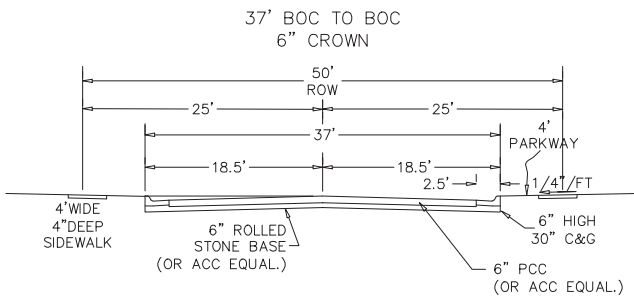


CONSTRUCTION NOTES

1. ALL CONSTRUCTION IS TO BE PER CITY OF DYERSVILLE STANDARDS AND SPECIFICATIONS, AND SUDAS STANDARD SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. THE LOCATION OF ALL PUBLIC UTILITIES INDICATED ON THIS PLAN ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THIS PLAN MAY BE PRESENT.
3. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES AS REQUIRED TO INSTALL UTILITY SERVICES.
4. MAINTAIN A MINIMUM OF 5.5' OF COVER ON TOP OF THE WATERMAIN.
5. FLARED END SECTIONS ARE INCLUDED IN THE LENGTH OF PIPE AND MUST BE SUBTRACTED TO GET THE ACTUAL LENGTH OF PIPE.
6. ALL MANHOLES, BOTH SANITARY AND STORM, ARE TO BE STANDARD WITH A DIAMETER OF 4 FEET, UNLESS NOTED OTHERWISE.
7. ALL FIRE HYDRANTS SHOWN ON THIS PLAN INCLUDE THE 6" TEE, THE 6" PIPE, THE VALVE, AND THE HYDRANT. THE HYDRANT SHALL BE MANUFACTURED BY MUELLER OR KENNEDY
8. ALL WYES INCLUDE 22.5° BEND, UNLESS NOTED OTHERWISE. LATERALS SHALL BE INSTALLED MINIMUM OF 10 FOOT INTO THE LOTS MEASURED FROM THE PROPERTY LINE.
9. SANITARY SEWER LATERAL SLOPE SHALL NOT BE LESS THAN 1/4" PER FOOT. LATERALS SHALL BE INSTALLED MIN. 10 FEET INTO THE LOTS MEASURED FROM THE PROPERTY LINE. ALL WYE LOCATIONS ON THE PLAN ARE MEASURED FROM THE CENTER OF THE DOWNSTREAM MANHOLE.
10. ALL SEWER LATERALS AND WATER SERVICES SHALL BE MARKED WITH A 2 X 4 STAKE EXTENDING FROM THE END OF THE LATERAL OR SERVICE TO ABOVE THE GROUND SURFACE. AS BUILT MEASUREMENT SHALL BE RECORDED
11. THE CONTRACTOR IS TO KEEP A RECORD OF ALL SANITARY SEWER AND WATER LATERAL LOCATIONS & PROVIDE A COPY TO THE OWNER AND A COPY TO THE CITY OF DYERSVILLE AT THE COMPLETION OF THE PROJECT.
12. SANITARY SEWER AND WATER MAIN SHALL USE CLASS F-3 BEDDING FOR TRENCHES AND STORM SEWER SHALL USE CLASS F-1 BEDDING FOR TRENCHES PER SUDAS STANDARD SW -103
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE COMPACTION TESTING AS REQUIRED FOR TRENCHES AND ROAD GRADES.
14. RIP-RAP IS TO BE PLACED AT END OF EACH STORM SEWER RUN PER IOWA DEPARTMENT OF TRANSPORTATION. (MINIMUM DEPTH 18", W = 2+4D, L = 8+2D, UNLESS NOTED OTHERWISE. FILTER BLANKET, 12" OF 1" CLEAN STONE.) PIPE CONNECTORS ARE REQUIRED ON THE LAST THREE JOINTS OF STORM SEWER PIPE.
15. MATERIALS, EQUIPMENT, OR LABOR ESSENTIAL FOR THE PROPER COMPLETION OF THE WORK THAT ARE NOT SPECIFIED AS BID ITEMS IN THE CONTRACT DOCUMENTS ARE INCIDENTAL AND THE COST OF WHICH SHALL BE INCLUDED IN OTHER BID ITEMS.
16. ALL CATCH BASINS SHALL HAVE A 2.5' SHORT WALL AND CASTING TO MATCH.



TYPICAL SECTION

NOTES

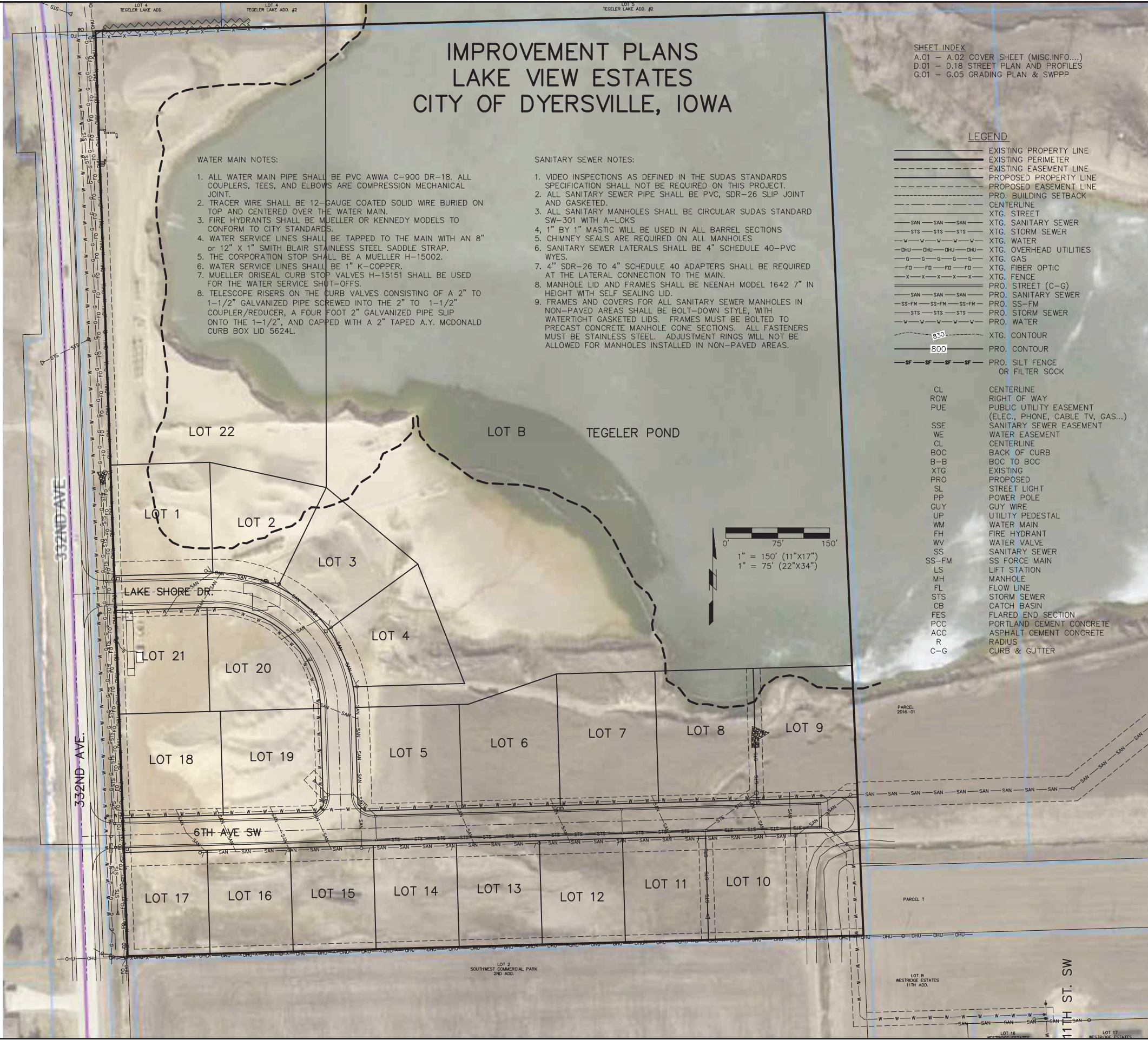
1. ALL MEASUREMENTS ARE IN FEET AND DECIMALS THEREOF.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PATRICK J. NORTON
LICENSE NUMBER: 17144
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025

PAGES OR SHEETS COVERED BY THIS SEAL:
ALL SHEETS AS SHOWN IN THE SHEET INDEX.



SHEET INDEX
A.01 - A.02 COVER SHEET (MISC.INFO...)
D.01 - D.18 STREET PLAN AND PROFILES
G.01 - G.05 GRADING PLAN & SWPPP

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING PERIMETER
---	EXISTING EASEMENT LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EASEMENT LINE
---	PRO. BUILDING SETBACK
---	CENTERLINE
---	XTG. STREET
---	XTG. SANITARY SEWER
---	XTG. STORM SEWER
---	XTG. WATER
---	XTG. OVERHEAD UTILITIES
---	XTG. GAS
---	XTG. FIBER OPTIC
---	XTG. FENCE
---	PRO. STREET (C-G)
---	PRO. SANITARY SEWER
---	PRO. SS-FM
---	PRO. STORM SEWER
---	PRO. WATER
---	XTG. CONTOUR
---	PRO. CONTOUR
---	PRO. SILT FENCE OR FILTER SOCK
CL	CENTERLINE
ROW	RIGHT OF WAY
PUE	PUBLIC UTILITY EASEMENT (ELEC., PHONE, CABLE TV, GAS...)
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
CL	CENTERLINE
BOC	BACK OF CURB
B-B	BOC TO BOC
XTG	EXISTING
PRO	PROPOSED
SL	STREET LIGHT
PP	POWER POLE
GUY	GUY WIRE
UP	UTILITY PEDESTAL
WM	WATER MAIN
FH	FIRE HYDRANT
WV	WATER VALVE
SS	SANITARY SEWER
SS-FM	SS FORCE MAIN
LS	LIFT STATION
MH	MANHOLE
FL	FLOW LINE
STS	STORM SEWER
CB	CATCH BASIN
FES	FLARED END SECTION
PCC	PORTLAND CEMENT CONCRETE
ACC	ASPHALT CEMENT CONCRETE
R	RADIUS
C-G	CURB & GUTTER

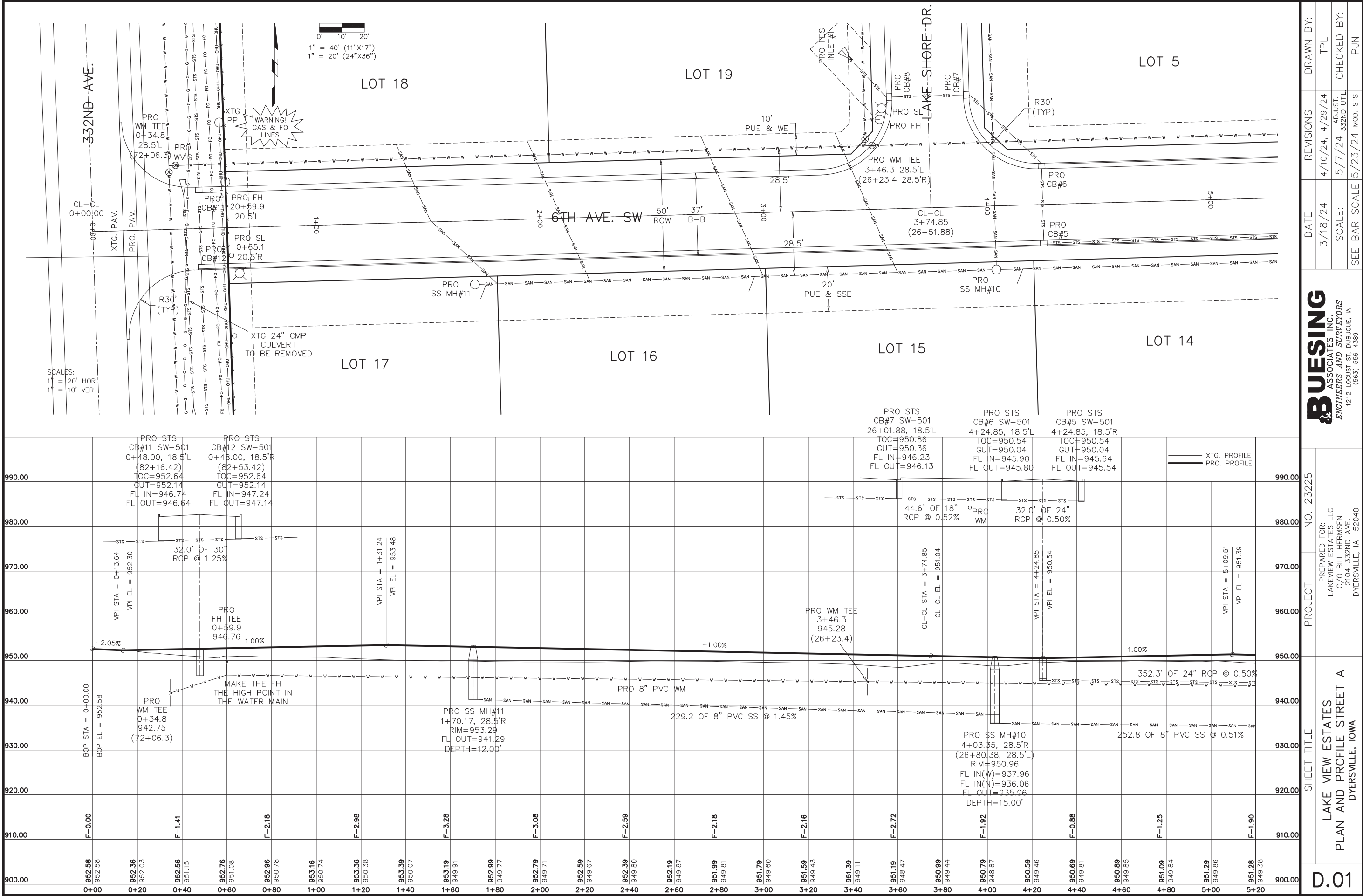
BUESING & ASSOCIATES INC.
ENGINEERS AND SURVEYORS
1212 LOCUST ST. DUBUQUE, IA
(563) 556-4389

PROJECT NO. 23225

PREPARED FOR:
LAKEVIEW ESTATES LLC
C/O BILL HERWSEN
2104 332ND AVE.
DYERSVILLE, IA 52040

SHEET TITLE
IMPROVEMENT PLANS
LAKE VIEW ESTATES
DYERSVILLE, IOWA

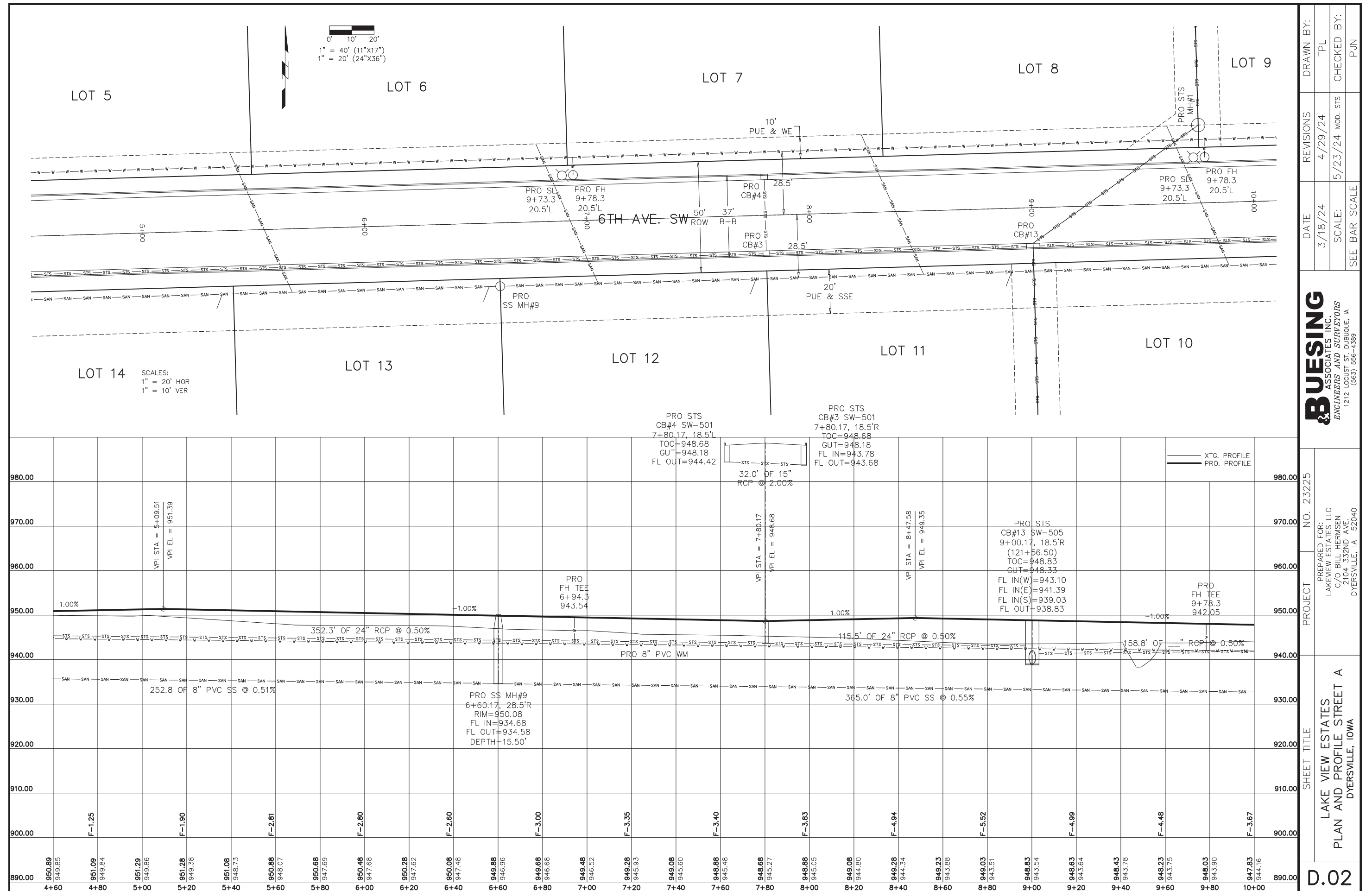
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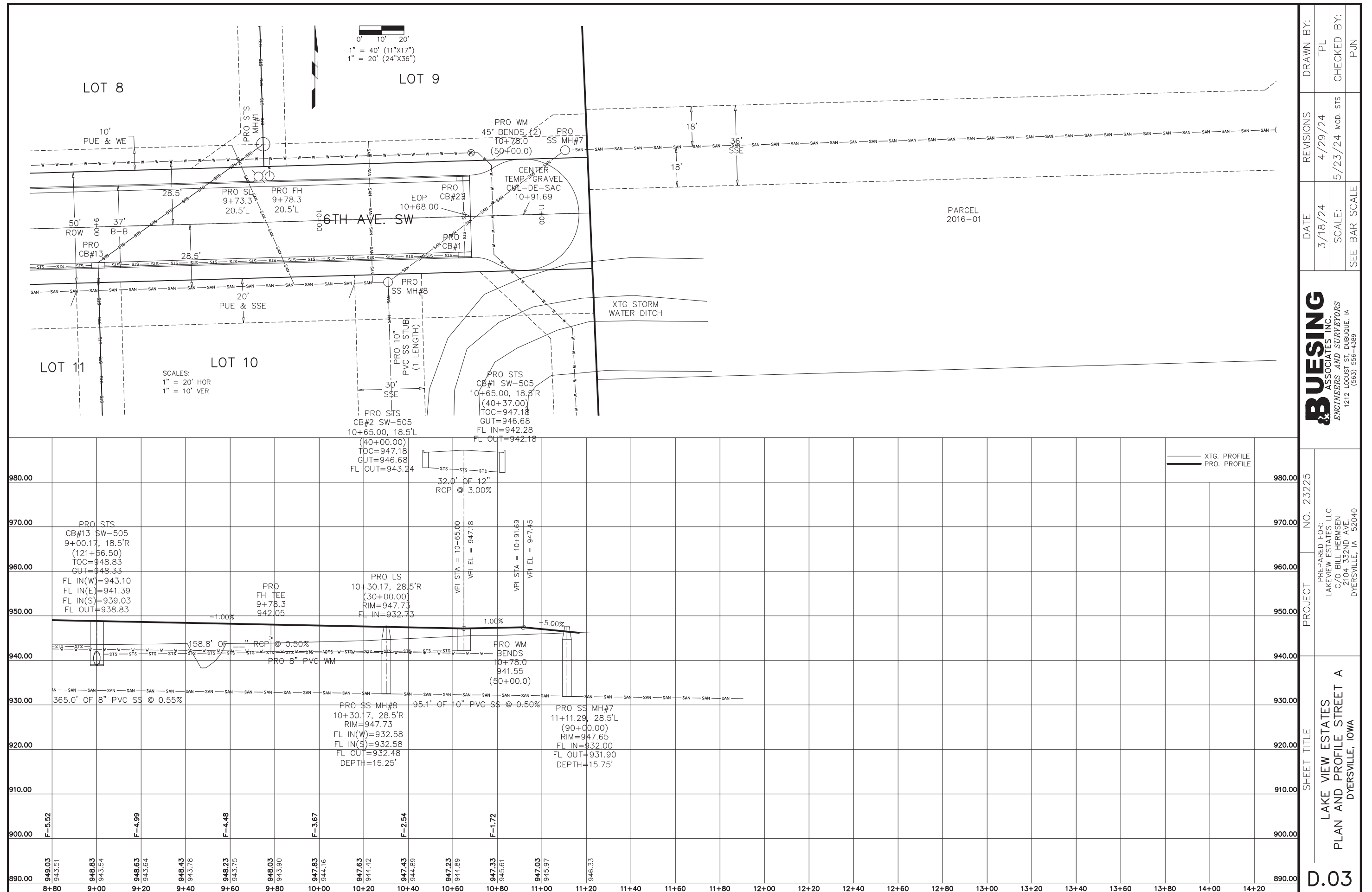


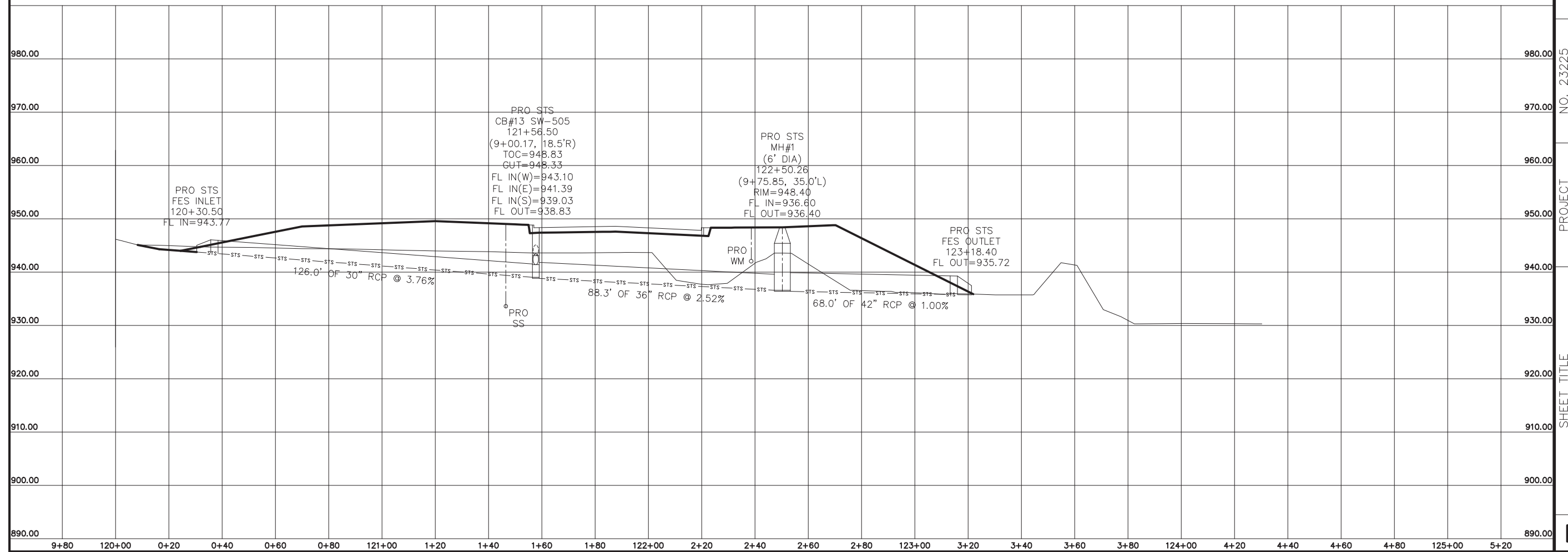
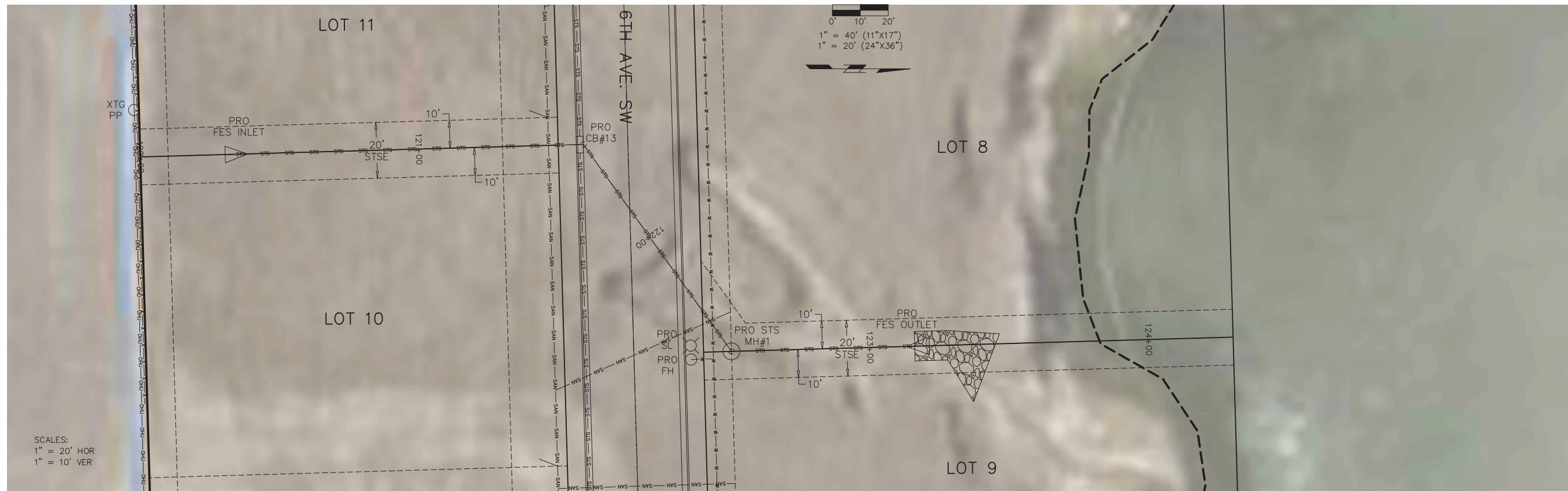
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(563) 556-4389

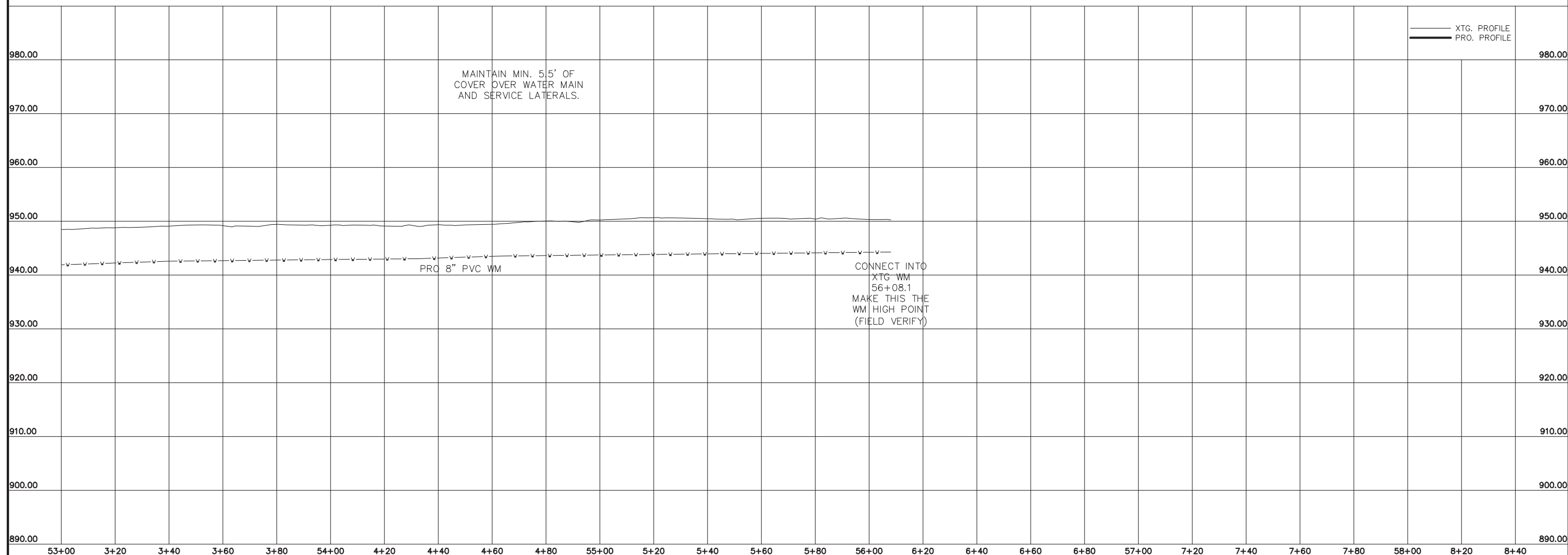
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LAKE VIEW ESTATES PLAN AND PROFILE STREET A DYERSVILLE, IOWA			







D.06	SHEET TITLE LAKE VIEW ESTATES PLAN AND PROFILE STS (MID) DYERSVILLE, IOWA	PROJECT	NO. 23225	<div>  <p> BUESING & ASSOCIATES INC. ENGINEERS AND SURVEYORS 1212 LOCUST ST, DUBUQUE, IA (563) 556-4369 </p> </div>	DATE	REVISIONS	DRAWN BY:
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& ASSOCIATES INC.
ENGINEERS AND SURVEYORS
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(563) 556-4389

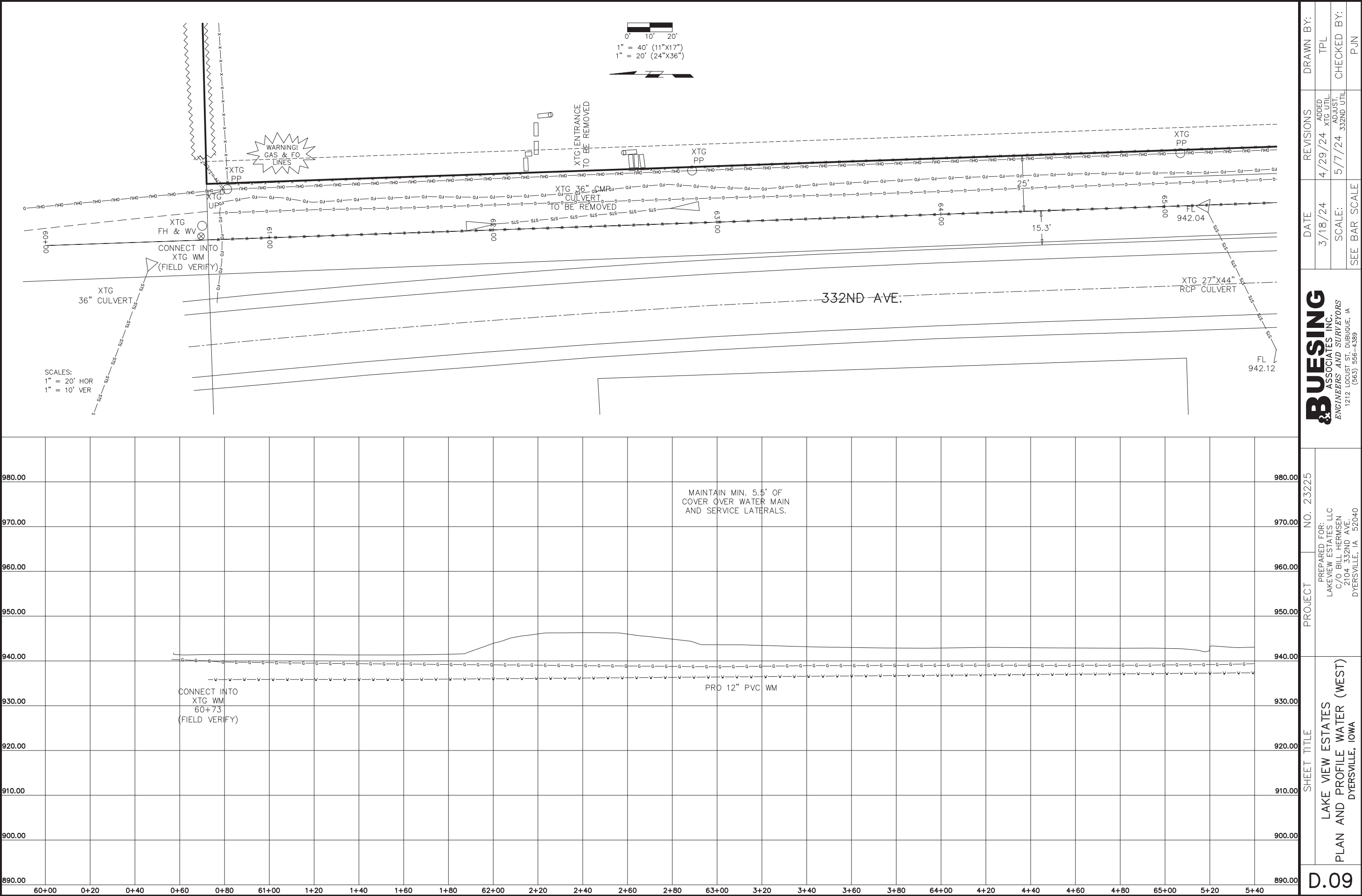
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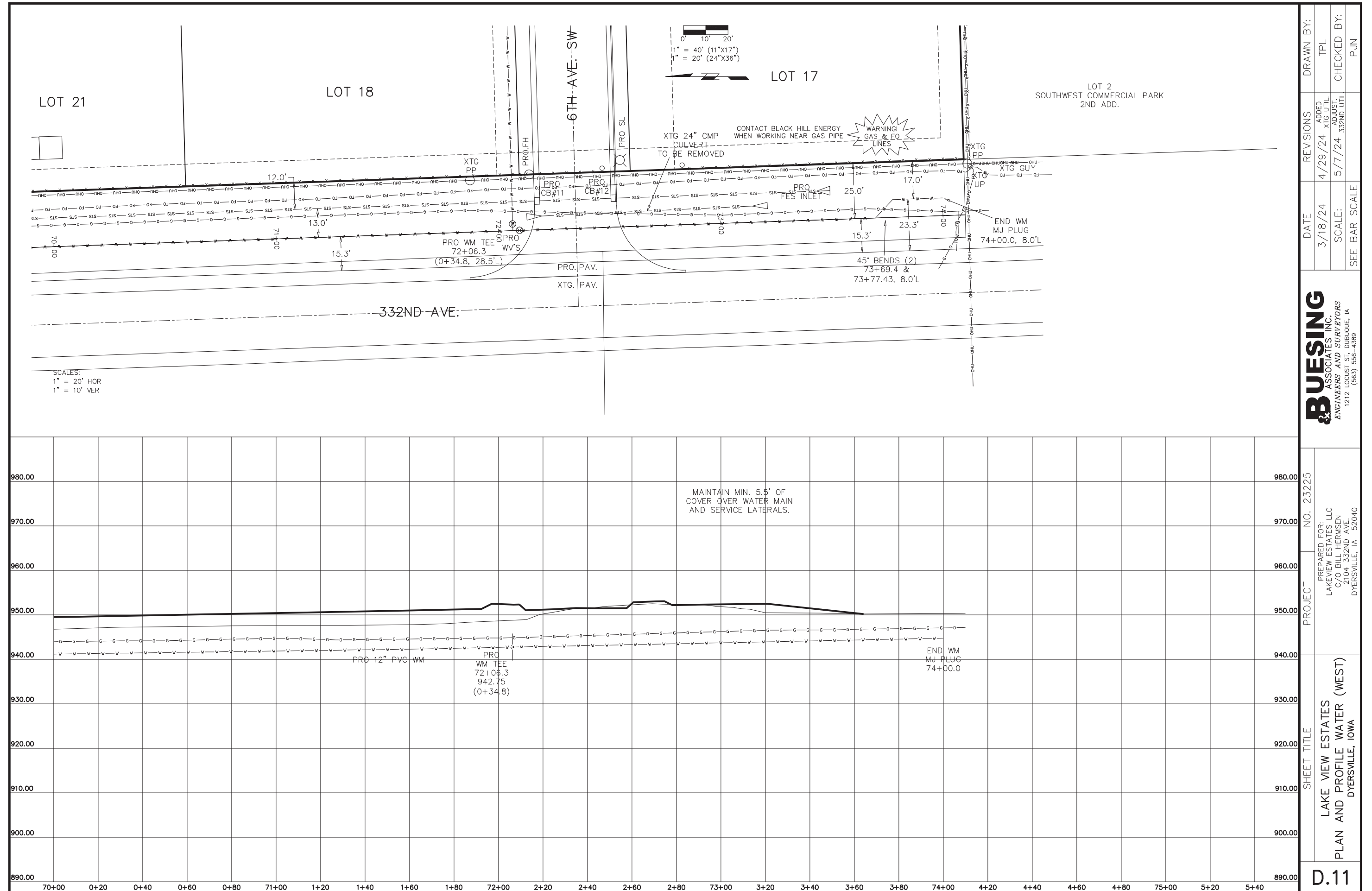
PREPARED FOR:
 LAKEVIEW ESTATES LLC
 C/O BILL HERMSEN
 2104 332ND AVE.
 DYERSVILLE, IA 52040

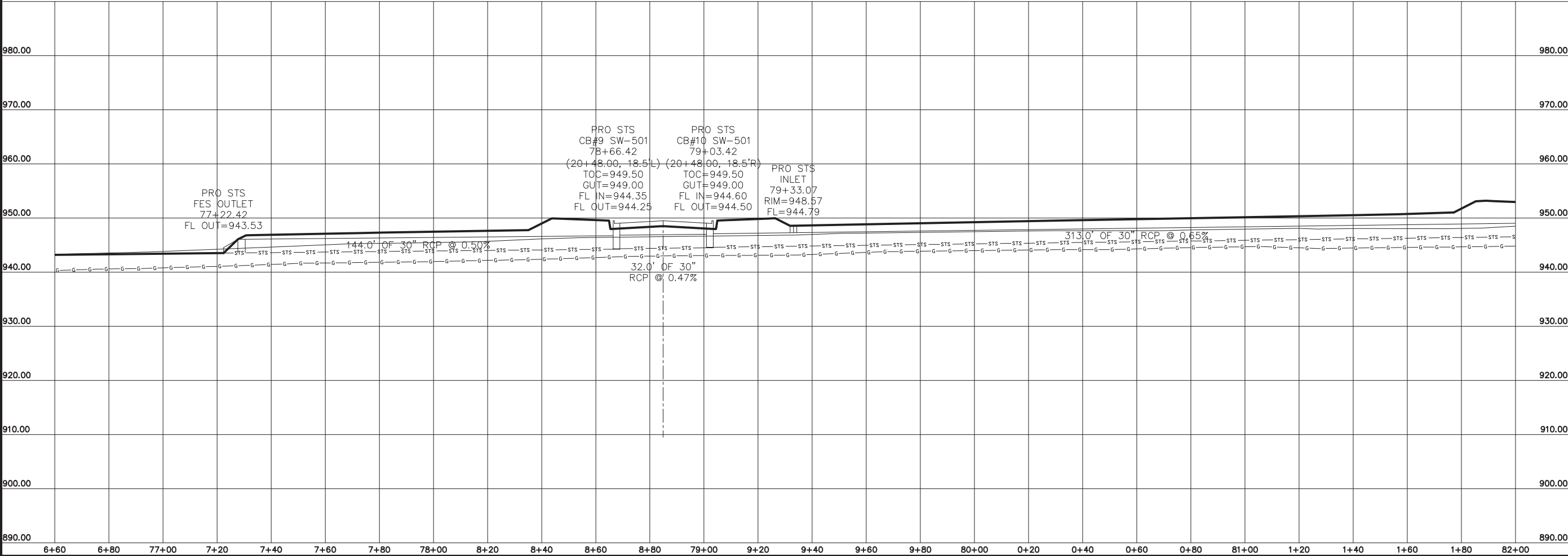
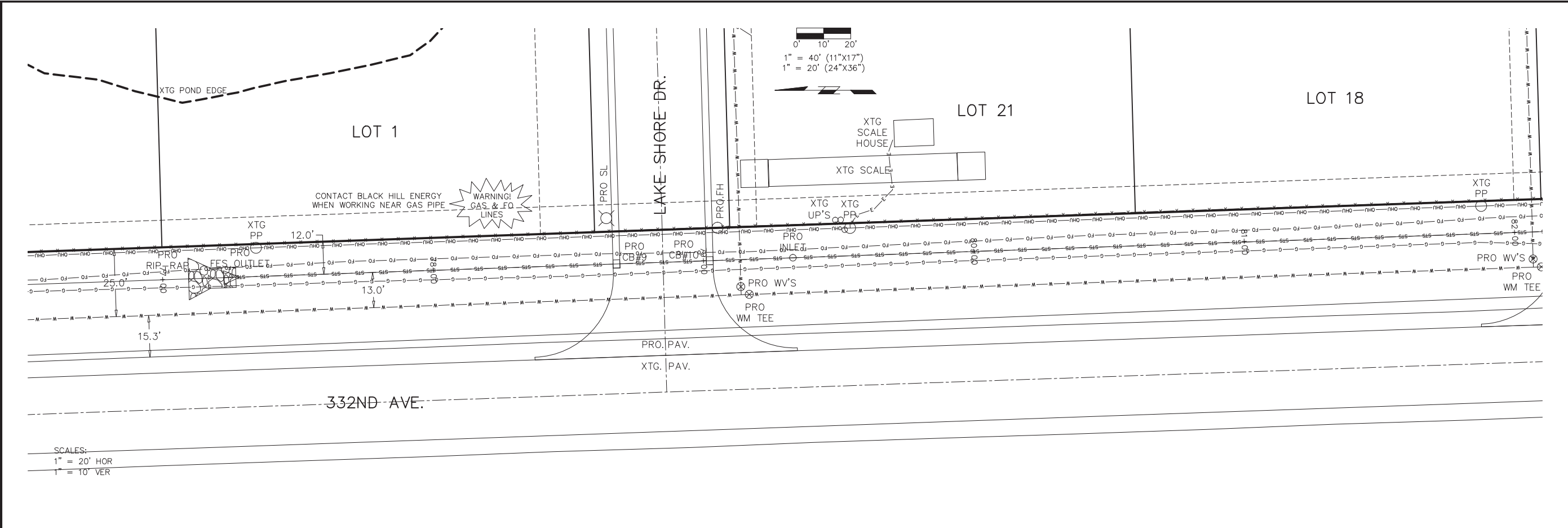
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LAKE VIEW ESTATES PLAN AND PROFILE WATER (EAST) DYERSVILLE, IOWA

D.08

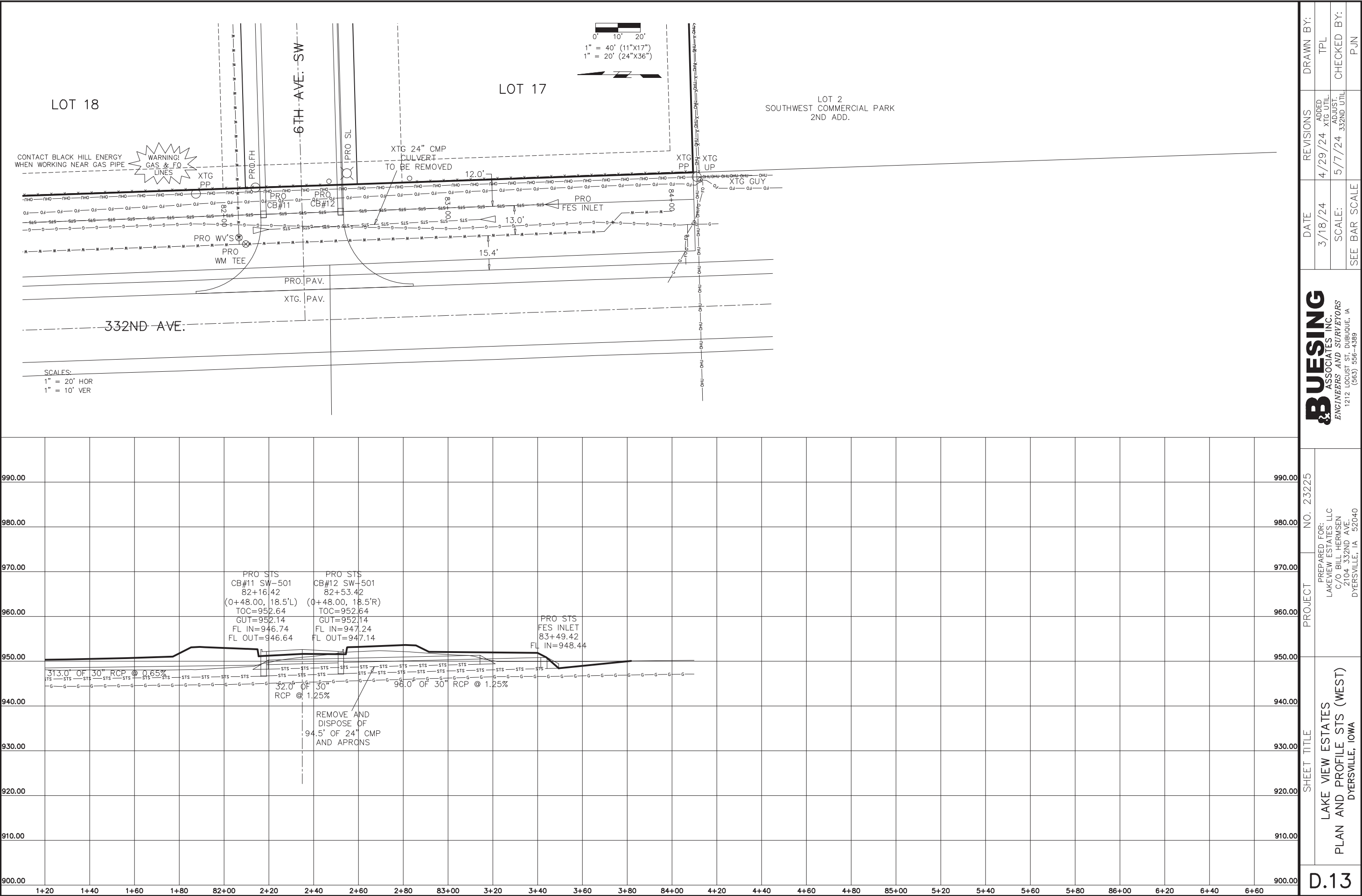
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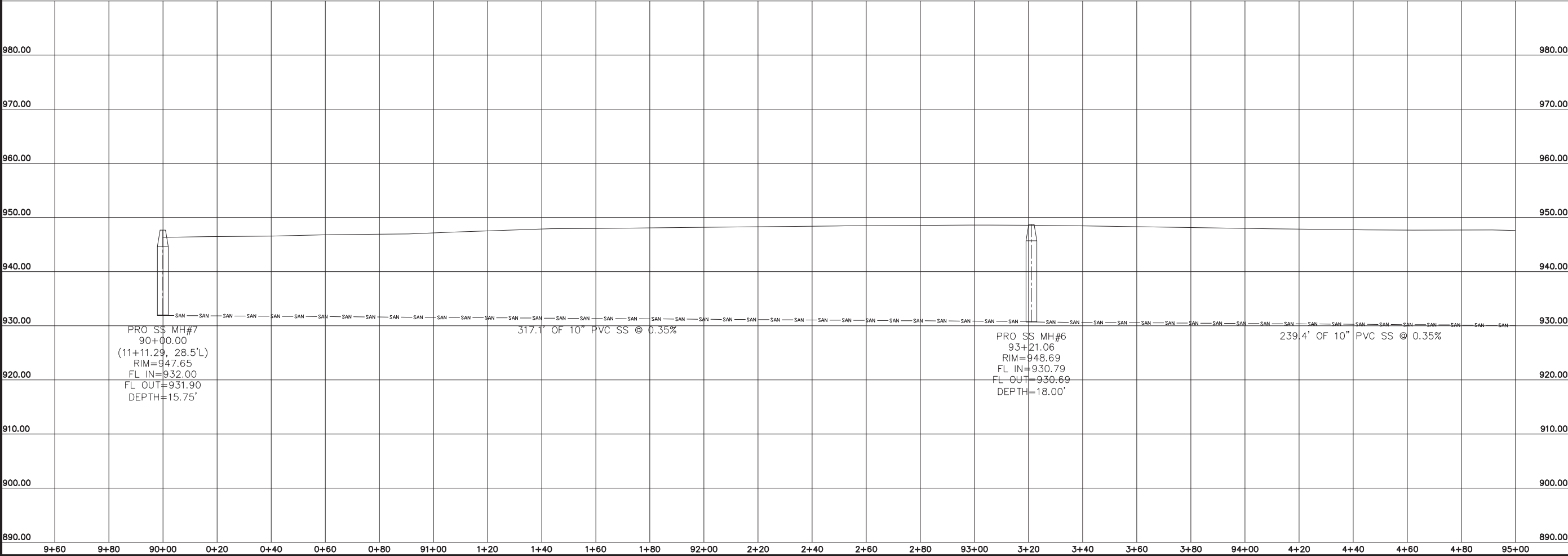




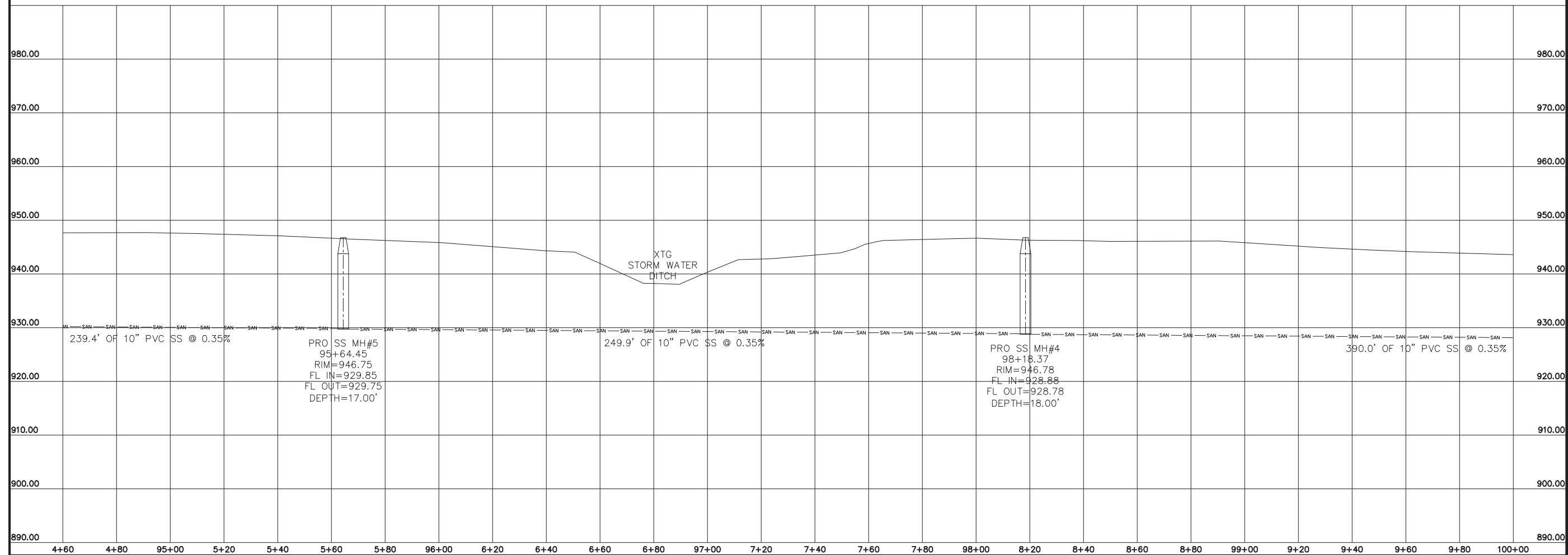
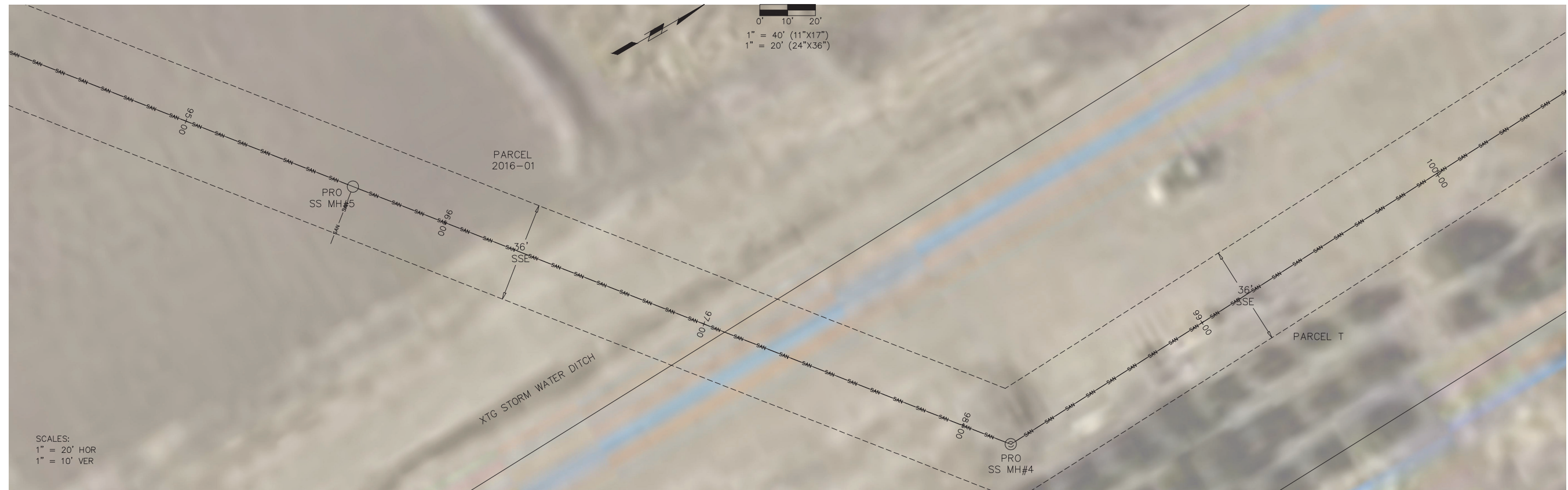
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LAKE VIEW ESTATES		PREPARED FOR: LAKEVIEW ESTATES, LLC C/O BILL HERWSEN 2104 332ND AVE. DYERSVILLE, IA 52040				3/18/24	4/29/24 ADDED XTG UTIL.	TPL
PLAN AND PROFILE STS (WEST)						SCALE:	5/7/24 ADJUST. 332ND UTIL	CHECKED BY:
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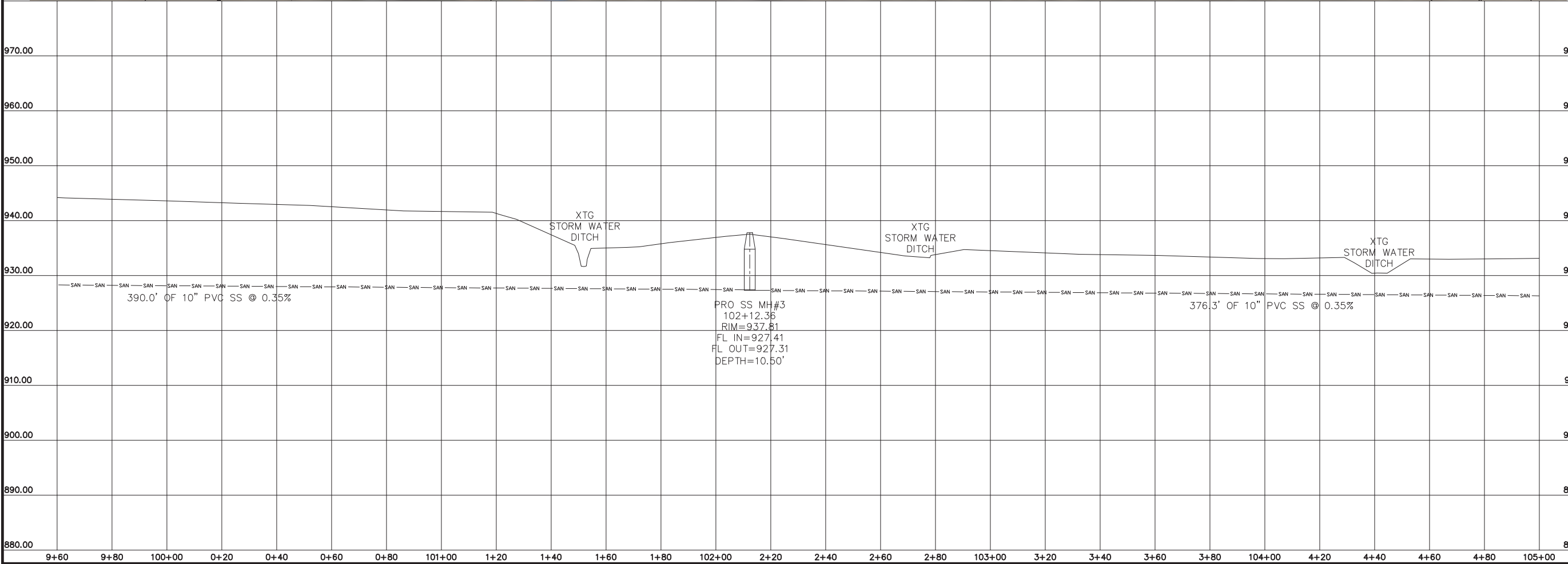


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BUESING ASSOCIATES INC. ENGINEERS AND SURVEYORS 1212 LOCUST ST, DUBUQUE, IA (563) 556-4389	DATE	REVISIONS	DRAWN BY:
	3/18/24	4/29/24	TPL
	SCALE:	5/23/24	CHECKED BY:
	SEE BAR	SCALE	PJN
PROJECT		NO. 23225	
SHEET TITLE		PREPARED FOR: LAKEVIEW ESTATES LLC C/O BILL HERMSEN 2104 332ND AVE. DYERSVILLE, IA 52040	
LAKE VIEW ESTATES PLAN AND PROFILE SS DYERSVILLE, IOWA			
D.14			

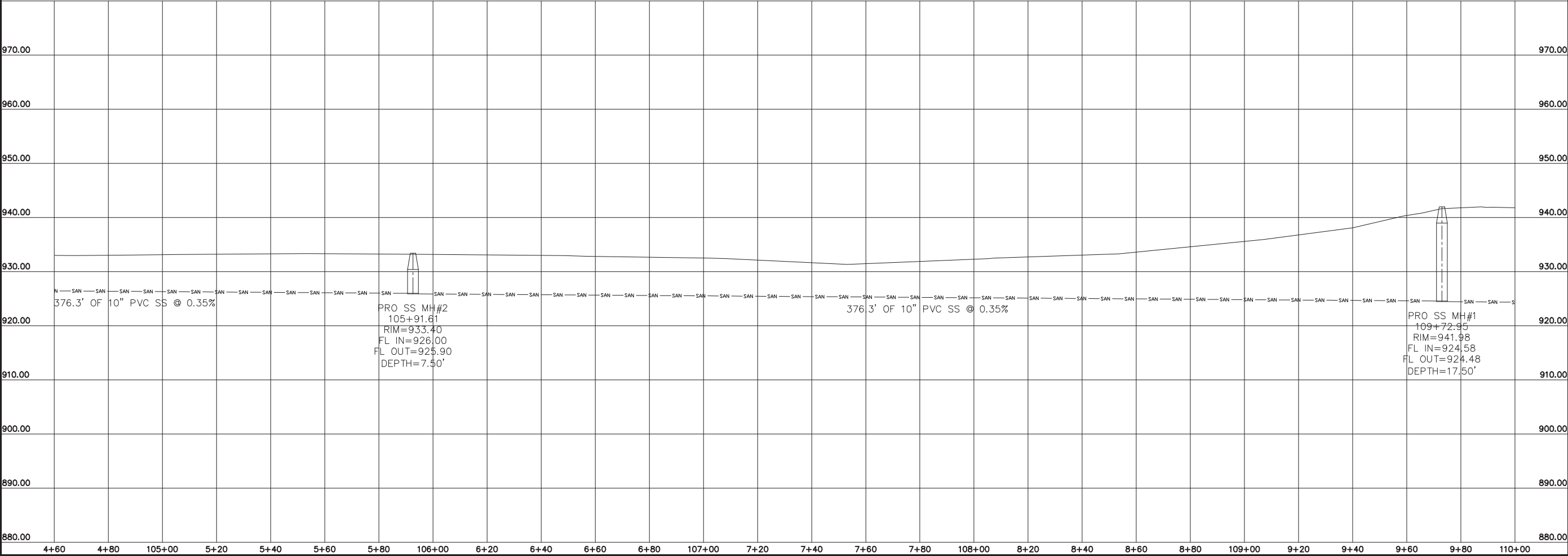




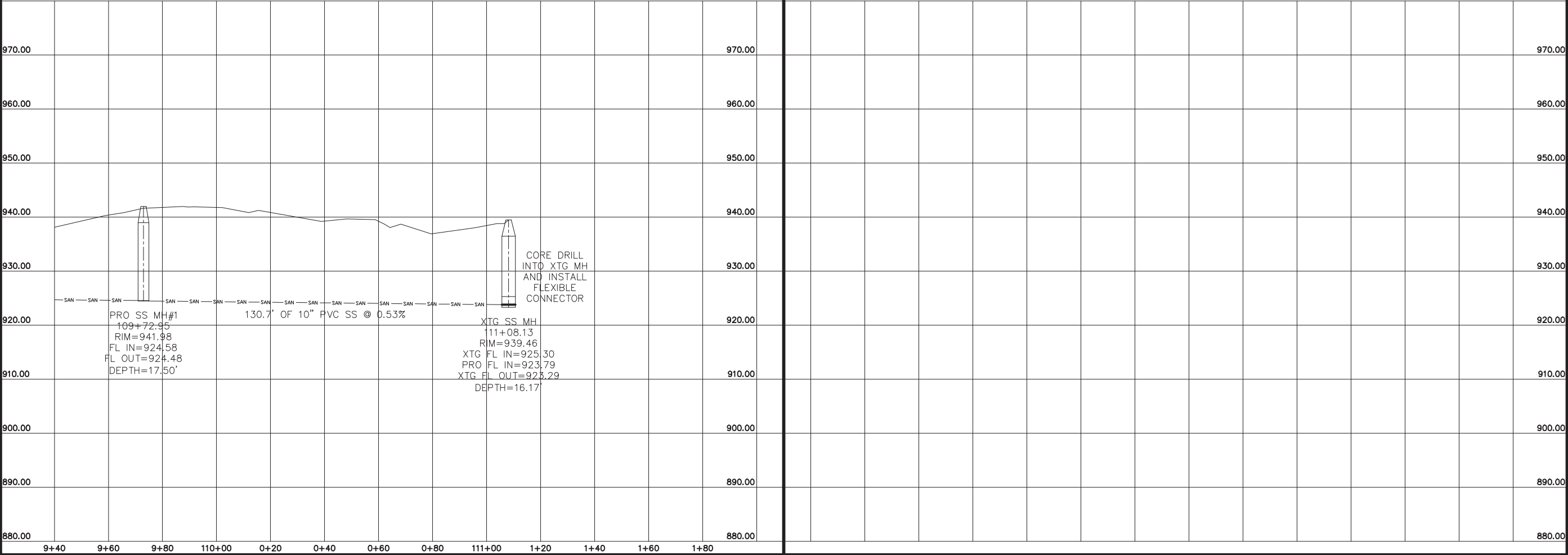
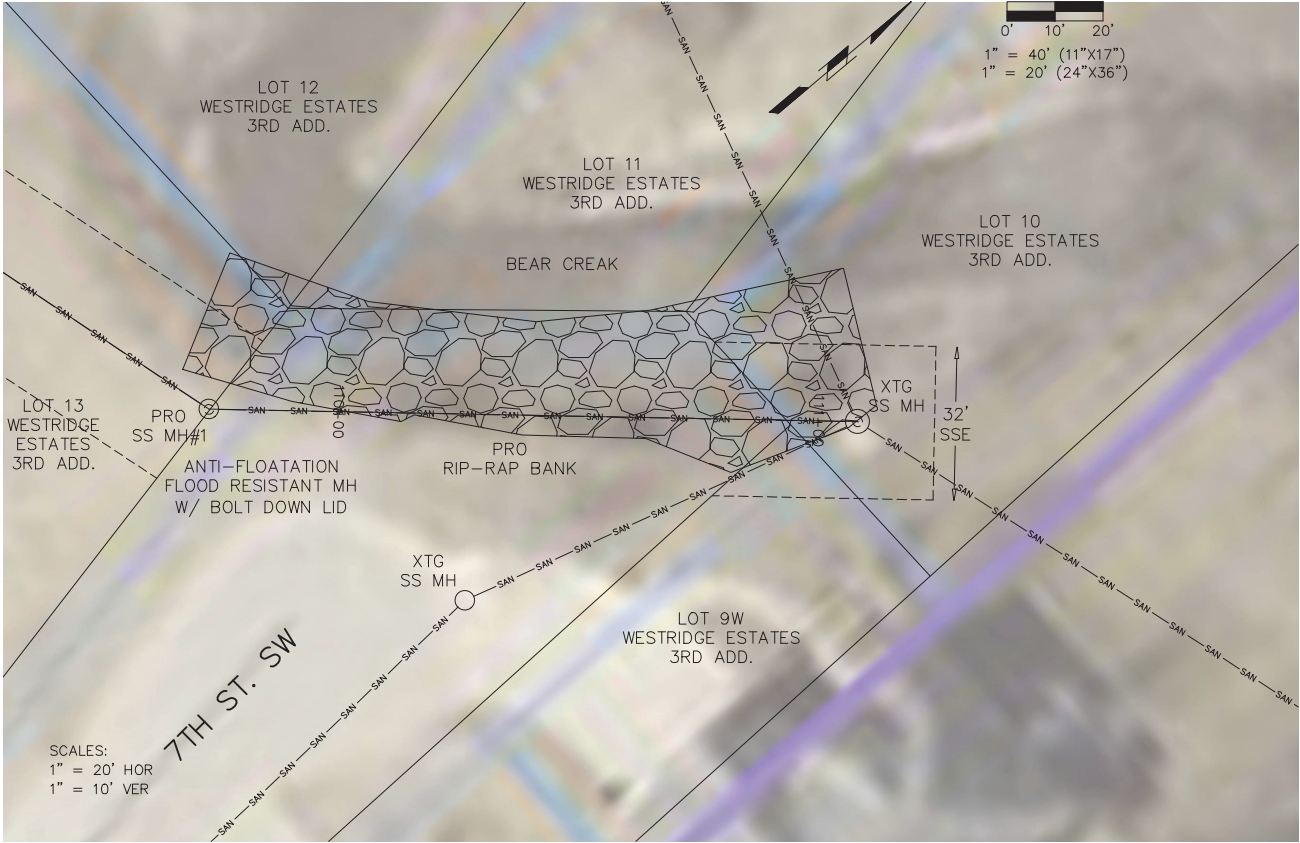
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PROJECT		NO. 23225	
LAKE VIEW ESTATES PLAN AND PROFILE SS DYERSVILLE, IOWA		PREPARED FOR: LAKEVIEW ESTATES LLC C/O BILL HERMSEN 2104 332ND AVE. DYERSVILLE, IA 52040	

D.16



D.17	SHEET TITLE LAKE VIEW ESTATES PLAN AND PROFILE SS DYERSVILLE, IOWA	PROJECT	NO. 23225 PREPARED FOR: LAKEVIEW ESTATES LLC C/O BILL HERMSEN 2104 352ND AVE. DYERSVILLE, IA 52040	BUESING & ASSOCIATES INC. <i>ENGINEERS' AND SURVEYORS</i> 1212 LOCUST ST, DUBUQUE, IA (565) 556-4389		REVISIONS		DRAWN BY:
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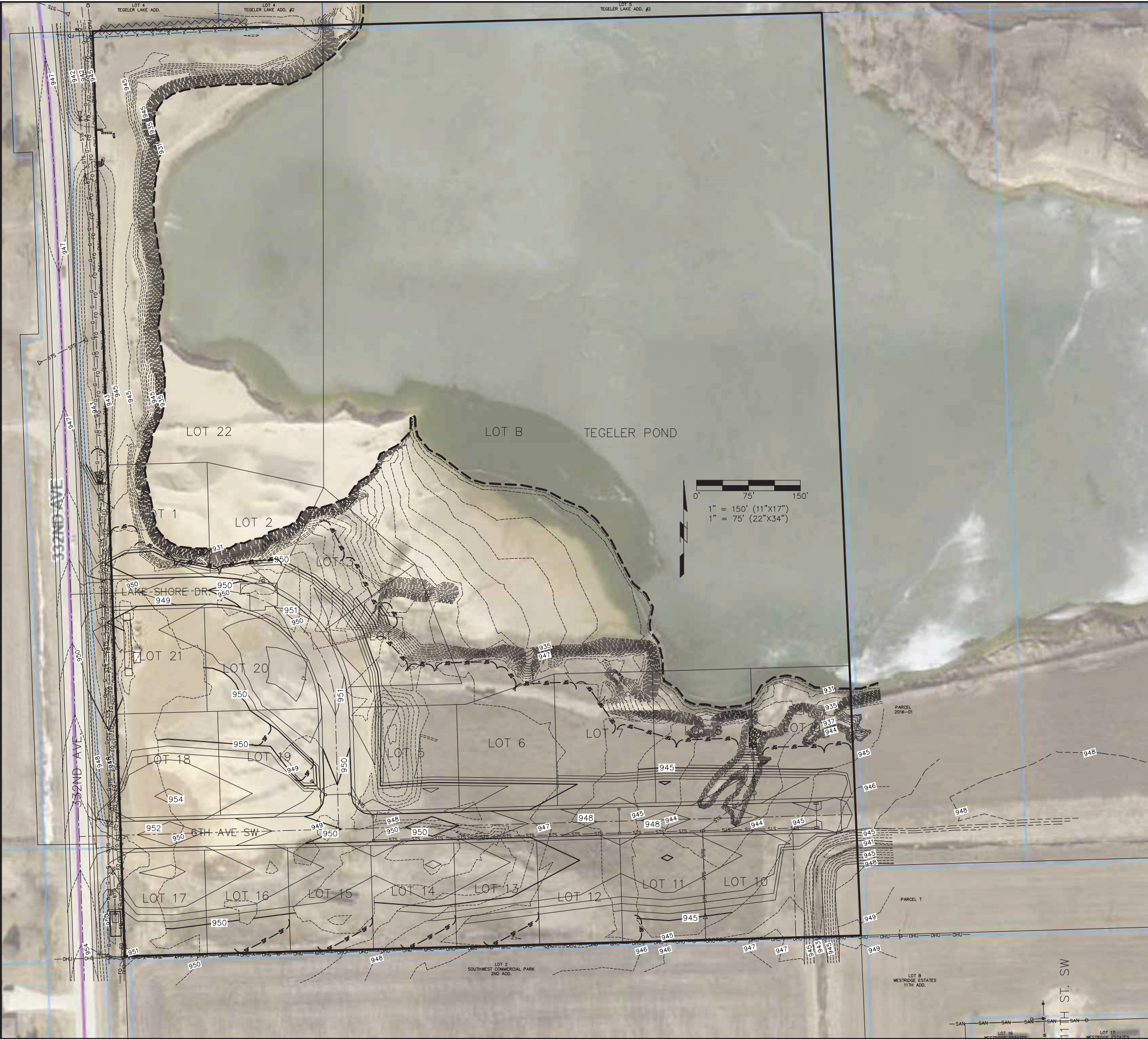


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BUESING & ASSOCIATES INC.
ENGINEERS AND SURVEYORS
1212 LOCUST ST, DUBUQUE, IA 52001
(563) 556-4389

LAKE VIEW ESTATES
PLAN AND PROFILE SS
DYERSVILLE, IOWA

D.18



GRADING PLAN & INITIAL STORM WATER POLLUTION PREVENTION PLAN LAKE VIEW ESTATES DYERSVILLE, IOWA

- CONSTRUCTION NOTES
1. ALL CONSTRUCTION IS TO BE PER CITY OF DYERSVILLE STANDARDS AND SPECIFICATIONS AND SUDAS STANDARD SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 2. THE LOCATION OF ALL PUBLIC UTILITIES INDICATED ON THIS PLAN ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THIS PLAN MAY BE PRESENT.
 3. ALL DISTURBED AREAS NOT BEING RE-DISTURBED FOR 21 DAYS MUST BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 14 DAYS.
 4. GRADING CONTRACTOR SHALL PROVIDE SEDIMENT AND EROSION PREVENTION PRACTICES, SUCH AS INTERCEPTOR DIKES AND SWALES, AND TEMPORARY SEDIMENT BASINS. SUCH PRACTICES SHALL BE INCIDENTAL TO THE SITE GRADING COSTS.
 5. TOPSOIL SHALL BE STOCKPILED FOR USE IN FINAL GRADING, WITH A MINIMUM REPLACEMENT AMOUNT OF 4". TOPSOIL SHALL BE PRESERVED IN ALL AREAS NOT COVERED BY CONCRETE, ASPHALT, GRAVEL OR OTHER SUCH MATERIAL.
 6. LOCATION OF TOPSOIL PILE SHALL BE PER OWNERS DIRECTION.
 7. VEGETATION IS TO BE PRESERVED IN ALL AREAS OUTSIDE OF THE GRADING LIMITS.
 8. SEE SUDAS FIGURE 9040.102 FOR FILTER BERM AND FILTER SOCK DETAIL, FIGURE 9040.107 FOR ROCK CHECK DAM DETAIL, FIGURE 9040.119 FOR SILT FENCE DETAIL, AND FIGURE 9040.120 FOR STABILIZED CONSTRUCTION ENTRANCE DETAIL.
 9. THE GRADING CONTRACTOR IS TO USE THIS SWPPP AS AN INITIAL GUIDE AND SHALL MODIFY, ADD, AND/OR MOVE CONTROLS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 10. THE PROPOSED STORM SEWER SYSTEM SHOWN SHALL BE PLACED AS A PART OF THE IMPROVEMENT CONTRACT, AND NOT BE A PART OF THE SITE GRADING CONTRACT.
 11. SEDIMENT CONTROL DEVICES SUCH AS FILTER SOCKS SHALL BE USED ON OR AROUND ALL CATCH BASINS WITHIN EACH PHASE OF THE DEVELOPMENT.

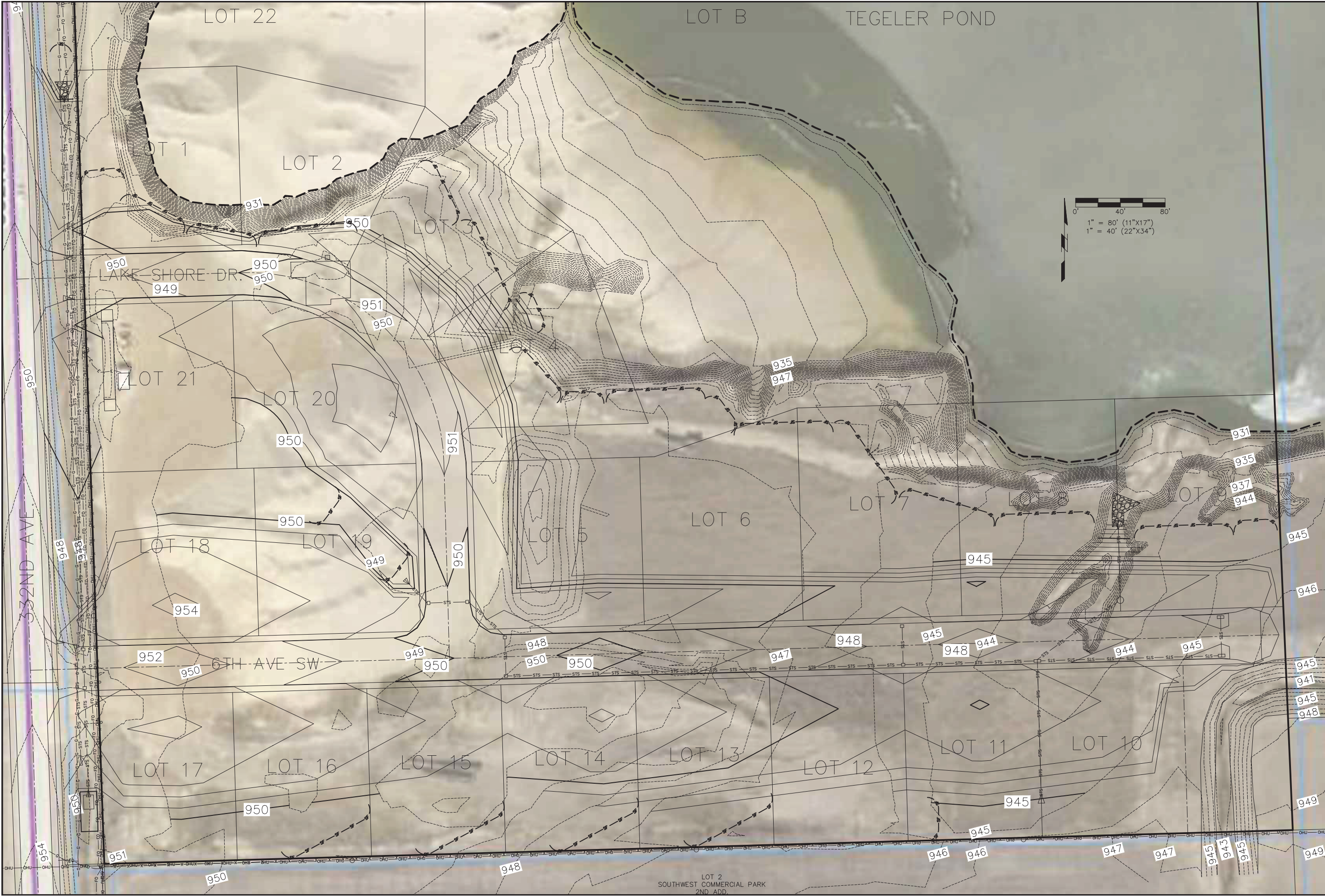
- CONCRETE WASHOUT AREA
1. THE CONCRETE WASHOUT AREA IS TO BE A BELOW GRADE 7' X 7' PIT, WITH A MAXIMUM DEPTH OF 3', AND LINED WITH 10 MIL. PLASTIC SHEETING (FREE FROM HOLES, TEARS, AND SEAMS). THE PLASTIC LINER IS TO BE SECURED USING STAKES, STAPLES OR SANDBAGS. THE PLASTIC LINER SHOULD EXTEND BEYOND THE PIT FOR A MINIMUM OF 2'.
 2. A SIGN READING "CONCRETE WASHOUT AREA" SHOULD BE PLACED ADJACENT TO THE PIT.
 3. WASHOUT AREA IS TO BE INSPECTED FREQUENTLY TO ENSURE THE LINER IS INTACT.
 4. ONCE 75% OF THE ORIGINAL VOLUME OF THE WASHOUT PIT IS FILLED OR IF THE LINER IS TORN, THE MATERIAL MUST BE REMOVED AND PROPERLY DISPOSED OF WHEN THE CONCRETE HAS COMPLETELY HARDENED. ONCE THE HARDENED CONCRETE IS REMOVED, THE LINER MUST BE REPLACED IF TORN.
 5. WHEN THE WASHOUT PIT IS NO LONGER NEEDED, THE MATERIAL MUST BE REMOVED AND PROPERLY DISPOSED OF WHEN THE CONCRETE HAS COMPLETELY HARDENED. THE PIT SHOULD THEN BE BACKFILLED.

- SEQUENCE OF GRADING EVENTS
1. INSTALL EROSION CONTROL DEVICES
 2. GRADE SITE ACCORDING TO PLAN
 3. ADD TEMPORARY CONTROLS AS NEEDED
 4. SEED AND STABILIZE SITE
 5. REMOVE TEMPORARY CONTROLS ONLY IF SITE IS STABILIZED.
- LEGEND
- 830 --- XTG. CONTOUR
 - 800 --- PRO. CONTOUR
 - SF --- SF --- SF --- SF --- PRO. SILT FENCE OR FILTER SOCK

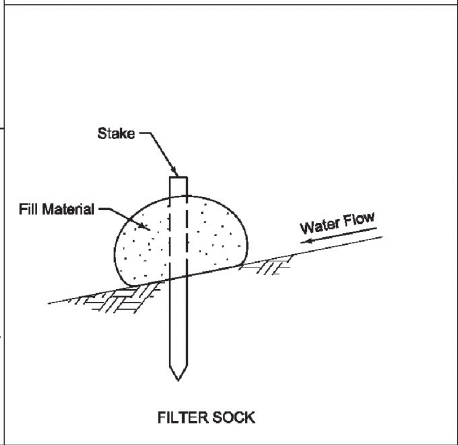
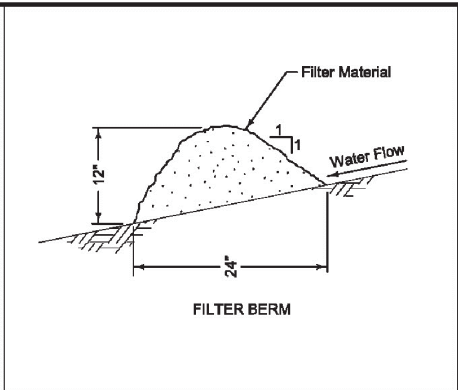
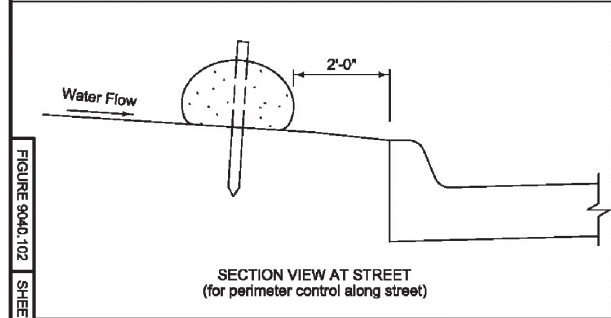
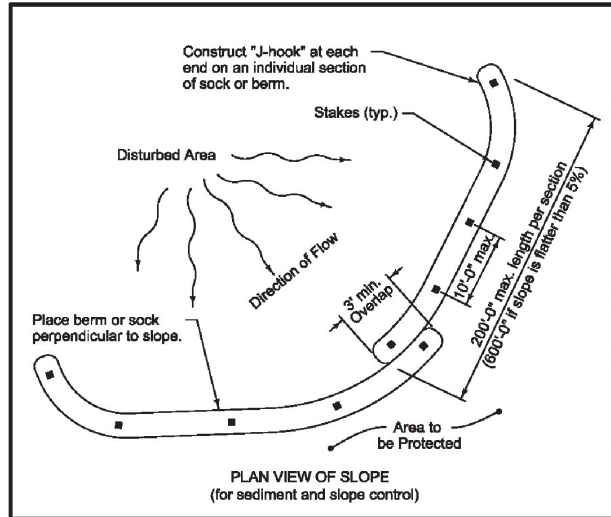
EARTHWORK VOLUMES

TOP-SOIL CUT = 6064 CY	SUBGRADE FILL = 33,608 CY
SUB-SOIL CUT = 1065 CY	+COMPACTION (1.25%) = 42,010 CY
TOTAL CUT = 7129 CY	

G.01	SHEET TITLE	PROJECT	NO. 23225	BUESING & ASSOCIATES INC. <i>ENGINEERS AND SURVEYORS</i> 1212 LOCUST ST. DUBUQUE, IA (563) 556-4389			
				DATE	REVISIONS	DRAWN BY:	
	GRADING PLAN / SWPPP LAKE VIEW ESTATES LAKE VIEW ESTATES DYERSVILLE, IOWA	PREPARED FOR: LAKEVIEW ESTATES LLC C/O BILL HERWSEN 2104 332ND AVE. DYERSVILLE, IA 52040	3/18/24	4/29/24 ADDED XTG UTIL.	TPL		
			SCALE:	5/7/24 ADJUST. 332ND UTIL.	CHECKED BY:		
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SHEET TITLE		PROJECT	NO. 23225	BUESING & ASSOCIATES INC. ENGINEERS AND SURVEYORS 1212 LOCUST ST, DUBUQUE, IA (563) 556-4389		DATE	REVISIONS	DRAWN BY:
GRADING PLAN / SWPPP LAKE VIEW ESTATES DYERSVILLE, IOWA		PREPARED FOR: LAKEVIEW ESTATES LLC C/O BILL HERMSEN 2104 332ND AVE. DYERSVILLE, IA 52040				3/18/24	4/29/24 ADDED XTE UTIL.	TPL
						SCALE:	5/7/24 ADJUST. 332ND UTIL.	CHECKED BY:
						SEE BAR	SCALE 5/23/24 MOD. STS	PJN
G.02								



Berm shown is typical for slopes flatter than 3:1. For steeper slopes, increase berm size as directed by the Engineer.

Place berm in uncompacted windrow perpendicular to the slope at locations specified in the contract documents.

Filter sock diameter as specified in the contract documents.

**SUDAS**

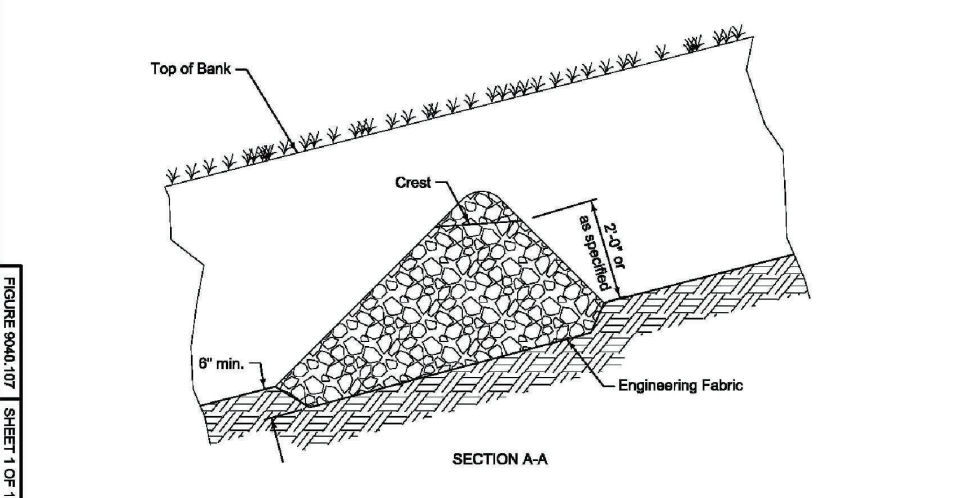
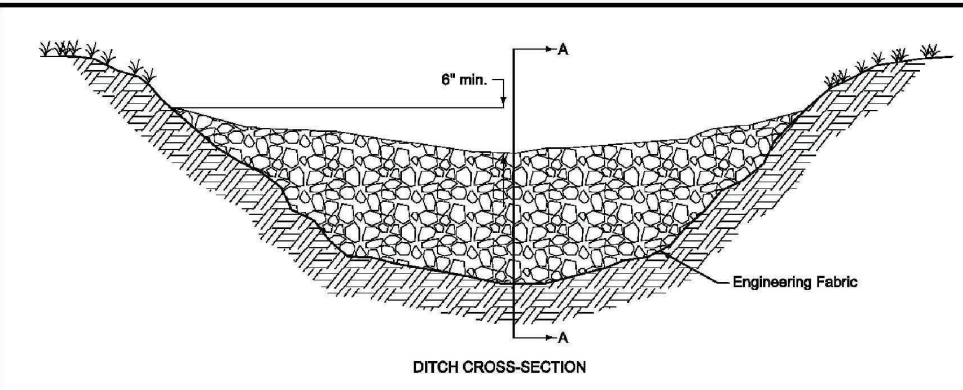
REVISION
4 10-17-17
9040.102
SHEET 1 of 1


SUDAS Standard Specifications

FILTER BERM AND FILTER SOCK

TYPICAL PLACEMENT OF BERM OR SOCK

FIGURE 9040.102
SHEET 1 OF 1



**SUDAS**

REVISION
2 10-21-14
9040.107
SHEET 1 of 1

SUDAS Standard Specifications

ROCK CHECK DAM

BUESING

ASSOCIATES INC.
ENGINEERS AND SURVEYORS
1212 LOCUST ST. DUBUQUE, IA
(563) 556-4389

PROJECT NO. 23225

PREPARED FOR:
LAKEVIEW ESTATES LLC
C/O BILL HERMSEN
2104 332ND AVE.
DYERSVILLE, IA 52040

SHEET TITLE
GRADING PLAN & SWPPP DETAILS
LAKEVIEW ESTATES
DYERSVILLE, IOWA

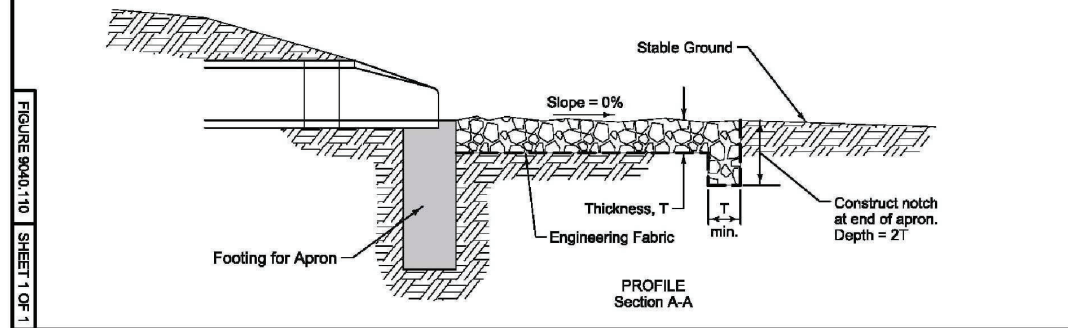
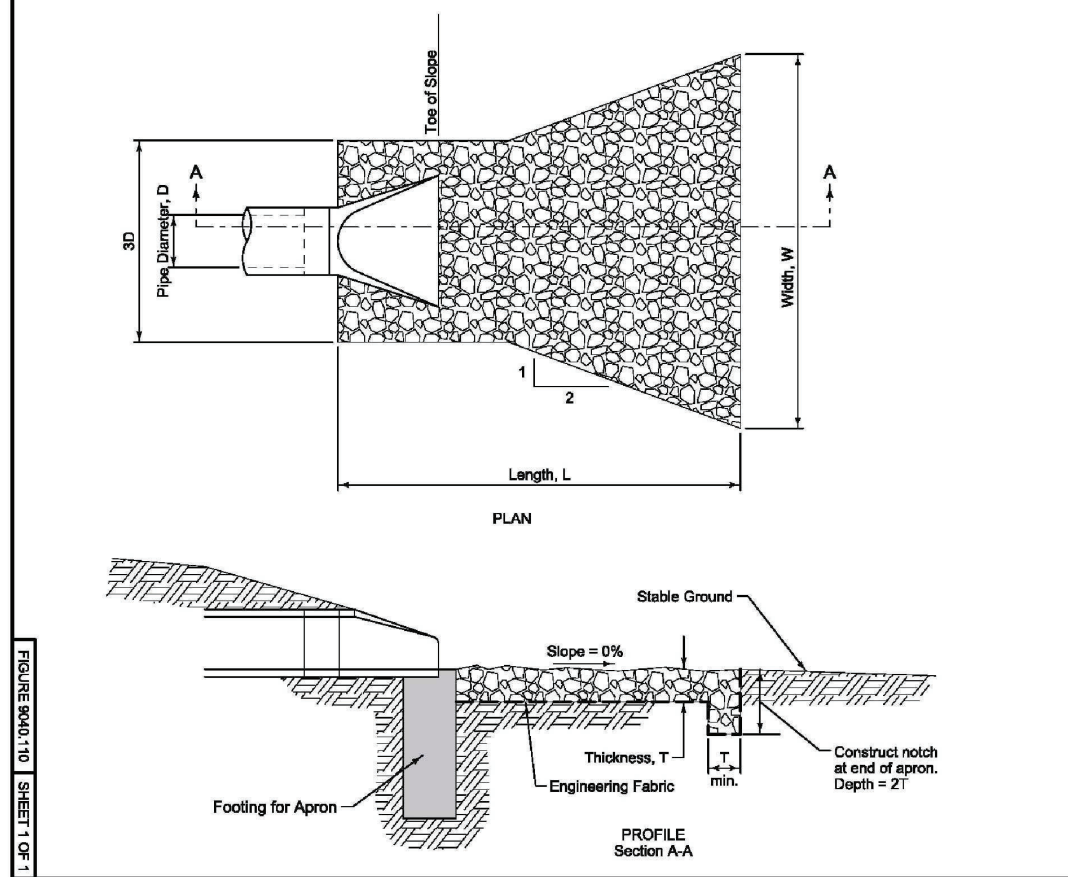
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**SUDAS**

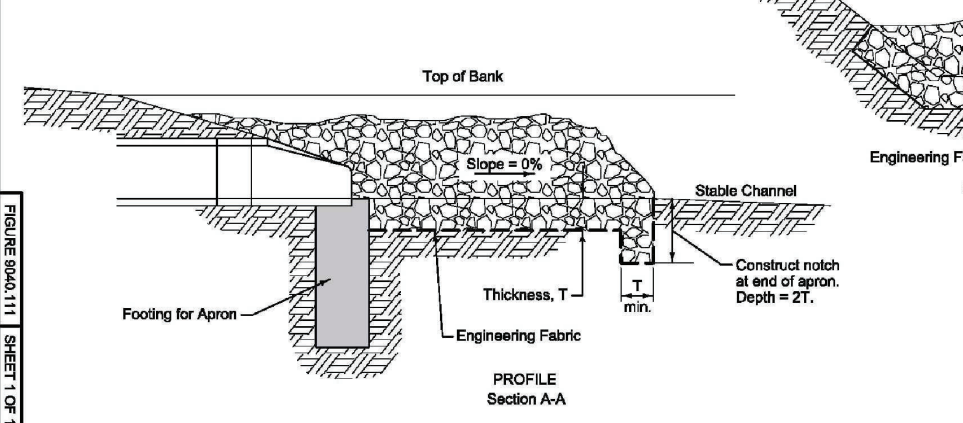
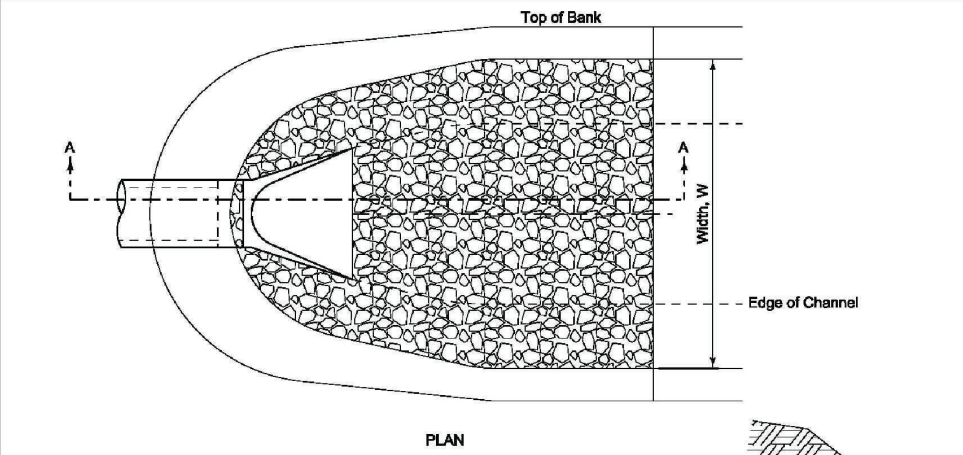
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3 10-21-14
9040.110
SHEET 1 of 1


SUDAS Standard Specifications

RIP RAP FOR PIPE OUTLET ONTO FLAT GROUND

PROFILE Section A-A

FIGURE 9040.110
SHEET 1 OF 1

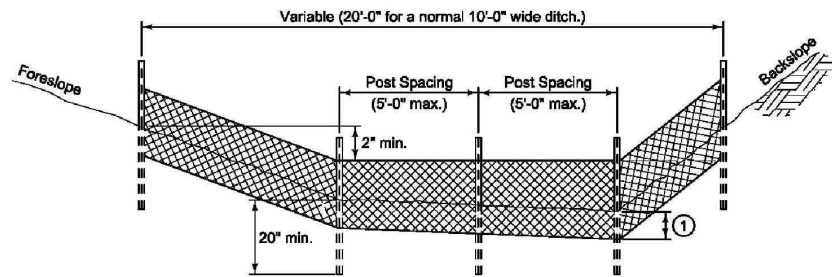


**SUDAS**

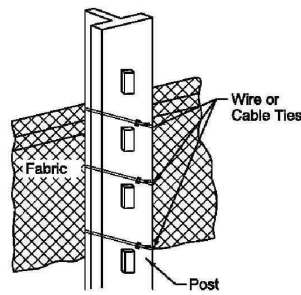
REVISION
3 10-21-14
9040.111
SHEET 1 of 1

SUDAS Standard Specifications

RIP RAP APRON FOR PIPE OUTLET INTO CHANNEL



TYPICAL SILT FENCE DITCH CHECK

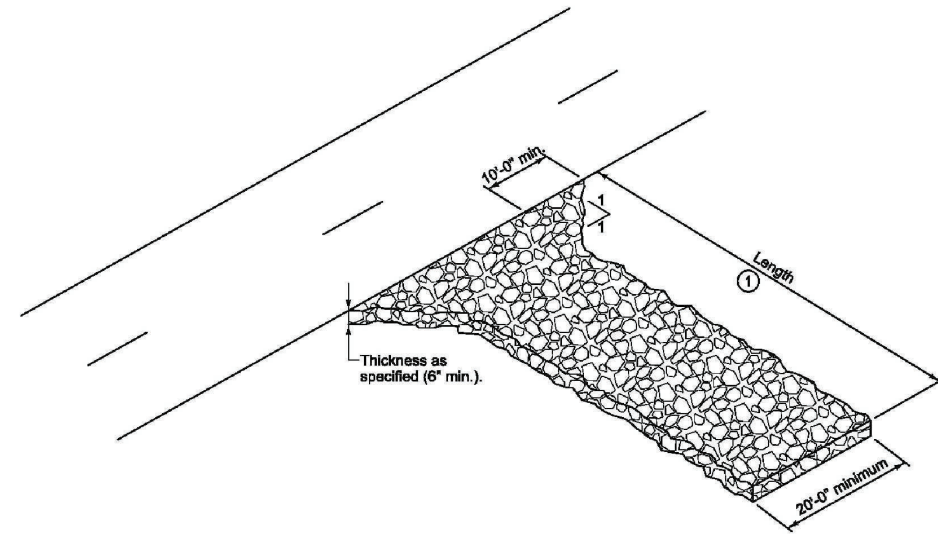


ATTACHMENT TO POST

- ① Insert 12 Inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).

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SUDAS Standard Specifications	
SILT FENCE	

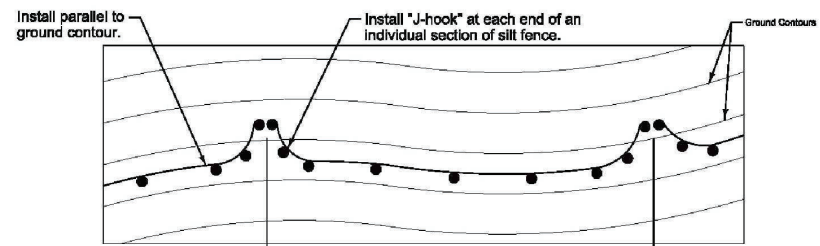
FIGURE 9040.119 SHEET 1 OF 2



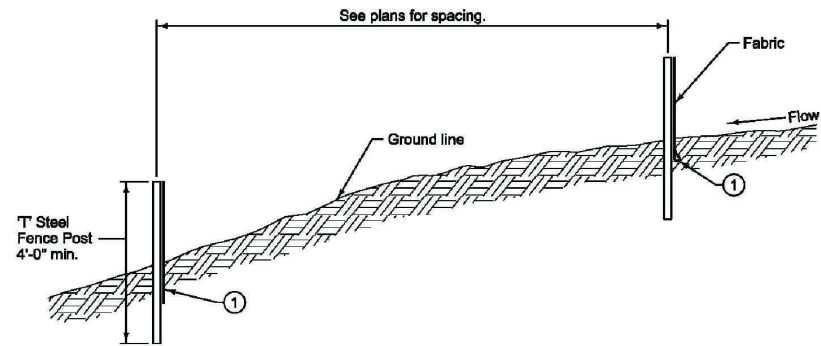
- ① Entrance length: 50 foot minimum (50 foot for single family residential), or as specified in the contract documents. Length of entrance may be increased if sediment track-out occurs.

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SUDAS Standard Specifications	
STABILIZED CONSTRUCTION ENTRANCE	

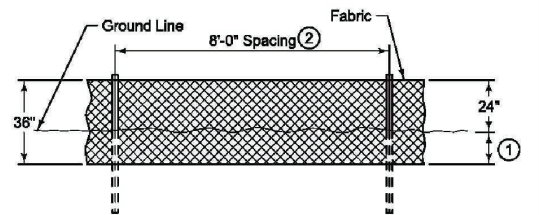
FIGURE 9040.120 SHEET 1 OF 1



TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (Plan View)



TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (Profile View)



DETAILS OF SILT FENCE ON LONGITUDINAL SLOPES

- ① Insert 12 Inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).
- ② Reduce post spacing to 5'-0" at water concentration areas, or as required to adequately support fence.

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9040.119	SHEET 2 OF 2
SUDAS Standard Specifications	
SILT FENCE	

FIGURE 9040.119 SHEET 2 OF 2

PROJECT NO. 23225
SHEET TITLE
GRADING PLAN & SWPPP DETAILS
LAKE VIEW ESTATES
LAKE VIEW ESTATES
DYERSVILLE, IOWA
PREPARED FOR:
LAKEVIEW ESTATES LLC
C/O BILL HERMSEN
2104 332ND AVE.
DYERSVILLE, IA 52040

DATE
1/25/24
SCALE:
DRAWN BY:
TPL
CHECKED BY:

BUESING
ASSOCIATES INC.
ENGINEERS AND SURVEYORS
1212 LOCUST ST, DUBUQUE, IA
(563) 556-4389

STORM WATER POLLUTION PREVENTION PLAN
LAKE VIEW ESTATES
CITY OF DUBUQUE, IOWA.

POLLUTION PREVENTION PLAN

All contractors/subcontractors shall conduct their operations in a manner that minimizes erosion and prevents sediments from leaving the construction limits. The prime contractor shall be responsible for compliance with soil erosion requirements of the Iowa Code, The Iowa Department of Natural Resources NPDES General Permit No.2 and local ordinances. The prime contractor shall also be responsible for compliance and implementation of the Pollution Prevention Plan (PPP) for their entire contract. These responsibilities shall be further shared with subcontractors whose work is a source of potential pollution as defined in this PPP.

1. STORM WATER DISCHARGE PERMIT

This project requires the obtaining of a NPDES General Permit No.2 for storm water discharge associated with industrial activity for construction activities from The Iowa Department of Natural Resources (IDNR), as required by The Environmental Protection Agency (EPA). The Permit is already in place. The prime contractor and all subcontractors shall be responsible for compliance and fulfilling all requirements of the NPDES General Permit No.2 including The Storm Water Pollution Prevention Plan.

IA DNR AUTHORIZATION NUMBER: _____

2. SITE DESCRIPTION

This Pollution Prevention Plan (PPP) is for the construction of a proposed Residential Subdivision.

This PPP covers approximately 30 acres with an estimated 12 acres being disturbed.

The PPP is located in an area of urban activities land use.

The PPP is located in an area with a majority of soils classified as Saude loam, Hydrologic Soil Group "B". The estimated runoff coefficient for the site after construction is 0.60.

Refer to the project plans for locations of typical slopes, ditch grades, and major structural and non-structural controls. A copy of this plan will be on file at the owner's office. Runoff from this work will flow into a storm sewer system to an unnamed tributary to Bear Creek.

POTENTIAL SOURCES OF POLLUTION

Site sources of pollution generated as a result of this work relate to silts and sediment which may be transported as a result of a storm event. However, this PPP provides conveyance for other (non-project related) operations. These other operations have storm water runoff, the regulation of which is beyond the control of this PPP. Potentially this runoff can contain various pollutants related to site-specific land uses, Examples are:

Rural Agricultural Activities:
Runoff from agricultural land use can potentially contain chemicals including herbicides, pesticides, fungicides and fertilizers.

3. CONTROLS

Prior to beginning grading, excavation or clearing and grubbing operation, silt fence shall be placed along the perimeter of the areas to be disturbed at locations where runoff can move off site. Vegetation in areas not needed for construction shall be preserved. As areas reach their final grade, additional silt fences, silt basins, intercepting ditches, sod flumes, earth dikes, filter berms and inlet filters etc., shall be installed as specified in the plans and/or as required for the project. This will include using silt fence as ditch checks and to protect intakes. Temporary stabilizing seeding shall be completed as the disturbed areas are constructed. If construction activity is not planned to occur in a disturbed area during the current construction season, the area shall be stabilized by temporary seeding or mulching. Other stabilizing methods shall be used outside the seeding time period.

As the work progresses, additional erosion control devices such as silt fences, filter berms and inlet filters may be required as determined for the project after field investigation. These erosion control devices and other appropriate measures shall be installed by the contractor or erosion control subcontractor as directed. The construction will be completed with the establishment of permanent vegetation of all pervious disturbed areas by the contractor or surface restoration subcontractor.

4. OTHER CONTROLS

Contractor disposal of unused construction materials and construction material wastes shall comply with applicable state and local waste disposal, sanitary sewer, or septic system regulations. In the event of a conflict with other governmental laws, rules and regulations, the more restrictive laws, rules or regulations shall apply.

Contractor shall remove any excess soil from vehicles prior to leaving the site to prevent off site tracking of soil onto adjacent streets. Excess soil tracked onto the streets shall be cleaned up and returned to the site.

APPROVED STATE OR LOCAL PLANS:

During the course of this construction, it is possible that situations will arise where unknown materials will be encountered. When such situations are encountered, they will be handled according to all federal, state, and local regulations in effect at the time.

5. MAINTENANCE

The contractor is required to maintain all temporary erosion control measures in proper working order, including cleaning, repairing, or replacing them throughout the contract period. Cleaning of silt control devices shall begin when the features have lost 50% of their capacity.

Additional erosion control measures shall be placed to lessen the load on current measures which exhibit a pattern of becoming overloaded with sediment.

6. INSPECTIONS

Inspections shall be made jointly by the contractor and the contracting authority every seven calendar days. The contractor shall immediately begin corrective action on all deficiencies found. The findings of this inspection shall be recorded in the project diary. This PPP may be revised based on the findings of the inspection. The contractor shall implement all revisions. All corrective actions shall be completed within 3 calendar days of the inspection.

7. NON-STORM DISCHARGES

This includes subsurface drains (i.e. longitudinal and standard subdrains), slope drains and bridge end drains. The velocity of the discharge from these features may be controlled by the use of patio blocks, Class A stone or erosion stone.

I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site as part of this certification. Further, by my signature, I understand that I am becoming a co-permittee, along with the owner(s) and other contractors and subcontractors signing such certifications, to the Iowa Department of Natural Resources NPDES General Permit No. 2 for "Storm Water Discharge Associated with Industrial Activity for Construction Activities" at the identified site. As a co-permittee, I understand that I, and my company, are legally required under the Clean Water Act and the Code of Iowa, to ensure compliance with the terms and conditions of the storm water pollution prevention plan developed under this NPDES permit and the terms of this NPDES permit.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is , to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

This certification must include the name and title of the person providing the signature; the name, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification is made.

OWNER: _____

SIGNATURE: _____DATE: _____

TITLE: _____

ADDRESS OF SITE: _____

CONTRACTOR: _____

SIGNATURE: _____DATE: _____

ADDRESS: _____


TELEPHONE: _____

SUBCONTRACTORS

NAME

SIGNATURE

DATE

G.05	SHEET TITLE	PROJECT	NO. 23225		DATE	REVISIONS	DRAWN BY:
	STORM WATER POLLUTION PREVENTION PLAN LAKE VIEW ESTATES	PREPARED FOR: LAKEVIEW ESTATES LLC C/O BILL HERMSEN 2104 332ND AVE. DYERSVILLE, IA 52040			1/25/24		TPL
					SCALE:		CHECKED BY: