



## APPLICATION FOR VARIANCE – BOAT DOCKS

Reference: City of Edgewood Code of Ordinances, Section 126-588

**REQUIRED FEE: \$350 RESIDENTIAL    \$750 COMMERCIAL**  
**(Plus Applicable Pass-Through Fees - Ordinance 2013-01)**

Please note this fee is non-refundable

<b>Office Use Only:</b>		Variance Application #:	2022-06
Received Date:	6/24/2022	Received by:	Brett Sollazzo
P&Z Meeting Date:	July 11, 2022	City Council Meeting Date:	August 16, 2022

**IMPORTANT:** A COMPLETE application with all required attachments and ten (10) copies must be submitted to the City Clerk 10 days before the next Planning & Zoning meetings. No application shall be deemed accepted unless it is complete and paid for. Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner.

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

Applicant's Name:	Sheila Cichra	Owner's Name:	Chris Pashley
Address:	1002 Fort Mason Dr, Eustis, FL 32726	Address:	525 Mandalay Road
Phone Number:	(407) 450-4241	Phone Number:	(407) 925-6907
Fax:		Fax:	
Email:	sheilacichra@gmail.com	Email:	CPtheCFP@yahoo.com
Legal Description:	MANDALAY SHORES 3/37 LOT 7		
Zoned:	R-1AA		
Location:	525 Mandalay Road - in rear of sfr		
Tract Size:	.53 acres		
City section of the Zoning Code from which Variance is requested:	Chapter 14, Sec. 14-11 Dock Construction, (b), (1)		
Request:	requesting permission to maintain a 6.93' side setback while adding a deck and boathouse		
Existing on Site:	a single family residence with a pool and a boat dock		

The applicant hereby states that this request for Variance does not violate any deed restrictions on the property.  
**Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.**



**The planning and zoning board shall hear and make a recommendation to the city council on any application for variance. To recommend to the city council such variance, the following factors shall be considered:**

- a. Average length of other docks in the surrounding 300-foot area;
- b. The reasonable use of the property by the owner;
- c. The effects the dock will have on navigation and safety of boaters;
- d. The overall general welfare of the neighborhood;
- e. Whether special conditions exist such that strict compliance with the provisions of this article would impose a unique and unnecessary hardship on the applicant;
- f. The effect of the proposed variance on abutting shoreline property owners;
- g. Whether the granting of the variance would be contrary to the intent and purpose and this article; and
- h. A variance may be granted if it is necessary to reach a water depth suitable for boating, but in no event shall a dock be extended in length beyond where the water depth will exceed five feet as measured from the normal high water elevation.

**Applicant must agree that:**

1. In granting any variance, the City may prescribe appropriate conditions and safeguards in conformity with the Ordinances, and any regulations enacted under its authority. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted shall be deemed a violation of Edgewood ordinances.

<b>AGREE:</b>	✓	<b>DISAGREE:</b>	
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2. The variance recommended by the Planning and Zoning Board and approved by the City Council shall expire in 12 months in accordance with Chapter 134-104 (3) (e).

<b>AGREE:</b>	✓	<b>DISAGREE:</b>	
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The applicant hereby states that the above request for Variance does not violate any deed restrictions on the property.

Applicant's Signature:		Date:	June 23, 2022
Applicant's Printed Name:	Sheila Cichra		
Owner's Signature:		Date:	
Owner's Printed Name:			

Please submit your completed application to City Hall via email at [bmeeks@edgewood-fl.gov](mailto:bmeeks@edgewood-fl.gov) or [sriffle@edgewood-fl.gov](mailto:sriffle@edgewood-fl.gov), via facsimile to 407-851-7361, or hand deliver to City Hall located at 405 Bagshaw Way. For additional questions, please contact City Hall at 407-851-2920.



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6/3/2022

CITY OF EDGEWOOD

**Agent Authorization Form**

**FOR PROJECTS LOCATED IN THE CITY OF EDGEWOOD**

Please type or print in **BLACK INK**. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

I/WE, (PRINT PROPERTY OWNER NAME) Christopher C Pashley Life Estate, AS

THE OWNER(S) OF THE REAL PROPERTY DESCRIBED AS FOLLOWS, 525 Mandaly Road

Edgewood, FL 32809, DO HEREBY AUTHORIZE TO ACT AS MY/OUR

AGENT (PRINT AGENT'S NAME) Sheila Cichra, TO EXECUTE ANY PETITIONS OR

OTHER DOCUMENTS NECESSARY TO AFFECT THE APPLICATION APPROVAL REQUESTED AND MORE SPECIFICALLY DESCRIBED AS FOLLOWS AND TO APPEAR ON MY /OUR BEHALF BEFORE ANY ADMINISTRATIVE OR LEGISLATIVE BODY IN THE COUNTY CONSIDERING THIS APPLICATION AND TO ACT IN ALL RESPECTS AS OUR AGENT IN MATTERS PERTAINING TO THE APPLICATION. BY SIGNING THIS AUTHORIZATION, THE OWNER AGREES TO BE BOUND BY THE ACTIONS OF THE AUTHORIZED AGENT AND THE PROVISIONS OF CHAPTER 101, ARTICLE I, ENTITLED "PASS-THROUGH FEES" AND ACKNOWLEDGE AND AGREES THAT A LIEN MAY BE PLACED ON THE PROPERTY FOR NON-PAYMENT OF PASS-THROUGH FEES AS PROVIDED IN THE CITY CODE.

Date: 4/11/22

Signature of Property Owner

Christopher Pashley

Print Name Property Owner

Date: \_\_\_\_\_

Signature of Property Owner

Print Name Property Owner

STATE OF FLORIDA:

COUNTY OF ORANGE

I certify that the foregoing instrument was acknowledged before me this 11 day of April, 2022 by Christopher C Pashley. He/she is personally known to me or has produced \_\_\_\_\_ as identification and did/did not take an oath.

Witness my hand and official seal in the county and state stated above on the 11 day of April in the year 2022.



(Notary Seal)

Lori L Murphy  
Signature of Notary Public

Notary Public for the State of Florida

My Commission Expires: 03/22/2026

<b>Legal Description(s) or Parcel Identification Number(s) are required:</b>	
PARCEL ID#:	<u>13-23-29-5489-00-070</u>
LEGAL DESCRIPTION:	<u>MANDALAY SHORES 3/37 LOT 7</u>

Please hand deliver to Edgewood City Hall at 405 Larue Avenue. For additional questions, please contact Edgewood City Hall at (407) 851-2920, or send email to [bmeeks@edgewood-fl.gov](mailto:bmeeks@edgewood-fl.gov) or [srepp@edgewood-fl.gov](mailto:srepp@edgewood-fl.gov). Revised: 10/4/2016

I, Eric Baker, owner of 535 Mandalay Road, on the Bali Hai Lagoon of Lake Conway, have reviewed my adjacent property owner's proposed boat dock construction plan and have no objection to the project, which will maintain the current side setback of 6.93'.

[Handwritten Signature]

(Signature)

6/5/2022

(Date)

Eric Baker

(Print Name)

ACKNOWLEDGEMENT:

STATE OF FLORIDA

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 5<sup>th</sup> day of June, 2022, by Sandra M. McMillan.



[Handwritten Signature]  
(Signature of Notary Public – State of Florida)

Personally Known  OR Produced Identification

Type of Identification Produced \_\_\_\_\_



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**6/3/2022**

**CITY OF EDGEWOOD**



Date: June 3, 2022  
To: City of Edgewood  
From: Sheila Cichra  
Re: 525 Mandalay Road – boat dock side setback variance

The attached application package is a variance request to allow for a boathouse and covered deck to be added onto an existing dock, which currently has a 6.93' side setback, in lieu of the required 10' side setback (with a setback waiver).

The existing dock has been there for about 20 years and was inadvertently constructed too close to the property line, due to a fence that was not installed on the shared property line, but almost 30' North (near the NHWE) of the shared property line.

Due to the location of the fence, the minimal deviation from the code is not at all noticeable and the adjacent affected property owner has signed a letter of no objection.

All other aspects of the code, such as square footage, deck and roof height and percentage of obstruction of the canal, are met by the proposed boat dock addition.

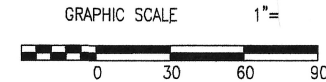
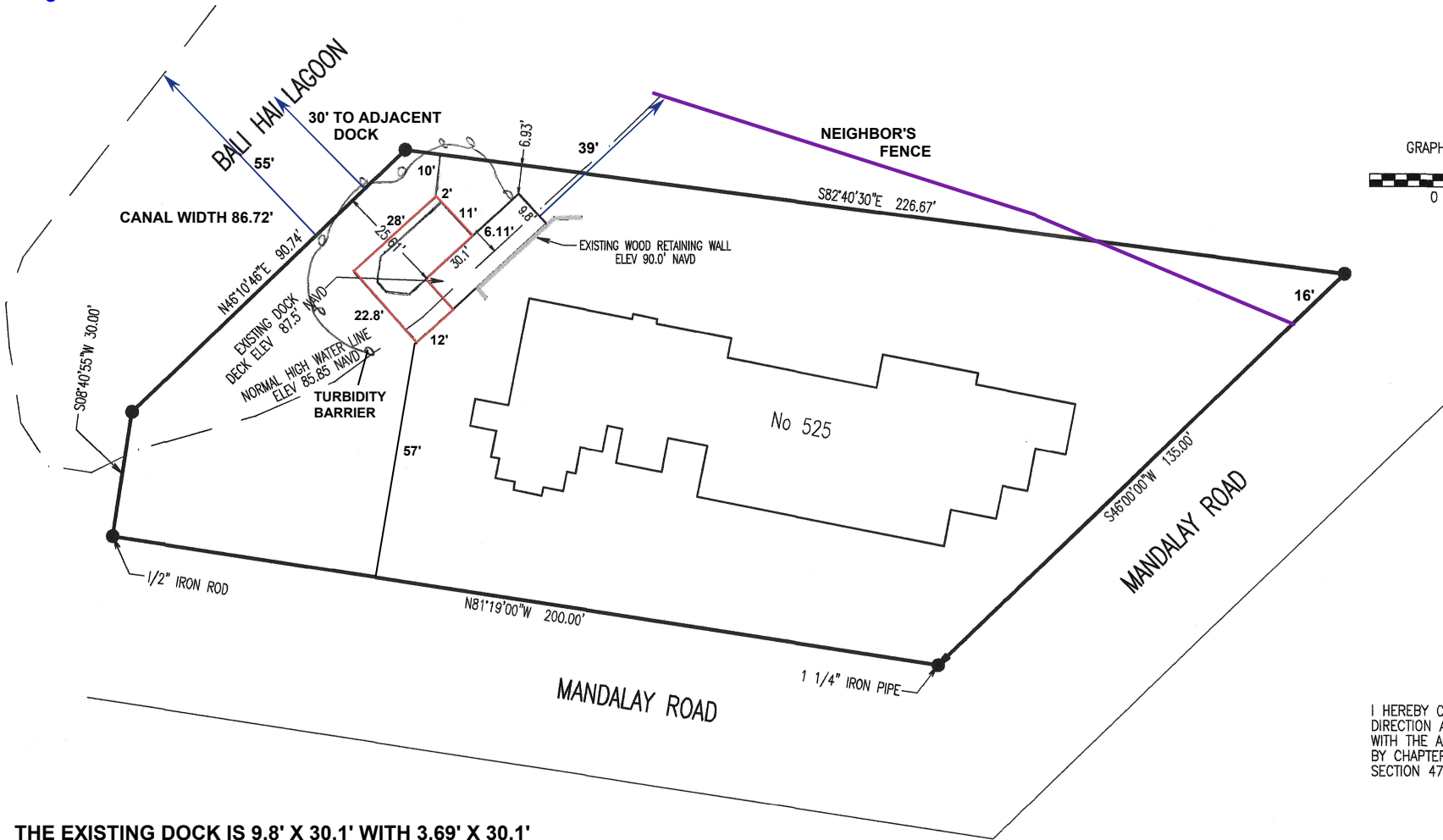
Thank you for your consideration.

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# PASHLEY BOAT DOCK SITE PLAN

ADD A 12' X 9.8' DECK AND A 13' X 28' BOATHOUSE TO THE EXISTING DOCK

525 MANDALAY ROAD  
ORLANDO, FLORIDA 32809



THE EXISTING DOCK IS 9.8' X 30.1' WITH 3.69' X 30.1' ABOVE THE NHWE & 6.11' X 30.1' BELOW THE NHWE

PROPOSED CANAL OBSTRUCTION IS 19.11' OR 22% OF THE CANAL

I HEREBY CERTIFY THAT THIS AS-BUILT SURVEY HAS BEEN PREPARED UNDER MY DIRECTION AND THAT THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE ADOPTED "MINIMUM TECHNICAL STANDARDS" AS REQUIRED BY CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATE STATUTES.

SURVEYORS NOTES:

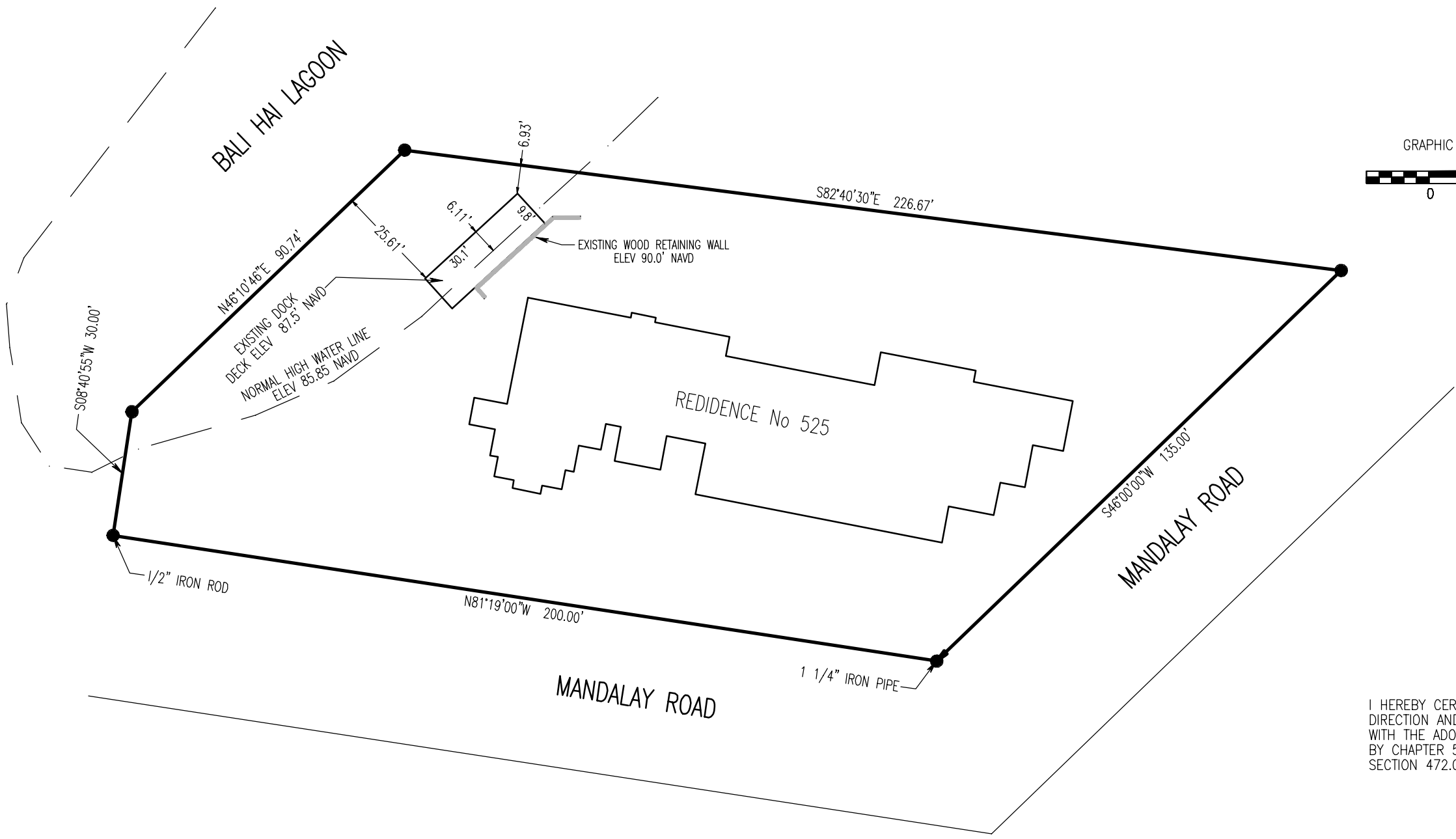
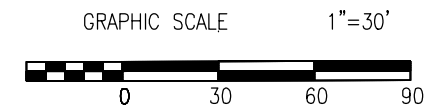
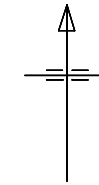
1. BEARINGS SHOWN HEREON ARE BASED ON THE REFERENCED PLAT.
2. ALL DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS NOTED.
3. THE MEASUREMENTS SHOWN HEREON ARE IN U.S. SURVEY FEET. THE ACCURACY OF THIS SURVEY EXCEEDS THE REQUIREMENTS OF FLORIDA ADMINISTRATIVE CODE 5J-17.

DOCK AS-BUILT MAY 25, 2022

525 MANDALAY ROAD  
ORLANDO, FL 32809

EDWARD MIZO PLS  
PROFESSIONAL LAND SURVEYOR  
175 ANCONA AVE  
DEBARY, FL 32713  
321-436-9391

DOCK AS-BUILT SURVEY  
 525 MANDALAY ROAD  
 ORLANDO, FLORIDA 32809



I HEREBY CERTIFY THAT THIS AS-BUILT SURVEY HAS BEEN PREPARED UNDER MY DIRECTION AND THAT THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE ADOPTED "MINIMUM TECHNICAL STANDARDS" AS REQUIRED BY CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATE STATUTES.

EDWARD J MIZO  
 PROFESSIONAL SURVEYOR AND MAPPER NO. 3376  
 NOT VALID WITHOUT THE AUTHENTIC ELECTRONIC  
 SIGNATURE AND SEAL OF A PROFESSIONAL SURVEYOR AND MAPPER.

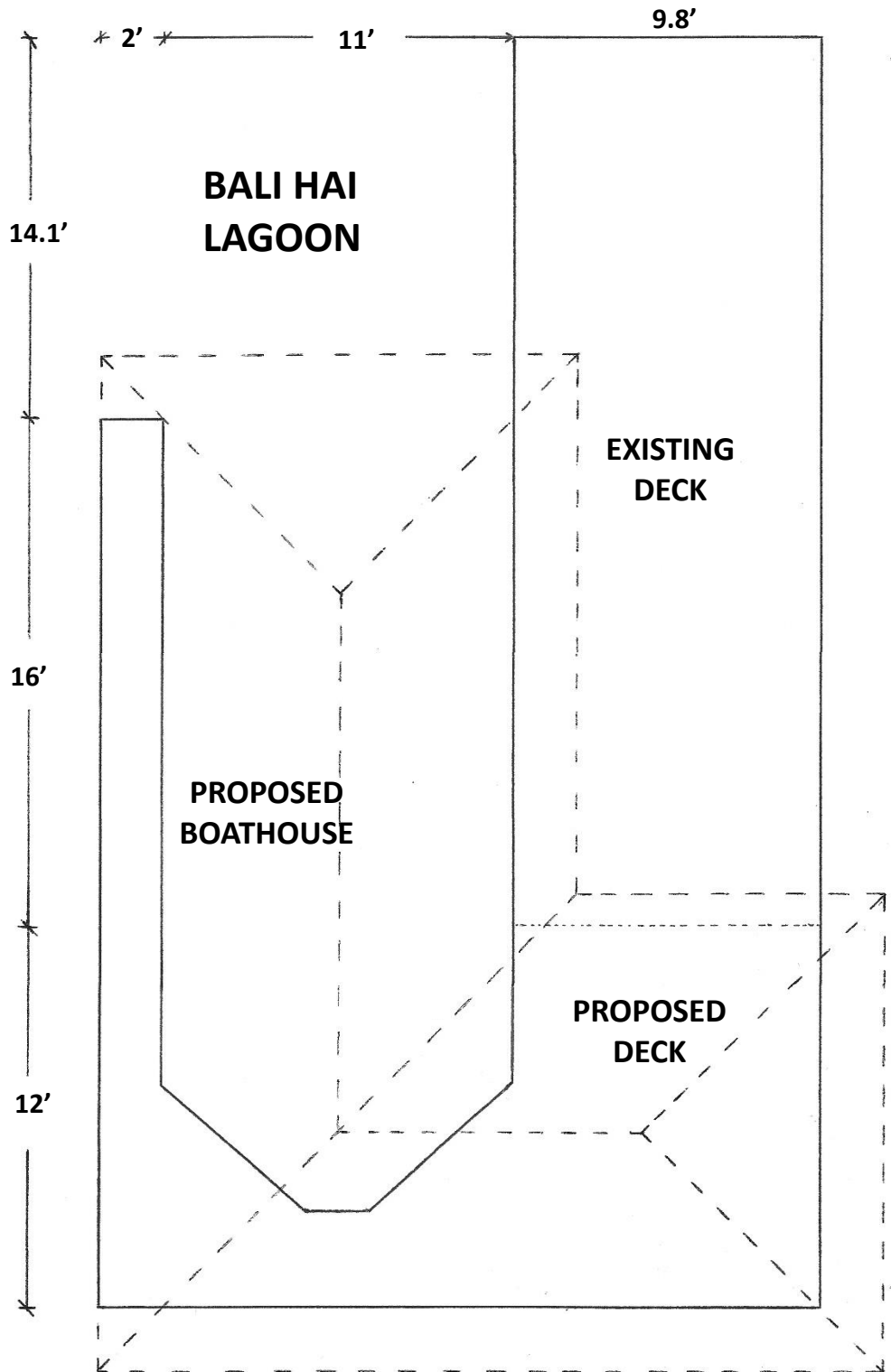
- SURVEYORS NOTES:
1. BEARINGS SHOWN HEREON ARE BASED ON THE REFERENCED PLAT.
  2. ALL DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS NOTED.
  3. THE MEASUREMENTS SHOWN HEREON ARE IN U.S. SURVEY FEET. THE ACCURACY OF THIS SURVEY EXCEEDS THE REQUIREMENTS OF FLORIDA ADMINISTRATIVE CODE 5J-17.

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EDWARD MIZO PLS PROFESSIONAL LAND SURVEYOR	AS-BUILT SURVEY	DOCK AS-BUILT	MAY 25, 2022
175 ANCONA AVE DEBARY, FL 32713 321-436-9391	525 MANDALAY ROAD ORLANDO, FL 32809		

# Plan View

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EXISTING:  
9.8' X 30.1' DECK  
PROPOSED:  
9.8' X 12' DECK  
13' X 28' BOATHOUSE  
776.58 TOTAL SQ FT

**Pashley**

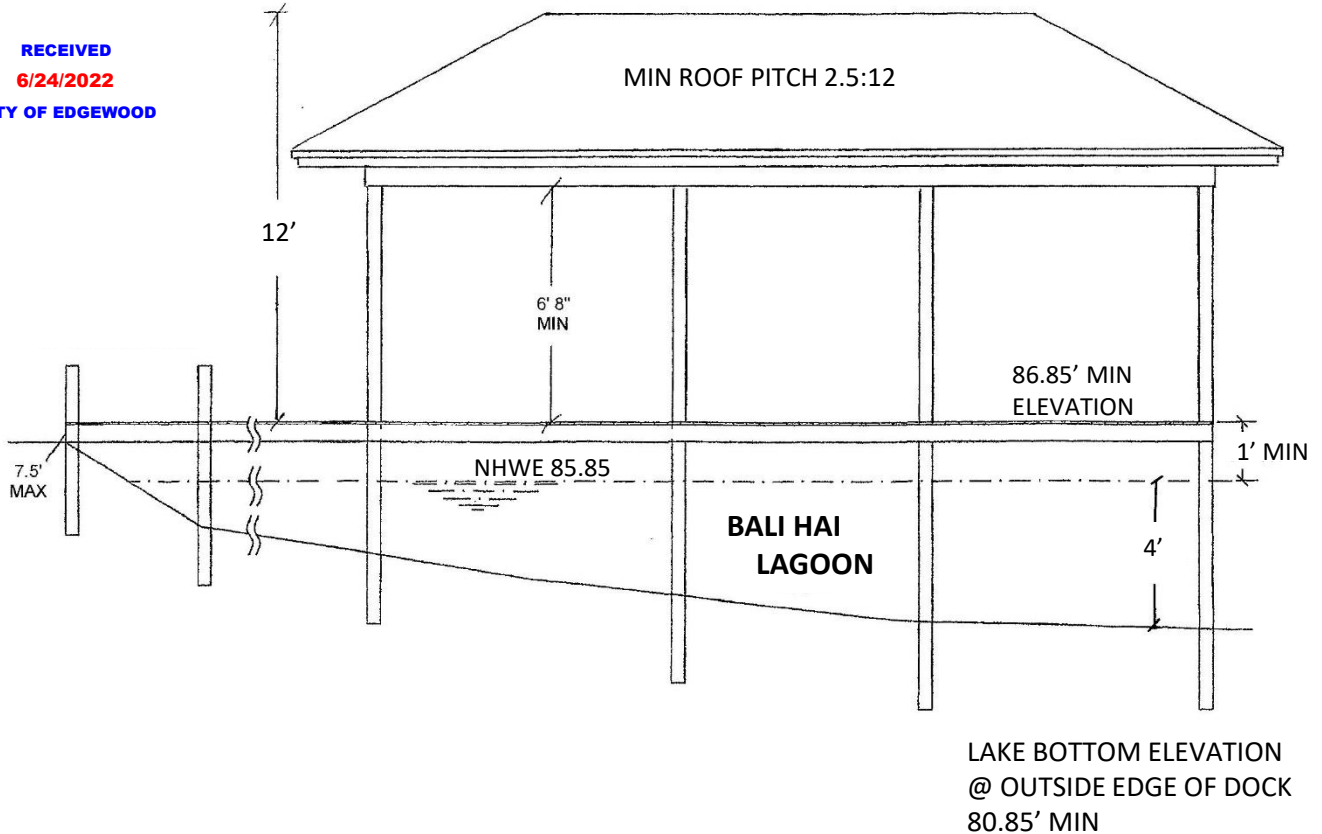
**525 Mandalay Road, Edgewood**



# Elevation and FBC Specs

ROOF HEIGHT NOT TO EXCEED 13' ABOVE NHWE, INCLUDING ROOFING MATERIAL

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THIS STRUCTURE HAS BEEN DESIGNED TO MEET THE 2020 FLORIDA BUILDING CODE, 7<sup>TH</sup> EDITION AND ASCE 7- 16 AND 2017 NATIONAL ELECTRIC CODE.

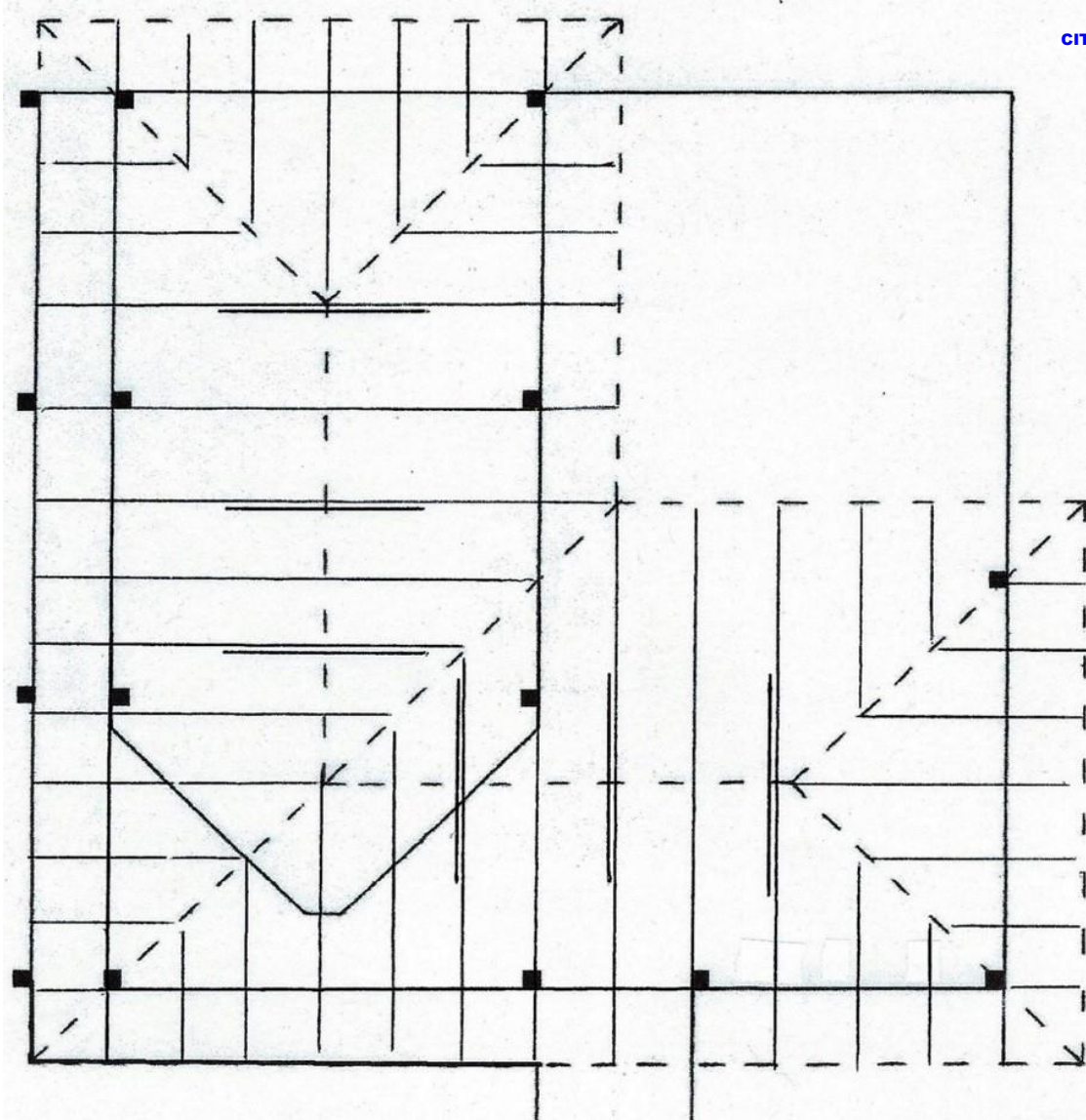
1. BASIC WIND SPEED ( $V_{asd}$ ) = 108 MPH, ULTIMATE WIND SPEED ( $V_{ult}$ ) = 140 MPH
2. IMPORTANCE FACTOR:  $I = 1.0$
3. WIND EXPOSURE = CATEGORY D
4. OPEN STRUCTURE WITH A ZERO PRESSURE COEFFICIENT

Pashley

525 Mandalay Road, Edgewood

# Roof Framing

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2 X 6 RAFTERS 2' O.C. W/(3) 10d TOE NAILS TO HIPS AND RIDGE  
2 X 6 COLLAR TIES 4' O.C. W/(4) 10d NAILS EACH END  
2 X 8 HIPS & VALLEYS W/(4) 10d TOE NAILS EA END  
2 X 6 FASCIA W/(2) 10d NAILS TO RAFTERS  
(2) 2 X 10 PERIMETER BEAM W/(2) ½" HDG THRU BOLT  
6 X 6 PILINGS 12' O.C. MAX  
FLASHING WILL BE INSTALLED IN THE VALLEY  
FLAT CONCRETE TILE INSTALLED PER MANUFACTURER'S SPECS

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**525 Mandalay Road, Edgewood**

Darcy Unroe, PE # 60929 P.O. Box 690942, Orlando, FL 32869 (407) 299-0650

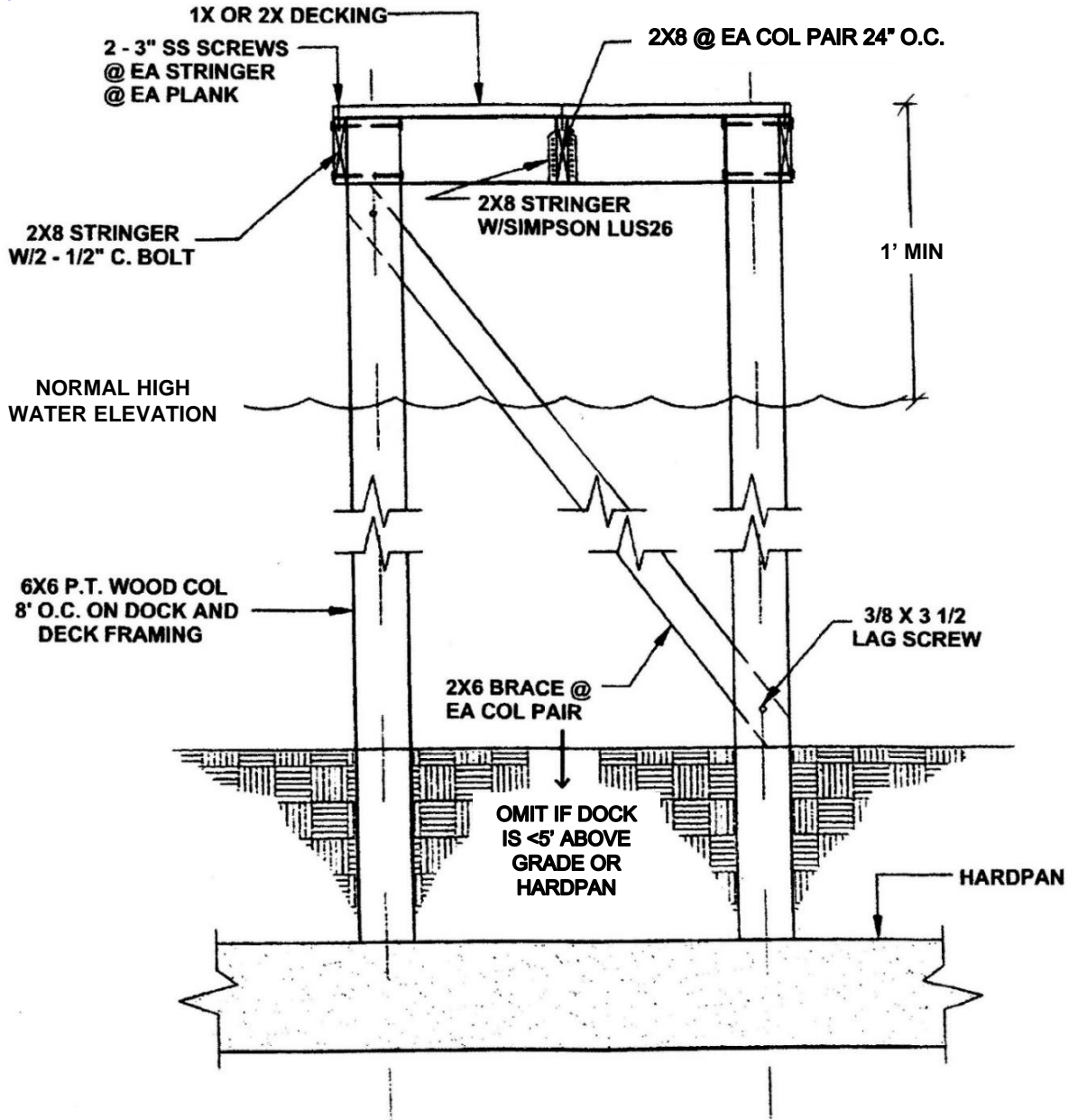


# Dock/Deck Cross Section and Bracing

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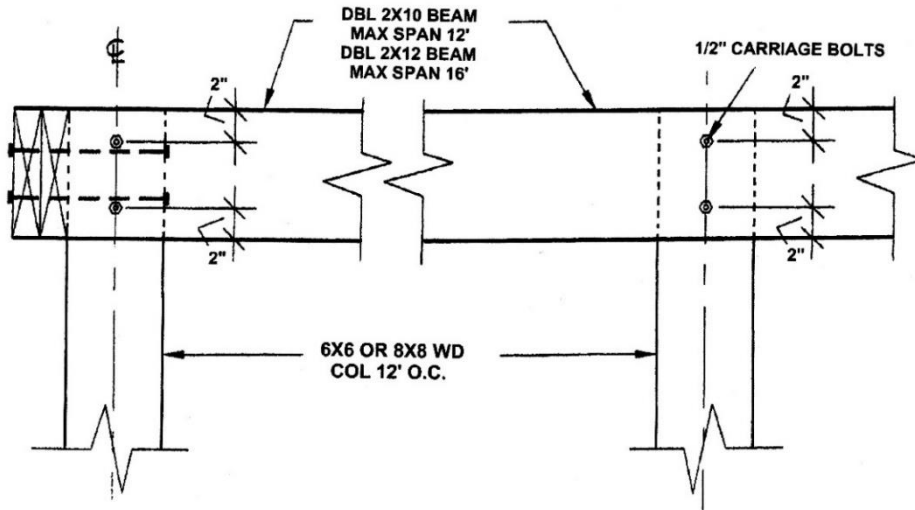
Pashley

525 Mandalay Road, Edgewood

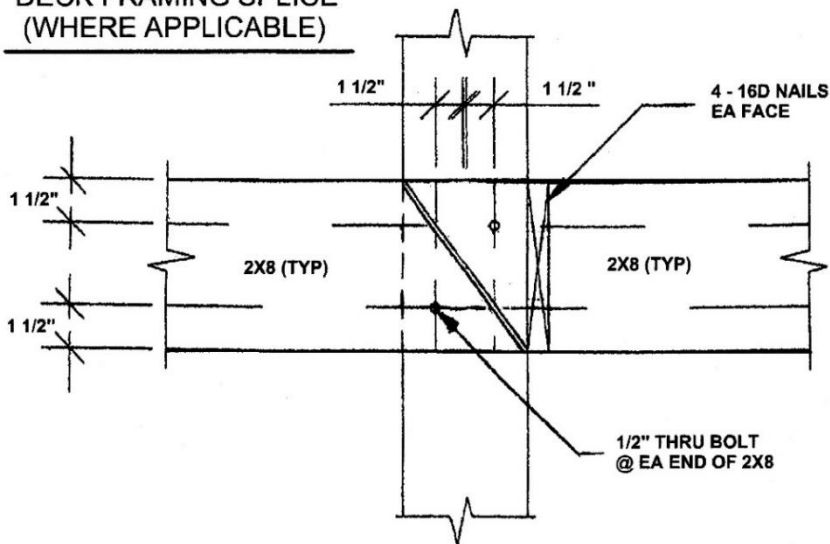
# Details and Specifications (P. Beam and Framing Splice)

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## P. BEAM DETAIL



## DECK FRAMING SPLICE (WHERE APPLICABLE)



**Pashley**

**525 Mandalay Road, Edgewood**

# Design Standards

The following are general design standards. More stringent design standards may be noted on the plans.

## **General Requirements:**

Reproductions of contract drawings by contractor in lieu of preparation of shop drawings signifies acceptance of information shown as correct and obligates himself to any expense, real or implied, arising from their use. A change to the structural drawings due to the acceptance of alternates and/or substitutes is the responsibility of the contractor and must be submitted to the engineer for approval. The general contractor and each subcontractor shall verify all existing conditions prior to the start of any work. All inconsistencies shall be reported to the designer and/or structural engineer, if needed. Should contractor construct the premises in a fashion not consistent with the plans prepared by the designer and/or structural engineer, or in any fashion, change the plans and drawing without the review and approval from the designer and/or structural engineer. Then designer and/or structural engineer shall bear no responsibility or liability for the construction of premises and accuracy of the drawings.

## **Structural Aluminum:**

Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.

All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

## **Timber :**

Design in accordance with the National Design specification for wood construction. All graded structural lumber shall be pressure treated and meet the following minimum requirements:

Minimum bending stress = 1250 psi

Young Modulus = 1,600 ksi

Maximum of 15% moisture content

Contractor to use - Southern Yellow Pine No. 2, U.N.O.

Lumber sizes shown are nominal sizes. Lumber shall be furnished in finished sizes meeting the requirement of the American Softwood Lumber Standard.

## **Galvanized Bolts:**

All bolts shall be galvanized be ASTM A36, threaded round stock with a minimum yield stress of 36,000 psi.

## **Design Loads:**

Pursuant to Chapter 16 –Table 1607.1

Deck Live Load: 60 psf

Deck Dead Load: 10 psf

Roof Live Load: 20 psf

Handrail / Guardrails Post: 200 lbs acting horizontally on top of the Post, 42" A.F.F.

Guardrails and handrails : 50 plf at top rail

Guardrail in fill components: 50 psf

Stair L.L. : 100 psf

Components and cladding, design wind pressures + 38psf / -38psf

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6/24/2022

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**Pashley**

**525 Mandalay Road, Edgewood**

**Darcy Unroe, PE # 60929 P.O. Box 690942, Orlando, FL 32869 (407) 299-0650**