



RECEIVED
5/12/2022
CITY OF EDGEWOOD

APPLICATION FOR VARIANCE – BOAT DOCKS

Reference: City of Edgewood Code of Ordinances, Section 126-588

REQUIRED FEE: \$350 RESIDENTIAL \$750 COMMERCIAL
(Plus Applicable Pass-Through Fees - Ordinance 2013-01)

Please note this fee is non-refundable

Office Use Only:		Variance Application #:	2022-04
Received Date:	5/12/2022	Received by:	Brett Sollazzo
P&Z Meeting Date:	June 13, 2022	City Council Meeting Date:	July 19, 2022

IMPORTANT: A COMPLETE application with all required attachments and ten (10) copies must be submitted to the City Clerk _____ days before the next Planning & Zoning meetings. No application shall be deemed accepted unless it is complete and paid for. Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner.

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

Applicant's Name:	Sheila Cichra	Owner's Name:	Chris Dawson
Address:	1002 Fort Mason Dr, Eustis, FL 32726	Address:	495 Mandalay Road
Phone Number:	(407) 450-4241	Phone Number:	(850) 449-0066
Fax:		Fax:	
Email:	sheilacichra@gmail.com	Email:	ChrisDawsonEsq@gmail.com
Legal Description:	MANDALAY SHORES 3/37 LOT 4		
Zoned:	R-1AA		
Location:	495 Mandalay Road - in rear of sfr		
Tract Size:	.43 acres		
City section of the Zoning Code from which Variance is requested:	Chapter 14, Sec. 14-11 Dock Construction, (b), (2)		
Request:	to allow a dock to be constructed such that it projects across 28% of a canal and is 24.4' away from the adjacent dock		
Existing on Site:	an sfr and a boat dock		

The applicant hereby states that this request for Variance does not violate any deed restrictions on the property.
Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.



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The planning and zoning board shall hear and make a recommendation to the city council on any application for variance. To recommend to the city council such variance, the following factors shall be considered:

- Average length of other docks in the surrounding 300-foot area;
- The reasonable use of the property by the owner;
- The effects the dock will have on navigation and safety of boaters;
- The overall general welfare of the neighborhood;
- Whether special conditions exist such that strict compliance with the provisions of this article would impose a unique and unnecessary hardship on the applicant;
- The effect of the proposed variance on abutting shoreline property owners;
- Whether the granting of the variance would be contrary to the intent and purpose and this article; and
- A variance may be granted if it is necessary to reach a water depth suitable for boating, but in no event shall a dock be extended in length beyond where the water depth will exceed five feet as measured from the normal high water elevation.


Applicant must agree that:

- In granting any variance, the City may prescribe appropriate conditions and safeguards in conformity with the Ordinances, and any regulations enacted under its authority. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted shall be deemed a violation of Edgewood ordinances.

AGREE:	✓	DISAGREE:	
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- The variance recommended by the Planning and Zoning Board and approved by the City Council shall expire in 12 months in accordance with Chapter 134-104 (3) (e).

AGREE:	✓	DISAGREE:	
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The applicant hereby states that the above request for Variance does not violate any deed restrictions on the property.

Applicant's Signature:		Date:	May 11, 2022
Applicant's Printed Name:	Sheila Cichra		
Owner's Signature:		Date:	
Owner's Printed Name:			

Please submit your completed application to City Hall via email at bmeeks@edgewood-fl.gov or sriffle@edgewood-fl.gov, via facsimile to 407-851-7361, or hand deliver to City Hall located at 405 Bagshaw Way. For additional questions, please contact City Hall at 407-851-2920.

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CITY OF EDGEWOOD



Date: May 11, 2022
To: City of Edgewood
From: Sheila Cichra
Re: 495 Mandalay Road – after-the-fact boat dock variance

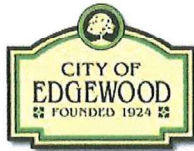
The attached application package is a variance request to allow a dock to remain in the location that it was constructed, even though it obstructs 28% of the canal (in lieu of the 25% allowed) and is 24.4' away from the adjacent boathouse on the other side of the canal (in lieu of the 25' that it is supposed to be).

This situation was unfortunately created when a new seawall was installed, which effectively narrowed the canal by about 1.5 feet. That caused the boathouse that was constructed directly adjacent to the new seawall to project into the canal ever so slightly farther than originally planned.

The minimal deviation from the code is hardly noticeable and does not create a navigation hazard.

There are many docks on the adjacent Edgewood canals that project into the canal more than 28%. At idle speed, 24.4' is more than enough for safe navigation, even if two boats happen to be passing through at the same time.

Thank you for your consideration.



Agent Authorization Form

FOR PROJECTS LOCATED IN THE CITY OF EDGEWOOD

Please type or print in BLACK INK. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

I/WE, (PRINT PROPERTY OWNER NAME) Christopher Dawson, AS

THE OWNER(S) OF THE REAL PROPERTY DESCRIBED AS FOLLOWS, 495 Mandalay Road

Edgewood, FL 32809, DO HEREBY AUTHORIZE TO ACT AS MY/OUR

AGENT (PRINT AGENT'S NAME) Sheila Cichra, TO EXECUTE ANY PETITIONS OR

OTHER DOCUMENTS NECESSARY TO AFFECT THE APPLICATION APPROVAL REQUESTED AND MORE SPECIFICALLY DESCRIBED AS FOLLOWS AND TO APPEAR ON MY /OUR BEHALF BEFORE ANY ADMINISTRATIVE OR LEGISLATIVE BODY IN THE COUNTY CONSIDERING THIS APPLICATION AND TO ACT IN ALL RESPECTS AS OUR AGENT IN MATTERS PERTAINING TO THE APPLICATION. BY SIGNING THIS AUTHORIZATION, THE OWNER AGREES TO BE BOUND BY THE ACTIONS OF THE AUTHORIZED AGENT AND THE PROVISIONS OF CHAPTER 101, ARTICLE I, ENTITLED "PASS-THROUGH FEES" AND ACKNOWLEDGE AND AGREES THAT A LIEN MAY BE PLACED ON THE PROPERTY FOR NON-PAYMENT OF PASS-THROUGH FEES AS PROVIDED IN THE CITY CODE.

Date: 6/8/21 [Signature] Chris Dawson
Signature of Property Owner Print Name Property Owner

Date: Signature of Property Owner Print Name Property Owner

STATE OF FLORIDA: COUNTY OF ORANGE

I certify that the foregoing instrument was acknowledged before me this 8 day of JUNE, 2021 by CHRISTOPHER DAWSON. He/she is personally known to me or has produced as identification and did/did not take an oath.

Witness my hand and official seal in the county and state stated above on the 8 day of JUNE in the year 2021.

(Notary Seal) Christine Barkley Notary Public State of Florida Comm# HH045885 Expires 10/5/2024

[Signature] Signature of Notary Public Notary Public for the State of Florida My Commission Expires: 10/5/2024

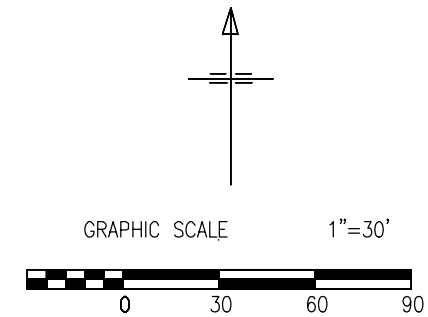
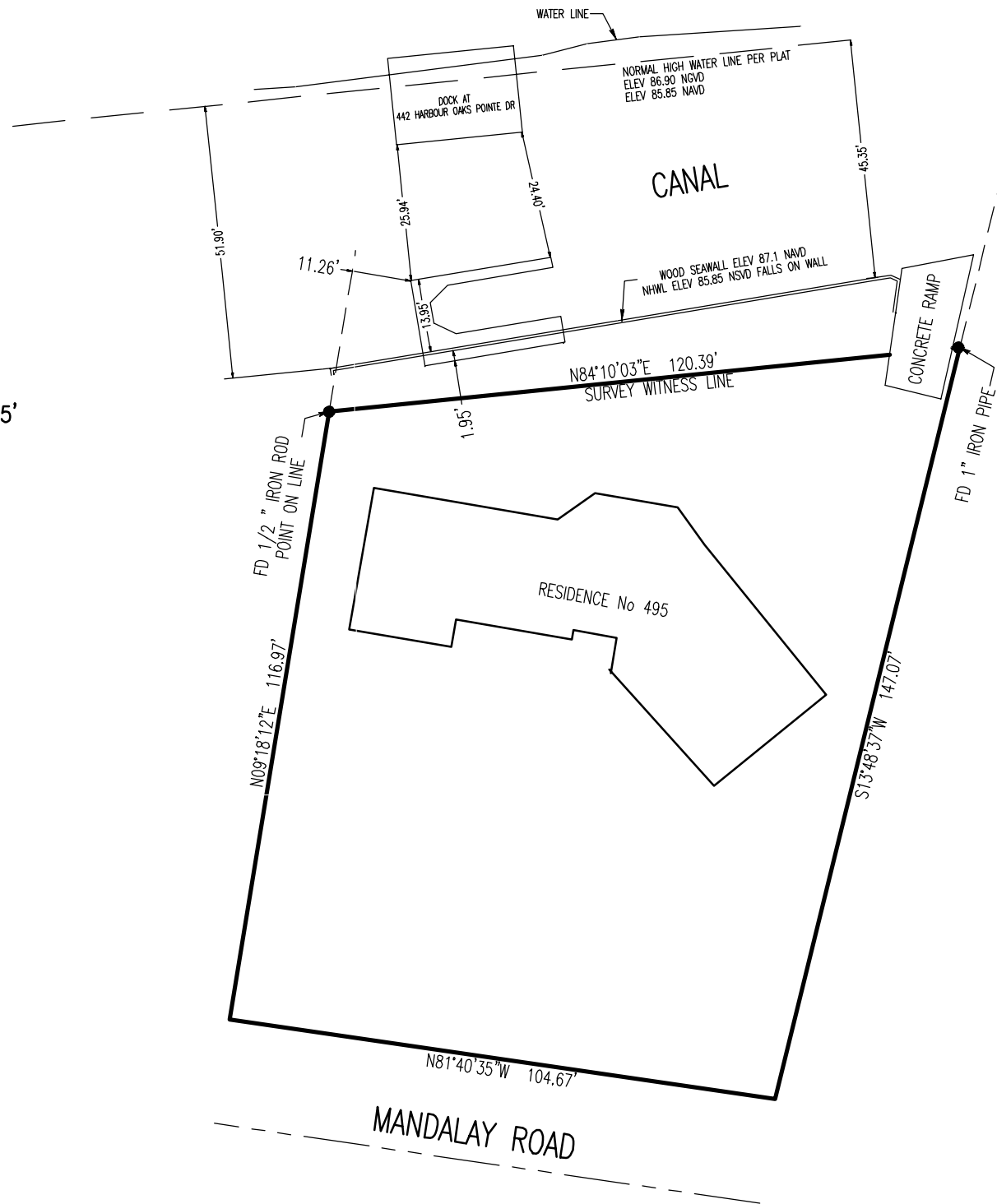
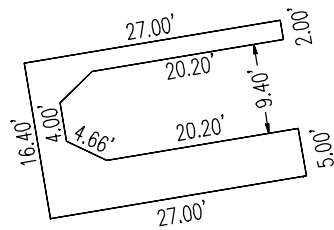
Table with 2 columns: Field Name, Value. Includes PARCEL ID# (13-23-29-5489-00-040) and LEGAL DESCRIPTION (MANDALAY SHORES 3/37 LOT 4).

Please hand deliver to Edgewood City Hall at 405 Larue Avenue. For additional questions, please contact Edgewood City Hall at (407) 851-2920, or send email to bmeeks@edgewood-fl.gov or srepp@edgewood-fl.gov. Revised: 10/4/2016

DOCK AS-BUILT SURVEY
 495 MANDALAY ROAD
 ORLANDO, FLORIDA 32809

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 CITY OF EDGEWOOD

DOCK DETAIL 1" = 20'
 NHWE = 85.85 (NAVD 1988)
 DECK ELEV = 87.5 NAVD
 ROOF HEIGHT FROM DECK = 10.5'



I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PREPARED UNDER MY DIRECTION AND THAT THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE ADOPTED "MINIMUM TECHNICAL STANDARDS" AS REQUIRED BY CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATE STATUTES.

EDWARD J MIZO
 PROFESSIONAL SURVEYOR AND MAPPER NO. 3376
 NOT VALID WITHOUT THE AUTHENTIC ELECTRONIC
 SIGNATURE AND SEAL OF A PROFESSIONAL SURVEYOR AND MAPPER.

SURVEYORS NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE REFERENCED PLAT.
2. ALL DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS NOTED.
3. THE MEASUREMENTS SHOWN HEREON ARE IN U.S. SURVEY FEET. THE ACCURACY OF THIS SURVEY EXCEEDS THE REQUIREMENTS OF FLORIDA ADMINISTRATIVE CODE 5J-17.

DOCK AS-BUILT FEB 27, 2022

AS-BUILT SURVEY
 DOCK AS-BUILT
 495 MANDALAY ROAD
 ORLANDO FL 32809

EDWARD MIZO PLS
 PROFESSIONAL LAND SURVEYOR
 175 ANCONA AVE
 DEBARY, FL 32713
 321-436-9391