

6 PLEX

City of Dyersville

Task # 62904

# BUILDING PERMIT APPLICATION

PERMIT NUMBER  
**26-2449**

JOB ADDRESS <b>(BUILDING 1) 1500 2ND AVE SE DYERSVILLE, IA</b>		COUNTY <b>DUBUQUE</b>																																																												
LEGAL PARCEL DESCR. <b>07-32-179-021</b>	LOT NO. <b>1</b>	BLK. <b>182</b> SUBDIVISION <b>PETTINGER</b> <input type="checkbox"/> SEE ATTACHED SHEET																																																												
OWNER OF RECORD <b>BAM DEVELOPMENT</b>		TELEPHONE																																																												
CONTRACTOR PERMIT # NAME <b>STONEGATE BUILDERS COOP</b>	PLUMBING PERMIT #	ELECTRICAL/MECHANICAL PERMIT #																																																												
ARCHITECT OR DESIGNER	ADDRESS	TELEPHONE																																																												
USE OF BUILDING <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> ACCESSORY		FLOODPLAIN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																																																												
CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> REMOVE																																																														
DESCRIBE WORK <b>NEW MULTIFAMILY</b>		Type of Const. <b>WOOD FRAME</b> <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes																																																												
SET BACKS TO FOUNDATION WALL		Basement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes																																																												
FRONT	CORNER	Size of Bldg. Total Sq. Ft. <b>2024 x 6 = 12,144</b>																																																												
REAR	ALLEY	No. of Dwelling Units <b>6</b>																																																												
SIDE	OPEN SPACE	No. of Stories <b>2</b>																																																												
LOT DIMENSIONS		Automatic Extinguishing System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes																																																												
SPECIAL CONDITIONS <b>See Attachment</b>		Off Street Parking Req. <input type="checkbox"/> Prov. <input type="checkbox"/>																																																												
VALUE OF WORK <b>\$ 1,517,562</b>		Zoning District <b>R-3</b>																																																												
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### NOTICE

SEPARATE PERMITS ARE NOT REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES THE RESPONSIBILITY FOR COMPLYING WITH LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS, RESTRICTIVE COVENANTS, OR OTHER REQUIREMENTS APPLICABLE. THIS PERMIT DOES NOT AUTHORIZE THE USE OF STREETS, ALLEYS OR SIDEWALKS FOR THE DEPOSITING OF BUILDING MATERIALS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR *[Signature]* (DATE) **9/16/25**      SIGNATURE OF OWNER *[Signature]* (DATE) **9/16/25**

Rec  
11/26/26

WHEN PROPERLY VALIDATED THIS IS YOUR PERMIT

CHECKED & APPROVED BY *[Signature]* (DATE) **9.22.26**      APPROVED BY CITY COUNCIL (DATE)

## Certificate of Occupancy

This Certificate of Occupancy is hereby issued to the above signed in accordance with the provisions set out in the City of Dyersville Municipal Code and all revisions thereto.

Your building and proposed use thereof shall comply with the provisions of the above-cited permit and other building and health ordinances of the City of Dyersville. No change or use shall be made in your building, or in any part thereof, nor may it be structurally altered, unless a Certificate of Occupancy is issued. This certificate shall be authorized after the lawful completion or alteration of the building, or occupancy and use of land.



## GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCEPTANCE WITH THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) EXCEPT WHERE AMENDED BY CITY SUPPLEMENTAL SPECIFICATIONS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY/EASEMENT/ AND OR ANY CONNECTION TO PUBLIC SEWERS, STREETS, OR UTILITIES, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AND MCCLURE ENGINEERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING UP A PRE-CONSTRUCTION MEETING WITH DYERSVILLE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE CITY AND OWNER.
5. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILT DRAWINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, PROWAG, AND IOWA CODE.
8. STAKING BY CERTIFIED ENGINEER OR LAND SURVEYOR WITH VERIFICATION BY CONTRACTOR SHALL BE DONE PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
9. CONTRACTOR IS TO PROTECT EXISTING PAVEMENT UNLESS DESIGNATED FOR REMOVAL. DAMAGED PAVEMENT SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
10. ALL SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM ANY SLURRY GENERATED BY SAW CUTTING, CONCRETE GRINDING, OR ANY OTHER CONSTRUCTION ACTIVITY.
11. ANY DEBRIS THAT SPILLS INTO ROW SHALL BE REMOVED AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
13. ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
14. CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
16. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS THAT INCLUDES ALL UTILITIES AND GRADES FOR DRAINAGE SWALES, OVERFLOWS, ACCESSIBLE RAMPS, AND DETENTION FACILITIES. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO PUBLIC WORKS AND ENGINEER OF RECORD. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
17. THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
18. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT CITY OF URBANDALE TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
19. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND 2025 STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS.
20. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE MOIST.
21. ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE. AS-BUILT DOCUMENTS OF H/C RAMPS TO BE SUBMITTED TO PUBLIC WORKS AND ENGINEERING OF RECORD.
22. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED ON THE PROJECT.
24. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY FOR ANY PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE COMPLYING WITH EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
26. NO PONDING OF WATER WILL BE ALLOWED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENT THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
27. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT BUT NOT SPECIFICALLY CALLED OUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
28. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
29. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
30. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES.
31. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
32. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTORS EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
33. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
34. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

## GRADING NOTES:

1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FIELD VERIFIED.
3. CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
5. ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.
6. THE CONTRACTOR SHALL HOLD A GENERAL PERMIT NUMBER 2 PRIOR TO CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT NUMBER 2 HOLDER SHALL BE RESPONSIBLE FOR VERIFYING THAT TOP SOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. SAID TOPSOIL REQUIREMENTS ARE LISTED IN SUDAS STANDARD SPECIFICATIONS SECTION 2010.
8. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEED. THESE AREAS SHALL BE SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
9. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
10. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
12. ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK.

## UTILITY NOTES:

1. ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
3. ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED AND USE LINKSEAL.
6. ALL MANHOLES SHALL BE INSTALLED SO THAT THE CASTING IS SET OUTSIDE OF THE SIDEWALK SECTION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY PRIOR TO ANY CONNECTION TO PUBLIC UTILITIES.
8. ALL STORM AND SANITARY SEWERS ARE TO BE CLEANED AND TESTED. ALL SANITARY SEWER MANHOLES ARE TO BE VACUUM TESTED. ALL CLEANING AND TESTINGS SHALL BE APPROVED AND WITNESSED BY THE CITY PRIOR TO PAVING. A COPY OF THE VIDEOS AND REPORTS SHALL BE PROVIDED TO THE CITY.

### SANITARY SEWER:

1. ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 AND SHALL HAVE GASKETED JOINTS.
2. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
3. MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
4. RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.

### STORM SEWER:

1. OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER.
2. ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLLOGY OR TEXT.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA AT THE COMPLETION OF THE PROJECT.
4. WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE CURING GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING ACCORDING TO SUDAS REQUIREMENTS.

### WATER MAIN:

1. HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
2. WATER MAIN SHALL BE AWWA C900-DR18 PVC.
3. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE 5-INCH STORZ NOZZLE, SHUT OFF GATE VALVE AND LOCKING CAP. ALL CHAINS SHALL REMAIN INTACT.
4. WATER MAIN TO HAVE 5' 6" BURY, TYP. EXCEPT AT CRITICAL CROSSINGS IN WHICH IT SHALL BE NO SHALLOWER THAN 5' 6".
5. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
6. THE CONTRACTOR SHALL NOT REMOVE CHAINS ON ALL HYDRANTS.
7. WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF URBANDALE).
8. ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION. ON ALL WATERMAIN STAINLESS STEEL ROODING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL OR MECHANICAL FITTING. ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING, MEGA-LUGS ARE NOT TO BE ALLOWED PER SUDAS.
9. WATER MAIN AND SEWER (SERVICE, SANITARY SEWER, STORM SEWER, OR DRAINAGE TILE) CROSSINGS SHALL HAVE A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION WHERE POSSIBLE UNLESS OTHERWISE NOTED. ALL STORM SEWER PIPE THAT CROSSES OVER THE WATER MAIN SHALL HAVE O-RING GASKETS INSTALLED.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
11. CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE/EMERGENCY ACCESS TO THE SITE, BUILDING, FDC'S, PIV'S, HYDRANTS, AND FRONT DOORS.
12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE COMMENCING AFTER FOOTING OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 903.2 OF THE IFC.
13. ALL SERVICE LINES SHALL BE PRESSURE TESTED AND BACTERIOLOGICAL SAMPLED WITH WATERMAIN.



2229 E Gravitone Ln Suite 2  
Coraville IA 52241  
P 319-628-9090  
Ankeny IA | Carroll IA | Clive IA  
Cedar Rapids IA | Fort Dodge IA  
North Liberty IA | Sioux City IA  
Macon MO | Columbia MO  
North Kansas City MO  
Lenexa KS

**NOTICE:**  
McClure Engineering Co. is not responsible or liable for any issues, claims, damages, or losses (collectively, "Losses") which arise from failure to follow these Plans, Specifications, and the engineering consultant's survey, or for Losses which arise from failure to obtain and/or follow the engineers or surveyors' guidance with respect to any alleged errors, omissions, inconsistencies, ambiguities, or conflicts contained within the Plans and Specifications.

IOWA CERTIFICATE OF AUTHORITY NO. 26887



### REVISIONS

NO.	DESCRIPTION

### PROJECT INFO

2024006030

ENGINEER DRAWN BY CHECKED BY

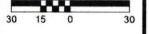
BA OF ME

2ND AVENUE MULTIFAMILY  
1520 2ND AVENUE SE  
DYERSVILLE, IA 52040  
GENERAL NOTES

DRAWING NO.  
C002

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

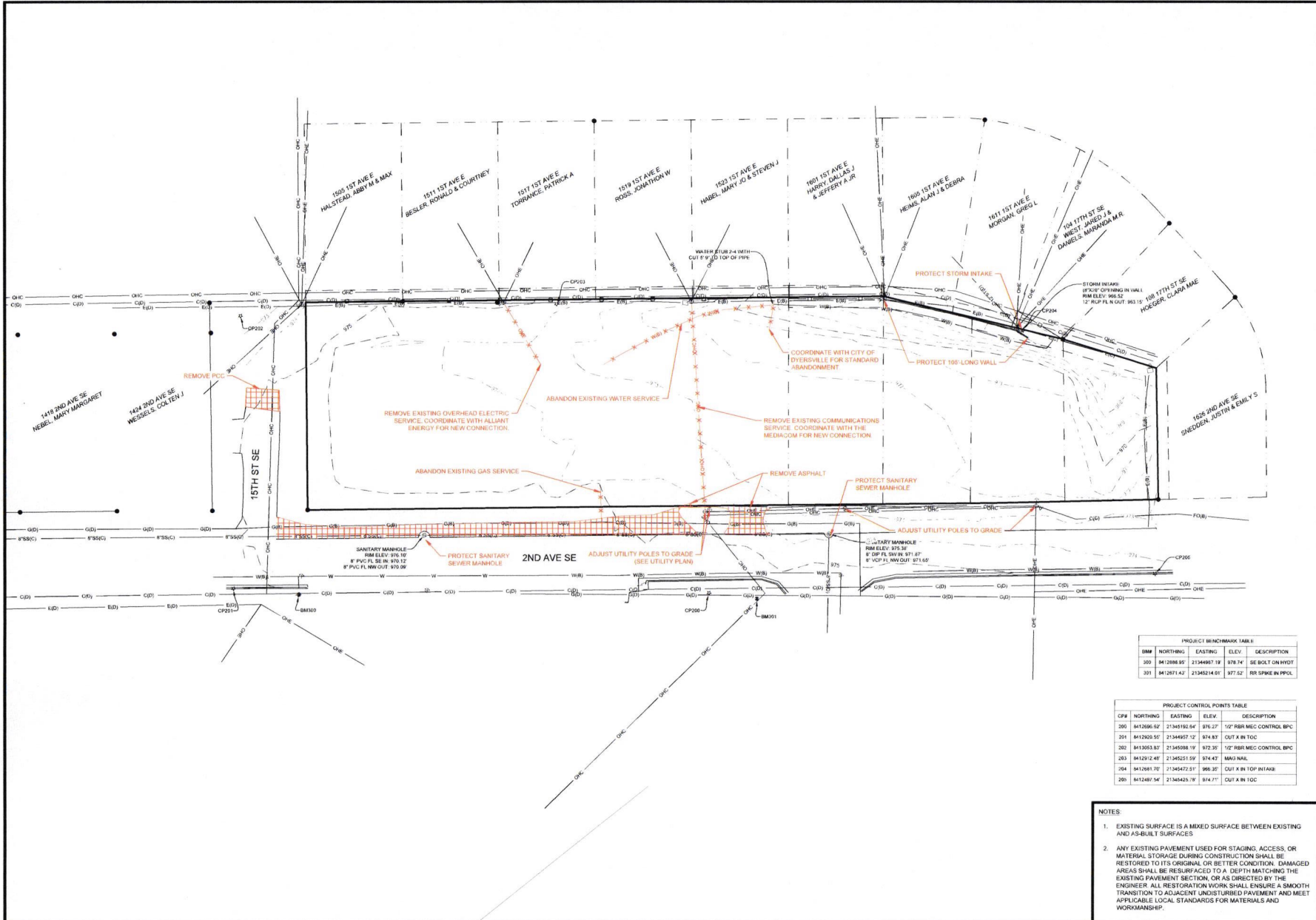


REVISIONS

PROJECT INFO  
3024006033

ENGINEER DRAWN BY CHECKED BY  
BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 EXISTING CONDITIONS AND REMOVALS



BMM	NORTHING	EASTING	ELEV.	DESCRIPTION
300	8412886.95	21344897.19	878.74	SE BOLT ON HYD'T
301	8412871.42	21345214.01	977.52	RR SPIKE IN PPOL

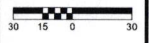
CP#	NORTHING	EASTING	ELEV.	DESCRIPTION
300	8412886.92	21345182.84	876.27	1/2" RBR MEC CONTROL BPC
301	8412920.52	21344937.12	874.83	CUT X IN TOC
302	8413053.81	21345098.19	872.35	1/2" RBR MEC CONTROL BPC
283	8412912.48	21345251.59	874.42	MANH HAIL
284	8412881.72	21345472.51	966.20	CUT X IN TOP INTAKE
285	8412487.54	21345429.78	874.71	CUT X IN TOC

- NOTES
- EXISTING SURFACE IS A MIXED SURFACE BETWEEN EXISTING AND AS-BUILT SURFACES
  - ANY EXISTING PAVEMENT USED FOR STAGING, ACCESS, OR MATERIAL STORAGE DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION. DAMAGED AREAS SHALL BE RESURFACED TO A DEPTH MATCHING THE EXISTING PAVEMENT SECTION, OR AS DIRECTED BY THE ENGINEER. ALL RESTORATION WORK SHALL ENSURE A SMOOTH TRANSITION TO ADJACENT UNDISTURBED PAVEMENT AND MEET APPLICABLE LOCAL STANDARDS FOR MATERIALS AND WORKMANSHIP.



**NOTICE**  
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IOWA CERTIFICATE OF AUTHORITY NO. 26867

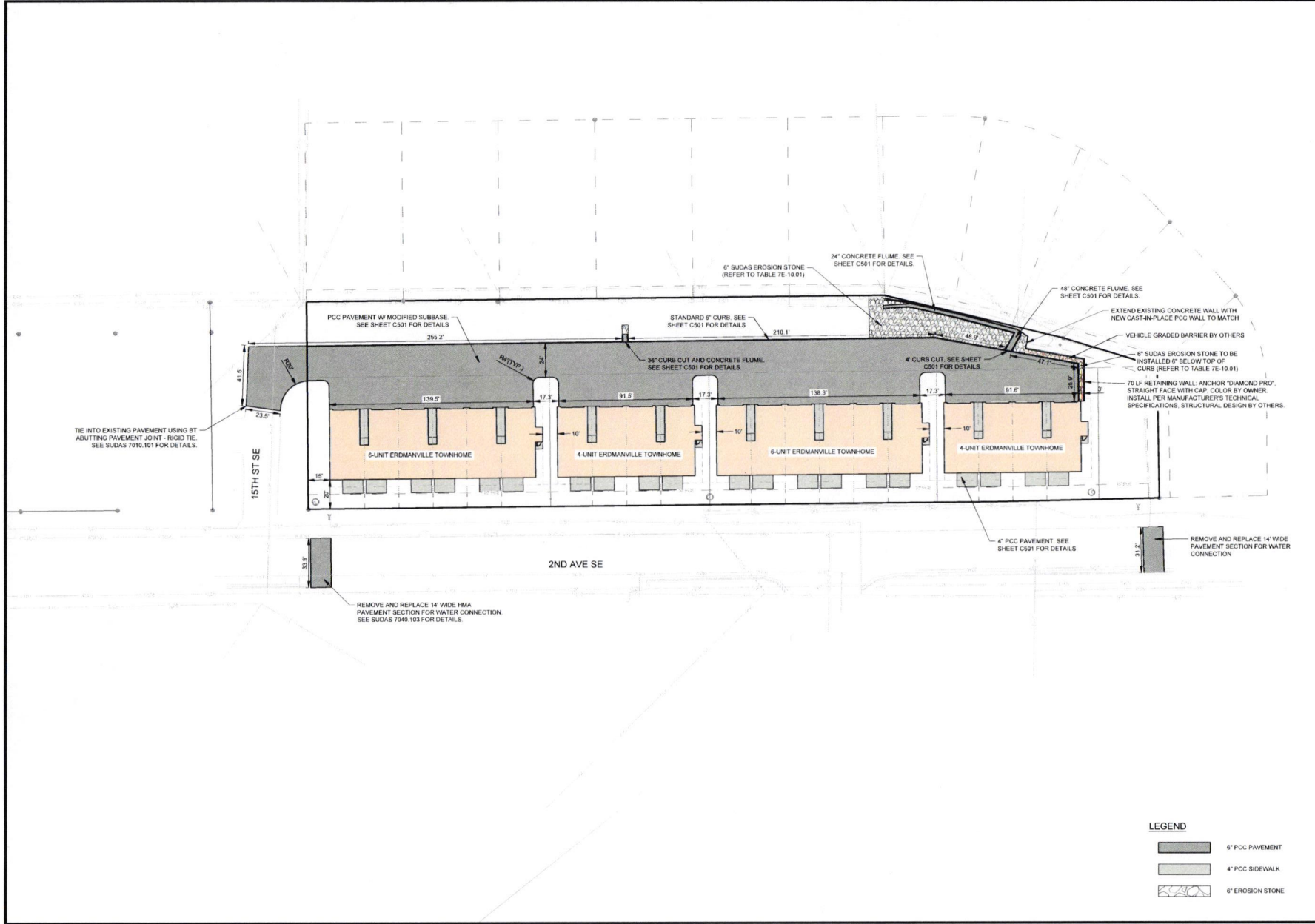


REVISIONS

PROJECT INFO  
 202400630  
 ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
**SITE PLAN**

DRAWING NO  
**C101**



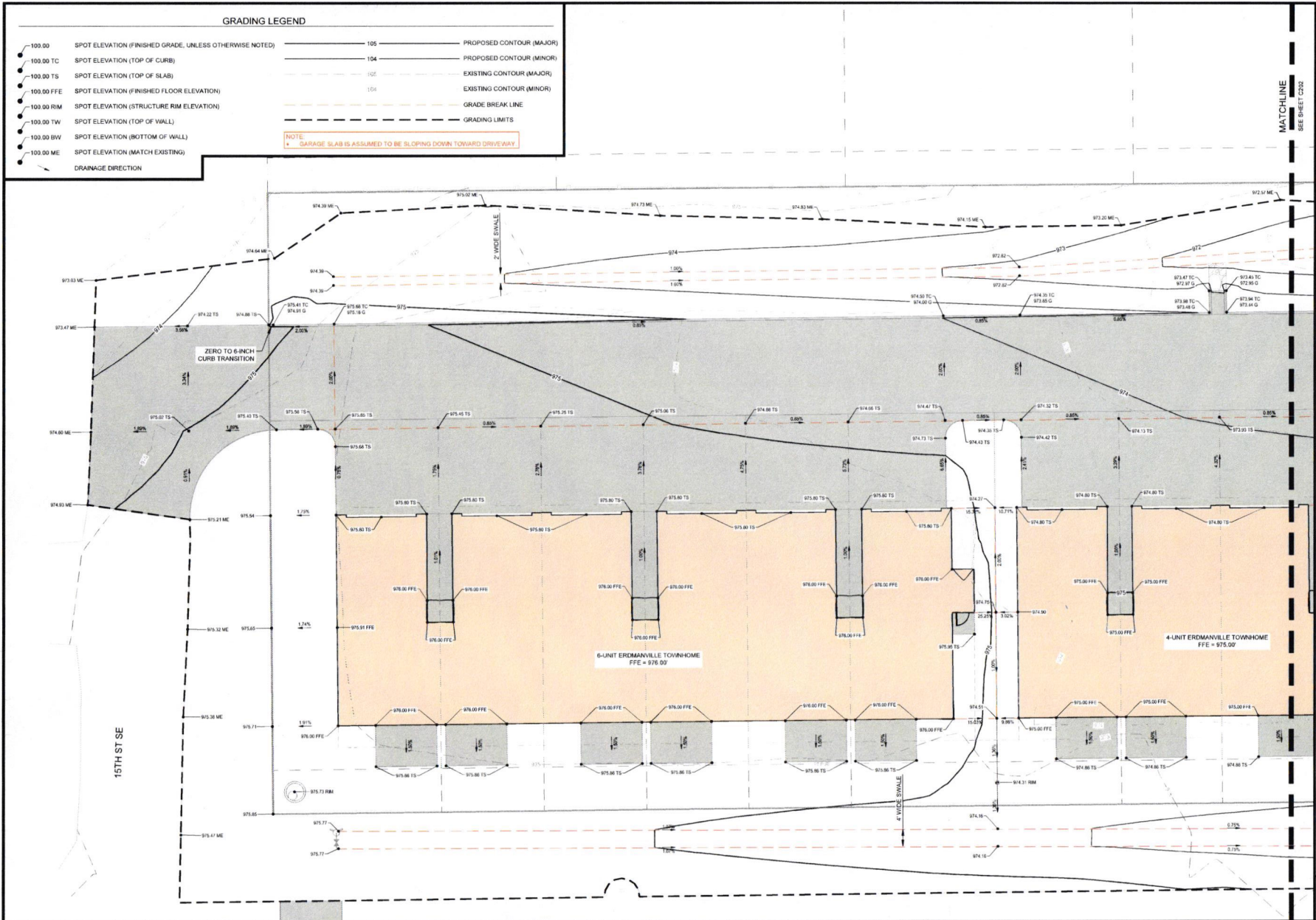
**LEGEND**

6\" PCC PAVEMENT
4\" PCC SIDEWALK
6\" EROSION STONE

**GRADING LEGEND**

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
  - 100.00 TC SPOT ELEVATION (TOP OF CURB)
  - 100.00 TS SPOT ELEVATION (TOP OF SLAB)
  - 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
  - 100.00 RM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
  - 100.00 TW SPOT ELEVATION (TOP OF WALL)
  - 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
  - 100.00 ME SPOT ELEVATION (MATCH EXISTING)
  - DRAINAGE DIRECTION
- 105 — PROPOSED CONTOUR (MAJOR)
  - 104 — PROPOSED CONTOUR (MINOR)
  - - - 105 - - - EXISTING CONTOUR (MAJOR)
  - - - 104 - - - EXISTING CONTOUR (MINOR)
  - - - - - GRADE BREAK LINE
  - - - - - GRADING LIMITS

NOTE:  
\* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY

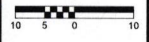


MATCHLINE  
SEE SHEET C202

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

NO.	DESCRIPTION

PROJECT INFO  
2024060635

ENGINEER DRAWN BY: SA OF ME  
 CHECKED BY: SA OF ME

**2ND AVENUE MULTIFAMILY**  
**1520 2ND AVENUE SE**  
**DYERSVILLE, IA 52040**  
**GRADING PLAN**

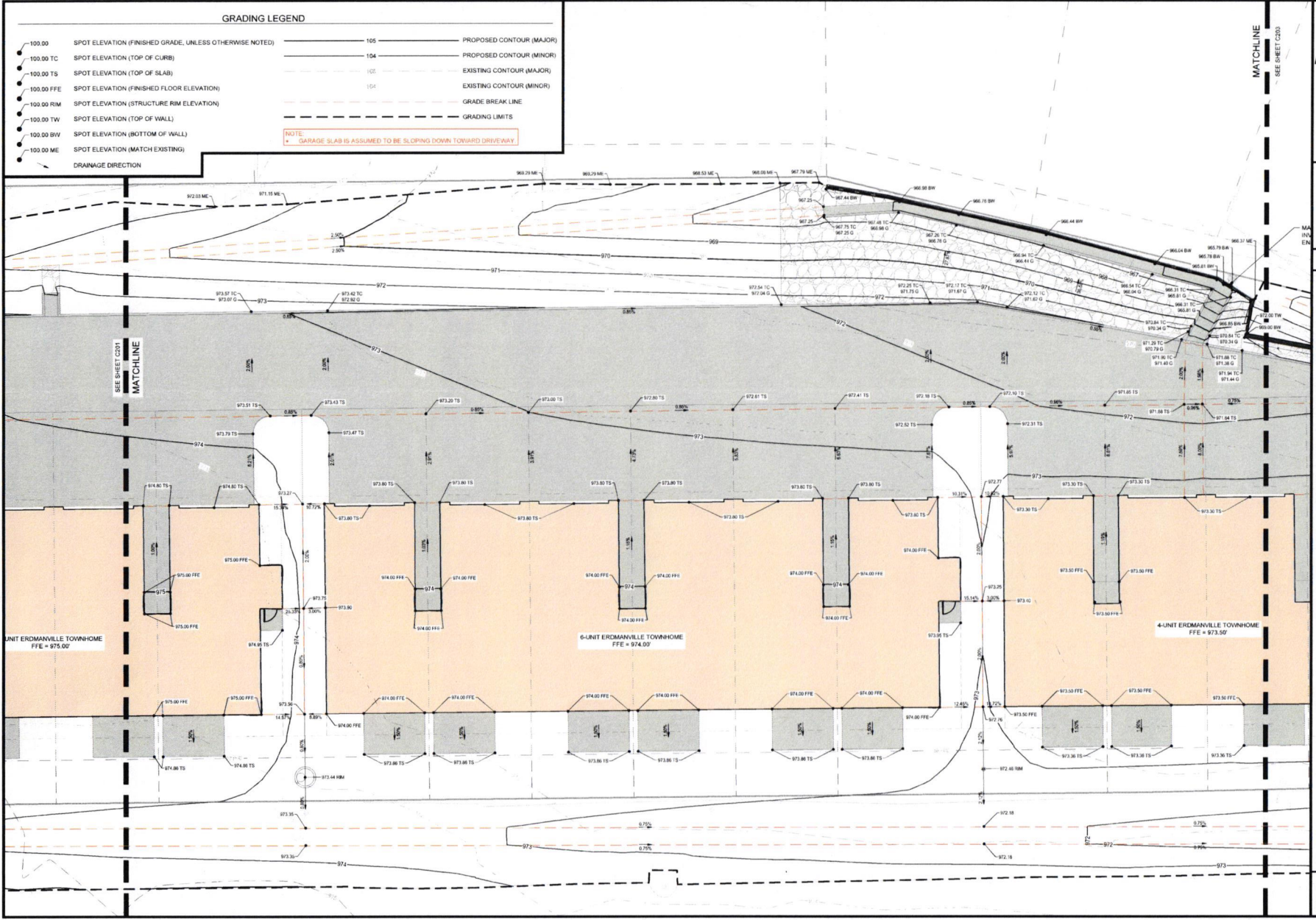
DRAWING NO.  
**C201**

T:\2024\06\1520-2ND AVENUE MULTIFAMILY\CONSTRUCTION\DOCUMENTS\GRADING.DWG

**GRADING LEGEND**

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RIM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BV SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- 105 PROPOSED CONTOUR (MAJOR)
- 104 PROPOSED CONTOUR (MINOR)
- 103 EXISTING CONTOUR (MAJOR)
- 104 EXISTING CONTOUR (MINOR)
- GRADE BREAK LINE
- - - - GRADING LIMITS

NOTE:  
 \* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY

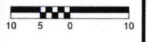


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IOWA CERTIFICATE OF AUTHORITY NO. 26887



**REVISIONS**

NO.	DESCRIPTION	DATE	BY	CHECKED BY

**PROJECT INFO**

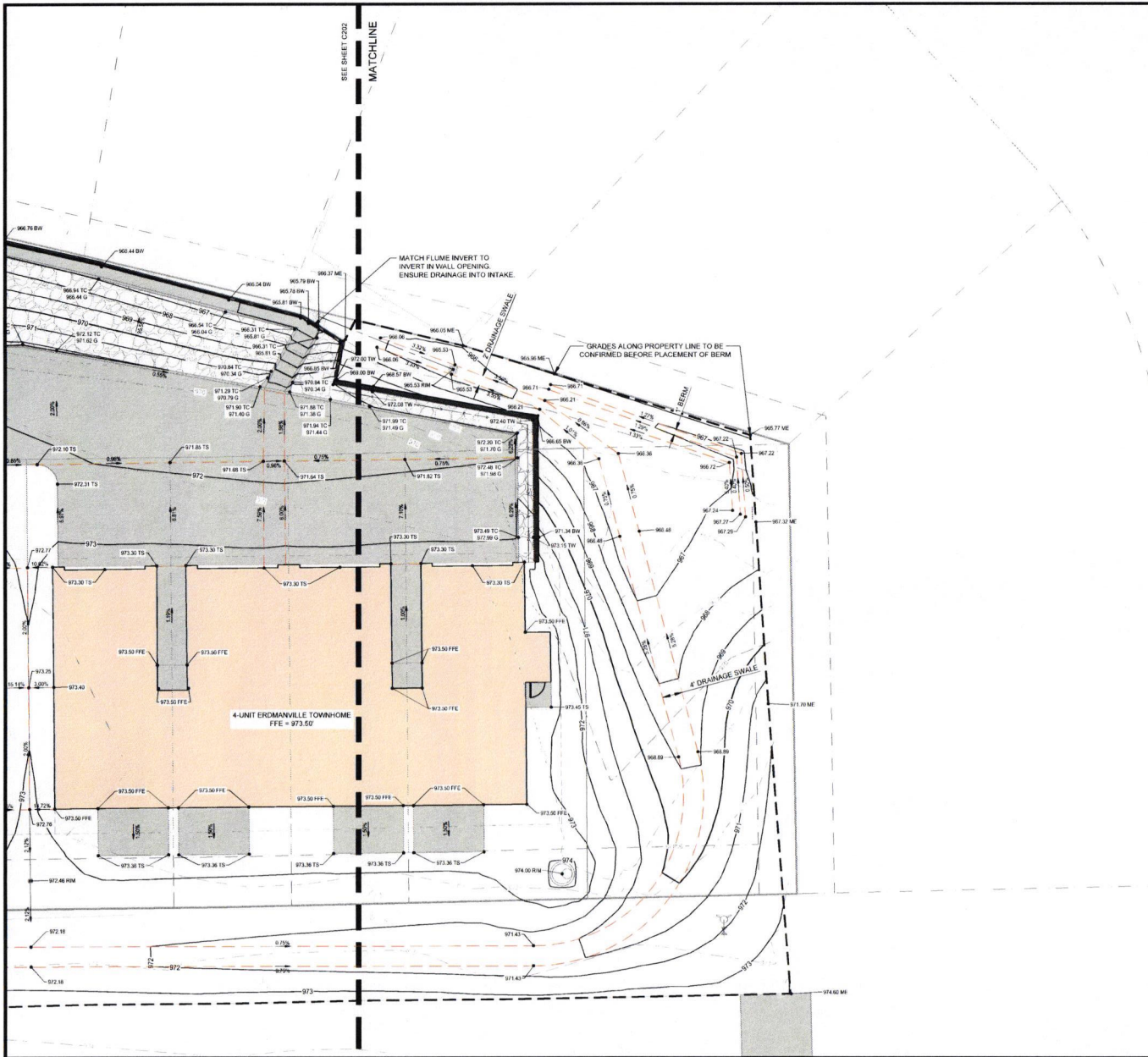
202406036

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

**GRADING PLAN**

DRAWING NO.  
**C202**



**GRADING LEGEND**

- 105 — PROPOSED CONTOUR (MAJOR)
- 104 — PROPOSED CONTOUR (MINOR)
- - - 105 - - - EXISTING CONTOUR (MAJOR)
- - - 104 - - - EXISTING CONTOUR (MINOR)
- - - 104 - - - GRADE BREAK LINE
- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION

NOTE:  
 \* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY.  
 \* ADJUST UTILITY POLE TO GRADE.

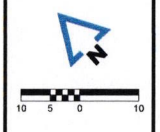
CUT AND FILL REPORT	
	VOLUME SUMMARY
CUT FACTOR	1.00
FILL FACTOR	1.15
2D AREA (SQ. FT.)	90,691.66
CUT (CU. YD.)	363.95
FILL (CU. YD.)	3,331.88
NET (CU. YD.)	2,967.93

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

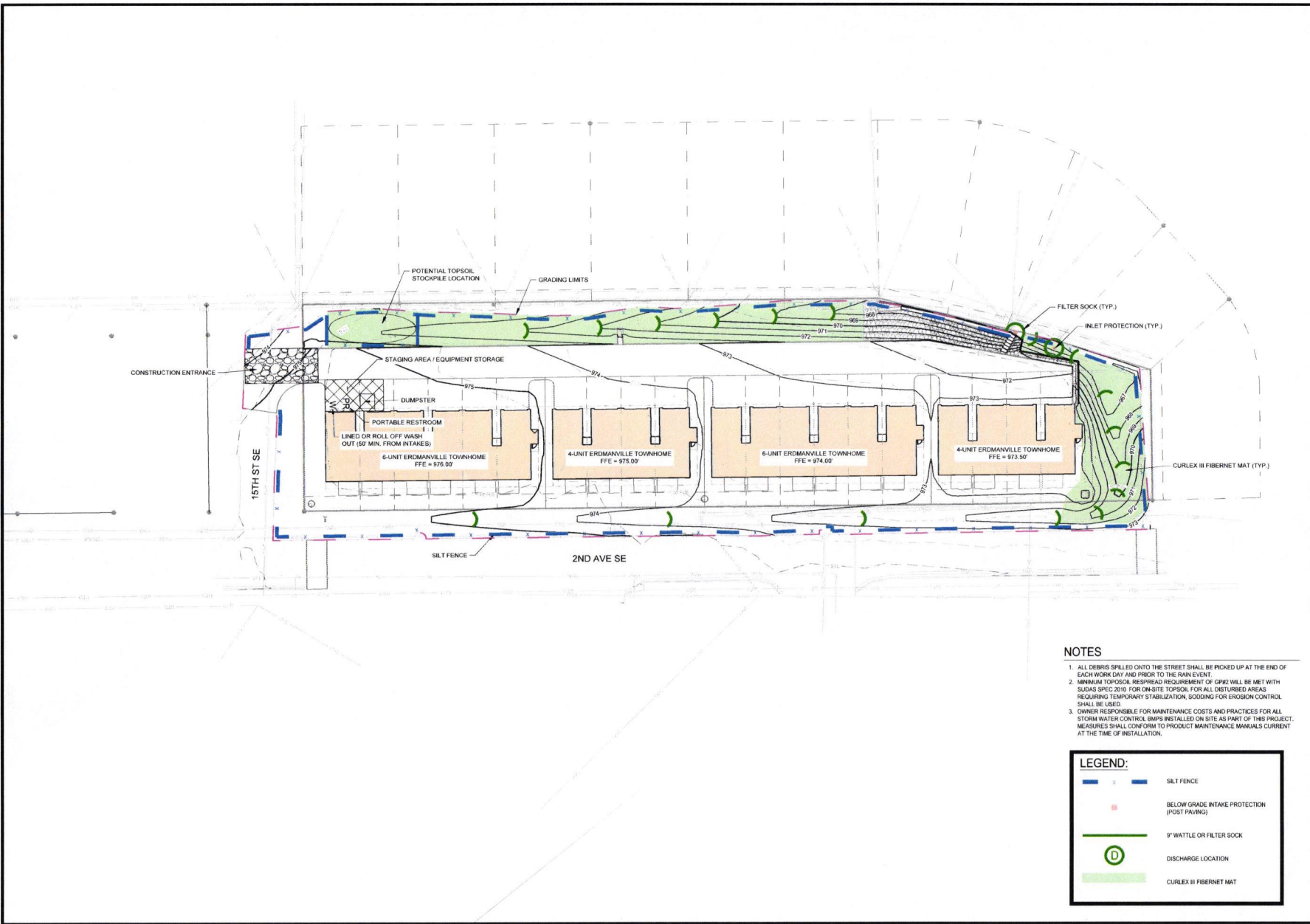
PROJECT INFO  
 202406036

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

**GRADING PLAN**

DRAWING NO.  
**C203**

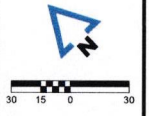


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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS


PROJECT INFO  
 2024090535

ENGINEER DRAWN BY CHECKED BY  
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- NOTES**
1. ALL DEBRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
  2. MINIMUM TOPSOIL RESPIREAD REQUIREMENT OF 6% SHALL BE MET WITH SUDAS SPEC 2010 FOR ON-SITE TOPSOIL FOR ALL DISTURBED AREAS REQUIRING TEMPORARY STABILIZATION, SOODING FOR EROSION CONTROL SHALL BE USED.
  3. OWNER RESPONSIBLE FOR MAINTENANCE COSTS AND PRACTICES FOR ALL STORM WATER CONTROL BMPs INSTALLED ON SITE AS PART OF THIS PROJECT. MEASURES SHALL CONFORM TO PRODUCT MAINTENANCE MANUALS CURRENT AT THE TIME OF INSTALLATION.

**LEGEND:**

	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	9" WATTLE OR FILTER SOCK
	DISCHARGE LOCATION
	CURLEX III FIBERNET MAT

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

EROSION CONTROL PLAN

T:\2024\09\05\2024090535\DWG\MODEL\CONSTRUCTION\DOCUMENT\2024090535.ENG.DWG

DRAWING NO.  
**C204**

- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-5". MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS.
  2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES WILL BE INSULATED WITH 2" XPS INSULATION BOARD.
  3. SEE SANITARY SEWER DETAILS ON SHEETS C-303 AND C-304.
  4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT.
  5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT.
  6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

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REVISIONS

NO.	DATE	DESCRIPTION

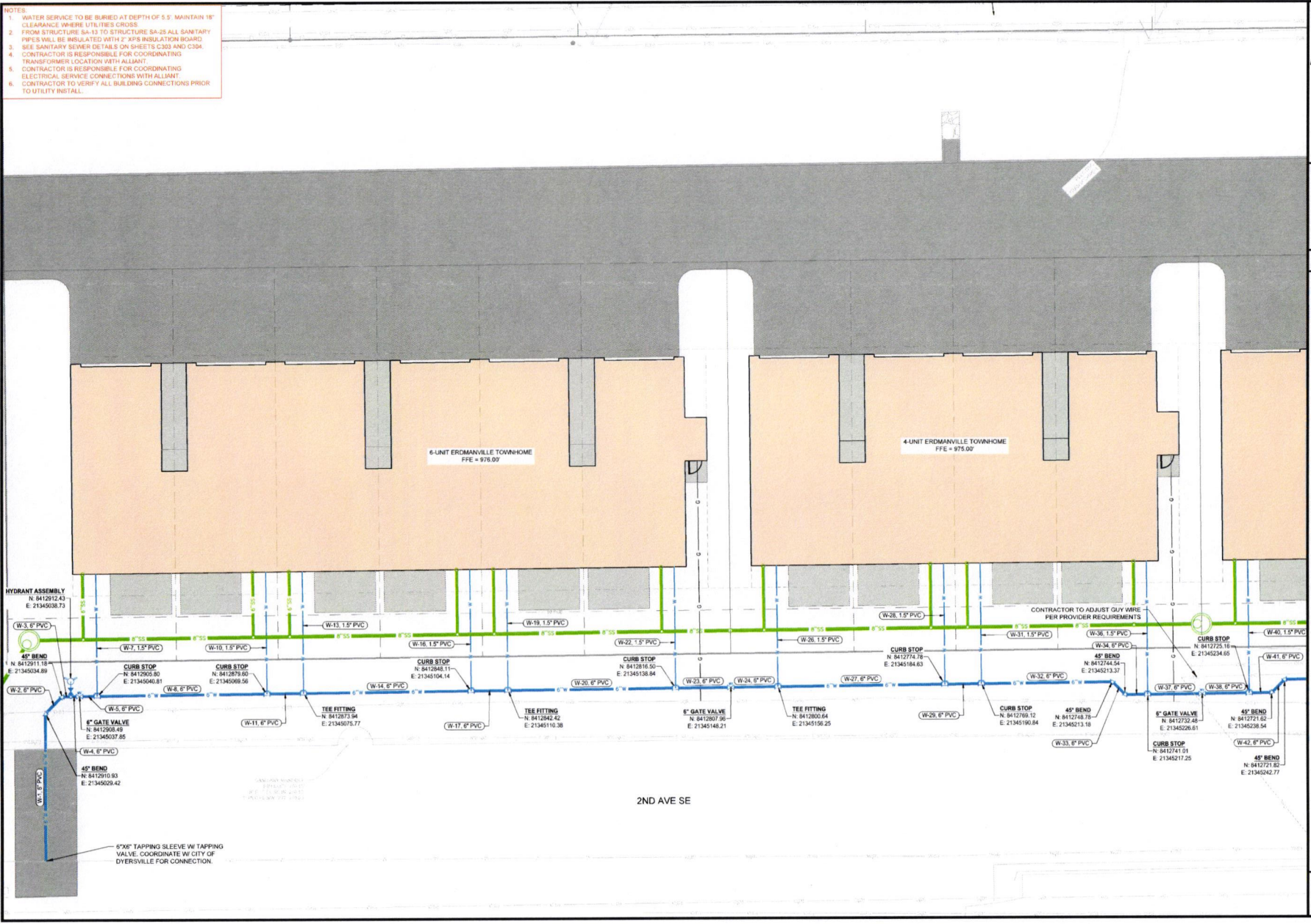
PROJECT INFO

202400636

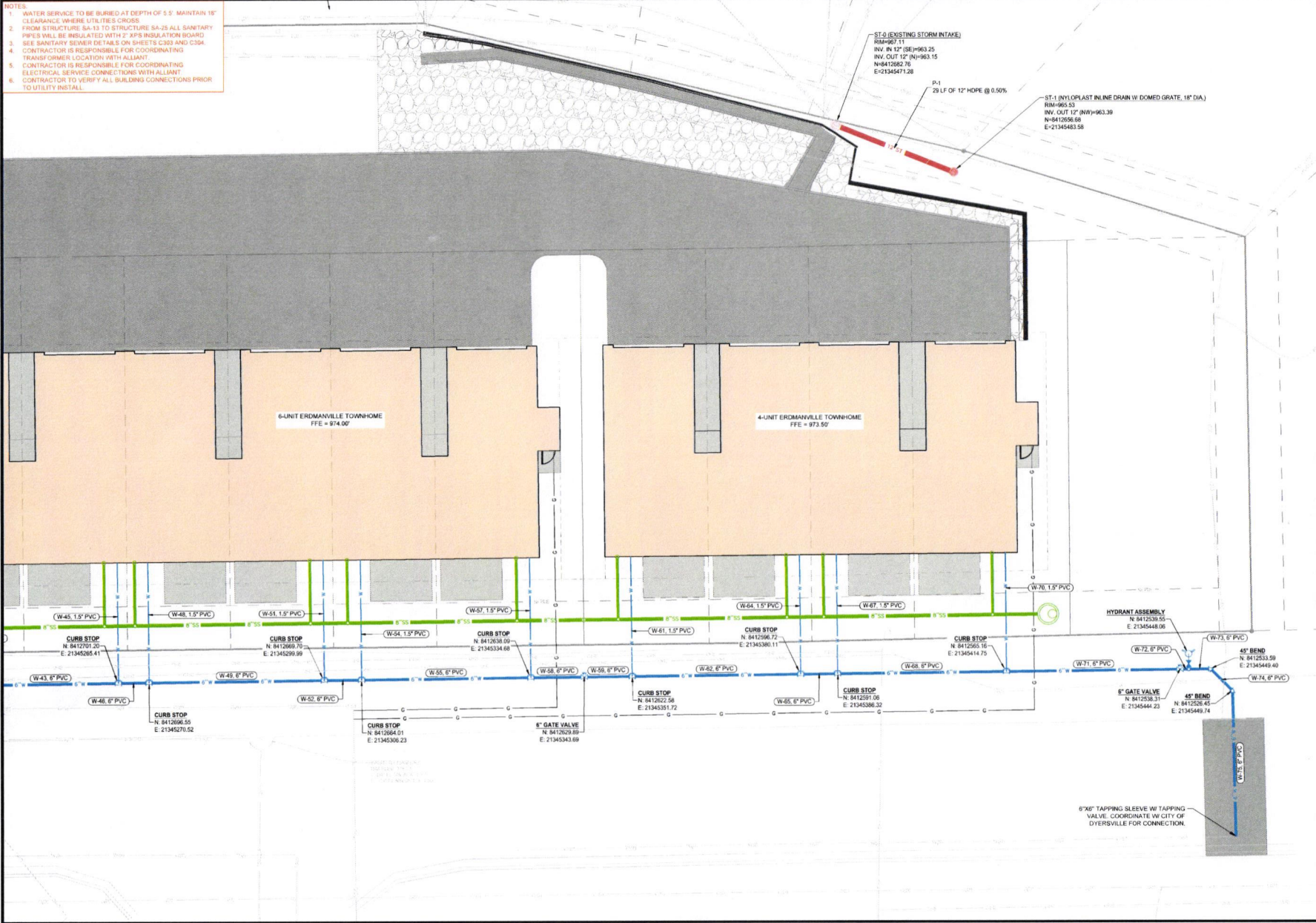
ENGINEER DRAWN BY CHECKED BY  
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2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 UTILITY PLAN

DRAWING NO  
**C301**



- NOTES**
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5.5'. MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS.
  2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" EPS INSULATION BOARD.
  3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304.
  4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT.
  5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT.
  6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

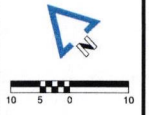


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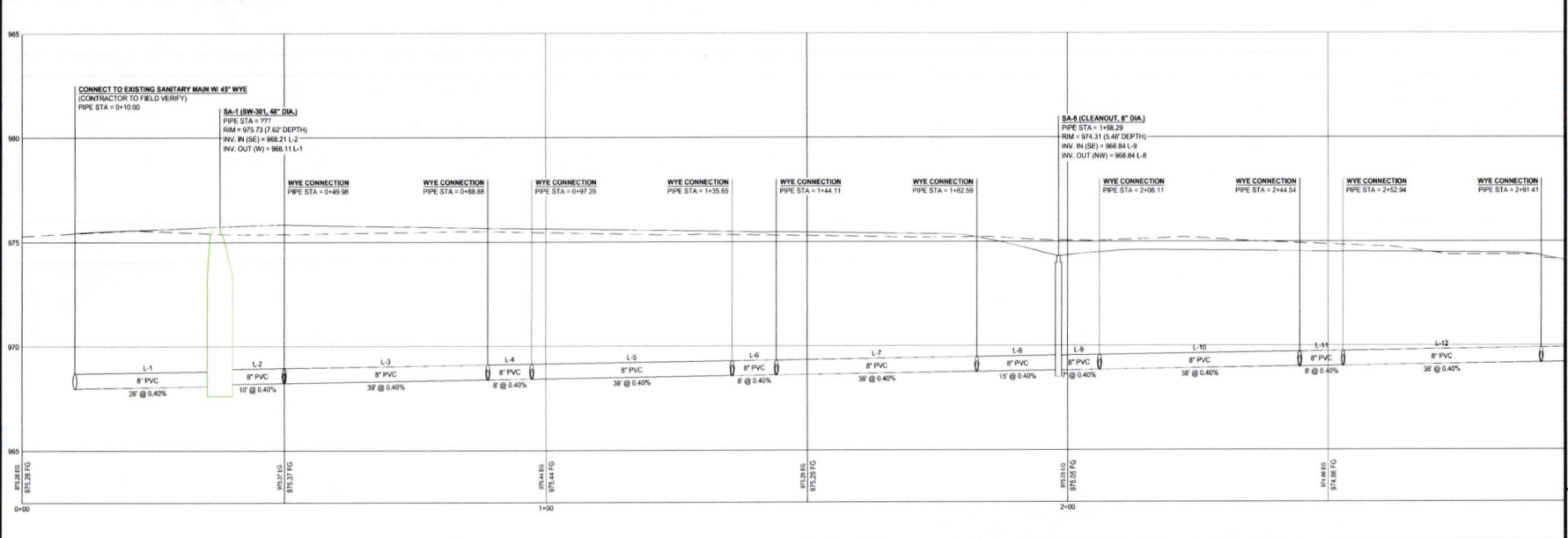
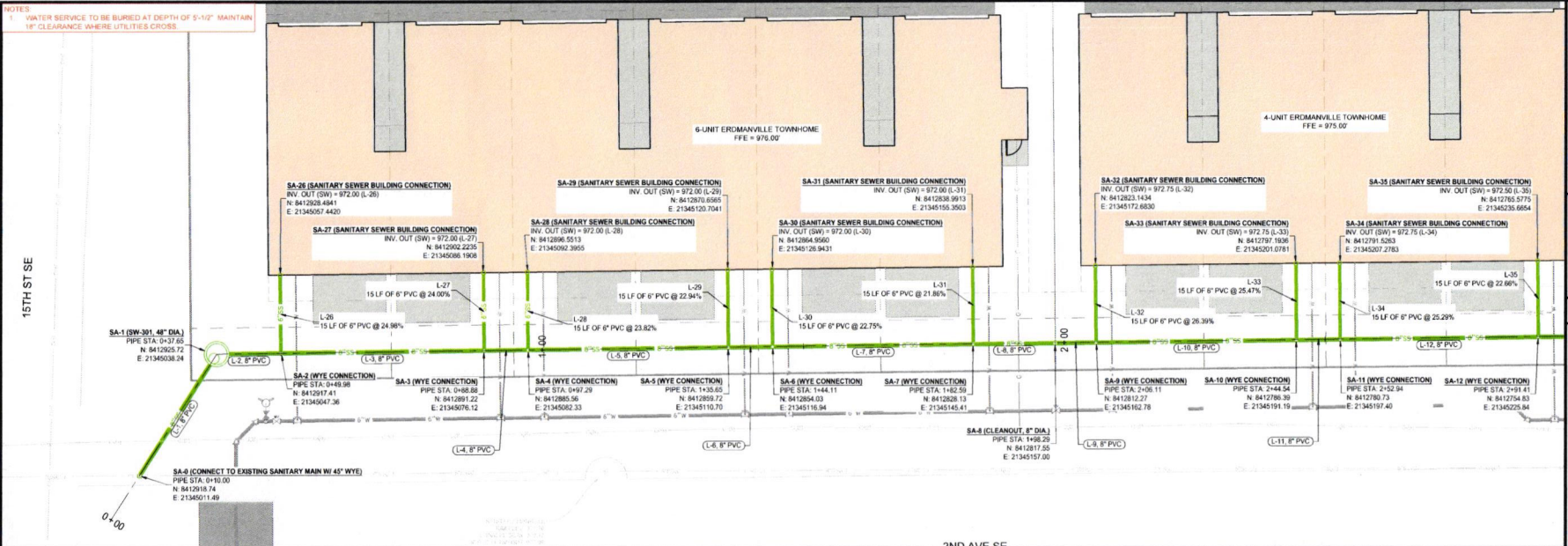

PROJECT INFO  
 2024060635

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
**UTILITY PLAN**

DRAWING NO.  
**C302**

NOTES:  
 WATER SERVICE TO BE BURIED AT DEPTH OF 5'-10" MAINTAIN  
 18" CLEARANCE WHERE UTILITIES CROSS



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 which arise from failure to obtain  
 and/or follow the engineering or  
 surveyors' guidance with respect to  
 any alleged errors, omissions,  
 inconsistencies, ambiguities, or  
 conflicts contained within the  
 Plans and Specifications.

IOWA CERTIFICATE OF  
 AUTHORITY NO. 26867

REVISIONS

PROJECT INFO  
 2024-009636

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

SANITARY SEWER PLAN & PROFILE

DRAWING NO.  
**C303**





PRINTING INSTRUCTIONS:  
 \* DCC PRINTS ARE PREPARED TO BE PLOTTED  
 ON 11x17 SHEETS  
 \* PRINT TO A4 SIZE AND/OR 1/8" SCALE  
 IS REQUIRED  
 \* PRINTING TITLE TO PAGE WILL CAUSE PRINTS TO  
 BE CUT OFF SCALE  
 \* YOU HAVE RESPONSIBILITY FOR PRINTS TO  
 SCALE

# STONEGATE 6-PLEX

## DYERSVILLE, IA



FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"

FINISH GRADE  
 1st FLOOR FINISH  
 2nd FLOOR FINISH  
 3rd FLOOR FINISH

**the design connection**  
 Residential and Commercial  
 Design - Architecture  
 Springfield, Missouri  
 1522 Greenway DR SW  
 Rochester MN 55902  
 PHONE: (507) 295-2660  
 WWW: www.thedesignconnection.net

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STONEGATE 6-PLEX  
 1520 2ND AVE SE  
 DYERSVILLE  
 JEFF KETELS

IOWA



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"

**TYPE ELEVATION NOTES**

1. THESE ELEVATIONS ARE DRAWN TO SHOW ONLY ALL OTHERS SHALL BE DETERMINED BY THE CONTRACTOR.
2. GENERAL CONTRACTOR TO VERIFY COLOR & FINISHES OF EXTERIOR APPLICATIONS.
3. EXISTING CONDITIONS UNLESS NOTED OTHERWISE.
4. APPROXIMATE PLACEMENT OF PAINT LINES.
5. REFLECTORIAL LAC.

6. FINISH GRADE
7. 1st FLOOR FINISH
8. 2nd FLOOR FINISH
9. 3rd FLOOR FINISH
10. GARAGE DOOR BUCKETS HELD UP FROM CONCRETE OR METAL. TYPICAL. REFER TO THE RIGHT DRAWING.

AREA		FINISH	QTY	UNIT PRICE	TOTAL
FOUNDATION	64 SF	CONCRETE	64	1.25	80.00
1st FLOOR	64 SF	CONCRETE	64	1.25	80.00
2nd FLOOR	64 SF	CONCRETE	64	1.25	80.00
3rd FLOOR	64 SF	CONCRETE	64	1.25	80.00
ROOF	64 SF	ASPH/FLT	64	1.25	80.00
TOTAL					320.00

FRONT & REAR  
 EXTERIOR ELEVATIONS  
**A1.1**

PRINTING INSTRUCTION:  
 \* TDC PRINTS ARE PREPARED TO BE PLOTTED ON 24"X36" SHEETS  
 \* PRINTERS TO ACTUAL SIZE AND/OR 1/2" SCALE IS REQUIRED  
 \* PRINTING "NOT TO SCALE" WILL CAUSE PRINTS TO BE OUT OF SCALE  
 \* TDC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



**LEFT ELEVATION**  
 1/4\"/>



**RIGHT ELEVATION**  
 1/4\"/>

**TYPE ELEVATIONS**

1. NEW ELEVATIONS ARE DRAWING ONLY ALL ORIGINAL AND/OR LOCATION IS NOT TO BE. ALL MATERIALS AND FINISHES TO BE DETERMINED BY THE CONTRACTOR.
2. GENERAL CONTRACTOR TO VERIFY COLOR & DECORATIVE FINISHES OF EXTERIOR APPLICATIONS.
3. TIP OVERHANGS UNLESS NOTED OTHERWISE:  
 3.1. GABLE TO BE 6"  
 3.2. SAWS TO BE 6"  
 3.3. PORCH LEADS TO BE 6"
4. APPROPRIATE PLACEMENT OF PAINT GRACE:  
 4.1. PAINT GRACE TO BE 1/2" MIN. TOP OF GABLE COLOR  
 4.2. PAINT GRACE TO BE 1/2" MIN. TOP OF PORCH COLOR  
 4.3. PAINT GRACE TO BE 1/2" MIN. TOP OF WINDOW COLOR
5. ROOFING MATERIAL, SLOPE:  
 5.1. ROOF APPLICABLE OVER 30' GABLE APPROVED ROOFING TO BE USED UNLESS NOTED OTHERWISE.  
 5.2. COLOR TO BE AS NOTED OTHERWISE.
6. EXTERIOR WALL FINISHES AND COLOR:  
 6.1. GABLE AND FRONT PORCH TO BE 1/2" MIN. TOP OF GABLE COLOR  
 6.2. GABLE TO BE 1/2" MIN. TOP OF GABLE COLOR  
 6.3. SAWS TO BE 1/2" MIN. TOP OF GABLE COLOR  
 6.4. GABLE TO BE 1/2" MIN. TOP OF GABLE COLOR
7. EXTERIOR WALL FINISHES AND COLOR:  
 7.1. GABLE TO BE 1/2" MIN. TOP OF GABLE COLOR  
 7.2. SAWS TO BE 1/2" MIN. TOP OF GABLE COLOR  
 7.3. SAWS TO BE 1/2" MIN. TOP OF GABLE COLOR
8. GABLE ROOFING, GREEN AND:  
 8.1. GABLE TO BE 1/2" MIN. TOP OF GABLE COLOR  
 8.2. GABLE TO BE 1/2" MIN. TOP OF GABLE COLOR
9. EXTERIOR WALL FINISHES AND COLOR:  
 9.1. GABLE TO BE 1/2" MIN. TOP OF GABLE COLOR  
 9.2. SAWS TO BE 1/2" MIN. TOP OF GABLE COLOR
10. SURFACE FINISHES TO BE 1/2" MIN. TOP OF GABLE COLOR  
 10.1. GABLE TO BE 1/2" MIN. TOP OF GABLE COLOR  
 10.2. SAWS TO BE 1/2" MIN. TOP OF GABLE COLOR



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 CONSTRUCTION

**STONEGATE 6-PLEX**  
 IOWA  
 1520 2ND AVE SE  
 DYERSVILLE  
 JEFF KETELS

QUICK REFERENCE KEY			
CONTRACT TYPE	RESIDENTIAL	DATE	10/20/2021
PROJECT NAME	STONEGATE 6-PLEX	PROJECT NO.	2021-001
OWNER	JEFF KETELS	DESIGNER	THE DESIGN CONNECTION
DATE	10/20/2021	PROJECT DATE	NOVEMBER 4, 2021
PROJECT NO.	2021-001	DATE	NOV 04, 2021
PROJECT NAME	STONEGATE 6-PLEX	PROJECT NO.	2021-001
OWNER	JEFF KETELS	DESIGNER	THE DESIGN CONNECTION
DATE	10/20/2021	PROJECT DATE	NOVEMBER 4, 2021
PROJECT NO.	2021-001	DATE	NOV 04, 2021
PROJECT NAME	STONEGATE 6-PLEX	PROJECT NO.	2021-001
OWNER	JEFF KETELS	DESIGNER	THE DESIGN CONNECTION
DATE	10/20/2021	PROJECT DATE	NOVEMBER 4, 2021
PROJECT NO.	2021-001	DATE	NOV 04, 2021

RIGHT & LEFT  
 EXTERIOR ELEVATIONS  
**A1.2**



NOT TO SCALE  
GENERAL NOTES

DATE OF THIS SET OF DRAWINGS: 08/15/2017  
DRAWN BY: JEFF KETELS  
CHECKED BY: JEFF KETELS  
PROJECT NO.: 17-001

NO.	DESCRIPTION
01	FOUNDATION
02	FLOOR
03	CEILING
04	ROOF
05	MECHANICAL
06	ELECTRICAL
07	PLUMBING
08	PAINT
09	FINISH
10	LANDSCAPE
11	EXTERIOR
12	INTERIOR
13	MECHANICAL
14	ELECTRICAL
15	PLUMBING
16	PAINT
17	FINISH
18	LANDSCAPE
19	EXTERIOR
20	INTERIOR

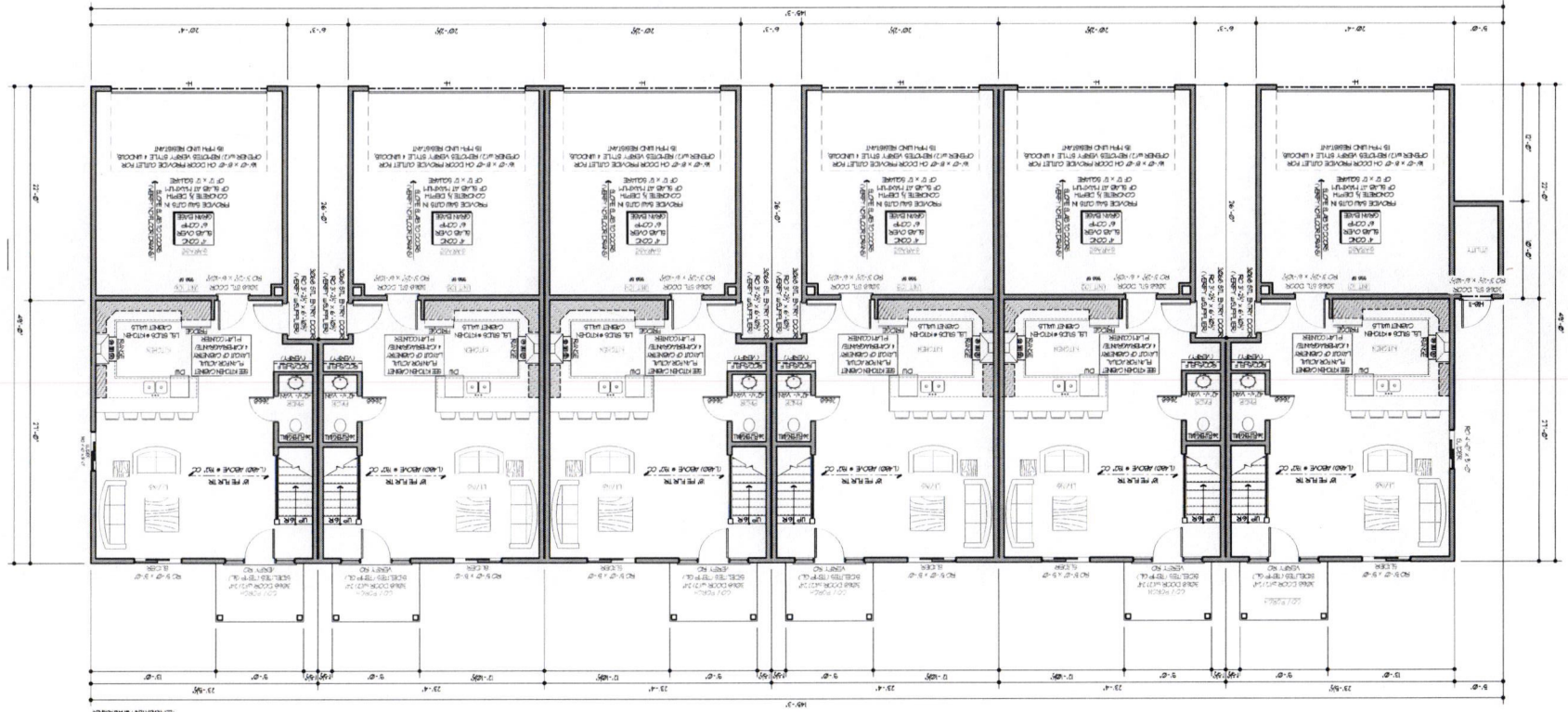
MANUAL  
NO. 17-001  
DATE: 08/15/2017  
DRAWN BY: JEFF KETELS  
CHECKED BY: JEFF KETELS  
PROJECT NO.: 17-001

STONEGATE 6-PLEX  
1520 2ND AVE SE  
DYERSVILLE  
IOWA  
JEFF KETELS

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**CONNECTION**  
DESIGN



- MAIN FLOOR PLAN NOTES**
1. PROVIDE SCHEDULE N
  2. L.A. MOULD
  3. L.A. MOULD + ST. CO.
  4. PROVIDE SCHEDULE N
  5. L.A. MOULD
  6. L.A. MOULD + ST. CO.
  7. PROVIDE SCHEDULE N
  8. L.A. MOULD
  9. L.A. MOULD + ST. CO.
  10. PROVIDE SCHEDULE N
  11. L.A. MOULD
  12. L.A. MOULD + ST. CO.
  13. PROVIDE SCHEDULE N
  14. L.A. MOULD
  15. L.A. MOULD + ST. CO.
  16. PROVIDE SCHEDULE N
  17. L.A. MOULD
  18. L.A. MOULD + ST. CO.
  19. PROVIDE SCHEDULE N
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  28. PROVIDE SCHEDULE N
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  31. PROVIDE SCHEDULE N
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  112. PROVIDE SCHEDULE N
  113. L.A. MOULD
  114. L.A. MOULD + ST. CO.
  115. PROVIDE SCHEDULE N
  116. L.A. MOULD
  117. L.A. MOULD + ST. CO.
  118. PROVIDE SCHEDULE N
  119. L.A. MOULD
  120. L.A. MOULD + ST. CO.

SCALE  
1" = 8'-0" (SEE GENERAL NOTES FOR DETAILS)  
DO NOT SCALE  
DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE  
DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE  
DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE  
DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE





