

EATONVILLE TOWN HALL ROOF IMPROVEMENTS



307 EAST KENNEDY BLVD.
EATONVILLE, FLORIDA 32751

****BID SET****

GRAPHIC SYMBOL KEY

DRAWING INDEX

GENERAL NOTES

CODE AND BUILDING DATA

Project Scope

THIS PROJECT CONSISTS OF REMOVAL OF EXISTING MODIFIED BITUMEN AND BALLASTED ROOFING MEMBRANE AND SUBSTRATE. EXISTING WOOD DECK AND STRUCTURE TO REMAIN, UNLESS NOTED OTHERWISE. THE PROJECT WILL INCLUDE ADDED TAPERED INSULATION ON ROOF WITH MECHANICALLY FASTENED PVC ROOF MEMBRANE. CLEANING AND PAINTING OF EXISTING METAL MANSARD ROOF AND RESTORATION OF ENTRY CANOPY CEILING. IN ADDITION THIS PROJECT WILL INCLUDE COMPLETE REPLACEMENT OF 4 ROOF TOP AND RELOCATION OF 2 ROOF TOP UNITS.

Building Codes

Governing Jurisdiction: TOWN OF EATONVILLE
Building Code Edition: FLORIDA BUILDING CODE 7TH EDITION
Fire Code: FLORIDA FIRE PREVENTION CODE 7TH EDITION
Life Safety Code: NFPA 101, LIFE SAFETY CODE - FLORIDA AMENDED 7TH EDITION
Accessibility Code: FLORIDA BUILDING CODE 7TH EDITION
Plumbing Code Edition: FLORIDA BUILDING CODE 7TH EDITION
Mechanical Code Edition: FLORIDA BUILDING CODE 7TH EDITION
Electrical Code Edition: FLORIDA BUILDING CODE 7TH EDITION - CHAPTER 27
Additional Code Edition: ADDITIONAL CODE
Notice Of Acceptance: TBD

Use and Occupancy Classification

(B) BUSINESS

Construction Classification (TYPE)

V-B

Occupancy Load Calculation

NOT APPLICABLE

Florida Product Approvals

ROOF MEMBRANE FL 16036-R18

SHEET NUMBER	SHEET TITLE	Current Revision	Current Revision Date
GENERAL INFORMATION			
G000	COVER		
ARCHITECTURE			
A150	EXISTING ROOF PLAN		
A151	ROOF PLAN		
A551	DETAILS - ROOF		
10-MECHANICAL			
M000	MECHANICAL LEGEND		
M001	MECHANICAL SPECIFICATIONS		
M211	MECHANICAL ROOF DEMO PLAN		
M212	MECHANICAL ROOF PLAN		
M701	MECHANICAL DETAILS		

- The required flame spread or smoke developed index of surfaces in existing buildings may be achieved by application of approved fire-retardant coatings & shall comply with NFPA 703 (IFC 803.4).
- All electrical work shall conform to local codes, the requirements of the national electrical code, & NFPA 72.
- The scope of work shall include furnishing of all materials, equipment, tools, labor and services necessary for delivery of a complete project.
- Contractors shall not scale these drawings for construction purposes. In the event of omission of necessary dimensions or information, Contractor shall notify the architect promptly and descriptively. Figured and calculated dimension shall take precedence over scaled measurements. Detailed drawings and larger scale drawings shall take precedence over smaller scaled drawings. All plan details and wall sections are assumed to be typical conditions unless detailed or noted otherwise.
- All Finished Floor Elevations (F.F.E.) RE: to architectural drawings only. RE: Civil drawings for relationship to project benchmark(s).
- GC shall verify all dimensions, conditions, and grades at job site, before and during construction. All contractors shall coordinate their work with other trades and report discrepancies, prior to their construction, to the architect for review and clarification and/or action.
- GC shall become familiar with and verify size, locations, and characteristics of all equipment to be furnished with manufacturers or suppliers before beginning construction.
- GC shall verify size and locations of all openings for mechanical and electrical equipment and related work with contractors involved and equipment to be furnished. For construction details not shown, GC shall use the manufacturers' standard details or approved shop drawings / data sheets, in accordance with the project specifications and design intent.
- GC shall coordinate all trades, sub-contractors, etc. with the plumbing, mechanical, electrical, designs of the document set prior to proceeding with the work and shall notify the architect promptly and descriptively of any discrepancies or conflicts. All discrepancies shall be resolved prior to the contractor proceeding with the work.
- Additional work, if applicable, Must be authorized in writing by the owner AND architect, with a formal Request For Information (RFI) process. GC shall issue an RFI to the architect promptly and descriptively for review and response by the architect. If the clarification and/or supplemental information involves an adjustment to the contract sum, the architect shall coordinate with the owner and issue a work change proposal request to the GC to obtain price quotations needed for negotiating changes in the construction contract for construction.
- All products used for construction and utilized during construction, shall be asbestos free.
- GC shall verify that all work will conform to all local, state, and national building codes, including accessibility requirements. GC shall perform all work in conformity with all laws/regulations/codes having jurisdiction, whether or not such work is specifically shown in the document set, including all seismic, High-Velocity wind zone, or other applicable requirements.
- GC shall review and become familiar with all existing conditions prior to commencing the work. Any conditions not documented as part of the full document set or observed to be different from the full document set, shall be reported to the architect and owner promptly and descriptively, prior to beginning construction.
- GC shall be responsible for the quality of workmanship and compliance with the design intent of the document set. GC shall correct all errors and deviations as requested by the owner.
- GC shall maintain a fire response plan and equipment as required per the Fire Marshal having jurisdiction.
- GC shall contact any and all relevant local utilities to submit all applicable permit documents, qualifications, and required information, and shall be responsible for all fees associated with the permits, utility extensions, Tap-Ins, etc. GC shall promptly and descriptively provide the architect with all permit review comments from relevant agencies, municipalities and/or entities. Architect shall submit documents for permit plan review and owner review. The GC shall be responsible for obtaining the permits and all permit and inspection costs.
- GC shall remove all debris, as a result of the work for this project, on a daily basis or as directed by the owner and/or owners representatives or agent. GC shall maintain a generally clean and organized work site and shall prevent effects from the work to areas outside the work area. Upon completion of the work, the job site, building interior, exterior areas, and all associated items and areas of the work, shall be thoroughly cleaned. The GC shall remove all rubble, tools, equipment, excess materials and items associated with the construction, from the premises. The project is to be provided in a perfectly clean condition.
- Each sub-contractor is responsible to coordinate and schedule their work with the GC and all other contractors who's work may be affected.
- Parking for the work by construction staff, contractors, consultants, etc. shall be limited to the areas designated. GC shall coordinate with owner for parking locations.
- GC shall maintain the area of work / construction site and associated work areas in a weather-tight fashion and secured condition at all times. GC shall take all precautions necessary to maintain and secure the area of work.
- GC shall inform the owner immediately upon discovery/encountering any and all hazardous materials.

ABBREVIATIONS

AB - ANCHOR BOLT	EJ - EXPANSION JOINT	NIC - NOT IN CONTRACT
ACT - ACOUSTICAL CEILING TILE	EW - EACH WAY	NOM - NOMINAL
ADJ - ADJUSTABLE	EXT - EXTERIOR	NTS - NOT TO SCALE
AFF - ABOVE FINISH FLOOR	FD - FLOOR DRAIN	O/C - ON CENTER
ALT - ALTERNATE	FE - FIRE EXTINGUISHER	PL - PLATE/PROPERTY LINE
ALUM - ALUMINUM	FIN - FINISH	PM - PROJECT MANAGER
ARCH - ARCHITECTURAL	FM - FACTORY MUTUAL	PR - PAIR
BJ - BAR JOIST	FR - FIRE RATED	PT - PRESERVATIVE
BLDG - BUILDING	FRT - FIRE RETARDANT TREATED	TREATED
BM - BEAM	FS - FLOOR SINK	RAD - RADIUS
BRG - BEARING	FV - FIELD VERIFY	REINF - REINFORCE(ED)(ING)
BRK - BRICK	FTG - FOOTING	REP - REPRESENTATIVE
C/C - CENTER TO CENTER	GA - GAUGE	REQD - REQUIRED
CJ - CONTROL JOINT	GALV - GALVANIZED	SF - SQUARE FEET
CKT - CIRCUIT	GP - GUARD POST	SPECS - SPECIFICATION(S)
CLG - CEILING	GWB - GYPSUM WALL BOARD	STRUCT - STRUCTURAL
COL - COLUMN	HC - HANDICAPPED	STL - STEEL
CONC - CONCRETE	HM - HOLLOW METAL	SS - STAINLESS STEEL
CONST - CONSTRUCTION	HR - HOUR	TEMP - TEMPERED
CONT - CONTINUOUS	HT - HEIGHT	TG - TRUSS GIRDER
CONTR - CONTRACTOR	HVAC - HEATING, VENTILATING, AIR	T&G - TOUNGE AND GROOVE
CL - CENTER LINE	CONDITIONING	T/JST - TOP OF JOIST
CMU - CONCRETE MASONRY UNIT	INSUL - INSULATION	TOS - TOP OF STEEL
CRS - COURSE	JB - JUNCTION BOX	TOM - TOP OF MASONRY
DEM - DEMISING	LF - LINEAL FEET	TYP - TYPICAL
DIA - DIAMETER	LG - LONG	UNO - UNLESS NOTED
DIM - DIMENSION	LLH - LONG LEG HORIZONTAL	OTHERWISE
DN - DOWN		VT - TILE
DS - DOWNSPOUT	LLV - LONG LEG VERTICAL	VCT - VINYL COMPOSITION
DW - DRYWALL	MASY - MASONRY	TILE
DWGS - DRAWINGS	MFR - MANUFACTURER	VWC - VINYL WALL COVERING
EF - EACH FACE	MECH - MECHANICAL	W/ - WITH
ELEC - ELECTRICAL	MO - MASONRY OPENING	W/O - WITHOUT
EQ - EQUAL	MET - METAL	

Team Members

Architect	TBD-Arch	Structural	TBD-Struct Engineer	TBD-Mech Engineer	Electrical	TBD-Elec Engineer
Contact:	TBD-Arch Contact	Contact:	TBD-Struct Contact	Contact:	TBD-Mech Contact	TBD-Elec Contact
Email:	TBD-Arch Email	Email:	TBD-Struct Email	Email:	TBD-Mech Email	TBD-Elec Email
Address:	Architectural ADDRESS CITY, STATE, ZIPCODE	Address:	Structural ADDRESS CITY, STATE, ZIPCODE	Address:	Mechanical ADDRESS CITY, STATE, ZIPCODE	Electrical ADDRESS CITY, STATE, ZIPCODE
Phone:	TBD-Arch Phone	Phone:	TBD-Struct Phone	Phone:	TBD-Mech Phone	TBD-Elec Phone



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Plans Prepared By :
CPH, CONSULTING LLC.

State of Florida Licenses:
Architect No. AA2600926
Engineer No. 3215
Landscape No. LC000298
Surveyor No. 7143

Architect of Record
TBD-Arch License
TBD-Arch

Designed: CPH
Drawn: JKM
Checked: BKS
Job No.: E6611
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COVER
EATONVILLE TOWN HALL ROOF
IMPROVEMENTS
307 EAST KENNEDY BLVD.
EATONVILLE, FLORIDA 32751

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COMPLETE SET OF PLANS.
SEE GENERAL NOTES FOR
MASTER LEGEND

Sheet No.
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DEMOLITION GENERAL NOTES

- 1 PRIOR TO DEMOLITION, CUTTING AND PATCHING, THE CONTRACTOR SHALL LOCATE AND DISCONNECT UTILITY SERVICES AND ELECTRICAL / MECHANICAL SYSTEMS, OR TEMPORARILY CAP OFF SUCH SERVICES TO THE
2 AFFECTED AREAS. SEE NOTICE TO, AND COORDINATE WITH UTILITY COMPANIES. OBTAIN WRITTEN APPROVAL FROM THE OPERATOR OF SUCH SERVICES. INTERRUPT SUCH SERVICES BY INTERRUPTION OF SERVICES.
3 ALL MEASUREMENTS INDICATED ON THE PLAN SHALL BE VERIFIED ON THE ACTUAL CONDITION. ANY DISCREPANCY IN THE MEASUREMENT SHALL BE REPORTED TO THE ARCHITECT BEFORE THE START OF DEMOLITION.
4 DO NOT SCALE DRAWINGS. ALL MEASUREMENTS INDICATED ON THE PLAN SHALL BE VERIFIED ON THE ACTUAL CONDITION. ANY DISCREPANCY IN THE MEASUREMENT SHALL BE REPORTED TO THE ARCHITECT BEFORE THE START OF DEMOLITION.
5 DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO EXISTING STRUCTURE. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO EXISTING STRUCTURE.
6 STRUCTURAL REQUIREMENTS: DO NOT CUT AND PATCH STRUCTURAL WORK IN A MANNER WHICH WILL REDUCE LOAD-CARRYING CAPACITY OR LOAD DEFLECTION RATIO. WHERE STRUCTURAL WORK MUST BE CUT, PROVIDE ADEQUATE TEMPORARY SUPPORT (BRACING AND/OR SHORING) TO RESIST VERTICAL, LATERAL AND DYNAMIC LOADS IN THE ENTIRE TRIBUTARY AREA OF THE AFFECTED STRUCTURAL MEMBERS. WHERE REQUIRED, ENGAGE A LICENSED STRUCTURAL ENGINEER TO DESIGN SHORING / BRACING SYSTEMS AND JOINT OR CONNECTION DETAILS.
7 ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK w/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
8 DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
9 STRUCTURAL REQUIREMENTS: DO NOT CUT AND PATCH WORK IN A MANNER WHICH WILL RESULT IN LESSENING OF THE AESTHETIC QUALITIES OF THE BUILDING OR SITE. OR THAT WILL RESULT IN VISUAL EVIDENCE OF CUT AND PATCH WORK. WHERE REQUIRED, EXTEND FINISH MATERIALS OVER ANY OTHER UNBROKEN SURFACE AREAS AFFECTED BY CUT AND PATCH WORK. REMOVE AND REPLACE CUT AND PATCH WORK WHICH DOES NOT MEET VISUAL REQUIREMENTS.
10 PROTECTION: PROTECT OTHER WORK DURING CUTTING AND PATCHING OPERATIONS TO PREVENT DAMAGE. PROVIDE PROTECTION OF ALL WORK FROM ADVERSE WEATHER CONDITIONS. WHERE OPENINGS ARE CREATED IN WALLS, EXTERIOR WALLS, PROVIDE TEMPORARY ENCLOSURE OF SUCH OPENINGS ON A DAILY BASIS, AND WHENEVER ADVERSE WEATHER OR EXIST.
11 SAFEGUARDS DURING CONSTRUCTION: NOTE TO GENERAL CONTRACTOR: ALL MEANS OF EGRESS COMPONENTS INCLUDED, BUT NOT LIMITED TO, EXIT DOORS, ROUTES, SIGNS AND ALL COMPONENTS REQUIRED UNDER THE RULES GOVERNING IN THE JURISDICTION, ARE TO REMAIN IN PLACE AND ACTIVE DURING ALL PHASES OF CONSTRUCTION. ACCESS TO EXIT ROUTES ARE TO BE FREE OF CONSTRUCTION EQUIPMENT, MATERIALS, FURNITURE, SHELVING AND/OR ANY POSSIBLE BLOCKAGE TO THESE ACCESSIBLE ROUTE AND COMPONENTS. GOVERNMENT SAFETY BARRIERS AS NEEDED TO PROTECT THE PUBLIC FROM DERRIS AND GENERAL CONSTRUCTION OCCURRENCES.
12 PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
13 THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
14 IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE ARCHITECT BEFORE PROCEEDING.
15 CONTRACTOR SHALL DOCUMENT ANY EXISTING ROOF SHEATHING THAT NEEDS TO BE REPLACED WITH PHOTOGRAPHS.
16 PROVIDE AN ALTERNATE UNIT COST FOR THE REMOVAL AND REPLACEMENT OF THE WOOD FRAMING/ SHEATHING AND METAL PANEL MANSARD ROOFING WITH NEW.



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Surveyor No. 7143

Architect of Record

TBD-Arch License

TBD-Arch

[illegible]

Designed:	Designer
Drawn:	JKM
Checked:	Checker
Job No.:	E6611
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EXISTING ROOF PLAN

**NDVILLE TOWN HALL ROOF
IMPROVEMENTS**

307 EAST KENNEDY BLVD.
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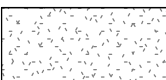

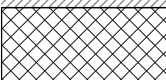
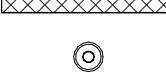
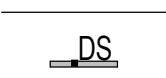

**NOT FOR
CONSTRUCTION**

**THIS SHEET NOT VALID FOR
CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.
SEE GENERAL NOTES FOR**

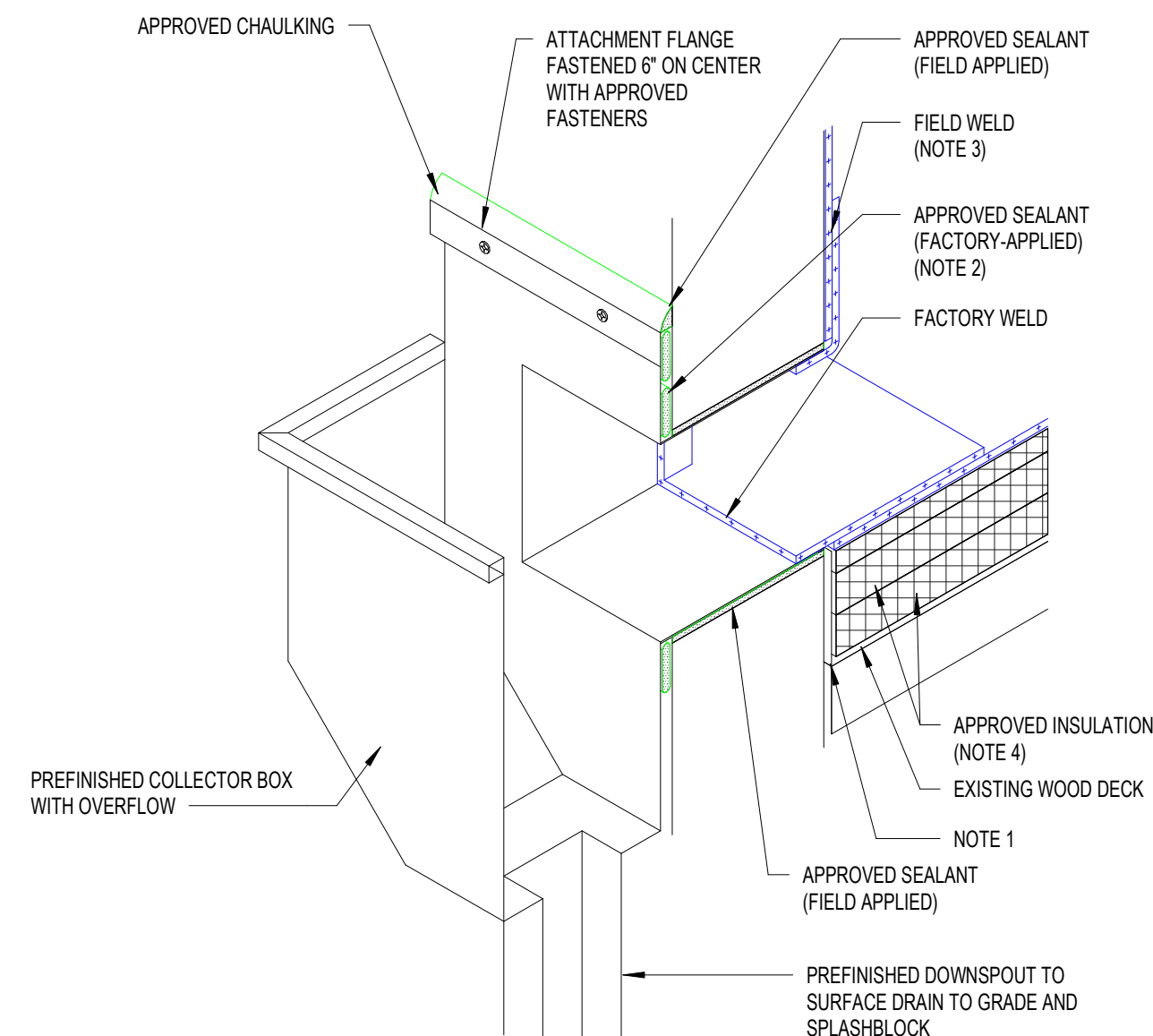
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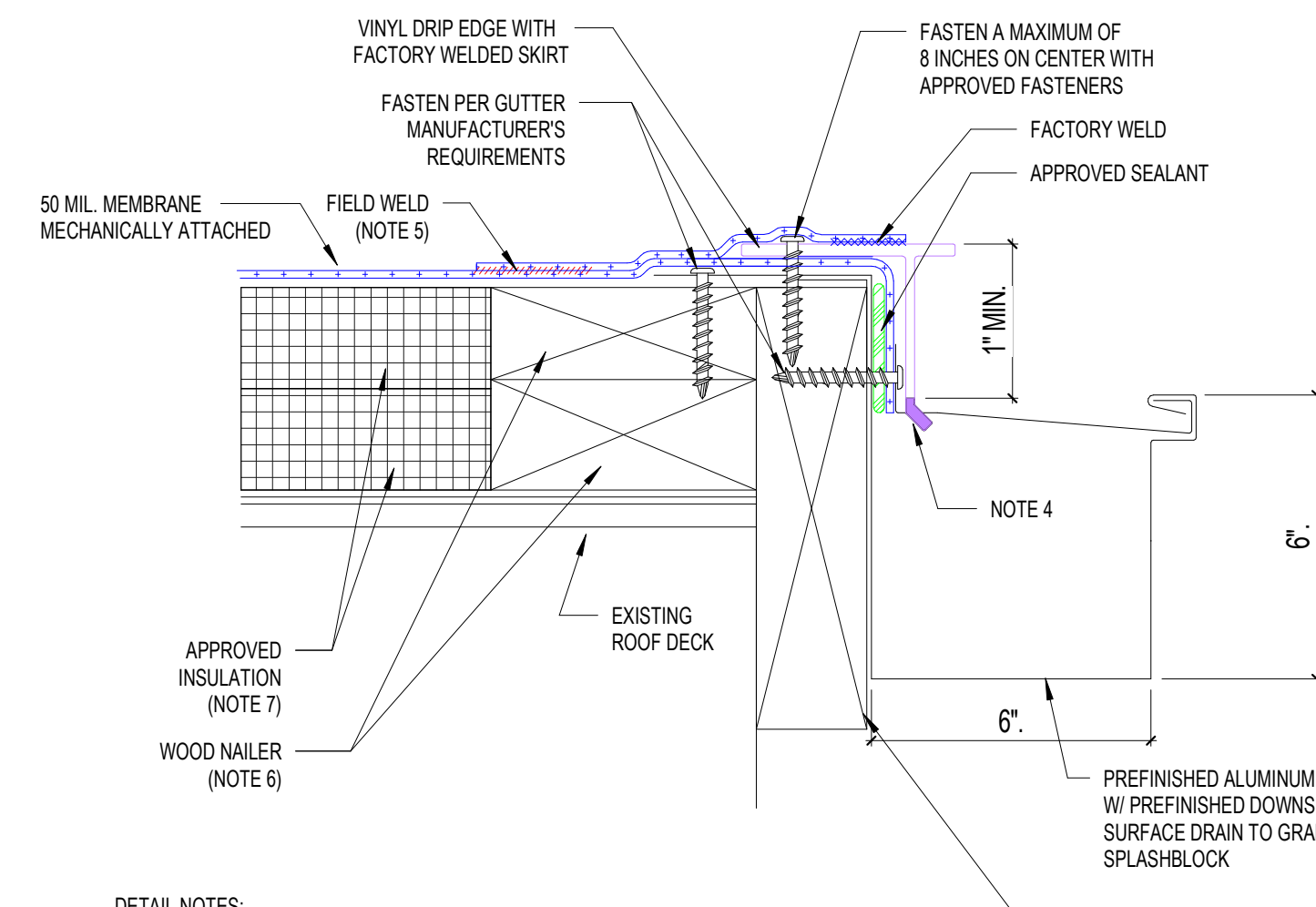
- 1 METAL MANSARD SCOPE OF WORK:
BASE BID: GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED METAL MANSARD PANELS AND CLEAN, PREP AND PAINT THE FULL EXTENTS OF THE METAL MANSARD PANELS - COLOR TO BE SELECTED BY ARCHITECT.
- 2 ALTERNATE #1:
PROVIDE PRICING TO REMOVE AND REPLACE ALL EXISTING METAL MANSARD PANELS WITH NEW MATERIALS - COLOR TO BE SELECTED BY ARCHITECT.
- 3 ALTERNATE #2:
PROVIDE PRICING TO REMOVE AND REPLACE ALL DAMAGED STUCCO AT ENTRY CEILING WITH NEW MATERIALS AND ENSURE PROPER ATTACHMENT - COLOR TO BE SELECTED BY ARCHITECT.

ROOF LEGEND	
SYMBOL	DESCRIPTION
	SINGLE PLY MEMBRANE ROOFING SYSTEM
	CRICKET - SLOPED TO DRAIN AT 1/2" PER FT. TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINAGE SYSTEM
	ADDITIONAL SHEET MEMBRANE FOR WALKWAY PADS (min. 32" wide) OR DRIPLINE REINFORCEMENT
	PIPE PENETRATION WITH BOOT SEE TYPICAL DETAIL 6 / A151
	GUTTER WITH 6" SQUARE DOWNSPOUT - SEE TYPICAL DETAIL 3 / A151
	CONDUCTOR HEAD AND DOWNSPOUT - SEE TYPICAL DETAIL 2 / A151

1. PROVIDE MANHOLE STANDARD DETAILS FOR ROOF PENETRATIONS
2. SEE MECH & PLUMBING EQUIP. PLANS FOR EXTENT OF ROOFTOP EQUIPMENT, CURBS, VENTS, PIPES, AND
3. CONDUCITS PENETRATING THE ROOF.
4. PROVIDE CONCRETE TO PROVIDE POSITIVE DRAINAGE AROUND ALL ROOF TOP EQUIPMENT AND HATCHES.
5. CRACKS SHALL SLOPE AT 1/2" PER FT. MINIMUM.
6. PROVIDE CONCRETE SPLASH BLOCKS WHERE DOWNSPOUTS DISCHARGE ONTO GROUND BELOW.
7. ROOF DRAINS SHALL BE DIRECTED AWAY FROM PEDESTRIAN AREA AND INTO OPEN AREAS.
8. ALL WALKPADS SHALL SOUND THE PERIMETER OF ROOF MITO EQUIPMENT AND ROOF HATCHES A MINIMUM OF
9. 10' ON EACH SIDE. INSTALL WALKPADS WHERE DRAINAGE IS NOT IMPROVED.
10. CONTRACTOR HEAD/DOWNSPOUT LOCATIONS TO BE COORDINATED WITH EXTERIOR ELEVATIONS.



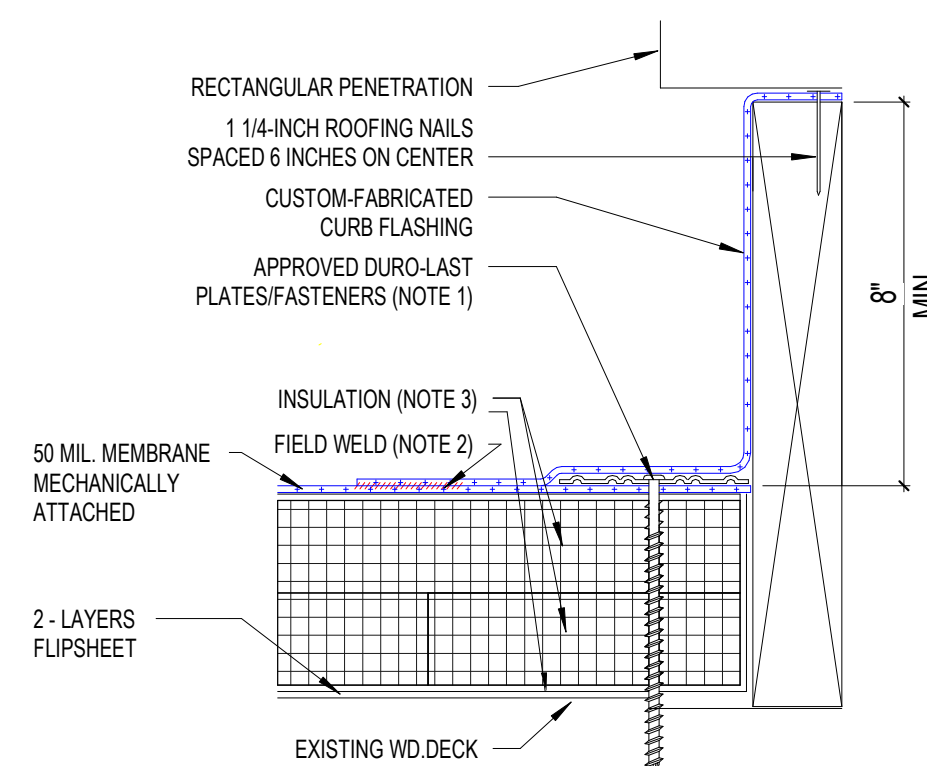
- DETAIL NOTES:
1. PRECAUTION MUST BE TAKEN TO ENSURE THAT ALL WALL-TO-DECK TRANSITIONS ARE SEALED.
 2. COLLECTOR BOX IS BACK-SEALED WITH FACTORY-APPLIED SEALANT AROUND SCUPPER OPENING. REMOVE PAPER BACKING WHEN READY TO INSTALL SCUPPER.
 - 3.
 4. ALL FIELD WELDS SHALL BE A MINIMUM OF 1-1/2 INCHES WIDE.



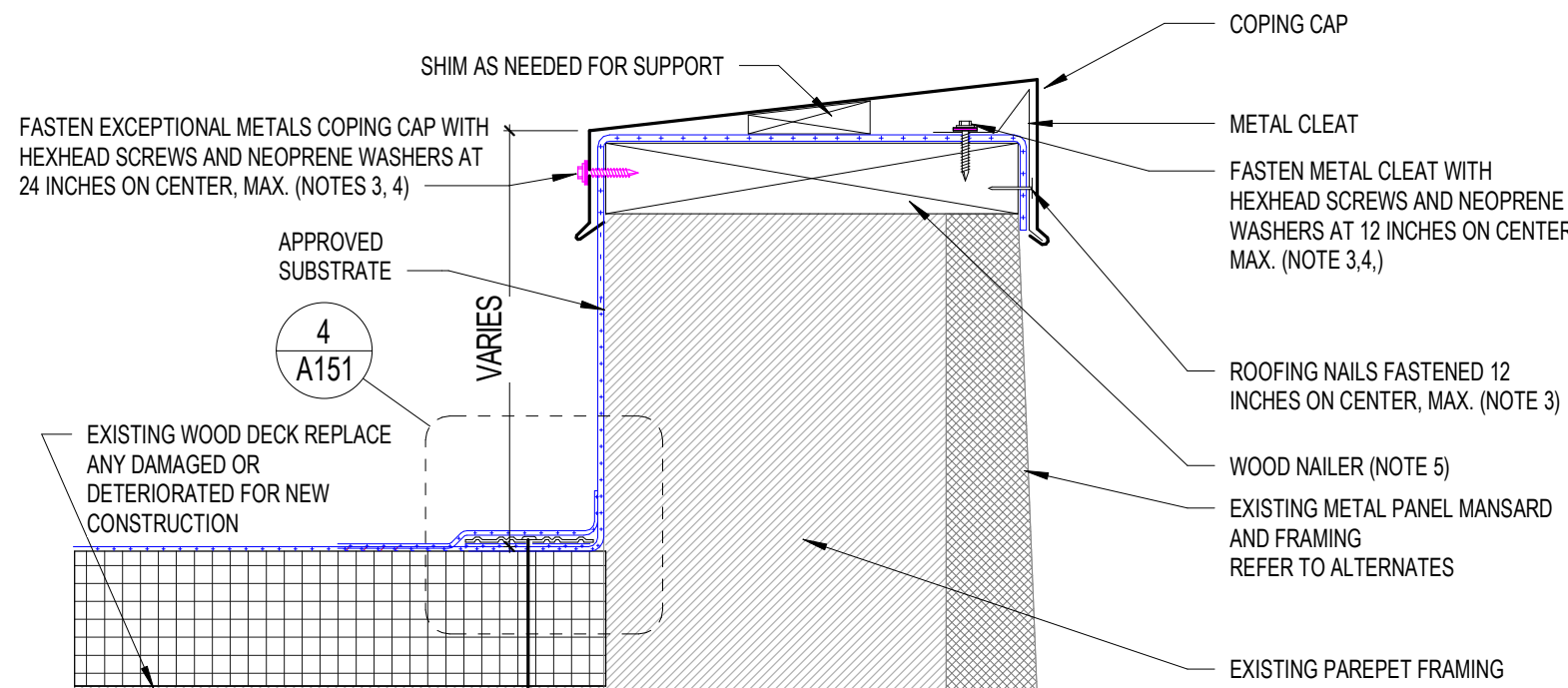
- | DETAIL NOTES: | | NEW P.T.
PAINT CO. |
|---------------|---|-----------------------|
| 1. | THE USE OF THIS DETAIL IS NOT ALLOWED ON ADHERED APPLICATIONS. | |
| 2. | REFER TO DETAIL FOR INSTALLATION OF SKIRT AND JOINT CLIPS. | |
| 3. | A 1-INCH GAP IS REQUIRED BETWEEN SECTIONS OF DURO-LAST VINYL DRIP EDGE. | |
| 4. | IF A NOTCH IS TO BE CUT FOR GUTTER STRIPS, IT MUST BE CUT NO CLOSER THAN 1 INCH FROM THE TOP OF THE DRIP EDGE. | |
| 5. | ALL FIELD WELDS SHALL BE A MINIMUM OF 1-1/2 INCHES WIDE. | |
| 6. | WOOD NAILED SURFS MUST WITHSTAND A MINIMUM FORCE OF 180 POUNDS PER LINEAL FOOT (PER BUILDING CODE). ANY POLL VALUES GREATER THAN 270 POUNDS WILL ALLOW FOR A FASTER SPACING OF 18 INCHES. | |
| 7. | CENTER. POLL VALUES LESS THAN 270 POUNDS WILL REQUIRE ADDITIONAL FASTENERS. THE INSTALLING CONTRACTOR IS RESPONSIBLE FOR MEETING BUILDING CODES. | |
| 8. | REFER TO SPECIFICATIONS FOR VAPOR BARRIER, INSULATION AND COVER BOARD REQUIREMENTS. | |

NOT TO SCALE

NOT TO SCALE



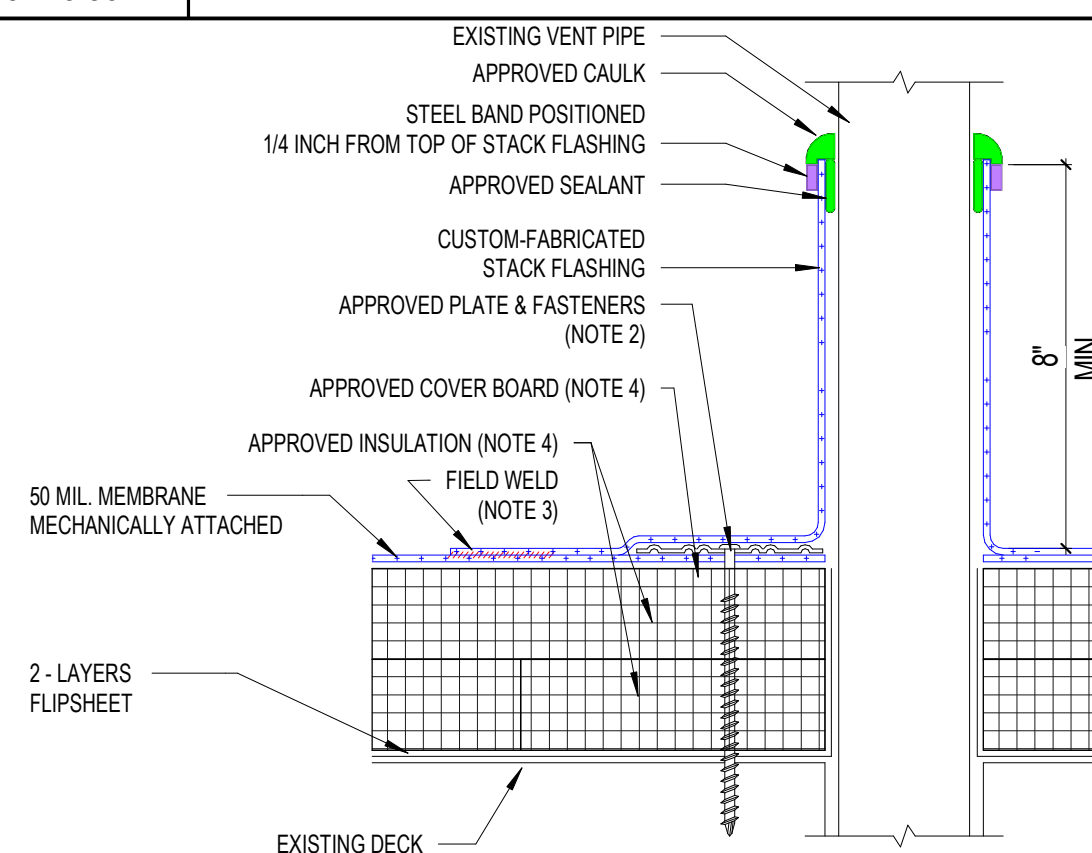
- DETAIL NOTES:**
1. DECK MEMBRANE SHALL BE FASTENED AROUND PERIMETER OF ROOF PENETRATION AS PER RESPECTIVE ZONE THE ROOF ACCESS HATCH IS LOCATED WITHIN (FIELD, PERIMETER, CORNER).
 2. ALL FIELD WELDS SHALL BE A MINIMUM OF 1-1/2 INCHES WIDE.
 3. REFER TO SPECIFICATIONS FOR VAPOR BARRIER, INSULATION AND COVER BOARD REQUIREMENTS.



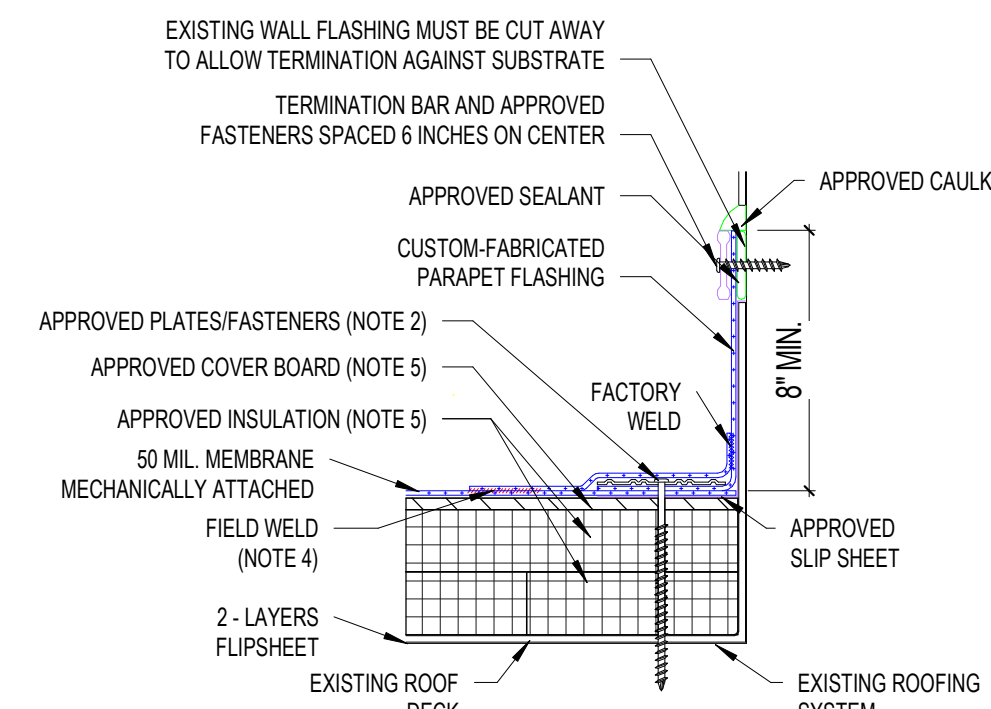
- DETAIL NOTES:
1. ALL COPING CAP JOINTS MUST UTILIZE A 6-INCH CONCEALED SPLICE PLATE.
 2. REFER TO DETAIL DRAWING 6063 FOR SPLICE PLATE INSTALLATION INSTRUCTIONS.
 3. ALL FASTENERS MUST PENETRATE INTO NAILEY BY A MINIMUM OF 1-1/2 INCHES.
 4. FASTEN OTHER MANUFACTURERS' PRODUCTS PER MANUFACTURER'S SPECIFICATIONS.
 5. WOOD NAILERS MUST WITHSTAND A MINIMUM FORCE OF 180 POUNDS PER LINEAL FOOT (PER BUILDING CODE). ANY PULL VALUES GREATER THAN 270 POUNDS WILL ALLOW FOR A FASTER NAIL SPACING OF 18 INCHES ON CENTER. PULL VALUES LESS THAN 270 POUNDS WILL REQUIRE ADDITIONAL FASTENERS. **THE INSTALLING CONTRACTOR IS RESPONSIBLE FOR MEETING BUILDING CODES.**

NOT TO SCALE

NOT TO SCALE



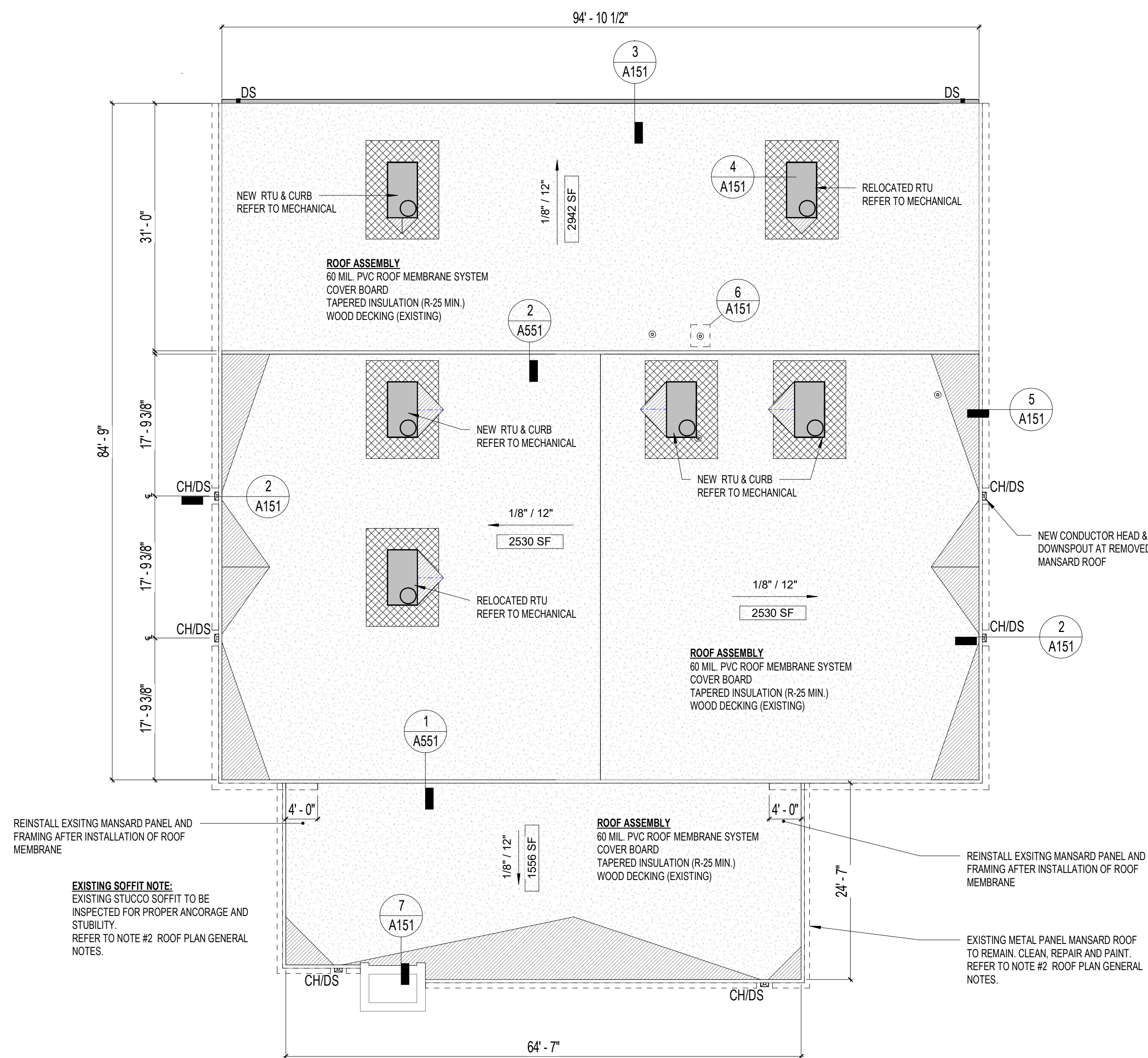
- DETAIL NOTES:
1. LEAD FLASHINGS MUST BE REMOVED PRIOR TO INSTALLING STACK FLASHINGS.
 2. DECK MEMBRANE SHALL BE FASTENED AROUND THE PERIMETER OF THE STACK FLASHING AS PER THE RESPECTIVE ZONE THE STACK FLASHING IS LOCATED WITHIN (FIELD, PERIMETER, CORNER), NO LESS THAN ON FASTENER PER FLASHING.
 3. ALL FIELD WELDS SHALL BE A MINIMUM OF 1-1/2 INCHES WIDE.
 4. REFER TO SPECIFICATIONS FOR VAPOR BARRIER, INSULATION AND COVER BOARD REQUIREMENTS.



- DETAIL NOTES:**
1. 1/34 OR 4-INCH FASCIA BAR AND COVER (COVER OPTIONAL) MAY BE USED IN PLACE OF TERMINATION BAR.
 2. MEMBRANE FASTENING AT DECK-TO-WALL TRANSITIONS AND WALLS SHALL BE SAME AS PER RESPECTIVE ZONES THAT AREA IS LOCATED WITHIN (FIELD, PERIMETER, CORNER).
 3. REFER TO DETAIL DRAWING 8010 FOR TAB SPACING.
 4. ALL FIELD WELDS SHALL BE A MINIMUM OF 1-1/2 INCHES WIDE.
 5. REFER TO SPECIFICATIONS FOR VAPOR BARRIER, INSULATION AND COVER BOARD REQUIREMENTS.

NOT TO SCALE

NOT TO SCALE


$$1/32'' = 1'-0''$$

[illegible]

Designed:	CPH
Drawn:	JKM
Checked:	BKS
Job No.:	E6611
5/17/2023	© 2023

DETAILS - ROOF

EATONVILLE TOWN HALL ROOF
IMPROVEMENTS

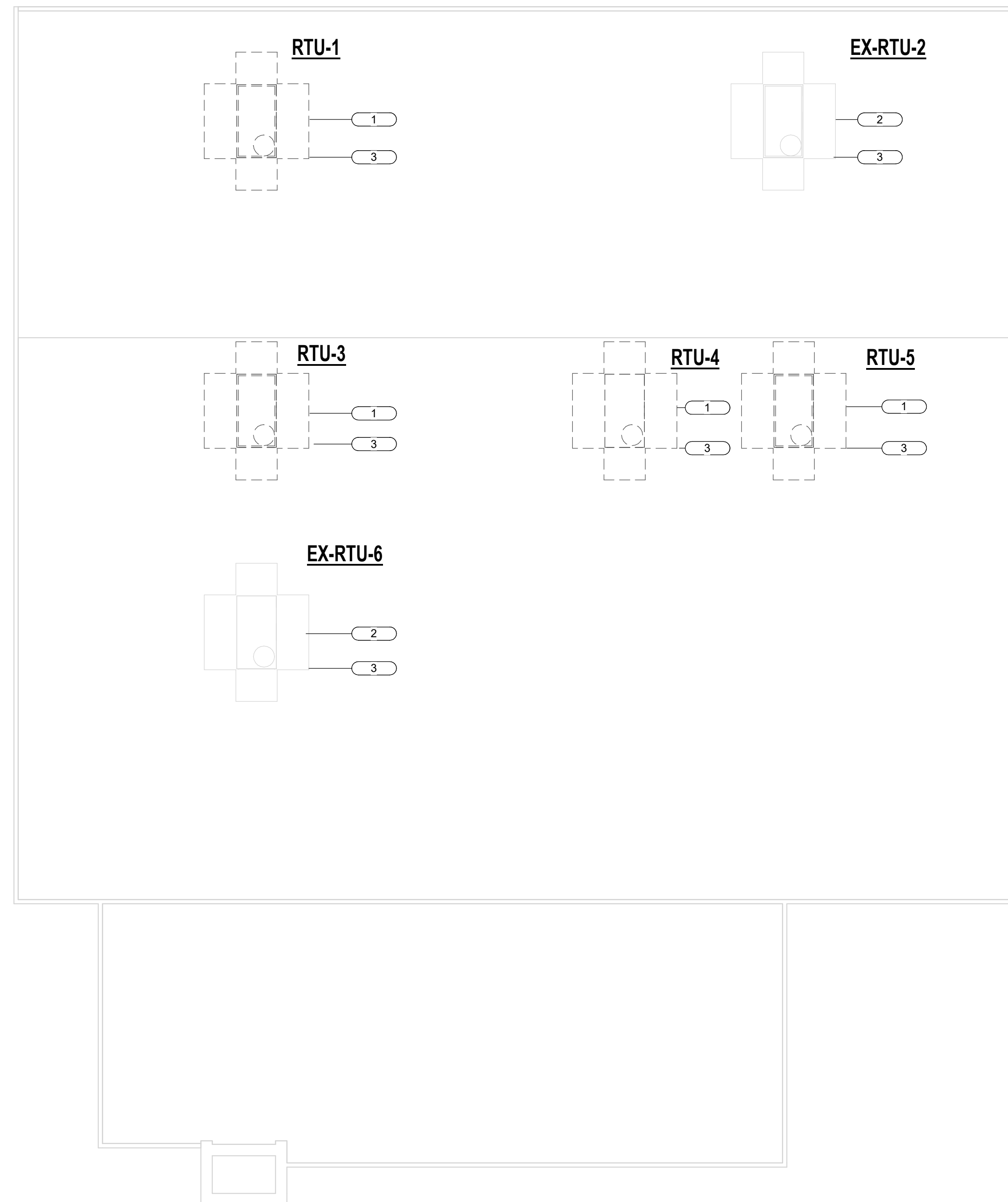
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MASTER LEGEND**

Sheet No.
A551

4/12/2023 11:44:30 AM \cph\pzi\jobs\E6611\MEP\01 Revit\2022 E6611 Mech 001.rvt NOTE: THE SCALE OF THESE PLANS MAY HAVE



KEYNOTES

- | | |
|---|---|
| 1 | DEMO EXISTING ROOF TOP UNIT AND CURB PREPARE FOR NEW RTU AND DOWNFLOW CURB INSTALLATION |
| 2 | UNINSTALL RTU AND PRESERVE FOR REINSTALLATION IN DOWNFLOW ORIENTATION RECONFIGURE HORIZONTAL DISCHARGE RTU INTO DOWNFLOW CONFIGURATION. PROVIDE ACCESSORIES AS NECESSARY. |
| 3 | PREP EXISTING DUCTWORK FOR CONNECTION TO NEW DOWNFLOW CURBS. |



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Engineer No. 3215
Landscape No. LC0000298
Surveyor No. 7143

Engineer of Record
####/2021

TBD-Mech License

TBD-Mech Engineer

CELEBRATING
40 YEARS
cph

[illegible]

Designed:	JNM
Drawn:	JNM
Checked:	JAD
Job No.:	E6611
03/01/2023	© 2023

MECHANICAL ROOF DEMO PLAN
TOWN HALL ROOF
IMPROVEMENTS
307 EAST KENNEDY BLVD.
EATONVILLE, FLORIDA 32751

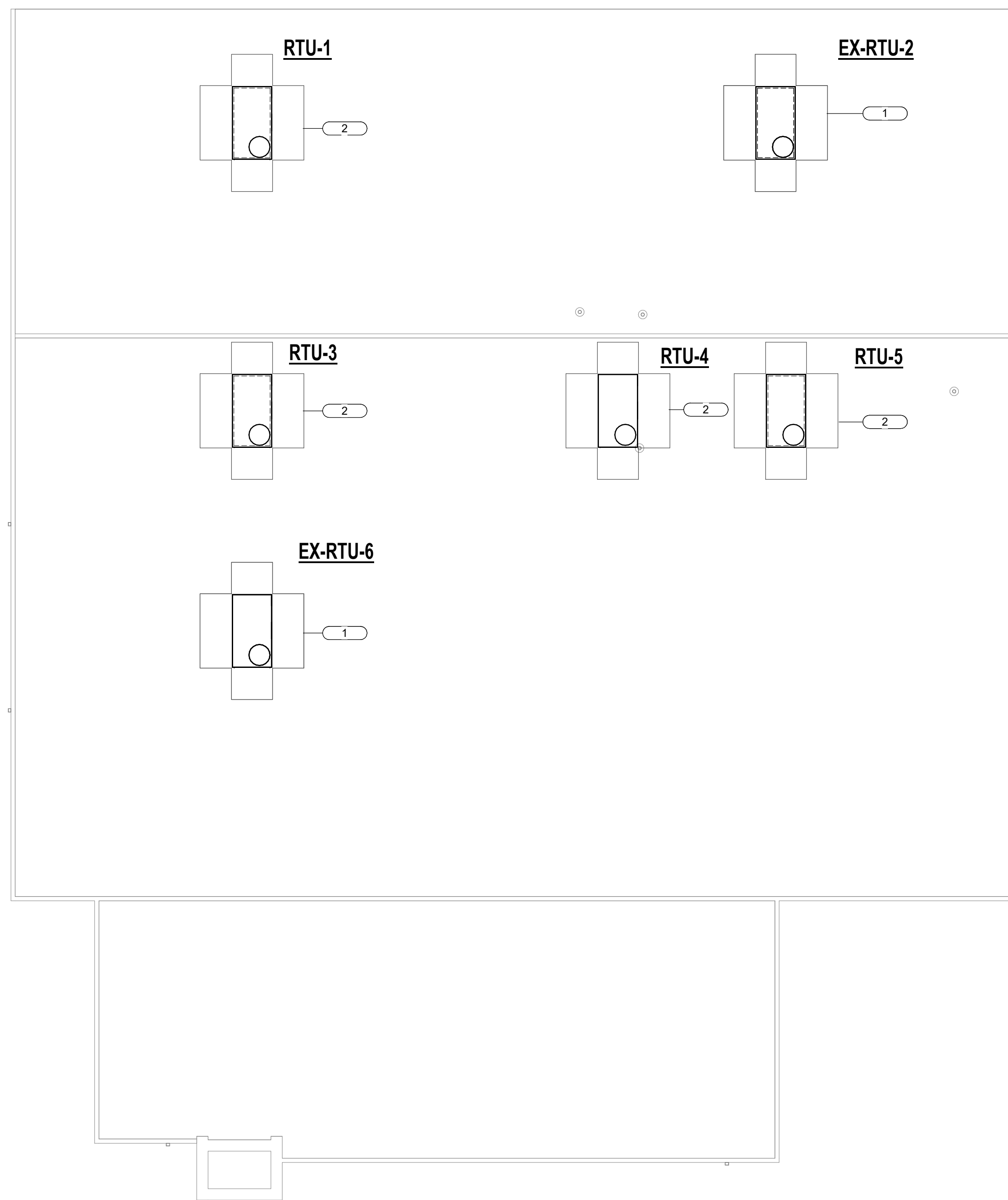
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CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.
SEE GENERAL NOTES FOR
MASTER LEGEND**

Sheet No.
M211

1 MECHANICAL ROOF PLAN DEMO

EXISTING ROOF TOP UNIT SCHEDULE				
MARK	MODEL	MANUFACTURER	TONNAGE	NOTES
EX-RTU-2	KHB030S4D	Lennox	2.5	1
EX-RTU-6	LRP14HP048	Lennox	4.0	1



1 MECHANICAL ROOF PLAN

- 1 INSTALL PRESERVED RTU IN DOWN FLOW ORIENTATION ON NEW DOWNFLOW CURB. ATTACH TO EXISTING DUCTWORK.
- 2 INSTALL NEW RTU IN DOWN FLOW ORIENTATION ON NEW DOWNFLOW CURB. ATTACH TO EXISTING DUCTWORK.

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ADDRESS
CITY, STATE, ZIPCODE
Ph:TBD-Office Phone

Plans Prepared By :
CPH, Inc.

State of Florida Licenses:
Architect No. AA2600926
Engineer No. 3215
Landscape No. LC0000298
Surveyor No. 7143

Engineer of Record
##/##/2021

TBD-Mech License
TBD-Mech Engineer

CELEBRATING

40+YEAR
cph

[illegible]

Designed:	JAD
Drawn:	JNM
Checked:	JAD
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03/01/2023	© 2023

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MECHANICAL ROOF PLAN

EATONVILLE TOWN HALL ROOF IMPROVEMENTS
307 EAST KENNEDY BLVD.
EATONVILLE, FLORIDA 32751

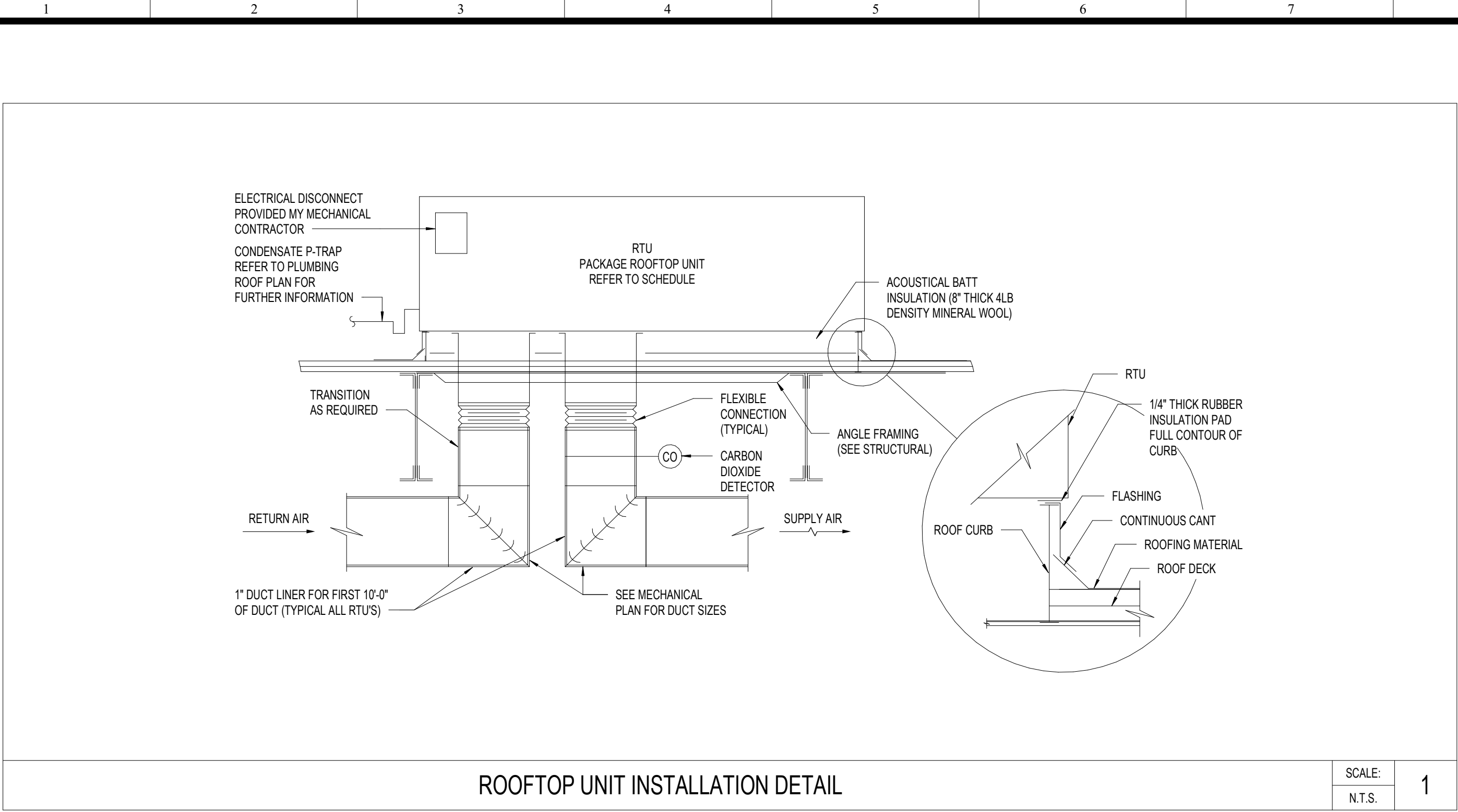
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MASTER LEGEND**

Sheet No.

M212

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SCALE:	1
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