ INDICATES A CONCRETE POLE OR SIGN FOOTER.
- ☉ INDICATES A TRAFFIC SIGNAL JUNCTION BOX.
- ☉ INDICATES A CONCRETE TRAFFIC SIGNAL POLE.
- ☉ INDICATES A HANDICAP PARKING SPACE.
- ☉ INDICATES AN ELECTRIC JUNCTION BOX.
- ☉ INDICATES A FIBER OPTIC JUNCTION BOX.
- ☉ INDICATES A CHAIN LINK FENCE.
- ☉ INDICATES A WOOD PRIVACY FENCE.
- ☉ INDICATES OVERHEAD UTILITY LINE(S).
- ☉ INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
- ☉ INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
- ☉ INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
- ☉ INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.
- ☉ INDICATES AN OAK TREE HAVING A 22" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.
- ☉ INDICATES AN OAK TREE HAVING A 14" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.



CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
CURVE 1	1462.69'	121.35'	121.32'	N02°33'08"W	04°45'13"

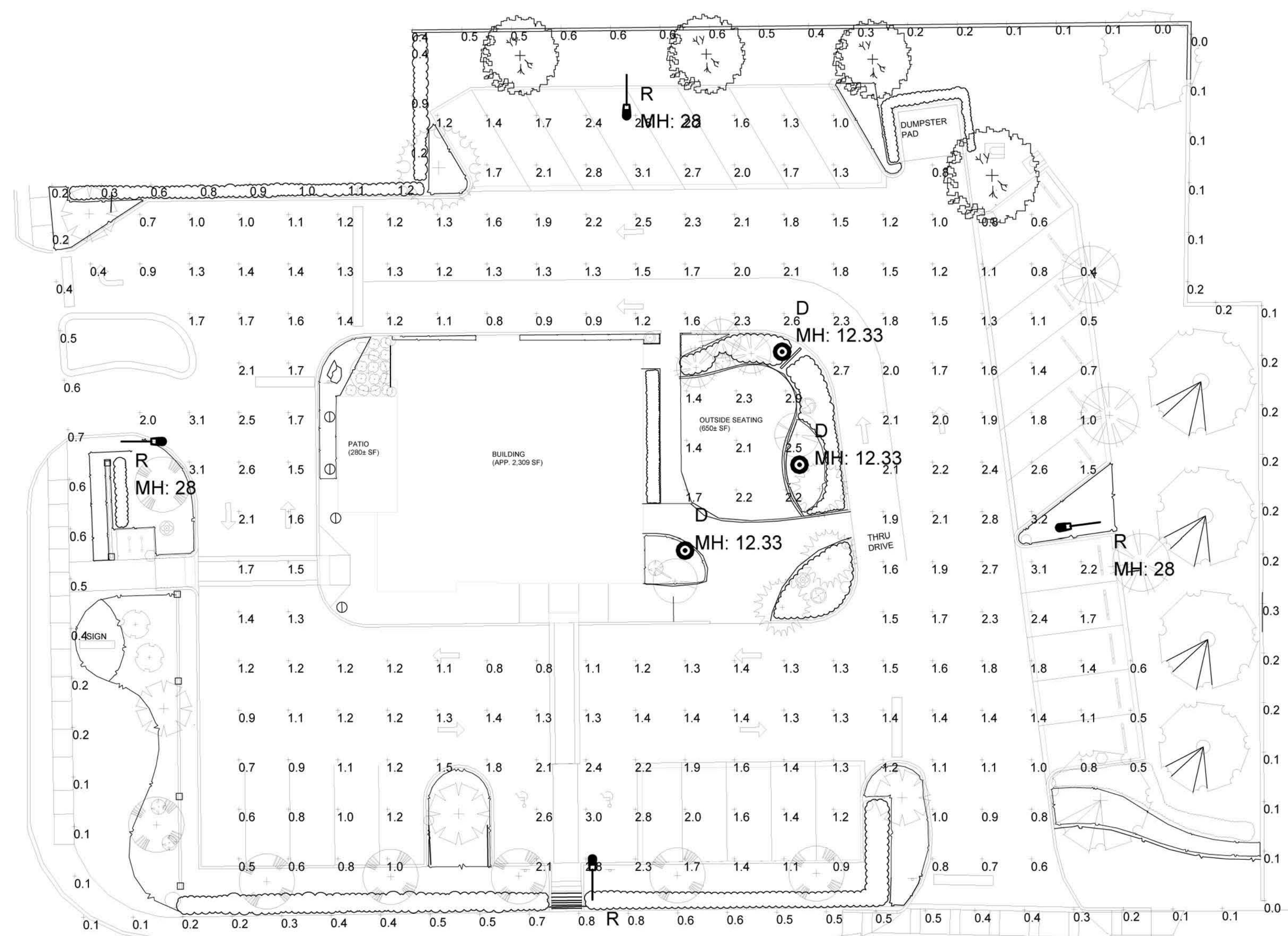
LINE	DIRECTION	DISTANCE
LINE 1	N00°10'31"W	25.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'



Surveyor's Certification
 THIS IS TO CERTIFY THAT I HAVE PERFORMED A FIELD SURVEY OF THE HEREIN DESCRIBED PROPERTY FOR THE PURPOSES HEREIN DESCRIBED AND THAT THIS DRAWING IS A REPRESENTATION OF THAT SURVEY AND I AM A LICENSED LAND SURVEYOR IN THE STATE OF FLORIDA UNDER CHAPTER 55-17, F.S. THIS SURVEY WAS PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY AND/OR INDIVIDUAL WHEREVER.
 Donald A. Moore License #4549
 Donald A. Moore, Florida License #4549
 A TRUE COPY OF THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE SURVEYOR AND SHALL NOT BE VALID WITHOUT A DIGITAL SIGNATURE AND SEAL OF A LICENSED SURVEYOR AND MAPPER.

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4-08-21	Field B/L	DK/MBT	4-08-21
4-16-21	Final B/L	DK/MBT	4-16-21
4-16-21	ADD LEGAL DESCRIPTION - TITLE COMMITMENT	F.S./MS	4-16-21
4-16-21	REVISE NOTES PER ATTORNEY WHITE	D.L.C./JH	4-16-21
4-20-21	WANDER TO ADD TOPOGRAPHY	Pratt B/L	4-20-21
10-25-21	ADD TILES WITH 4" DIA. GUY LARGER	Checked B/L	10-25-21
		Printing File NAME	
		Coordinate File NAME	
		Plotted 4-16-21	10-25-21



Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Z		
1	D	2002	-285.9	12.33	0	0
2	D	2025.1	-268.7	12.33	0	0
3	D	2021.6	-245.9	12.33	0	0
4	R	2085.8	-280.3	28	187.6	0
5	R	1983.3	-356.4	28	90	0
6	R	1888.2	-264	28	0	0
7	R	1990.2	-190	28	270	0

FOOTCANDLE ANALYSIS BY PHOTOMETRICS LLC 10/29/2021.

THE PARKING SURFACE IS ASSUMED TO BE ASPHALT.

THIS LAYOUT MEETS IES RP8-18 RECOMMENDATIONS FOR BASIC PARKING LOT LIGHTING LEVELS AND UNIFORMITY.

PARKING LOT LIGHTS ARE 110 WATT LED AT 28' ABOVE FINISHED GRADE. PARKING LOT LIGHTS ARE FULL CUTOFF WITH NO LIGHT ABOVE HORIZONTAL. PEDESTRIAN LIGHTS ARE 52 WATT LED AT 12'4" ABOVE FINISHED GRADE. ALL PERIMETER LIGHTS ARE AIMED AWAY FROM NEIGHBORING PROPERTIES. CALCULATION GRIDS ARE AT GRADE (Z=0)

FOOTCANDLE READINGS DO NOT INCLUDE SHADOWING EFFECTS CAUSED BY OBSTRUCTIONS ONSITE SUCH AS BUILDINGS, TREES, ETC.

THE IES PHOTOMETRIC COMPUTER FILES USED FOR THIS ANALYSIS WERE PROVIDED BY THE MANUFACTURER(S) OF THE LIGHT FIXTURE(S) USED ON THIS PROJECT. THE ACCURACY OF THESE FILES ARE THE RESPONSIBILITY OF THE MANUFACTURER(S).

CONFORMANCE TO ANY AND ALL FACILITY, LOCAL, STATE, OR NATIONAL CODES AND REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

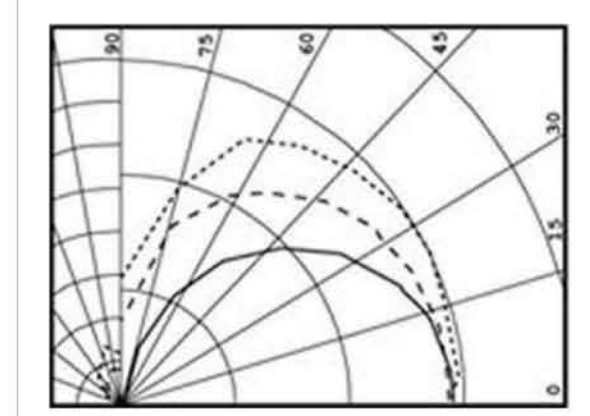
CAREFUL PLACEMENT AND ORIENTATION OF THE LIGHT FIXTURES ONSITE IS REQUIRED FOR THIS COMPUTER SIMULATION TO BE ACCURATE.

NORMAL TOLERANCES OF VOLTAGE, TEMPERATURE, LAMP OUTPUT, AND BALLAST AND LUMINAIRE MANUFACTURER WILL AFFECT RESULTS.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	LLF	Lum Watts	Mtg Height
	3	D	Single	Duke Ocala 50W Type V Acorn	0.950	51.5	12.33
	4	R	Single	Duke Roadway-110W-Type III-4000K	0.950	105	28

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Outside Seating	Illuminance	Fc	2.08	2.9	1.4	1.49	2.07
Parking & Drive	Illuminance	Fc	1.53	3.2	0.4	3.83	8.00
Property Line	Illuminance	Fc	0.38	1.2	0.0	N.A.	N.A.

Photometrics LLC
 2129 Chinook Tr
 Maitland, FL 32751
 (407) 330-8220



#	Date	Comments
Revisions		

Draen By: Bob Veazey
 Checked By:
 Date: 10/29/2021
 Scale: 1/16"=1' (at 24"x36" Print Size)

MECATOS CAFE
EDGEWATER, FL
Photometric Plan
(Preliminary)

#	Category	Summary	Comments	Responsibility	Response	Status
1	regs.	The landscape plan must follow the current ECO 2021 Amended Ordinance.		LA	Others to Address	
2	Hansel Trees	Per the above referenced ordinance, Division 12 – Edgewood Central District (ECO) Sec. 134-468-Site Design, (h) (2), Highrise live oaks are required 35' on center along Hansel Avenue and Hoffman Avenue. Due to overhead lines on Hansel Avenue, small or understory trees may be used 20' on center. The intent of the trees is to provide shade over the sidewalks. Refer to City current Tree Stock Replacement list for acceptable species.	The trees on Hansel have been changed to meet the ECD requirements.	HCE/Architect	Others to Address	
3	Tree Survey	Provide a tree survey and tree removal and mitigation plan per the requirements of Chapter 130 Tree Management and Protection. Coordinate tree removal with the Civil demolition plans.	Tree survey will be provided. Coordination with the civil demolition plan will also be provided.	Owner	Others to Address	
4	Bike Racks	Refer to note 5 above regarding the bike racks. (5)The bike rack is allowed in the People Space, but is preferred behind the wall. The wall can bump out towards the street to allow for this. The "bump out" should be mirrored on the other side of the sidewalk for a symmetrical appearance. The depth of the bike rack must be a minimum of 72" wide, and 30" minimum between the vertical loops.	Bike rack requirements have been provided in the civil drawings.	Owner/HCE/LA	Sheet C-100, bike rack was added and wall was moved to be in front of racks	
5	Pavers	Refer to note 13 above regarding the pavers for the outdoor seating area. (13)The landscape plan indicates pavers for part of the outdoor seating area, and the remaining hatch pattern matches the artificial turf hatch pattern in the back of the building. The artificial turf is not appropriate for the front facade, and please make the seating area one material.	The building footprint has been changed and the front patio will be all concrete. No artificial turf or pavers will be added to the front patio.	Owner/Architect/LA	Others to Address	
6	Flush Curb	There are several floating "Flush Curb" notes without leaders. I am not sure of their relevance on this plan.	The floating flush curb notes have been removed.	LA	Others to Address	
7	Globe Bollards	The 3' globe bollards and the annuals pot & saucer use the same symbol, and only 1 each is labeled. Please differentiate them graphically, or label all of them.	All circles with the a line going through the middle will be bollards for a total of 4, only on the west side of the property.	LA	Others to Address	
8	Brick Wall	Per (ECO) Sec. 134-468-Site Design, (g) (1)a, a 7' brick wall is required at the east property line instead of a 6' vinyl fence.	Waiver requested to the allow a 7' cream vinyl fence that will blend with the environment. There are current power line accessibility requirements and land disputes that prevent a permanent structure at the east of the property.	Owner	Others to Address	

9	Cultivar names	Provide cultivar names under plant material botanical names.	Cultivar names have been provided.	LA	Others to Address	
10	spelling	Elaeocarpus is misspelled on the plant list.	Spelling has been corrected.	LA	Others to Address	
11	Height/ spread	Provide height and spread in the plant list descriptions.	Height and spread of the plant list has been provided.	LA	Others to Address	
12	Artificial Turf	Provide detail for artificial turf area.	Details for the artificial turf area has been provided.	LA	Others to Address	
13	Pavers details	Reference paver detail on civil drawing sheet C-400 detail 7. Confirm if all paver areas intended to be pervious, per the civil detail.		LA/HCE	Sheet C-400, detail confirmed that all paver areas to be pervious	
14	Trees Demolition plan	Trees shown to be removed on the landscape drawing are shown protected on the demolition plans. Please coordinate.	Tree survey will be provided. Coordination with the civil demolition plan will also be provided.	HCE/LA	Others to Address	
15	Crosswalk	Align the sidewalk and crosswalk from Hansel Avenue with the double door entrance on the west side.	The ADA accessible spaces and crosswalk could not be moved due to the grading requirements for the site.	HCE	Others to Address	
16	ADA Crosswalk	Align the ADA access with the double doors entrance on the south, for a more direct route, further west from the drive through lane vehicle stacking.	The ADA accessible spaces and crosswalk could not be moved due to the grading requirements for the site.	HCE/LA		
17	Hoffner Pedestrian	Provide a 6' wide pedestrian connection from Hoffman Avenue per the People Space requirements in the ECO.	A six feet pedestrian connection on Hoffner has been provided.	HCE/LA	Sheet C-100, 6' wide connection provided from Hoffman	
18	Consistency	The landscape plans show foundation planting on the south side of the building. The civil drawings do not show a landscape bed.	The south side landscape has been removed.	HCE/LA	Sheet C-100, sheet adjusted to display planters	
19	ADA Ramp	Call out the appropriate ADA ramp details on site or grading plan from sheet C-401.	The appropriate ADA is called out in C-401	HCE	Sheet C-401, Sheet C-100, ADA ramps called out per Index	
20	Question	What is the purpose of the 20' flush curb SW of the building? How will you protect from vehicular access into seating area?	The flush curb has been removed and replaced with a D curve.	Owner/LA/HCE	Others to Address	

21	Signage	Submit pavement markings for traffic flow and traffic signage package.	Signage has been provided in the civil drawings.	HCE	Sheet C-100, traffic signage added to sheet	
22	FDOT Curb	Coordinate with FDOT for the driveway cut shown on sheet C-101. The site driveway curb does not match the FDOT driveway curb.	The current design will reflect the property as is. Once confirmation is received from FDOT, the date of completion drawings will be updated.	HCE	Sheet C-101, Sheet updated to match FDOT curbing	
23	Sight Triangles	Show FDOT Greenbook sight triangles at exits on to Hansel Avenue and Hoffman Avenue, on the landscape plans.	Sight triangles have been added to the landscape plans.	HCE/LA	Others to Address	
24	Demolition Plan	The demolition plans do not show the removal of the existing concrete apron to Hoffman Avenue, east of the proposed driveway. Sheet C-100 shows a curb crossing the existing driveway apron, and the landscape plan shows sod. Please coordinate.		HCE	Sheet C-003, sheet not includes demolition of existing driveway apron	
25	East Light Pole	Move the light pole in the east parking area behind the parking spaces.	Parking spaces have been rearranged, and an island has been created.	Owner/HCE	Others to Address	