

6 PLEX

# City of Dyersville

Task #62906

## BUILDING PERMIT APPLICATION

PERMIT NUMBER  
**26-2451**

JOB ADDRESS <b>(BUILDING 3) 1560 2ND AVE SE DYERSVILLE, IA</b>		COUNTY <b>DYERSVILLE</b>
LEGAL PARCEL DESCR. <b>07-32-179-021</b>	LOT NO. <b>1</b>	BLK. <b>182</b> SUBDIVISION <b>PETTINGER</b> <input type="checkbox"/> SEE ATTACHED SHEET
OWNER OF RECORD <b>BAM DEVELOPMENT</b>		TELEPHONE
CONTRACTOR PERMIT #	PLUMBING PERMIT #	ELECTRICAL/MECHANICAL PERMIT #
NAME <b>STONE GATE BUILDERS GROUP</b>		
ARCHITECT OR DESIGNER	ADDRESS	TELEPHONE FLOODPLAIN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
USE OF BUILDING	<input checked="" type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> ACCESSORY
CLASS OF WORK:	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> REMOVE
DESCRIBE WORK <b>NEW MULTIFAMILY</b>	Type of Const. <b>WOOD FRAME</b>	Basement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
SET BACKS TO FOUNDATION WALL	Size of Bldg. Total Sq. Ft. <b>2024 x 6 = 12,144</b>	Automatic Extinguishing System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
FRONT	CORNER	No. of Dwelling Units <b>6</b>
REAR	ALLEY	No. of Stories <b>2</b>
SIDE	OPEN SPACE	Off Street Parking Req. _____ Prov. _____
LOT DIMENSIONS	Zoning District <b>R-3</b>	
SPECIAL CONDITIONS <b>See Attachment</b>	SPECIAL APPROVALS	
VALUE OF WORK \$ <b>1,517,562</b>	REQUIRED RECEIVED	
	ZONING AMENDMENT	
	SITE PLAN	
	PLAN REVIEW	
	EXCAVATION PERMIT	
	ARCHITECT/ENGINEER	
	HEALTH DEPT.	
	FIRE DEPT.	
	HANDICAPPED CERTIFICATE	
	BOARD OF ADJUST.	
	FLOOD PLAIN CERT.	
	FLOOD PLAIN EXEMP.	
	SIGNS	
	SPECIAL USE PERMIT	
	WATER METER	

FEES	AMOUNT	REC'D
BUILDING PERMIT	220	
WATER METER CHARGE	2304	
WATER CONNECTION	325	
SEWER CONNECTION	50325	
EXCAVATION	50	
ZONING / B OF A		
TOTAL	\$ 3,224	

### NOTICE

SEPARATE PERMITS ARE NOT REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES THE RESPONSIBILITY FOR COMPLYING WITH LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS, RESTRICTIVE COVENANTS, OR OTHER REQUIREMENTS APPLICABLE. THIS PERMIT DOES NOT AUTHORIZE THE USE OF STREETS, ALLEYS OR SIDEWALKS FOR THE DEPOSITING OF BUILDING MATERIALS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR *[Signature]* (DATE) **9/16/25** SIGNATURE OF OWNER *[Signature]* (DATE) **9/16/25** **Rec 1/26/26**

WHEN PROPERLY VALIDATED THIS IS YOUR PERMIT

CHECKED & APPROVED BY *[Signature]* (DATE) **4.2.26** APPROVED BY CITY COUNCIL (DATE)

## Certificate of Occupancy

This Certificate of Occupancy is hereby issued to the above signed in accordance with the provisions set out in the City of Dyersville Municipal Code and all revisions thereto.

Your building and proposed use thereof shall comply with the provisions of the above-cited permit and other building and health ordinances of the City of Dyersville. No change or use shall be made in your building, or in any part thereof, nor may it be structurally altered, unless a Certificate of Occupancy is issued. This certificate shall be authorized after the lawful completion or alteration of the building, or occupancy and use of land.



**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCEPTANCE WITH THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) EXCEPT WHERE AMENDED BY CITY SUPPLEMENTAL SPECIFICATIONS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY(EASEMENT) AND/OR ANY CONNECTION TO PUBLIC SEWERS, STREETS, OR UTILITIES, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AND MCCLURE ENGINEERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING UP A PRE-CONSTRUCTION MEETING WITH DYERSVILLE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE CITY AND OWNER.
5. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILT DRAWINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, PROWAG, AND IOWA CODE.
8. STAKING BY CERTIFIED ENGINEER OR LAND SURVEYOR WITH VERIFICATION BY CONTRACTOR SHALL BE DONE PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
9. CONTRACTOR IS TO PROTECT EXISTING PAVEMENT UNLESS DESIGNATED FOR REMOVAL. DAMAGED PAVEMENT SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
10. ALL SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM ANY SLURRY GENERATED BY SAW CUTTING, CONCRETE GRINDING, OR ANY OTHER CONSTRUCTION ACTIVITY.
11. ANY DEBRIS THAT SPILLS INTO ROW SHALL BE REMOVED AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
13. ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
14. CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
16. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS THAT INCLUDES ALL UTILITIES AND GRADES FOR DRAINAGE SWALES, OVERFLOWS, ACCESSIBLE RAMPS, AND DETENTION FACILITIES. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO PUBLIC WORKS AND ENGINEER OF RECORD. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
17. THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
18. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W., EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT CITY OF URBANDALE TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
19. ALL CONSTRUCTION WITHIN PUBLIC R.O.W., EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND 2025 STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS.
20. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE VOIDS.
21. ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE. AS-BUILT DOCUMENTS OF H/C RAMPS TO BE SUBMITTED TO PUBLIC WORKS AND ENGINEERING OF RECORD.
22. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED ON THE PROJECT.
24. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY FOR ANY PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE COMPLYING WITH EROSION CONTROL REQUIREMENTS OF THE SWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
26. NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENT THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
27. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT BUT NOT SPECIFICALLY CALLED OUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
28. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
29. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
30. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES.
31. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
32. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTORS EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
33. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
34. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

**GRADING NOTES:**

1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
3. CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
5. ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.
7. THE CONTRACTOR SHALL HOLD A GENERAL PERMIT NUMBER 2 PRIOR TO CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT NUMBER 2 HOLDER SHALL BE RESPONSIBLE FOR VERIFYING THAT TOP SOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. SAID TOPSOIL REQUIREMENTS ARE LISTED IN SUDAS STANDARD SPECIFICATIONS SECTION 2010.
8. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
9. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
10. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
12. ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK.

**UTILITY NOTES:**

1. ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
3. ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED AND USE LINKSEAL.
6. ALL MANHOLES SHALL BE INSTALLED SO THAT THE CASTING IS SET OUTSIDE OF THE SIDEWALK SECTION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY PRIOR TO ANY CONNECTION TO PUBLIC UTILITIES.
8. ALL STORM AND SANITARY SEWERS ARE TO BE CLEANED AND TELEVIEWED. ALL SANITARY SEWER MANHOLES ARE TO BE VACUUM TESTED. ALL CLEANING AND TELEVIEWING SHALL BE APPROVED AND WITNESSED BY THE CITY PRIOR TO PAVING. A COPY OF THE VIDEOS AND REPORTS SHALL BE PROVIDED TO THE CITY.

**SANITARY SEWER:**

1. ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 AND SHALL HAVE GASKETED JOINTS.
2. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
3. MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
4. RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.

**STORM SEWER:**

1. OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER.
2. ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLOLOGY OR TEXT.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA AT THE COMPLETION OF THE PROJECT.
4. WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE CURING GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING ACCORDING TO SUDAS REQUIREMENTS.

**WATER MAIN:**

1. HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
2. WATER MAIN SHALL BE AWWA C900-DR18 PVC.
3. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE 5-INCH STORZ NOZZLE, SHUT OFF GATE VALVE AND LOCKING CAP. ALL CHAINS SHALL REMAIN INTACT.
4. WATER MAIN TO HAVE 5' 6" BURY, TYP. EXCEPT AT CRITICAL CROSSINGS IN WHICH IT SHALL BE NO SHALLOWER THAN 5' 6".
5. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
6. THE CONTRACTOR SHALL NOT REMOVE CHAINS ON ALL HYDRANTS.
7. WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF URBANDALE).
8. ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION. ON ALL WATERMAIN - STAINLESS STEEL ROODING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING. ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING, MEGA-LUGS ARE NOT TO BE ALLOWED PER SUDAS.
9. WATER MAIN AND SEWER (SERVICE, SANITARY SEWER, STORM SEWER, OR DRAINAGE TILE) CROSSINGS SHALL HAVE A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION WHERE POSSIBLE UNLESS OTHERWISE NOTED. ALL STORM SEWER PIPE THAT CROSSES OVER THE WATER MAIN SHALL HAVE O-RING GASKETS INSTALLED.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
11. CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE-EMERGENCY ACCESS TO THE SITE, BUILDING, FD'S, FV'S, HYDRANTS, AND FRONT DOORS.
12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 903.2 OF THE IFC.
13. ALL SERVICE LINES SHALL BE PRESSURE TESTED AND BACTERIOLOGICAL SAMPLED WITH WATERMAN.



2229 E Granville Ln Suite 2  
 Coralville IA 52241  
 P 319-628-9000  
 Ankeny IA | Carroll IA | Clive IA  
 Cedar Rapids IA | Fort Dodge IA  
 North Liberty IA | Sioux City IA  
 Macon MO | Columbia MO  
 North Kansas City MO  
 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26687



REVISIONS


PROJECT INFO

2024006635

ENGINEER DRAWN BY CHECKED BY

BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
**GENERAL NOTES**

DRAWING NO.  
**C002**

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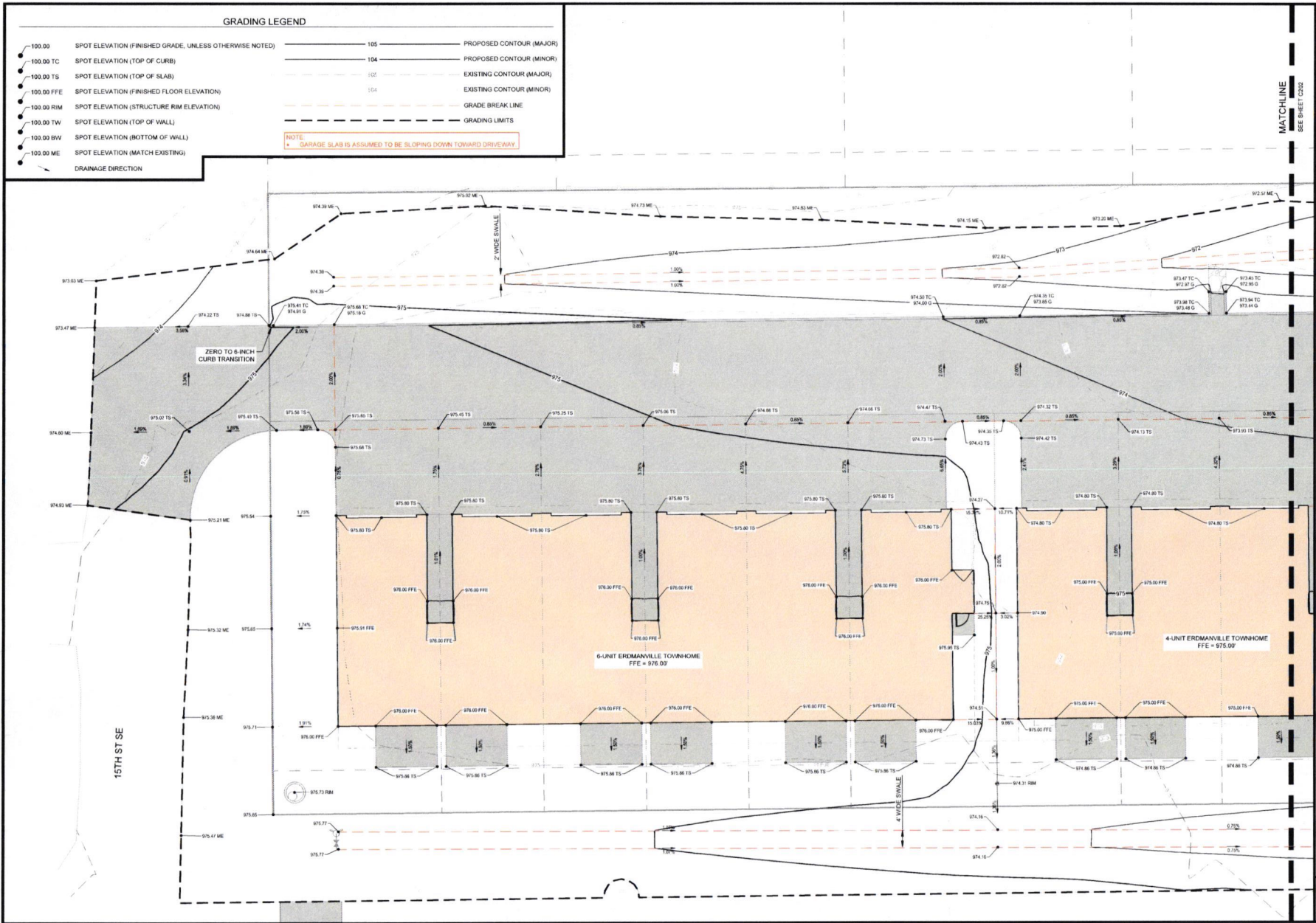




**GRADING LEGEND**

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
  - 100.00 TC SPOT ELEVATION (TOP OF CURB)
  - 100.00 TS SPOT ELEVATION (TOP OF SLAB)
  - 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
  - 100.00 RM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
  - 100.00 TW SPOT ELEVATION (TOP OF WALL)
  - 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
  - 100.00 ME SPOT ELEVATION (MATCH EXISTING)
  - DRAINAGE DIRECTION
- 105 — PROPOSED CONTOUR (MAJOR)
  - 104 — PROPOSED CONTOUR (MINOR)
  - 103 — EXISTING CONTOUR (MAJOR)
  - 104 — EXISTING CONTOUR (MINOR)
  - - - - - GRADE BREAK LINE
  - - - - - GRADING LIMITS

NOTE:  
\* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY



**McCLURE**  
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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

NO.	DESCRIPTION

PROJECT INFO  
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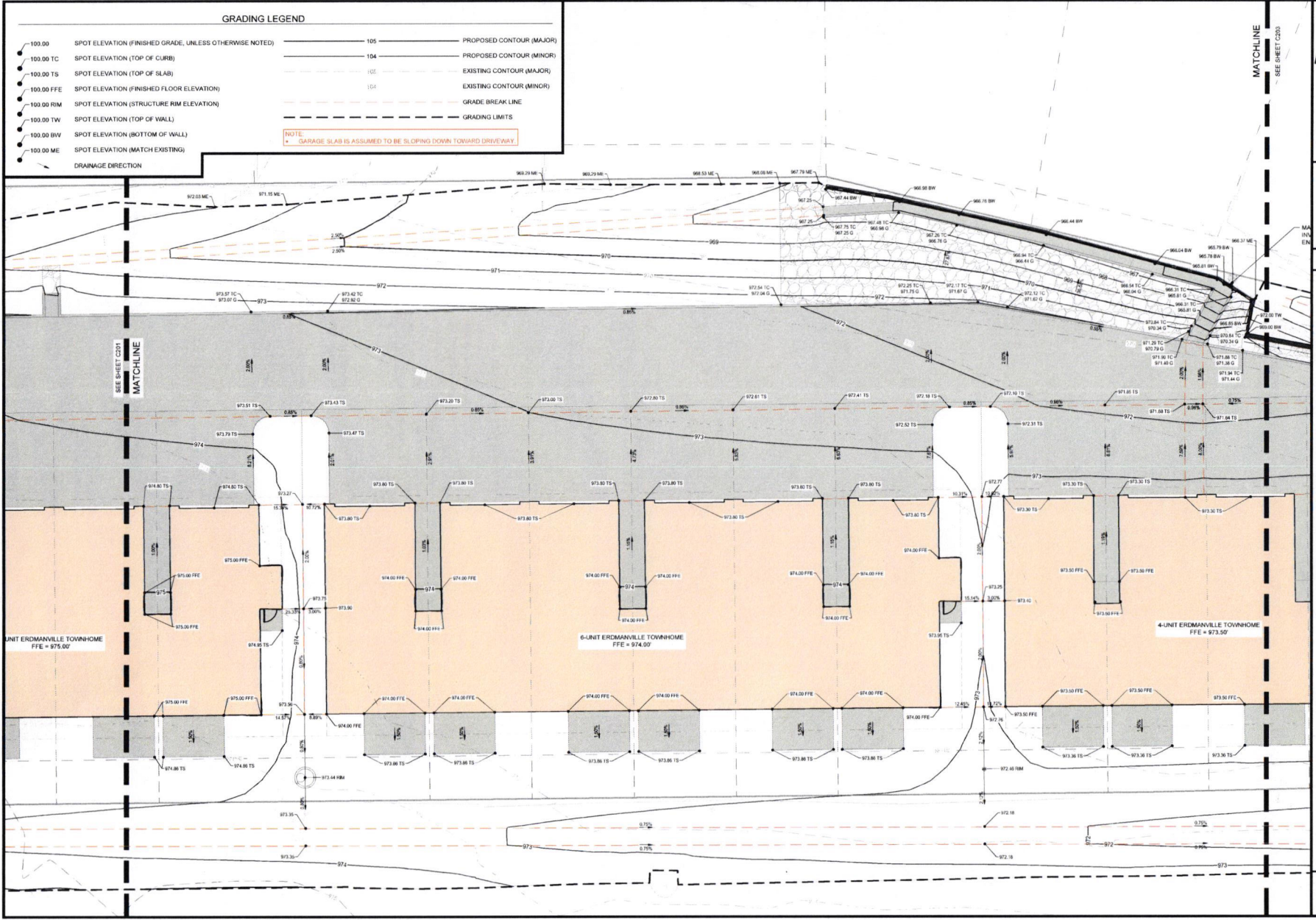
2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
**GRADING PLAN**

DRAWING NO.  
**C201**

**GRADING LEGEND**

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
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- 100.00 RIM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BV SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- 105 PROPOSED CONTOUR (MAJOR)
- 104 PROPOSED CONTOUR (MINOR)
- 100 EXISTING CONTOUR (MAJOR)
- 104 EXISTING CONTOUR (MINOR)
- GRADE BREAK LINE
- - - GRADING LIMITS

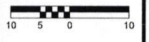
NOTE:  
 \* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY



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IOWA CERTIFICATE OF AUTHORITY NO. 26887



**REVISIONS**

NO.	DESCRIPTION

PROJECT INFO  
 202406035

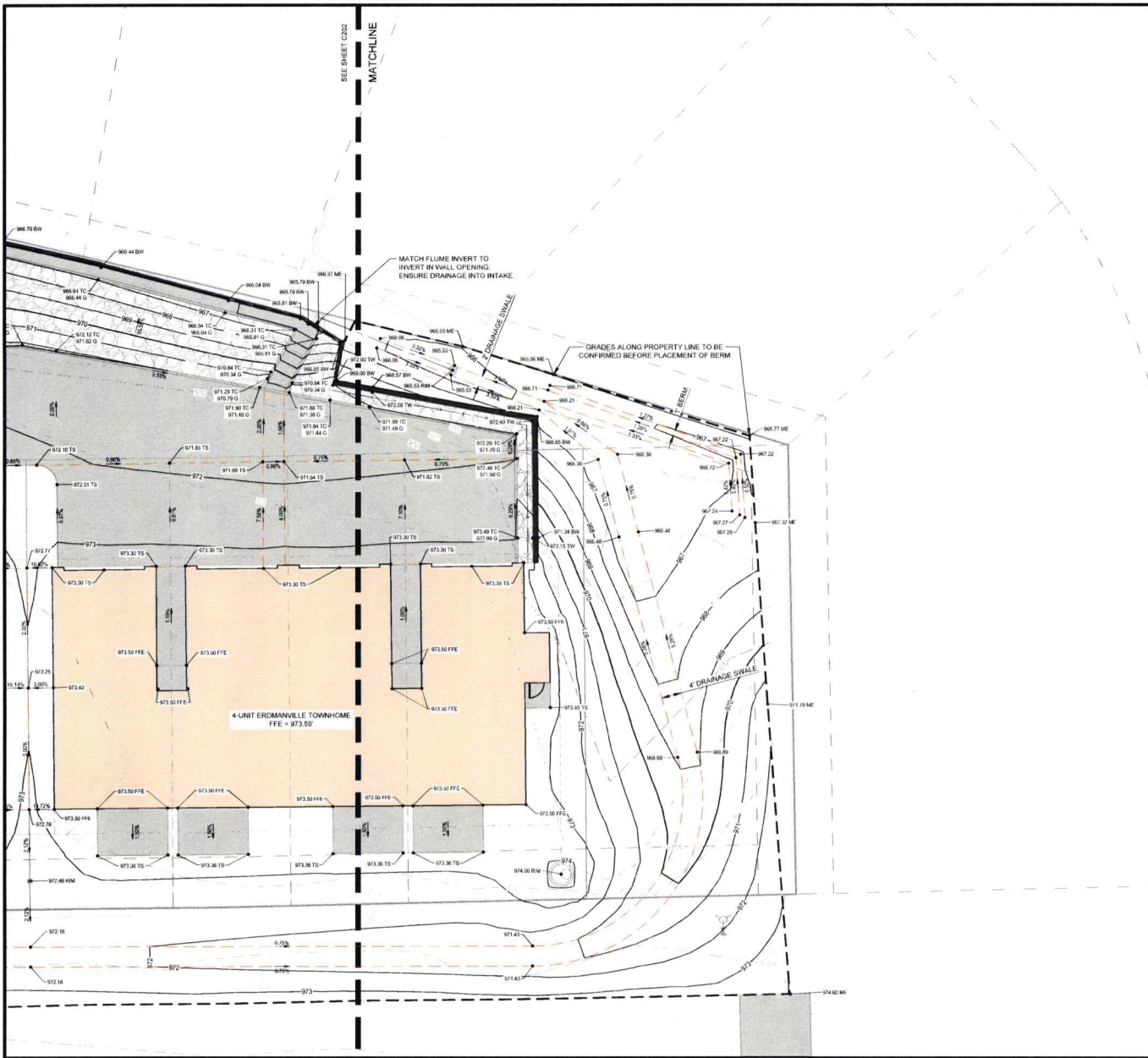
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2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

**GRADING PLAN**

DRAWING NO.  
**C202**

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**GRADING LEGEND**

- 105 — PROPOSED CONTOUR (MAJOR)
- 104 — PROPOSED CONTOUR (MINOR)
- - - 105 - - - EXISTING CONTOUR (MAJOR)
- - - 104 - - - EXISTING CONTOUR (MINOR)
- - - GRADE BREAK LINE
- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
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- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RIM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION

NOTE:  
 \* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY  
 \* ADJUST UTILITY POLE TO GRADE

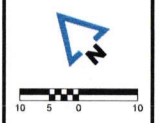
CUT AND FILL REPORT	
	VOLUME SUMMARY
CUT FACTOR	1.00
FILL FACTOR	1.15
2D AREA (SQ. FT.)	90,691.66
CUT (CU. YD.)	363.95
FILL (CU. YD.)	3,331.88
NET (CU. YD.)	2,967.93

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

PROJECT INFO  
 2024060535

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

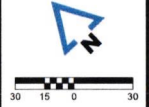
**GRADING PLAN**

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DRAWING NO  
**C203**

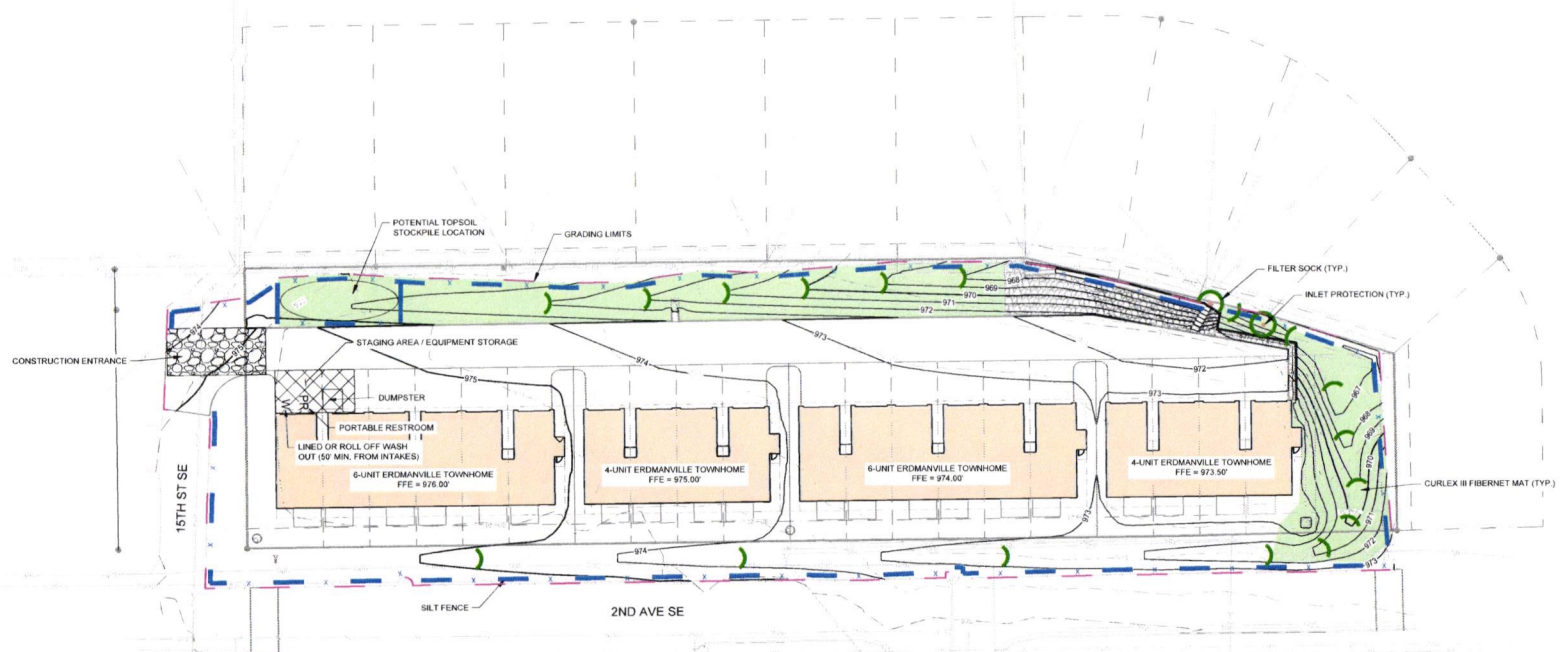
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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS


PROJECT INFO  
 202406033  
 ENGINEER DRAWN BY CHECKED BY  
 BA OF ME



- NOTES**
1. ALL DERRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
  2. MINIMUM TOPSOIL RESPIREAD REQUIREMENT OF 60% WILL BE MET WITH SUDAS SPEC 2010. FOR ON-SITE TOPSOIL FOR ALL DISTURBED AREAS REQUIRING TEMPORARY STABILIZATION, SOODING FOR EROSION CONTROL SHALL BE USED.
  3. OWNER RESPONSIBLE FOR MAINTENANCE COSTS AND PRACTICES FOR ALL STORM WATER CONTROL BMPs INSTALLED ON SITE AS PART OF THIS PROJECT. MEASURES SHALL CONFORM TO PRODUCT MAINTENANCE MANUALS CURRENT AT THE TIME OF INSTALLATION.

**LEGEND:**

	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	9" WATTLE OR FILTER SOCK
	DISCHARGE LOCATION
	CURLEX III FIBERNET MAT

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 EROSION CONTROL PLAN

- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5.5'. MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS.
  2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" XPS INSULATION BOARD.
  3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304.
  4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT.
  5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT.
  6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

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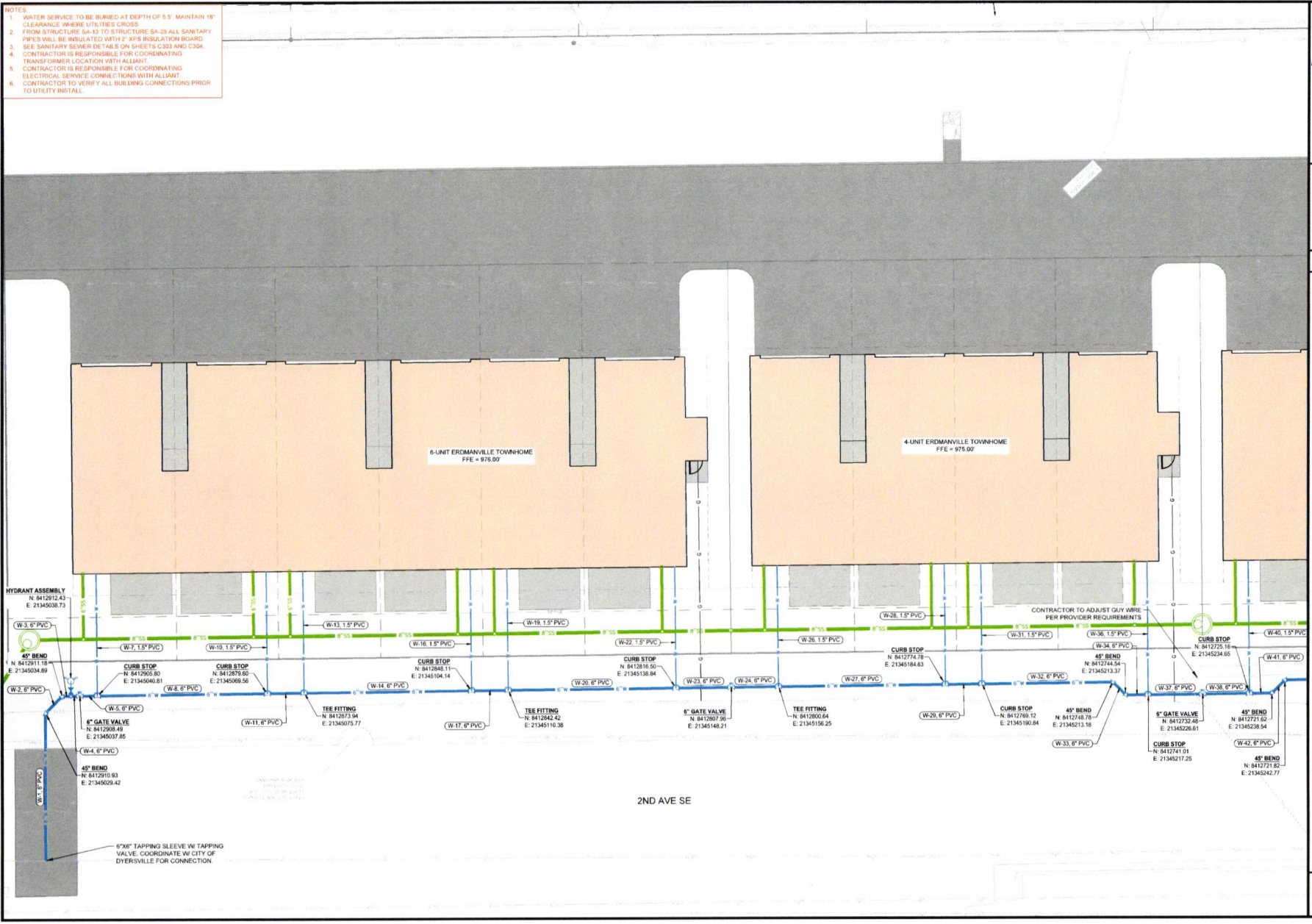
REVISIONS

PROJECT #FD  
 202409633

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 UTILITY PLAN

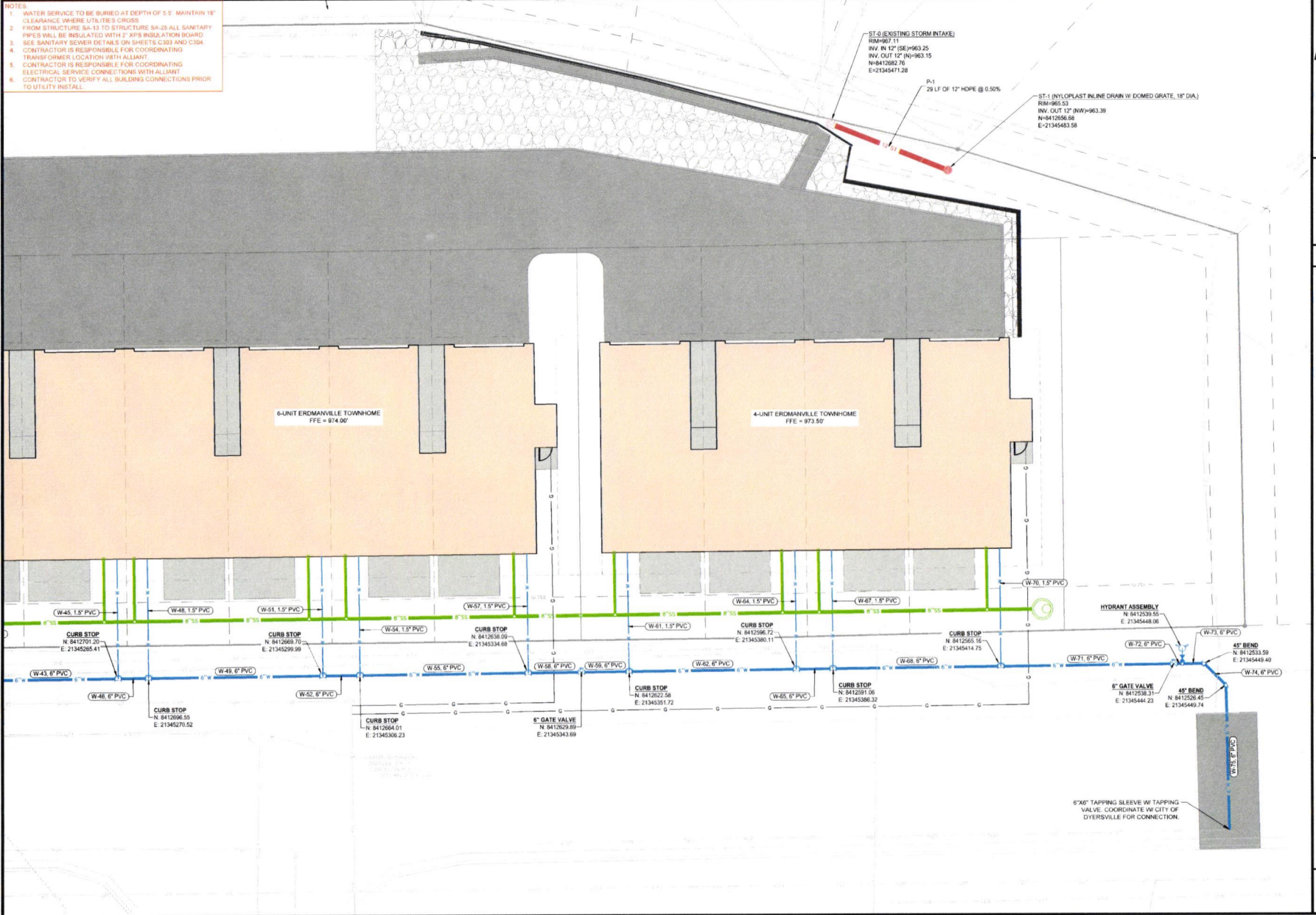
DRAWING NO.  
 C301



2ND AVE SE

6"X6" TAPPING SLEEVE W/ TAPPING VALVE. COORDINATE W/ CITY OF DYERSVILLE FOR CONNECTION.

- NOTES**
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5.5' MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
  2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" EPS INSULATION BOARD
  3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304
  4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT
  5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT
  6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.



ST-0 (EXISTING STORM INTAKE)  
 RM=967.11  
 INV. IN 12" (SE)=963.25  
 INV. OUT 12" (N)=963.15  
 N=8412682.76  
 E=213454471.28

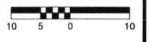
ST-1 (NYLOPLAST INLINE DRAIN W/ DOMED GRATE, 18" DIA.)  
 RM=965.53  
 INV. OUT 12" (NW)=963.39  
 N=8412658.59  
 E=21345483.58

P-1  
 28 LF OF 12" HDPE @ 0.50%

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFO  
 2024006635

ENGINEER DRAWN BY: CHECKED BY:  
 BA OF ME

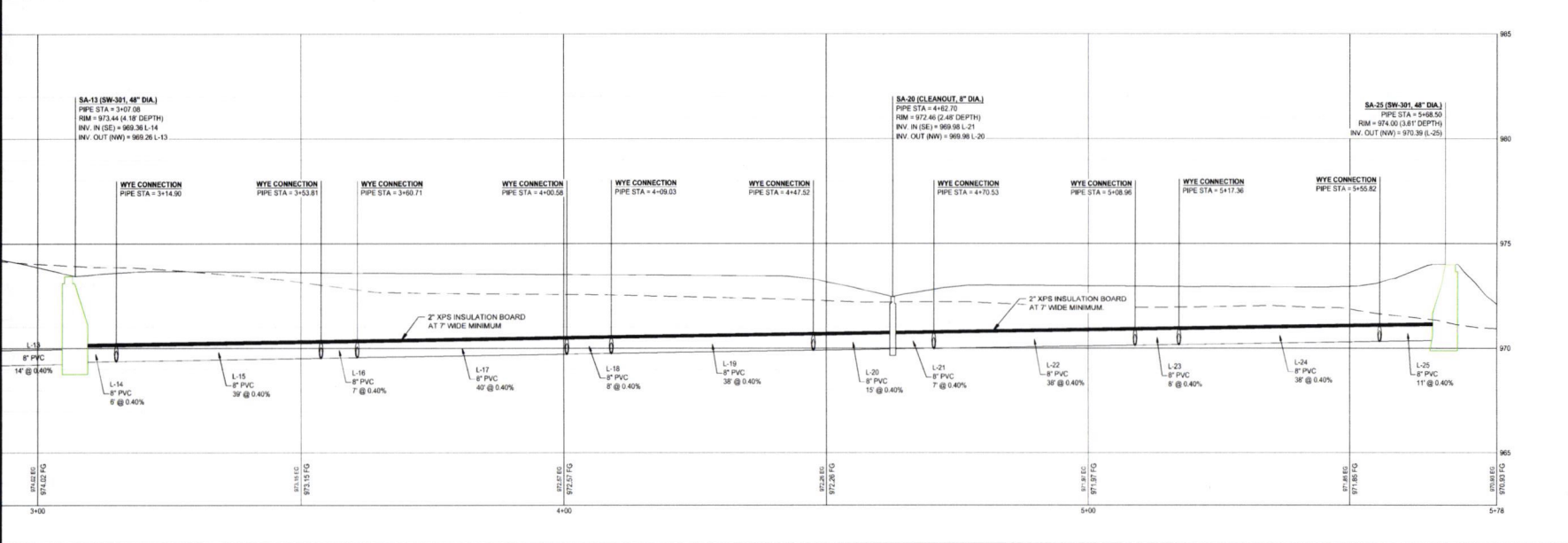
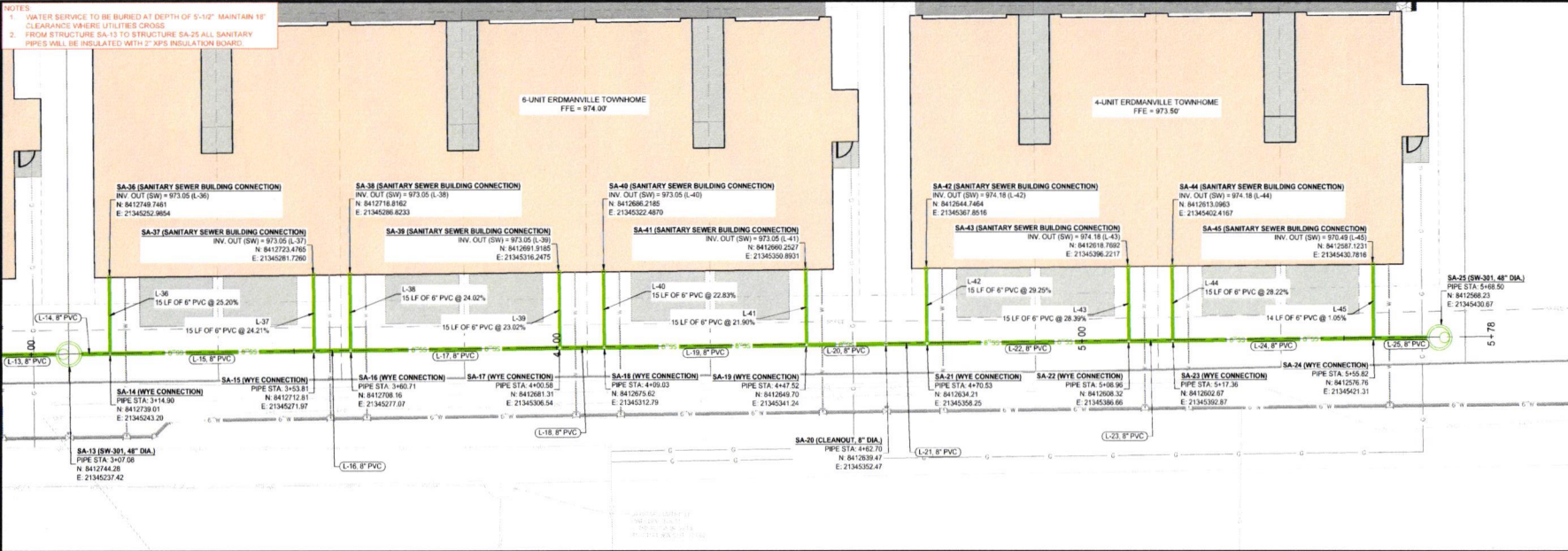
2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
**UTILITY PLAN**

DRAWING NO.  
**C302**

T:\2024\06\0000\0000\0000\CONSTRUCTION\DOCUMENTS\20240606\UTL.DWG



NOTES:  
 1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-10" MAINTAIN 1" CLEARANCE WHERE UTILITIES CROSS  
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES WILL BE INSULATED WITH 2" XPS INSULATION BOARD

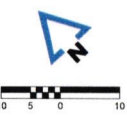


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IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

PROJECT INFO  
 2024050636

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

SANITARY SEWER PLAN & PROFILE

DRAWING NO.  
**C304**

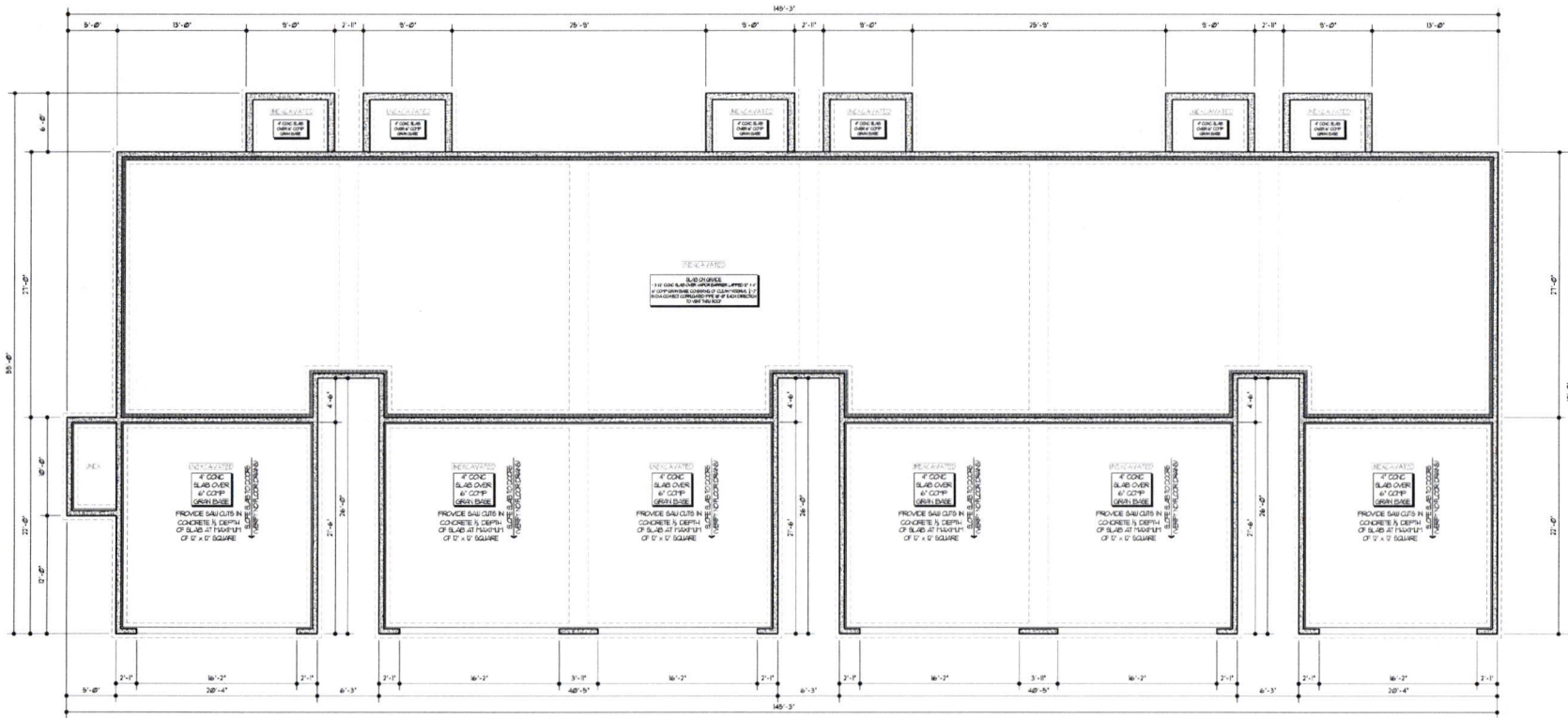






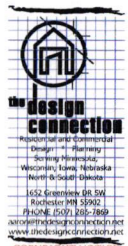
**PRINTING INSTRUCTION:**  
 \* TDC PRINTS ARE PREPARED TO BE PLOTTED  
 ON 24" X 36" SHEETS  
 \* PRINT TO ACTUAL SIZE AND/OR 1/2" SCALE  
 IS REQUIRED  
 \* PRINTING TO SCALE WILL CAUSE PRINTS TO  
 BE OUT OF SCALE  
 \* TDC IS NOT RESPONSIBLE FOR PRINTS NOT TO  
 SCALE

- FORED CONCRETE FOUNDATION NOTES**
1. TYPICAL TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED)
  2. REINFORCING PER FULL SECTION (SEE RC 4800.3) OR 4800.4
  3. TYPICAL EXTERIOR FINISHING SIZE IS GIVEN DIMENSIONALLY:  
 a. 1/2" WALL THICKNESS 8" W x 4" D  
 b. 2" WALL THICKNESS 12" W x 4" D
  4. COORDINATE ALL FOOTING REINFORCEMENT AND ELEVATIONS WITH FOUNDATION FINISH REQUIRED PROTECT PROTECTION OF FIN.  
 a. ADJUST SOLE BEARING AND FOOTING CONNECTION TO EXIST FOUNDATION
  5. FOUNDATION TO BE BUILT AS:  
 a. 24" W x 4" D FOOTING  
 b. 18" W x 4" D FOOTING  
 c. 12" W x 4" D FOOTING  
 d. 8" W x 4" D FOOTING  
 e. 6" W x 4" D FOOTING
  6. AT FOUNDATION PROVIDE 2" RIGID FILL SURFACE AND FACE OF WALL PROTECTED TO BOTTOM OF CONCRETE SLAB AND BELOW SLAB A DISTANCE OF 4" MIN.



QUANTITY		UNIT PRICE		TOTAL	
FOOTING	11.50	11.50	11.50	11.50	11.50
SLAB	11.50	11.50	11.50	11.50	11.50
WALL	11.50	11.50	11.50	11.50	11.50
DOOR	11.50	11.50	11.50	11.50	11.50
WINDOW	11.50	11.50	11.50	11.50	11.50
CEILING	11.50	11.50	11.50	11.50	11.50
FLOOR	11.50	11.50	11.50	11.50	11.50
MECHANICAL	11.50	11.50	11.50	11.50	11.50
ELECTRICAL	11.50	11.50	11.50	11.50	11.50
PAINT	11.50	11.50	11.50	11.50	11.50
FINISH	11.50	11.50	11.50	11.50	11.50
TOTAL					

**NOTES:**  
 THIS PLAN AND SPECIFICATIONS FOR BUILDING PURPOSES ARE PREPARED FOR THE ARCHITECT AND SHALL BE USED IN CONJUNCTION WITH THE GENERAL CONTRACTOR'S OBLIGATION TO PROVIDE ALL MATERIALS AND LABOR IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL APPLICABLE CODES AND REGULATIONS.



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**PRICING REVIEW NOT FOR CONSTRUCTION**

**STONEGATE 6-PLEX**  
 IOWA  
 1520 2ND AVE SE  
 DYERSVILLE  
 JEFF KETELS

PROJECT: 2391  
 DRAWN BY: MAS  
 CHECKED BY: ZST  
 PREPARED BY: OCTOBER, 2021  
 REVISION DATE: NOVEMBER 4, 2021  
 PRINT DATE:  
 PRINTED: Nov 06, 2023

FOUNDATION PLAN  
**A2.0**







