

July 24, 2022

City of Edgewood
 Ms. Ellen Hardgrove, City Planner
 405 Bagshaw Way
 Edgewood, FL 32809

RE: 4800 South Orange Avenue Waiver Request

Dear Ms. Hardgrove,

Thank you for meeting with us on June 30th to review and discuss our proposed development of a car wash. The redevelopment of 4800 South Orange Avenue will be a great addition to the corridor and further the vision of the ECD “to establish land use pattern that includes creation of activity nodes, where the primary focus is a high energy mix of live/work/play uses around well designed public spaces...” Additionally, the redevelopment of 4800 South Orange Avenue will take into consideration the realignment of Holden/Orange and Gatlin, as outlined in County Alternative 1, supported by the City of Edgewood. In order to accomplish this redevelopment with consideration of the realignment, we are asking for four waivers to comply with the ECD Ordinances.

Sec. 134-468(f) Site Development (Ordinance No. 2018-09)

Minimum percentage of lot width occupied by building at the build line. Buildings located within the road view area shall meet the following building facade width to lot ratio.

Lot Width	Minimum % of Lot Width Occupied by Building Facade
<130	50
130-174.9	60
≥175	70

The subject lot is 248.8’ in width, a waiver is being requested to allow for the building structure to have less than the required ratio of the façade within the road view area. This waiver will allow for the 50’ green space to be reserved and remain undeveloped on the north side of the property. This 50’ green space lines up with Gatlin Avenue taking into consideration the realignment of Holden/Orange and Gatlin, as outlined in County Alternative 1, supported by the City of Edgewood. Complying with the ratio requirement and building along Orange Avenue would not allow for green space to be reserved for the realignment. Additionally, without the waiver, the future cost to acquire the needed property for the realignment of Holden/Orange and Gatlin would be much greater if the property is developed in accordance with the required ratio. For the reason stated above we respectfully request a waiver for Sec. 134-468(f).

Sec. 134-472(a)(2) Car/Automotive washing and detailing

Tunnel entrance/exits shall not face SR 527, Holden Avenue, Gatlin Avenue, or Hoffner Avenue.

In order to reserve 50' green space on the north side of the property, for the realignment of Holden/Orange and Gatlin as outlined in County Alternative 1 and supported by the City of Edgewood, the building design requires that the car wash tunnel face SR 527 (Orange Avenue). The design of the building takes into consideration the intent of the ECD to prevent an open car wash tunnel from facing a major roadway along the corridor. In doing so, the building is designed to extend in front of the exit of the car wash tunnel to block the view of the tunnel from the road way. For the reason stated above, we respectfully request a waiver for Sec. 134-472(a)(2).

Sec. 134-472(a)(4) Car/Automotive washing and detailing

Vacuum stations and related equipment shall be completely screened from all streets or property with a low density residential future land use designation. To screen from a street, a wall may be used if such wall meets the façade standards in the building design section of this district. A seven-foot high opaque brick wall of colors normally found in manufactured fired brick shall be utilized along the rear or side property line to screen the use from property with a low density residential future land use designation.

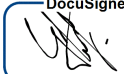
A waiver is being requested for the 7 feet high opaque brick wall required in the rear of the property if adjacent property future land use is low density residential. In lieu of the 7 feet high brick wall screen from low density residential future land use, a 6 feet high beige vinyl fence will be used in the rear of the property. The immediate adjacent rear property to this property is the railroad which does not have a future land use designation. The property to the west of the railroad has a low density residential future land use, however Orange County owns that property and is used as Cypress Grove Park. The possibility of Cypress Grove Park to be developed into a residential use is very low and the immediate adjacent property to the west (rear of this property) does not have a future land use designation which is the railroad. The fence to be used will be a modular fence that can be moved or removed, which is best suited for the future realignment of Holden/Orange and Gatlin. The waiver is being requested for the entire length of the property line and not just the 50' of green space for the future realignment of Holden/Orange and Gatlin to provide to continuity and not a wall made of mixed materials. For the reason stated above we respectfully request a waiver for Sec. 134-472(a)(4).

Sec. 134-472(a)(4) Car/Automotive washing and detailing

Vacuum stations and related equipment shall be completely screened from all streets or property with a low density residential future land use designation. To screen from a street, a wall may be used if such wall meets the façade standards in the building design section of this district.

A waiver is being requested for the wall to screen the vacuum stations on the east end of the two vacuum stations. To comply with the ECD design standards the wall would need to include a window which would make the wall transparent and not opaque. We proposed to install a 7 feet high masonry with stucco wall matching the colors of the building at the east end of each row of vacuum parking stalls as shown in Exhibit 5. A magnolia tree, 3-inch caliper/12 feet high at planting, is proposed to be placed in front of each wall along with a hedge along the entire length. For the reason stated above we respectfully request a waiver for Sec. 134-472(a)(4).

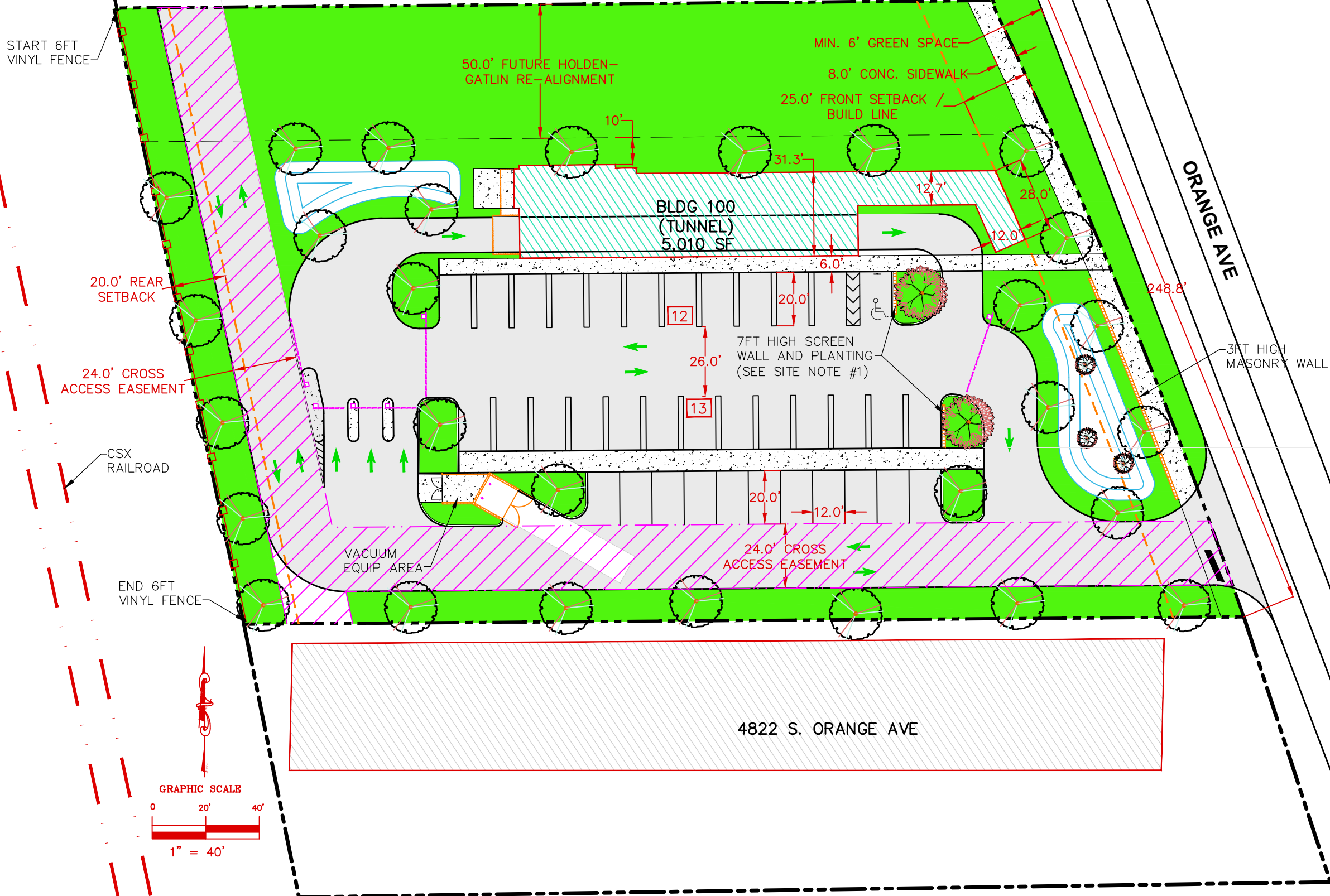
Thank you for your consideration,

DocuSigned by:

A0310118688D4DB...
Genti Lulo

7/24/2022

4710 S. ORANGE AVE

START 6FT VINYL FENCE



ORANGE AVE

SITE DATA

PARCEL ID 12-23-29-7312-00-181
 ADDRESS: 4800 S ORANGE AVE
 ORLANDO, FL 32806

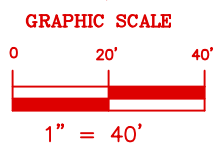
1. FUTURE LAND USE: COMMERCIAL
2. ZONE: EDGEWOOD CENTRAL DISTRICT
3. PROJECT AREA 1.86 ACRE
4. MAXIMUM IMPERVIOUS SURFACE RATIO 80%
5. MAXIMUM FLOOR AREA RATIO 1.0
6. MAXIMUM HEIGHT 35 FT
7. BUILDING SETBACK

	REQUIRED	PROVIDED
FRONT	25 FT	25 FT
SIDES	0 FT	60 FT (NORTH) 135 FT (SOUTH)
REAR	20 FT	115 FT
8. PROPOSE USES		BLD SQ FT
CARWASH		5,010 SF

9. PRE-WASH (DE-BUG) 6 SPACES
10. POST-WASH DETAILS 25 SPACES
11. EMPLOYEE PARKING 5 SPACES

SITE NOTE:

1. 7FT HIGH SCREEN WALL (BLOCK WITH STUCCO) TO MATCH BUILDING COLOR SCHEME. EACH LANDSCAPE ISLAND SHALL HAVE MINIMUM 3" CALIBER SOUTHERN MAGNOLIA WITH MIN. 12FT HIGH AND 3FT HIGH HEDGE FULL LENGTH OF WALL.



4822 S. ORANGE AVE

1320 W PINE STREET
 ORLANDO, FL 32805
 PHONE: (407) 254-0040
 CELL: (407) 234-8944



**ORANGE AVE AND GATLIN AVE CAR WASH
 ORLANDO, FL 32806**

CONCEPT LAYOUT #8

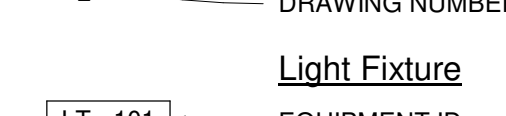
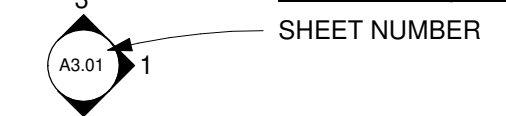
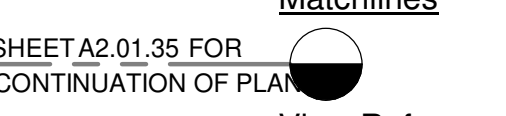
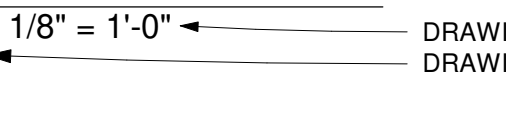
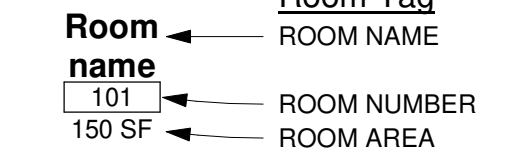
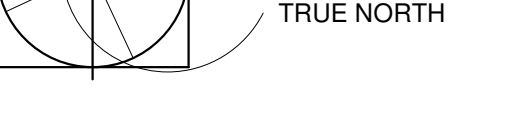
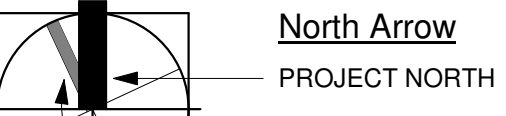
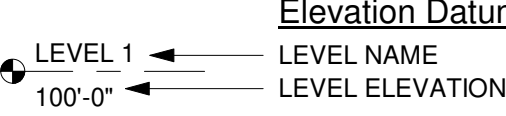
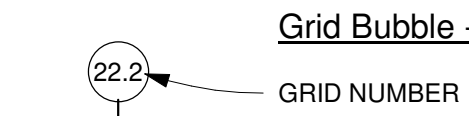
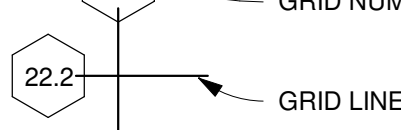
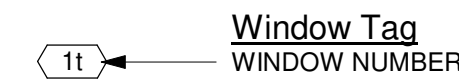
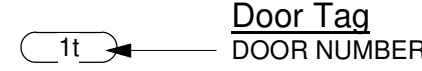
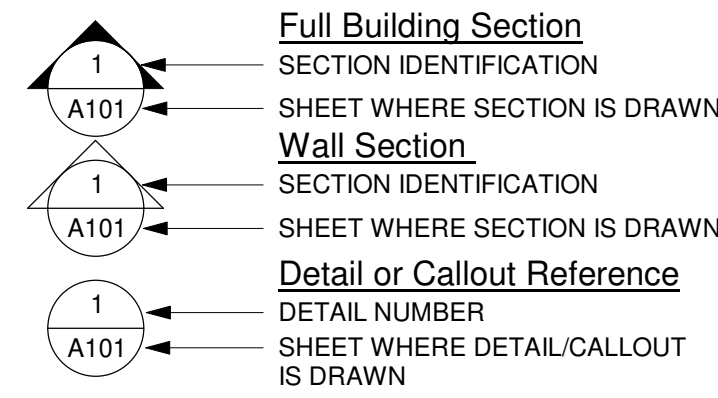
COMMENT:

PROJECT No. 2022.999.11
 DATE: 06-03-22
 DESIGNED BY: LCE
 DRAWN BY: JTV
 CHECKED BY: QTL

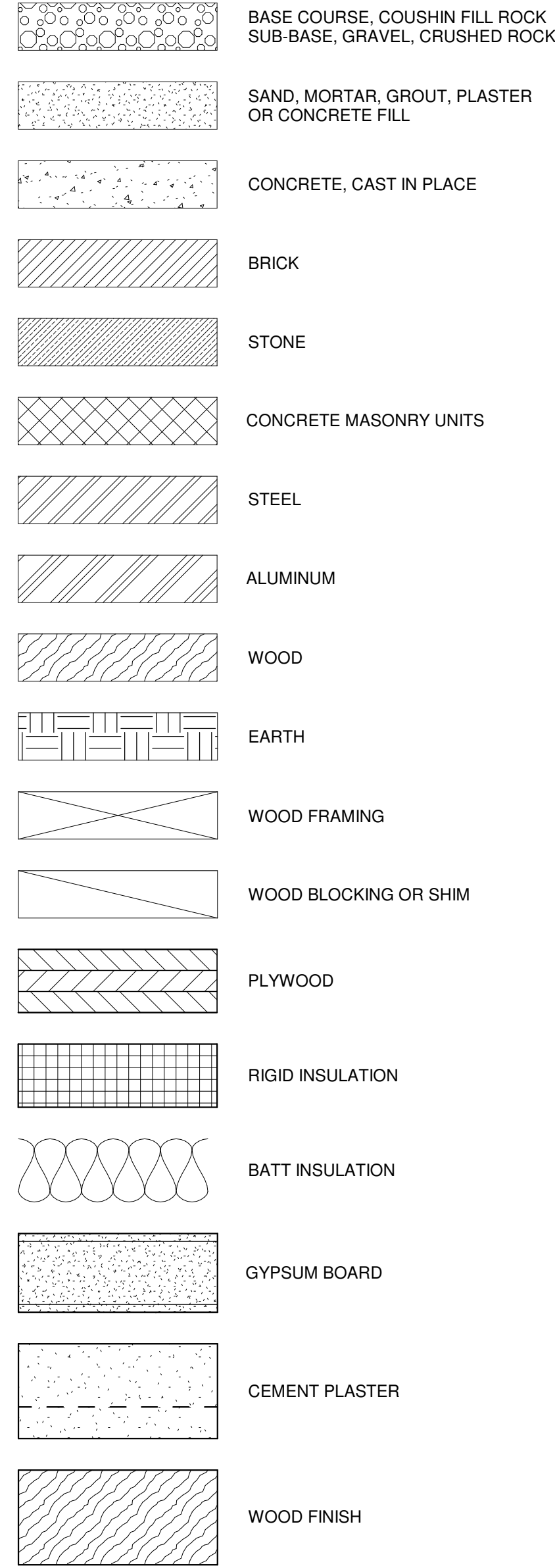
FIGURE No.

8

SYMBOL LEGEND



MATERIAL LEGEND



ABBREVIATIONS

AFF	ABOVE FINISH FLOOR (SLAB)	INT	INTERIOR
AFG	ABOVE FINISH GRADE	LAV	LAVATORY
BLK	BLOCK	MECH	MECHANICAL
B.O.	BOTTOM OF BUILDING	MISC	MISCELLANEOUS
BLDG	BUILDING	NIC	NOT IN CONTRACT
CW	COLD WATER	NTS	NOT TO SCALE
CL	CENTER LINE	OPP	OPPOSITE
CLR	CLEAR/CLEARANCE	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	RD	ROOF DRAIN
CU	CONDENSING UNIT	RET	RETAINING
CMU	CONCRETE MASONRY UNIT	REF	REFERENCE
CONT	CONTINUOUS	REV	REVISE/REVISION
CJ	CONTROL JOINT	REINF	REINFORCING
DN	DOWN	RTU	ROOF TOP UNIT (HVAC)
EA	EACH	SAN	SANITARY SEWER LINE
EIFS	EXTERIOR INSULATED FINISHING SYSTEM	SIM	SIMILAR
EL	ELEVATION	SPECS	SPECIFICATIONS
ELEC	ELECTRIC/ELECTRICAL	TS	TUBE STEEL
EQUIV	EQUIVALENT	T.O.	TOP OF
EXIST	EXISTING	TOC	TOP OF CONCRETE
EXT	EXTERIOR	TOS	TOP OF STEEL
EXJ	EXPANSION JOINT	TYP	TYPICAL
FD	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FF	FINISHED FLOOR	WC	WATER CLOSET
FLR	FLOOR	WH	WATER HEATER
GA	GAGE/GAUGE	WWF	WELDED WIRE FABRIC
GC	GENERAL CONTRACTOR		
GALV	GALVANIZED		
GYP	GYPSUM		
HVAC	HEATING VENTILATING AIR CONDITIONING		
HW	HOT WATER		

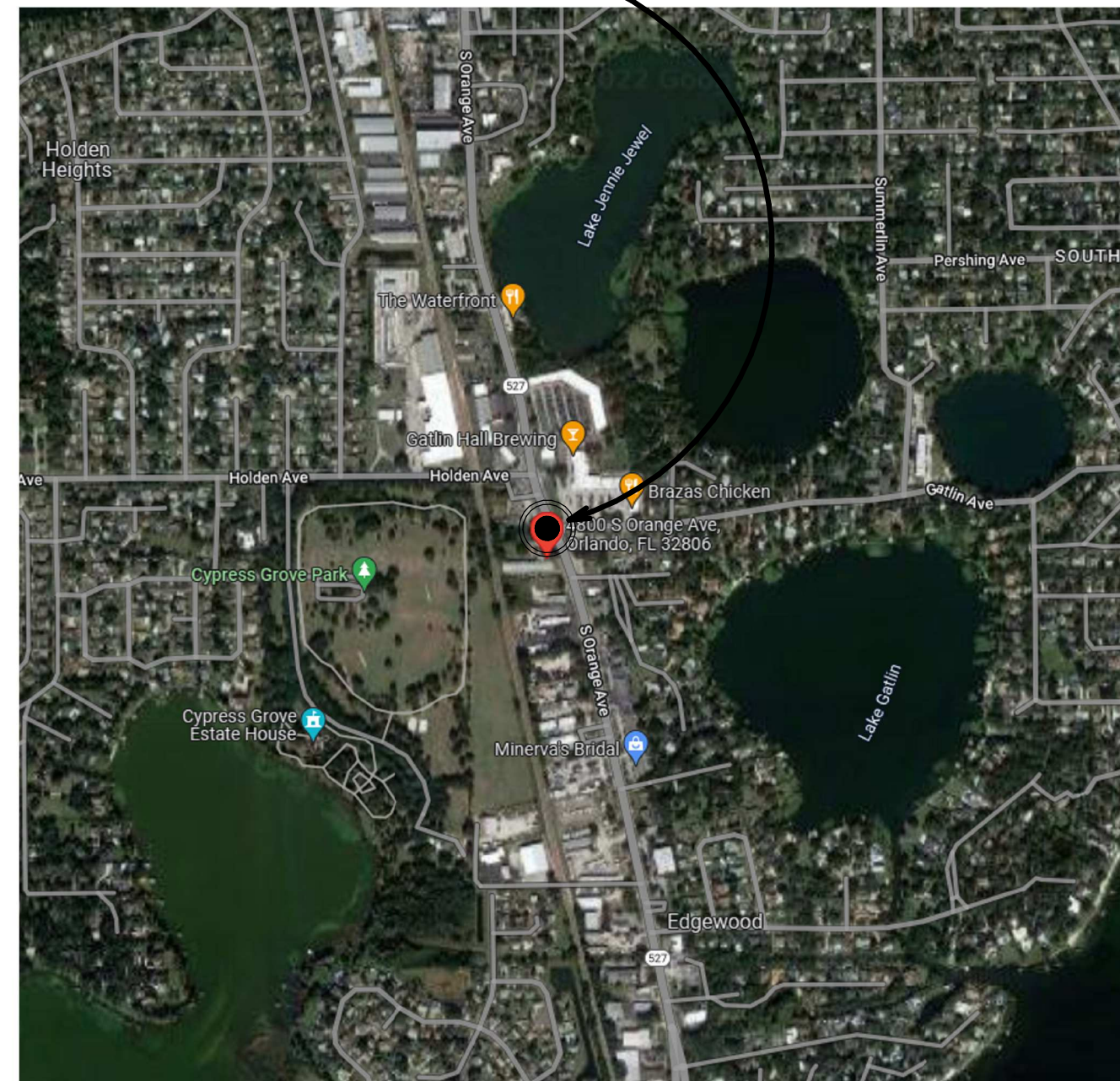
ORANGE AVE. CAR WASH

CONCEPT PACKAGE

4800 S Orange Ave, Orlando, FL 32806



PROJECT SITE



LEGAL DESCRIPTION

REV MAP OF ST PETERSBURG BLK 52, LOTS 18 AND 19

GENERAL NOTES

- THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION - WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
- WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF FRAMING/FURRING MEMBER UNLESS OTHERWISE NOTED.
- WHERE BUILDING ELEMENTS ARE TOO LARGE TO FIT INSIDE THE CAVITY OF WALLS, WALLS ARE TO BE FURRED TO CONCEAL OR "BUILD IN" PIPING, ELECTRICAL PANELS AND OTHER RECESSED OBJECTS.
- DOOR OPENING LOCATIONS ARE DIMENSIONED TO ROUGH OPENING.
- IF THE CONTRACTOR DISCOVERS ANY CONFLICT BETWEEN THE DRAWINGS AND THE CONDITIONS WHERE WORK IS TO BE PERFORMED, HE SHALL PROMPTLY NOTIFY THE ARCHITECT.
- DOCUMENTS ARE FOR CORE AND SHELL STRUCTURE ONLY. BUILDOUTS OF UNITS AND PUBLIC SPACES AND ASSOCIATED FINISHES SHALL BE BY SEPARATE PERMIT DOCUMENTS.

SHEET INDEX - ARCHITECTURAL

Sheet #	Sheet Name	Current Revision Date
A000	COVER	
A100	SITE PLAN	
A201	GROUND FLOOR PLAN	
A210	ROOF PLAN	
A501	BUILDING ELEVATIONS	
A990	3D VIEWS	



Studio 407 LLC
7680 Universal Boulevard Suite 300
Orlando, FL 32819
(407) 342-5995
jeff@407studio.com | www.407studio.com

Orange Ave. Car Wash

4800 S Orange Ave.

CONSULTANT:

Issued For

Concept Design	05/25/22
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Revisions

#	Description	Date

Project No: 22-073
Drawn By: Author
Jeff Galther, AIA
AR93666

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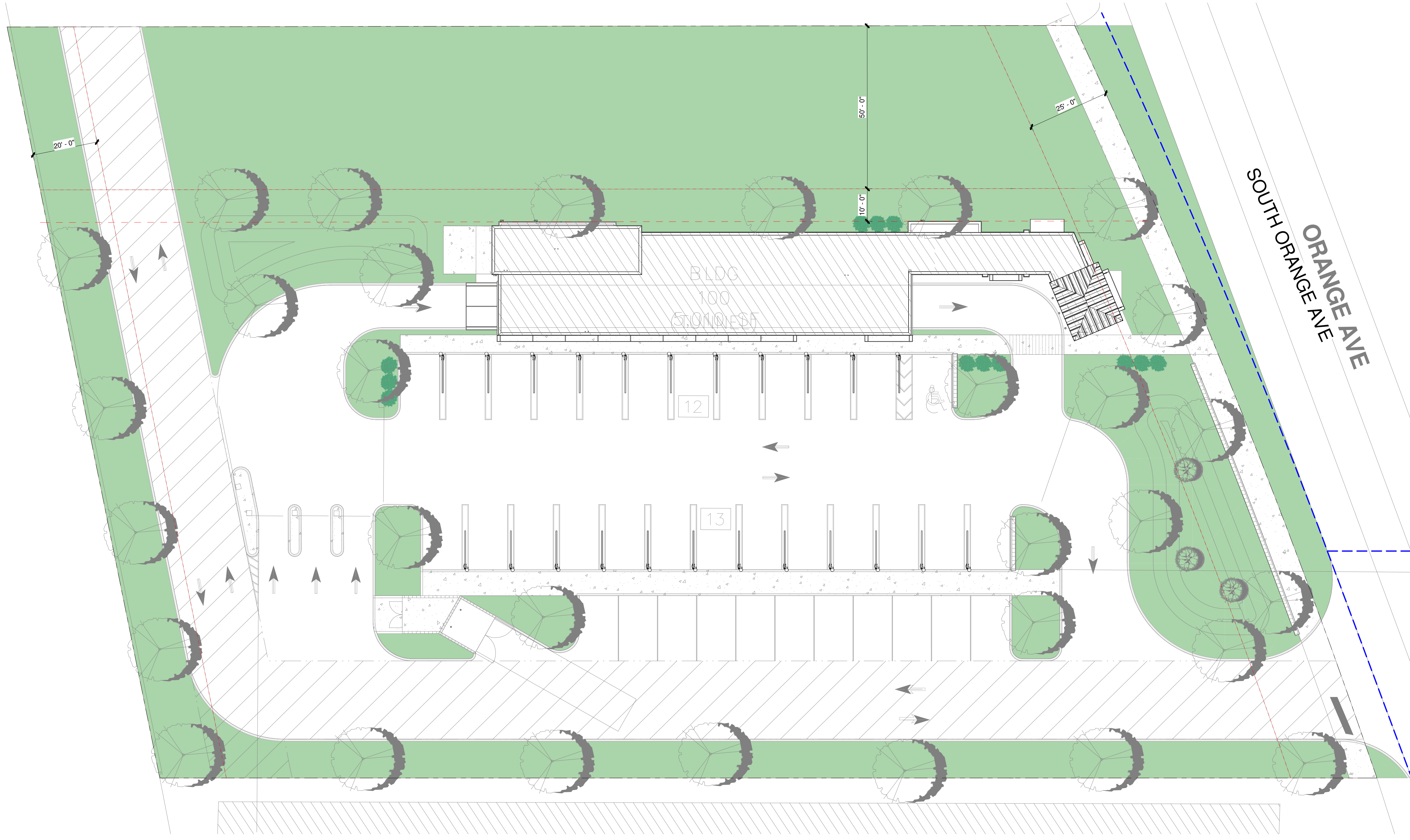
Sheet Title

COVER

A000

Orange Ave. Car Wash

4800 S Orange Ave.



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#	Description	Date

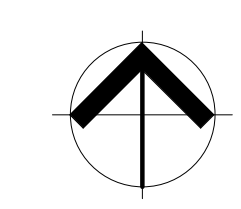
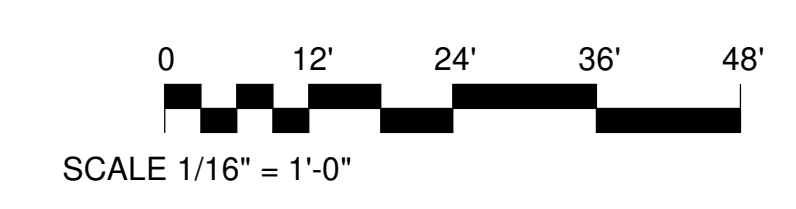
Project No: 22-073
 Drawn By: PR
 Jeff Gailther, AIA
 AR93666

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 Sheet Title

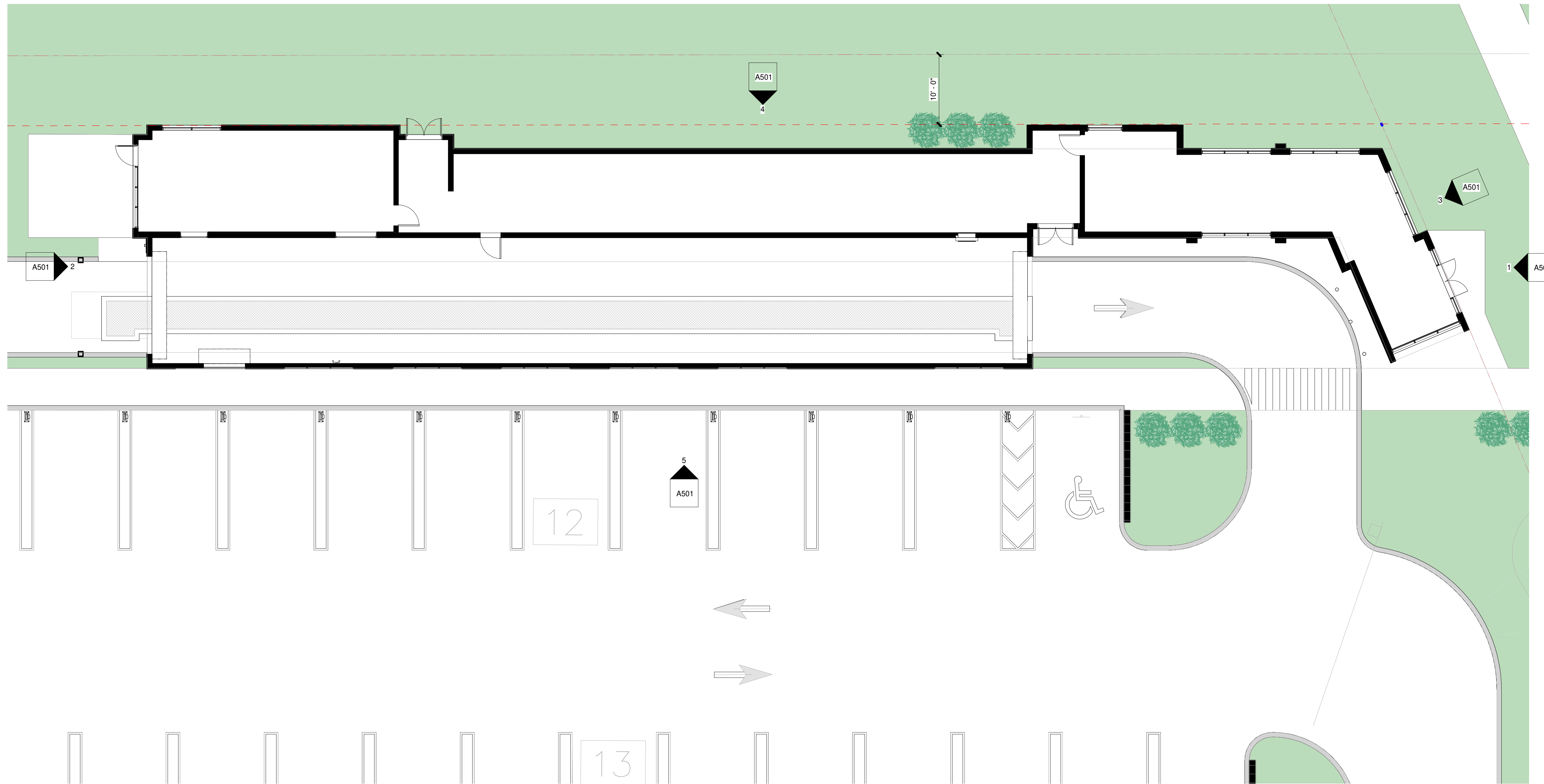
SITE PLAN

A100

1 SITE PLAN
 1/16" = 1'-0"



11/07/2022 8:14:01 a.m.



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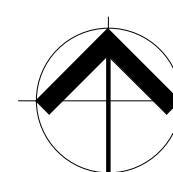
Seal

Project No: 22-073
Drawn By: Author
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Sheet Title

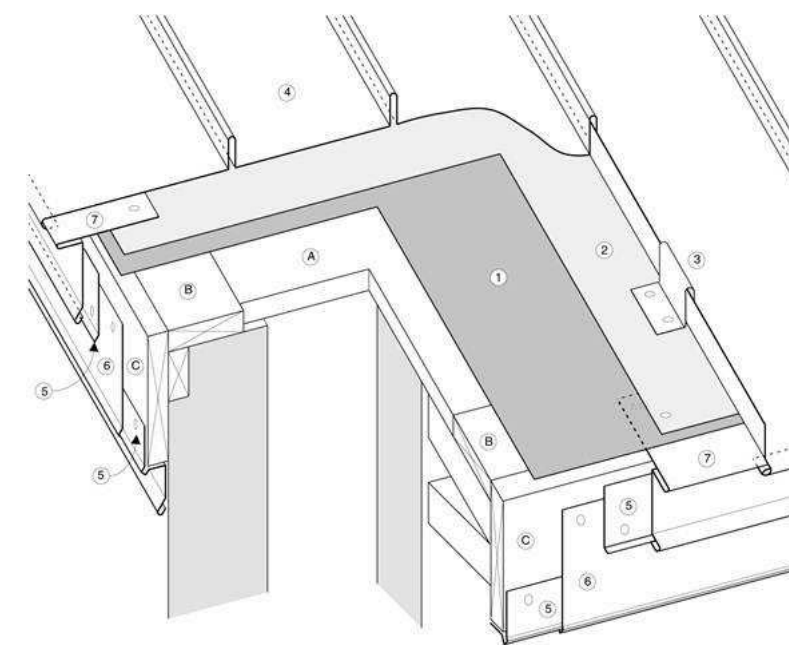
GROUND FLOOR PLAN

1 GROUND FLOOR PLAN
1/8" = 1'-0"



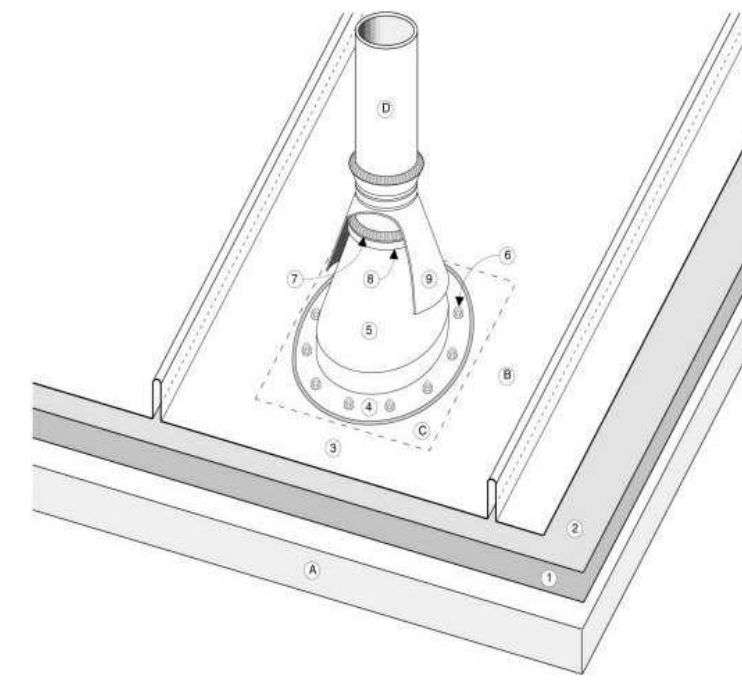
A201

_BUILDING MATERIAL KEYNOTE SCHEDULE	
TAG	NOTE



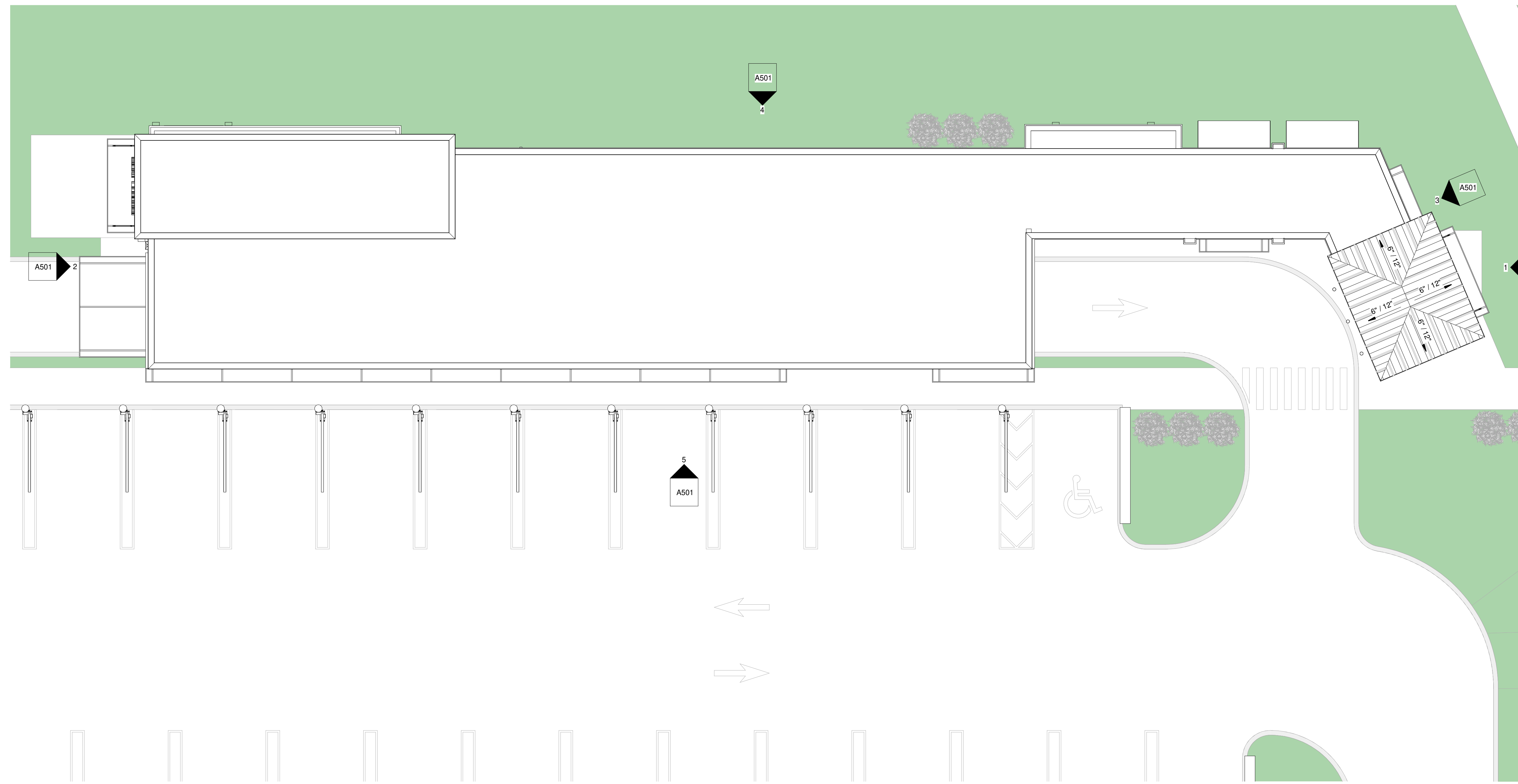
- (1) **Ice Dam Protection:** Accepted self-adhered modified bituminous membrane.
 - (2) **Slip Sheet:** Recommended over asphaltic underlays and / or as required by metal panel manufacturer.
 - (3) **Metal Panel Clip:** Installed to metal roof panel manufacturer's printed instructions.
 - (4) **Architectural Metal Roof Panel**
 - (5) **Continuous Metal Cleat**
 - (6) **Metal Fascia Flashing**
 - (7) **Continuous Edge Metal Flashing**
- SUPPORT MEMBERS:**
- (A) **5/8" Plywood Decking**
 - (B) **Wood Nailer**
 - (C) **Fascia Board**

2 EAVE DETAIL
3/4" = 1'-0"

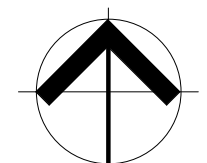
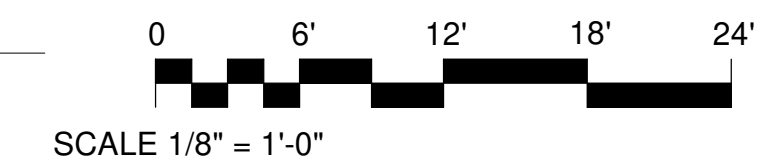


- (1) **Underlayment:** The type of underlay required is determined by roof slope PER MANUFACTURERS PRINTED INSTRUCTIONS.
 - (2) **Slip Sheet:** Recommended over asphaltic underlays and / or as required by metal roof panel manufacturer.
 - (3) **Architectural Metal Roof Panel**
 - (4) **Flange:** Set in two continuous beads of accepted caulking.
 - (5) **Preformed Penetration Collar**
 - (6) **High Domed, Gasketed, Cladding Type Screws:** Flange fastened to manufacturer's specifications.
 - (7) **Seal Between Pipe And Flashing:** Continuous tooled bead of accepted caulking.
 - (8) **Stainless Steel Drawband**
 - (9) **Water Tight Back Up Storm Collar:** Installed where practical.
- SUPPORT MEMBERS:**
- (A) **5/8" Plywood Decking**
 - (B) **Location Of Penetrations -** must not interfere with standing seams or trapezoidal and intermediate ribs.
 - (C) **Opening In Roof Deck -** must be large enough to allow for thermal movement of metal roof panels.
 - (D) **Pipe Or Support Stand**

3 ROOF PENETRATION DETAIL
3/4" = 1'-0"



1 ROOF LEVEL
1/8" = 1'-0"



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Sheet Title

ROOF PLAN

A210



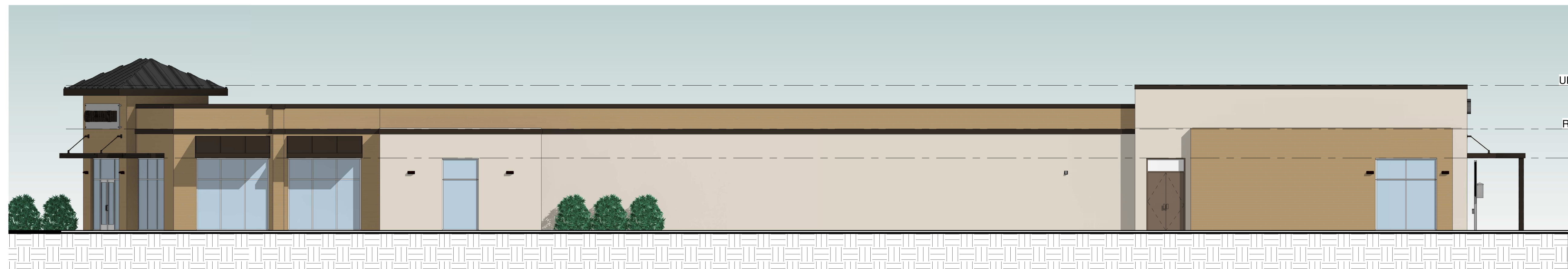
1 EAST ELEVATION
1/8" = 1'-0"



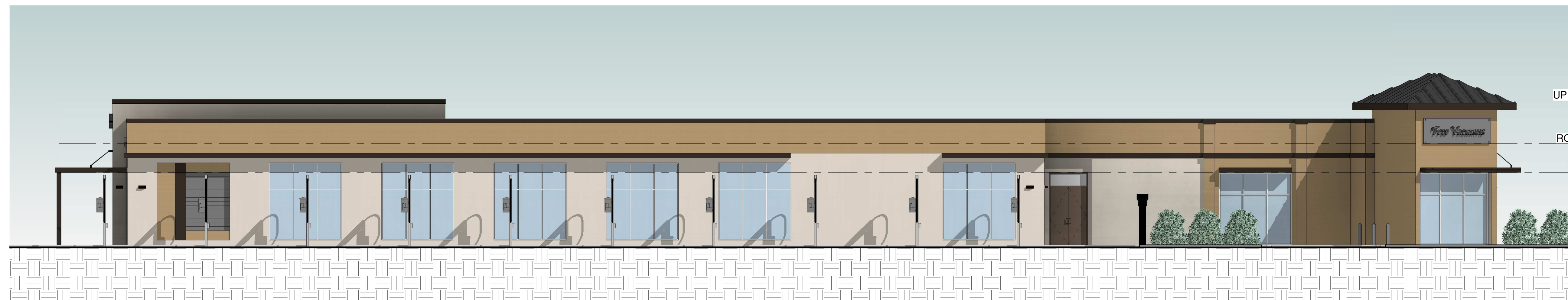
2 WEST ELEVATION
1/8" = 1'-0"



3 NORTHEAST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"



5 SOUTH ELEVATION
1/8" = 1'-0"

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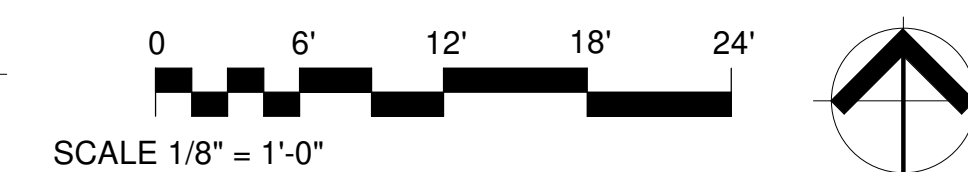
Seal

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Sheet Title

BUILDING ELEVATIONS



A501

Orange Ave. Car Wash
4800 S Orange Ave.



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Seal



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3D VIEWS

A990