

4 PLEX

# City of Dyersville

Task # 62907

## BUILDING PERMIT APPLICATION

PERMIT NUMBER  
**26-2452**

COMPLETED BY APPLICANT	JOB ADDRESS (BUILDING 4) <sup>1580</sup> 2ND AVE SE DYERSVILLE, IA COUNTY DUBUQUE	
	LEGAL PARCEL DESCR. 07-32-179-021	LOT NO. 1
	BLK. 182	SUBDIVISION PETTINGER <input type="checkbox"/> SEE ATTACHED SHEET
	OWNER OF RECORD BMM DEVELOPMENT	TELEPHONE
	CONTRACTOR PERMIT # NAME STONEGATE BUILDERS GROUP	PLUMBING PERMIT # ELECTRICAL/MECHANICAL PERMIT #
	ARCHITECT OR DESIGNER	ADDRESS TELEPHONE FLOODPLAIN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
	USE OF BUILDING <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> ACCESSORY	
	CLASS OF WORK: <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> REMOVE	
	DESCRIBE WORK NEW MULTIFAMILY	Type of Const. WOOD FRAME
	Basement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
SET BACKS TO FOUNDATION WALL	Size of Bldg. Total Sq. Ft. 2024 x 4 = 8096	
FRONT CORNER	Automatic Extinguishing System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
REAR ALLEY	No. of Dwelling Units 4	
SIDE OPEN SPACE	Off Street Parking Req. Prov. Zoning District D-3	
LOT DIMENSIONS	No. of Stories 2	
SPECIAL CONDITIONS See Attachment		
VALUE OF WORK \$ 1,011,708		
SPECIAL APPROVALS		REQUIRED RECEIVED
ZONING AMENDMENT		
SITE PLAN		
PLAN REVIEW		
EXCAVATION PERMIT		
ARCHITECT/ENGINEER		
HEALTH DEPT.		
FIRE DEPT.		
HANDICAPPED CERTIFICATE		
BOARD OF ADJUST.		
FLOOD PLAIN CERT.		
FLOOD PLAIN EXEMP.		
SIGNS		
SPECIAL USE PERMIT		
WATER METER		

### NOTICE

SEPARATE PERMITS ARE NOT REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES THE RESPONSIBILITY FOR COMPLYING WITH LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS, RESTRICTIVE COVENANTS, OR OTHER REQUIREMENTS APPLICABLE. THIS PERMIT DOES NOT AUTHORIZE THE USE OF STREETS, ALLEYS OR SIDEWALKS FOR THE DEPOSITING OF BUILDING MATERIALS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR *[Signature]* (DATE) 9/6/25

SIGNATURE OF OWNER *[Signature]* (DATE) 9/8/25 Rec 1/26/26

WHEN PROPERLY VALIDATED THIS IS YOUR PERMIT

CHECKED & APPROVED BY *[Signature]* (DATE) 4.2.26

APPROVED BY CITY COUNCIL (DATE)

## Certificate of Occupancy

This Certificate of Occupancy is hereby issued to the above signed in accordance with the provisions set out in the City of Dyersville Municipal Code and all revisions thereto.

Your building and proposed use thereof shall comply with the provisions of the above-cited permit and other building and health ordinances of the City of Dyersville. No change or use shall be made in your building, or in any part thereof, nor may it be structurally altered, unless a Certificate of Occupancy is issued. This certificate shall be authorized after the lawful completion or alteration of the building, or occupancy and use of land.



GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCEPTANCE WITH THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) EXCEPT WHERE AMENDED BY CITY SUPPLEMENTAL SPECIFICATIONS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY(EASEMENT)/ AND OR ANY CONNECTION TO PUBLIC SEWERS, STREETS, OR UTILITIES, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AND MCCLURE ENGINEERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING UP A PRE-CONSTRUCTION MEETING WITH DYERSVILLE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE CITY AND OWNER.
5. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILT DRAWINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, PROWAG, AND IOWA CODE.
8. STAKING BY CERTIFIED ENGINEER OR LAND SURVEYOR WITH VERIFICATION BY CONTRACTOR SHALL BE DONE PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
9. CONTRACTOR IS TO PROTECT EXISTING PAVEMENT UNLESS DESIGNATED FOR REMOVAL. DAMAGED PAVEMENT SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
10. ALL SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM ANY SLURRY GENERATED BY SAW CUTTING, CONCRETE GRINDING, OR ANY OTHER CONSTRUCTION ACTIVITY.
11. ANY DEBRIS THAT SPILLS INTO ROW SHALL BE REMOVED AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
13. ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
14. CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
16. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS THAT INCLUDES ALL UTILITIES AND GRADES FOR DRAINAGE SWALES, OVERFLOWS, ACCESSIBLE RAMPS, AND DETENTION FACILITIES. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO PUBLIC WORKS AND ENGINEER OF RECORD. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
17. THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
18. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT CITY OF URBANDALE TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
19. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND 2025 STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS.
20. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE MOIST.
21. ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE. AS-BUILT DOCUMENTS OF H/C RAMPS TO BE SUBMITTED TO PUBLIC WORKS AND ENGINEERING OF RECORD.
22. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED ON THE PROJECT.
24. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY FOR ANY PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE COMPLYING WITH EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
26. NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT OR OVERLAY AREA. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENT THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
27. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT BUT NOT SPECIFICALLY CALLED OUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
28. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
29. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
30. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES.
31. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
32. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTORS EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
33. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
34. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

GRADING NOTES:

- 1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
3. CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
5. ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.
7. THE CONTRACTOR SHALL HOLD A GENERAL PERMIT NUMBER 2 PRIOR TO CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT NUMBER 2 HOLDER SHALL BE RESPONSIBLE FOR VERIFYING THAT TOP SOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. SAID TOPSOIL REQUIREMENTS ARE LISTED IN SUDAS STANDARD SPECIFICATIONS SECTION 2010.
8. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
9. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
10. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
12. ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK.

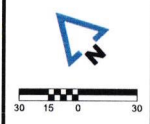
UTILITY NOTES:

- 1. ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
3. ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED AND USE LINKSEAL.
6. ALL MANHOLES SHALL BE INSTALLED SO THAT THE CASTING IS SET OUTSIDE OF THE SIDEWALK SECTION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY PRIOR TO ANY CONNECTION TO PUBLIC UTILITIES.
8. ALL STORM AND SANITARY SEWERS ARE TO BE CLEANED AND TELEVIEWED. ALL SANITARY SEWER MANHOLES ARE TO BE VACUUM TESTED. ALL CLEANING AND TELEVIEWING SHALL BE APPROVED AND WITNESSED BY THE CITY PRIOR TO PAVING. A COPY OF THE VIDEOS AND REPORTS SHALL BE PROVIDED TO THE CITY.
SANITARY SEWER:
1. ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 AND SHALL HAVE GASKETED JOINTS.
2. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
3. MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
4. RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.
STORM SEWER:
1. OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER.
2. ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLLOGY OR TEXT.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA AT THE COMPLETION OF THE PROJECT.
4. WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE CHAINS GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING ACCORDING TO SUDAS REQUIREMENTS.
WATER MAIN:
1. HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
2. WATER MAIN SHALL BE AWWA C900-DR18 PVC.
3. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE 4-INCH STORZ NOZZLE, SHUT OFF GATE VALVE AND LOCKING CAP. ALL CHAINS SHALL REMAIN INTACT.
4. WATER MAIN TO HAVE 5' BURY, TYP EXCEPT AT CRITICAL CROSSINGS IN WHICH IT SHALL BE NO SHALLOWER THAN 5'6".
5. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
6. THE CONTRACTOR SHALL NOT REMOVE CHAINS ON ALL HYDRANTS.
7. WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF URBANDALE).
8. ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION. ON ALL WATERMAIN STAINLESS STEEL BLOCKING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING. ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING, MEGA-LUGS ARE NOT TO BE ALLOWED PER SUDAS.
9. WATER MAIN AND SEWER SERVICE, SANITARY SEWER, STORM SEWER, OR DRAINAGE TILE CROSSINGS SHALL HAVE A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION WHENEVER POSSIBLE UNLESS OTHERWISE NOTED. ALL STORM SEWER PIPE THAT CROSSES OVER THE WATER MAIN SHALL HAVE O-RING GASKETS INSTALLED.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
11. CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE/EMERGENCY ACCESS TO THE SITE, BUILDING, FDOS, PIVS, HYDRANTS, AND FRONT DOORS.
12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES, IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED. AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 563.2 OF THE IFC.
13. ALL SERVICE LINES SHALL BE PRESSURE TESTED AND BACTERIOLOGICAL SAMPLED WITH WATERMAN.

McCLURE logo and contact information: 2229 E Grantview Ln Suite 2, Coralville IA 52241, P 319-426-9090. Also lists office locations in Arkeny IA, Cedar Rapids IA, Fort Dodge IA, North Liberty IA, Sioux City IA, Macon MO, Columbia MO, North Kansas City MO, Lenexa, KS.

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS table with columns for description and date. Below it is a PROJECT INFO section with fields for ENGINEER, DRAWN BY, and CHECKED BY, with initials BA, OF, ME.

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
GENERAL NOTES

DRAWING NO. C002

12/20/2024 09:28:46 AM C:\Users\jmcclure\OneDrive\Documents\2024\2024-12-20\2024-12-20-2nd Avenue Multifamily.dwg

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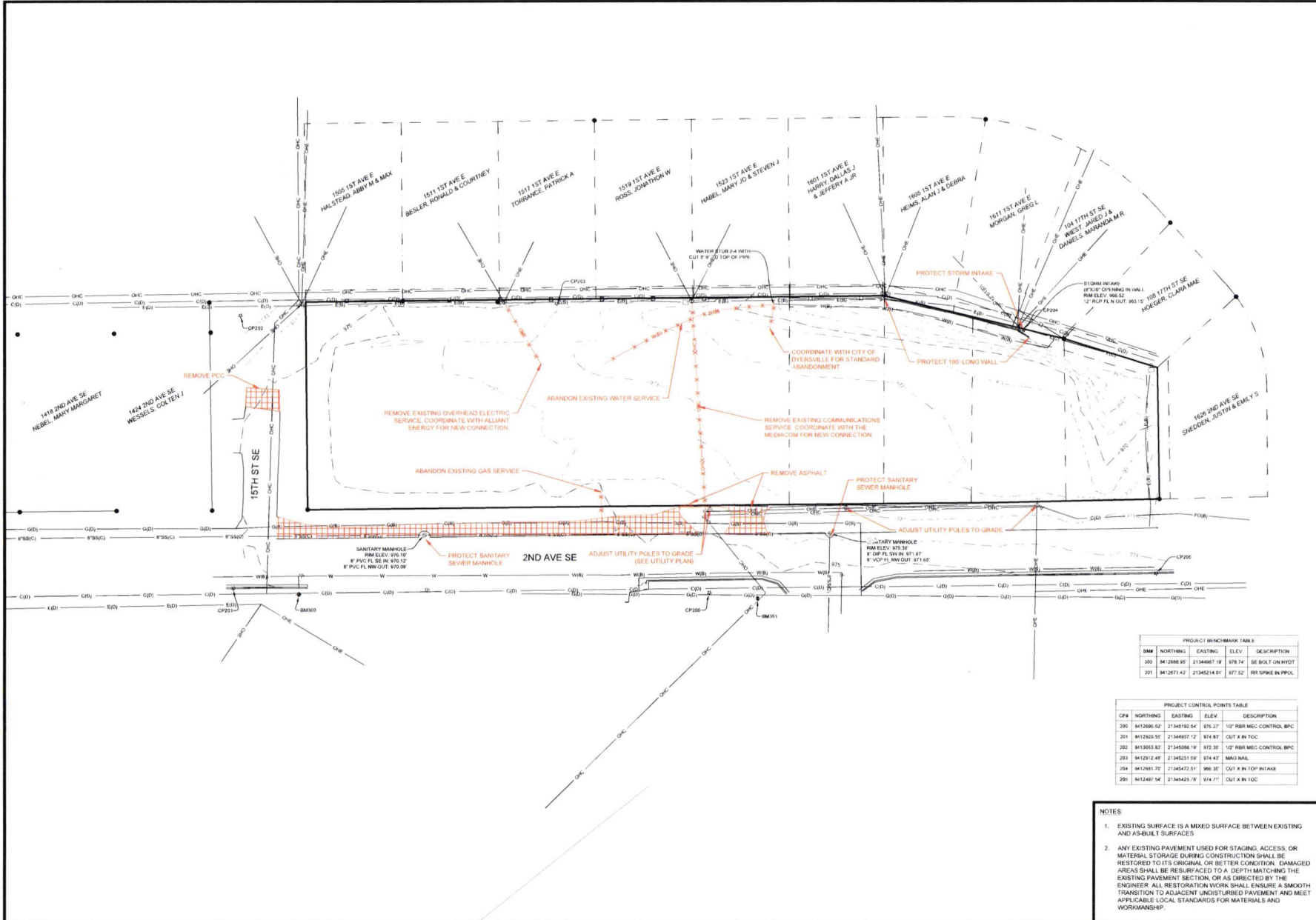
IOWA CERTIFICATE OF AUTHORITY NO. 28667



REVISIONS

PROJECT INFO  
 2024060635  
 ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 EXISTING CONDITIONS AND REMOVALS



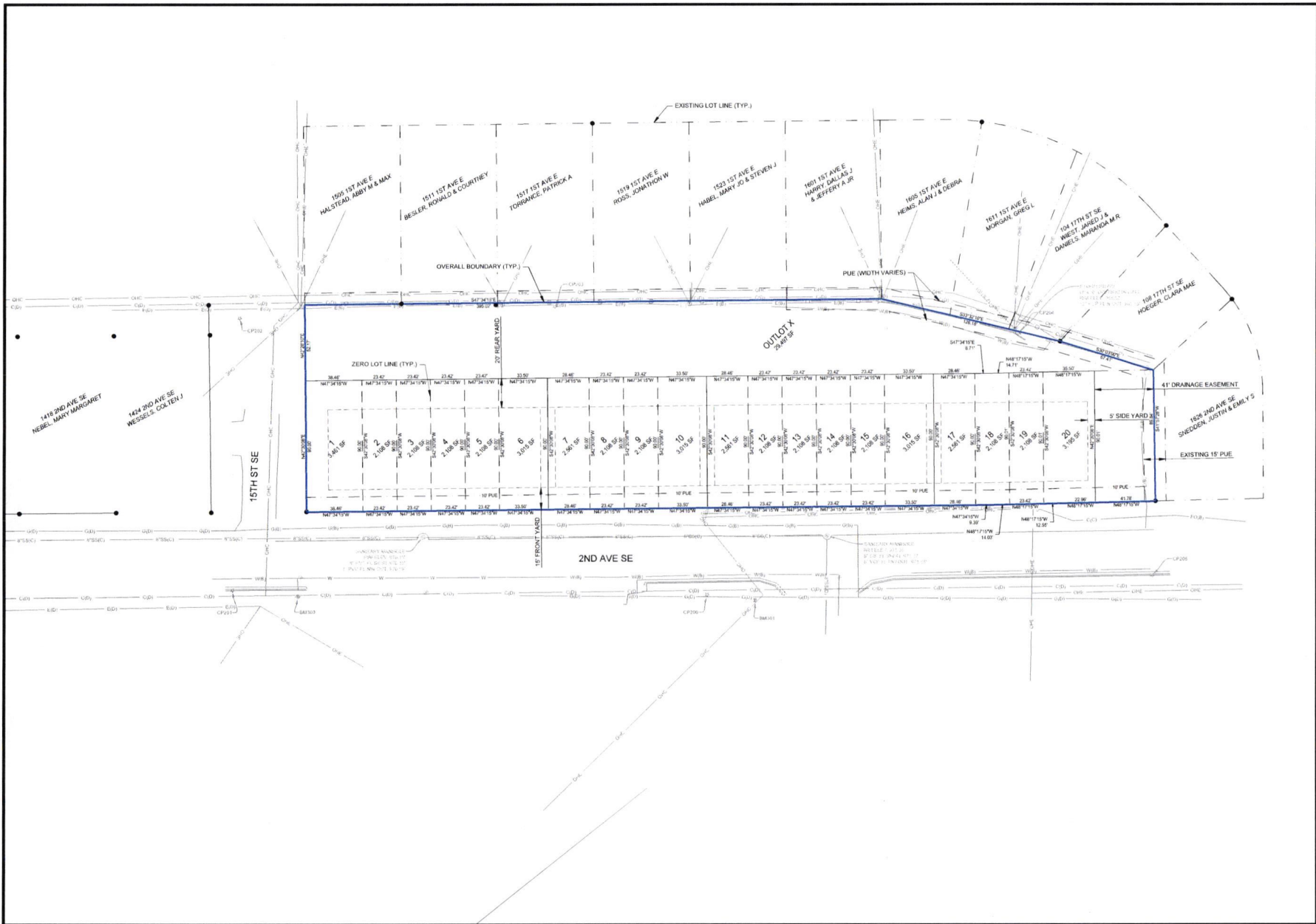
PROJECT BENCHMARK TABLE

BM	NORTHING	EASTING	ELEV.	DESCRIPTION
100	842886.95	21344667.19	878.74	SE BOLT ON HYD
201	842871.42	21345214.61	977.52	RR SPIKE IN PPOOL

PROJECT CONTROL POINTS TABLE

CP#	NORTHING	EASTING	ELEV.	DESCRIPTION
200	8412856.62	21345192.64	876.27	10\"/>

- NOTES
- EXISTING SURFACE IS A MIXED SURFACE BETWEEN EXISTING AND AS-BUILT SURFACES
  - ANY EXISTING PAVEMENT USED FOR STAGING, ACCESS, OR MATERIAL STORAGE DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION. DAMAGED AREAS SHALL BE RESURFACED TO A DEPTH MATCHING THE EXISTING PAVEMENT SECTION, OR AS DIRECTED BY THE ENGINEER. ALL RESTORATION WORK SHALL ENSURE A SMOOTH TRANSITION TO ADJACENT UNDISTURBED PAVEMENT AND MEET APPLICABLE LOCAL STANDARDS FOR MATERIALS AND WORKMANSHIP.



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 P 319-628-9090

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

30 15 0 30

REVISIONS

PROJECT # NO  
 20240663

ENGINEER DRAWN BY CHECKED BY  
 BA QP ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 PRELIMINARY PLAT

DRAWING NO  
**C004**

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IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

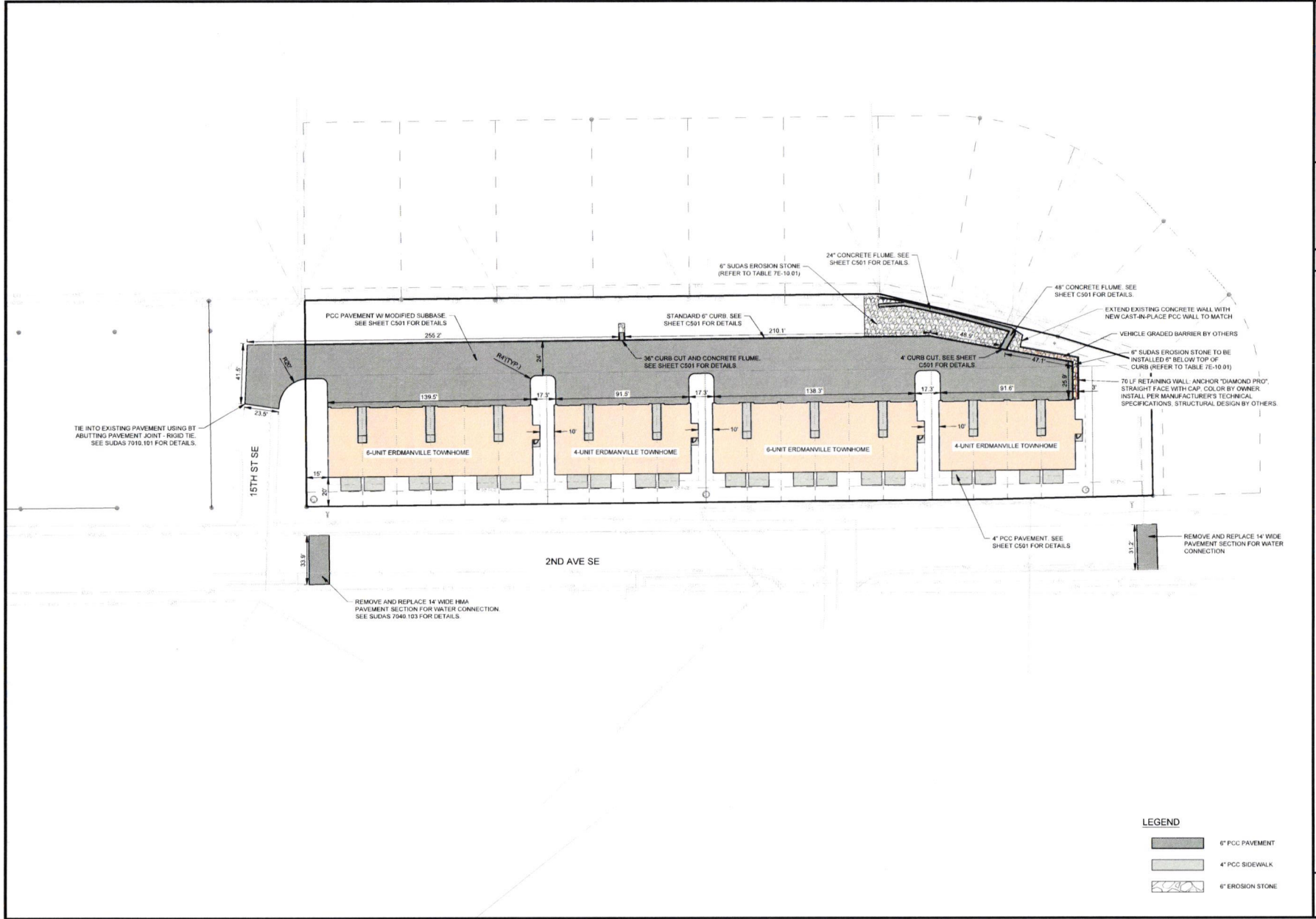
PROJECT INFO  
 202400636

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

SITE PLAN

DRAWING NO.  
**C101**



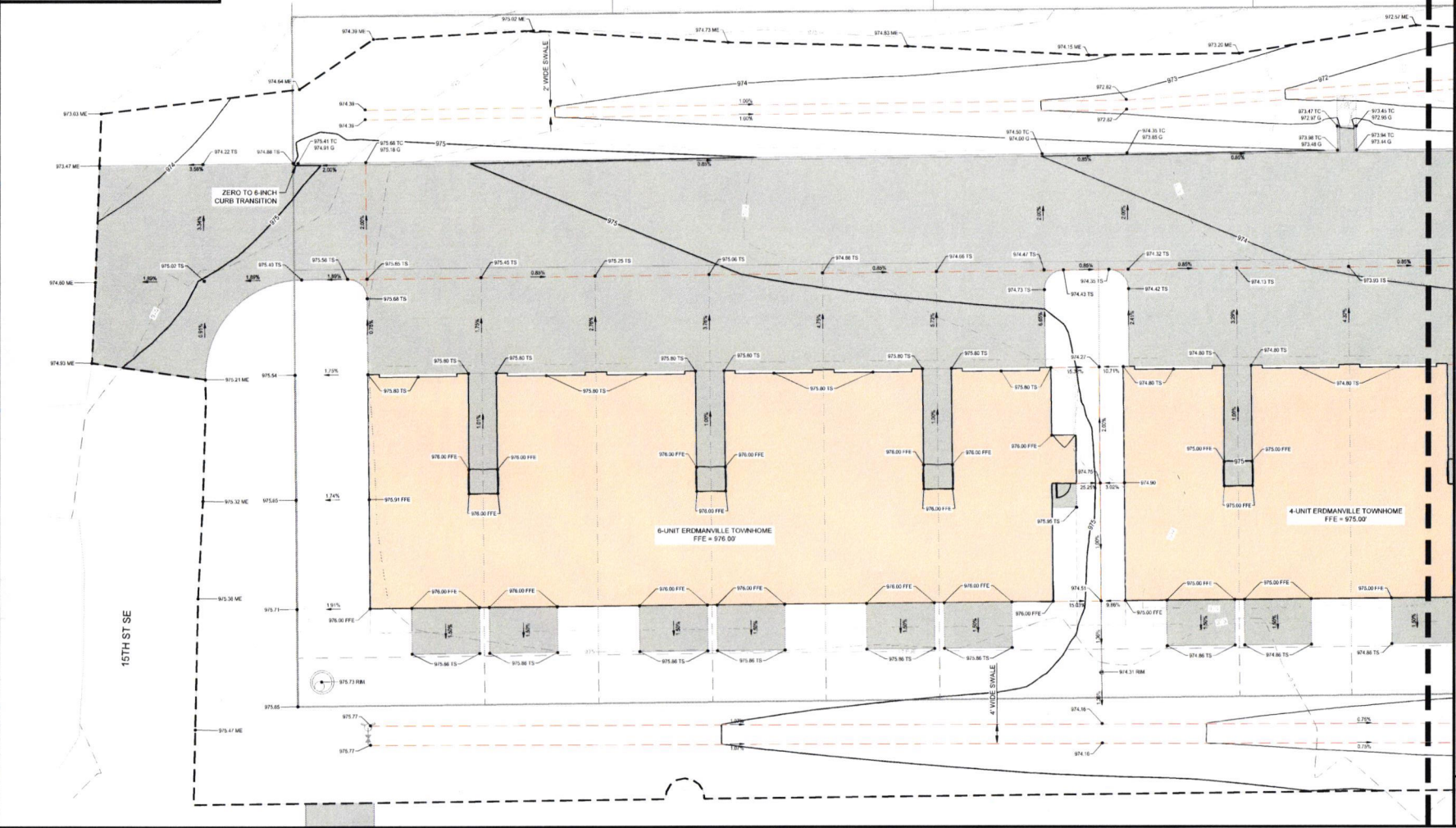
**LEGEND**

	6" PCC PAVEMENT
	4" PCC SIDEWALK
	6" EROSION STONE

**GRADING LEGEND**

100.00	SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)	105	PROPOSED CONTOUR (MAJOR)
100.00 TC	SPOT ELEVATION (TOP OF CURB)	104	PROPOSED CONTOUR (MINOR)
100.00 TS	SPOT ELEVATION (TOP OF SLAB)	103	EXISTING CONTOUR (MAJOR)
100.00 FFE	SPOT ELEVATION (FINISHED FLOOR ELEVATION)	102	EXISTING CONTOUR (MINOR)
100.00 RM	SPOT ELEVATION (STRUCTURE RIM ELEVATION)	101	EXISTING CONTOUR (MAJOR)
100.00 TW	SPOT ELEVATION (TOP OF WALL)	100	EXISTING CONTOUR (MINOR)
100.00 BW	SPOT ELEVATION (BOTTOM OF WALL)	99	EXISTING CONTOUR (MAJOR)
100.00 ME	SPOT ELEVATION (MATCH EXISTING)	98	EXISTING CONTOUR (MINOR)
	DRAINAGE DIRECTION		GRADE BREAK LINE
			GRADING LIMITS

**NOTE:**  
 \* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY



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 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

REVISIONS


PROJECT INFO  
 2024060635

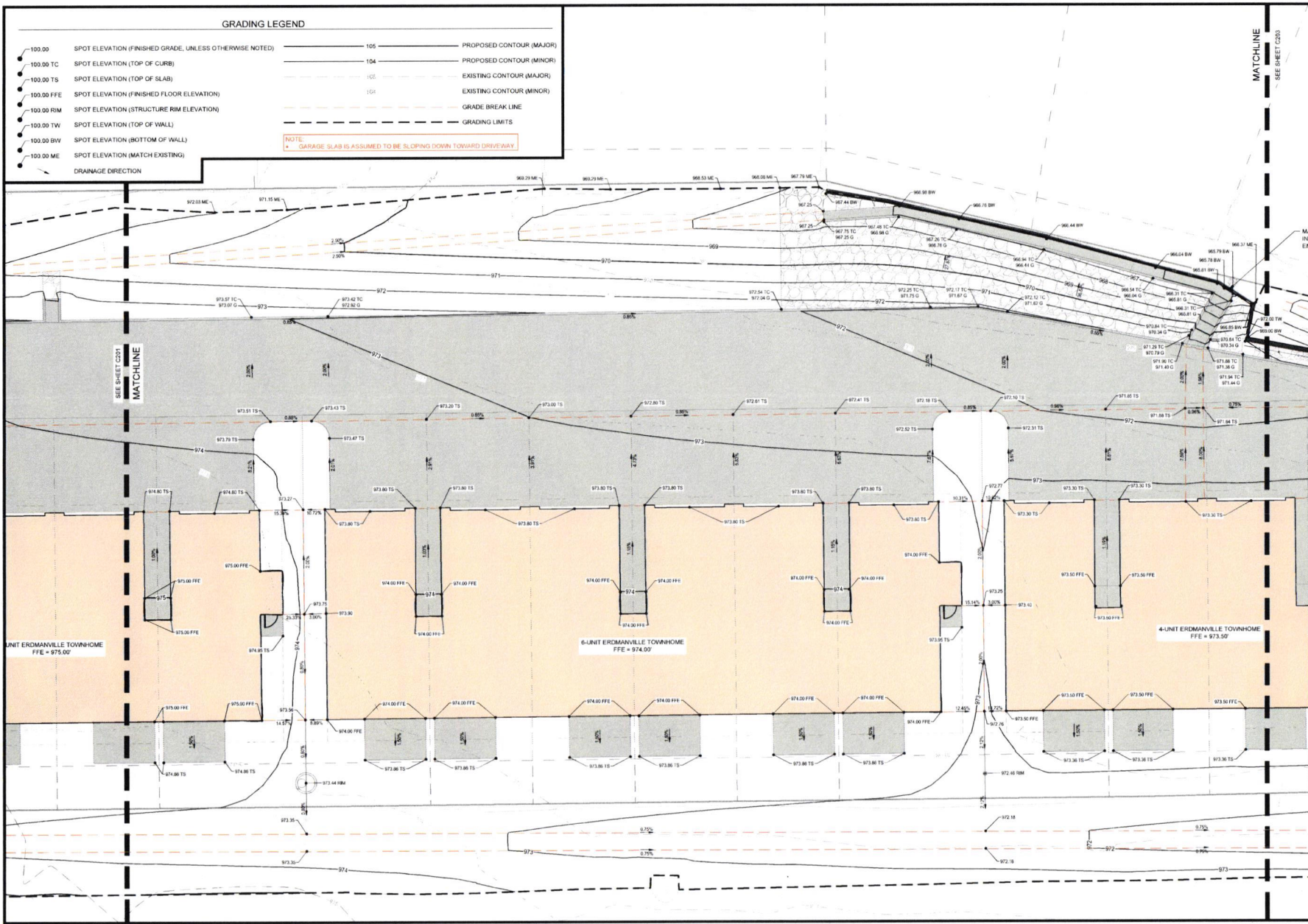
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2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

**GRADING PLAN**

T:\2024\06\1520-2ND AVENUE SE\CONSTRUCTION DOCUMENT\2024-06-06\GRADING

DRAWING NO.  
**C201**



**GRADING LEGEND**

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RIM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BV SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- 105 PROPOSED CONTOUR (MAJOR)
- 104 PROPOSED CONTOUR (MINOR)
- 105 EXISTING CONTOUR (MAJOR)
- 104 EXISTING CONTOUR (MINOR)
- GRADE BREAK LINE
- GRADING LIMITS

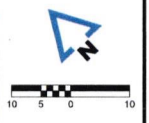
NOTE:  
 \* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

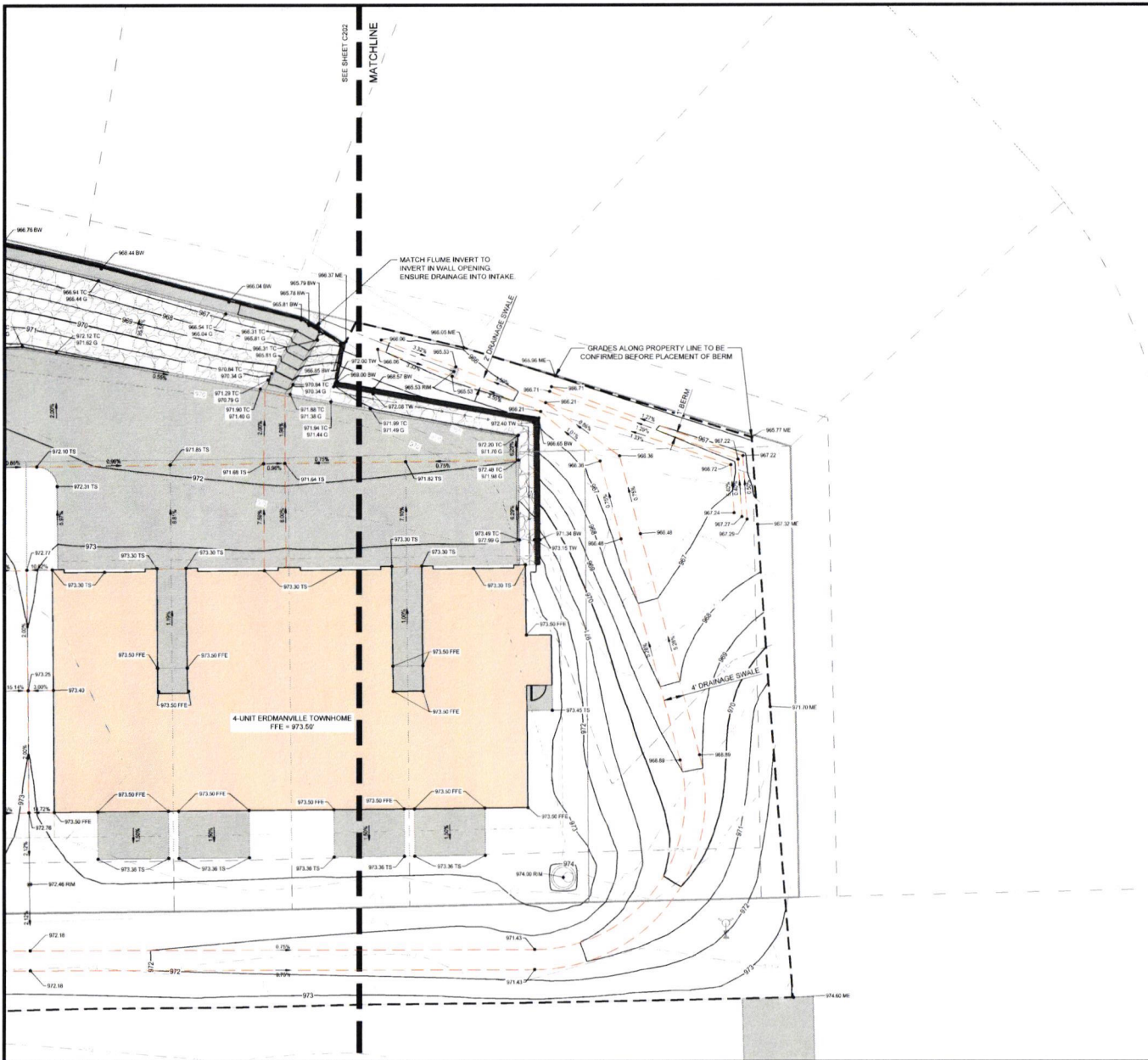

PROJECT INFO  
 202406035

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

**GRADING PLAN**

DRAWING NO.  
**C202**



**GRADING LEGEND**

- 105 — PROPOSED CONTOUR (MAJOR)
- 104 — PROPOSED CONTOUR (MINOR)
- - - 105 - - - EXISTING CONTOUR (MAJOR)
- - - 104 - - - EXISTING CONTOUR (MINOR)
- - - - - GRADE BREAK LINE
- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION

**NOTE:**  
 \* GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY  
 \* ADJUST UTILITY POLE TO GRADE

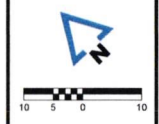
CUT AND FILL REPORT	
VOLUME SUMMARY	
CUT FACTOR	1.00
FILL FACTOR	1.15
2D AREA (SQ. FT.)	90,691.66
CUT (CU. YD.)	363.95
FILL (CU. YD.)	3,331.88
NET (CU. YD.)	2,967.93

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IOWA CERTIFICATE OF AUTHORITY NO. 26667



REVISIONS

NO.	DESCRIPTION

PROJECT INFO  
 202400630

ENGINEER DRAWN BY CHECKED BY  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040

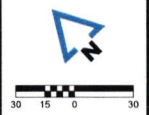
**GRADING PLAN**

T:\2024\0630\202400630\CONSTRUCTION\DOCUMENTS\202400630.GRD.DWG

DRAWING NO.  
**C203**

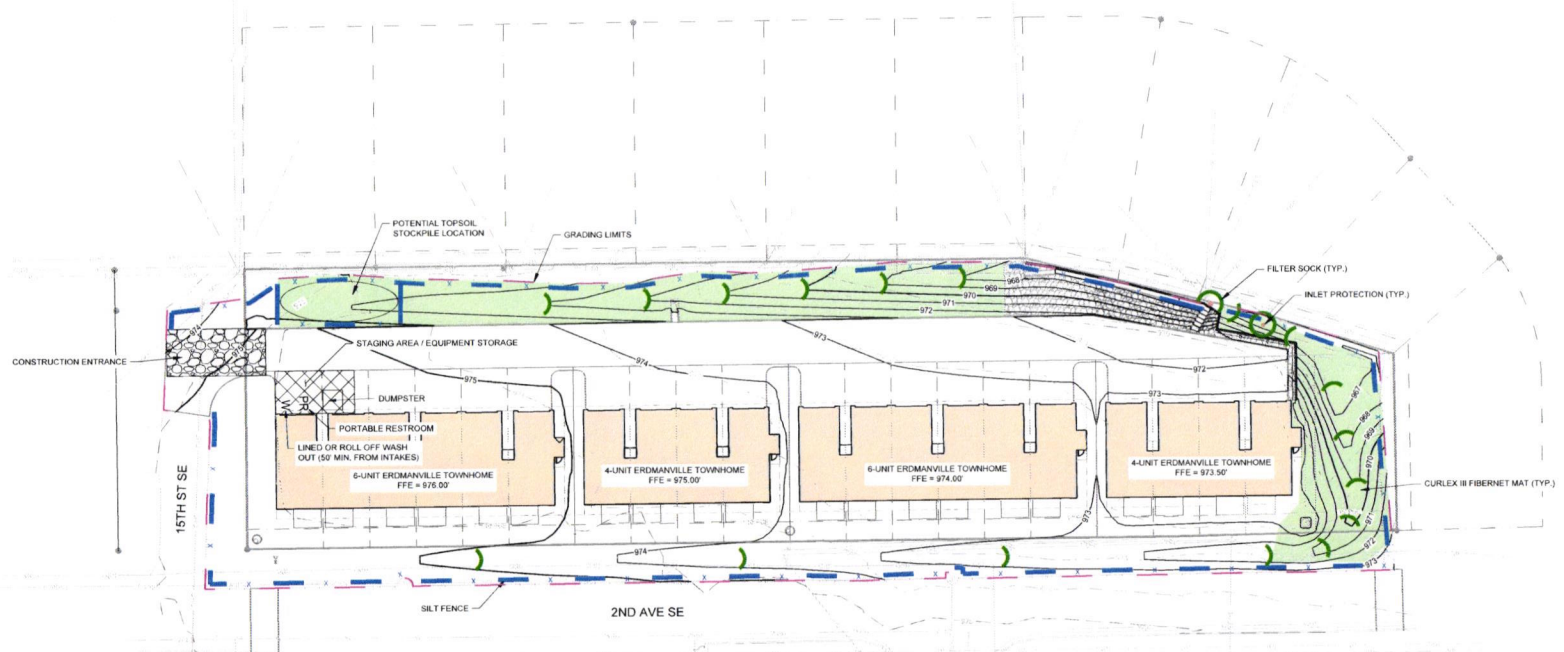
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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS


PROJECT INFO  
 202406035  
 ENGINEER DRAWN BY CHECKED BY  
 BA OF ME



- NOTES**
- ALL DERRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
  - MINIMUM TOPSOIL RESPIREAD REQUIREMENT OF 60% WILL BE MET WITH SUDAS SPEC 2010. FOR ON-SITE TOPSOIL FOR ALL DISTURBED AREAS REQUIRING TEMPORARY STABILIZATION, SODDING FOR EROSION CONTROL SHALL BE USED.
  - OWNER RESPONSIBLE FOR MAINTENANCE COSTS AND PRACTICES FOR ALL STORM WATER CONTROL BMPs INSTALLED ON SITE AS PART OF THIS PROJECT. MEASURES SHALL CONFORM TO PRODUCT MAINTENANCE MANUALS CURRENT AT THE TIME OF INSTALLATION.

**LEGEND:**

	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	9" WATTLE OR FILTER SOCK
	DISCHARGE LOCATION
	CURLX III FIBERNET MAT

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 EROSION CONTROL PLAN

- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-5" MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
  2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" XPS INSULATION BOARD
  3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304
  4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT
  5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT
  6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



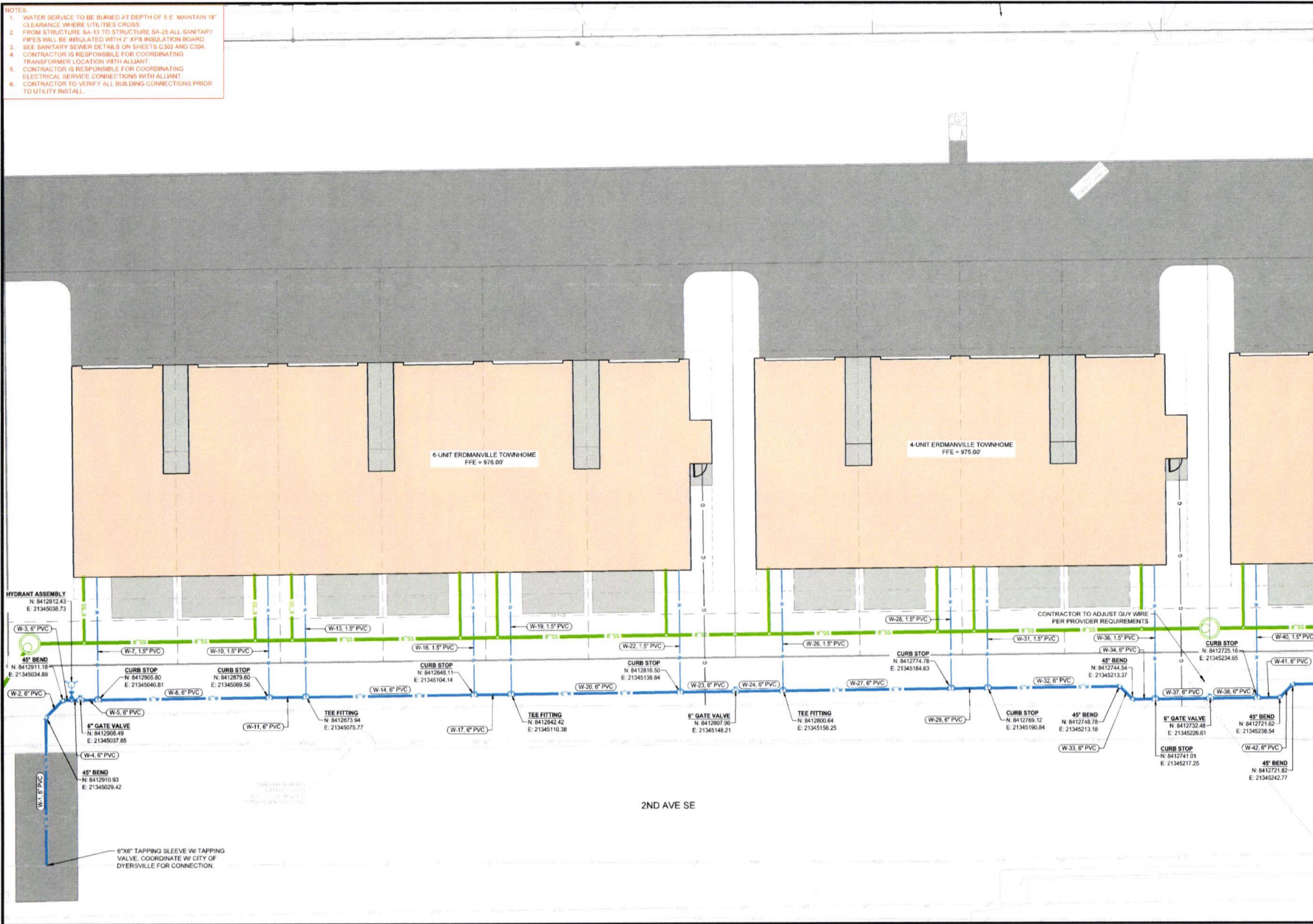
REVISIONS

PROJECT #FD  
202406033

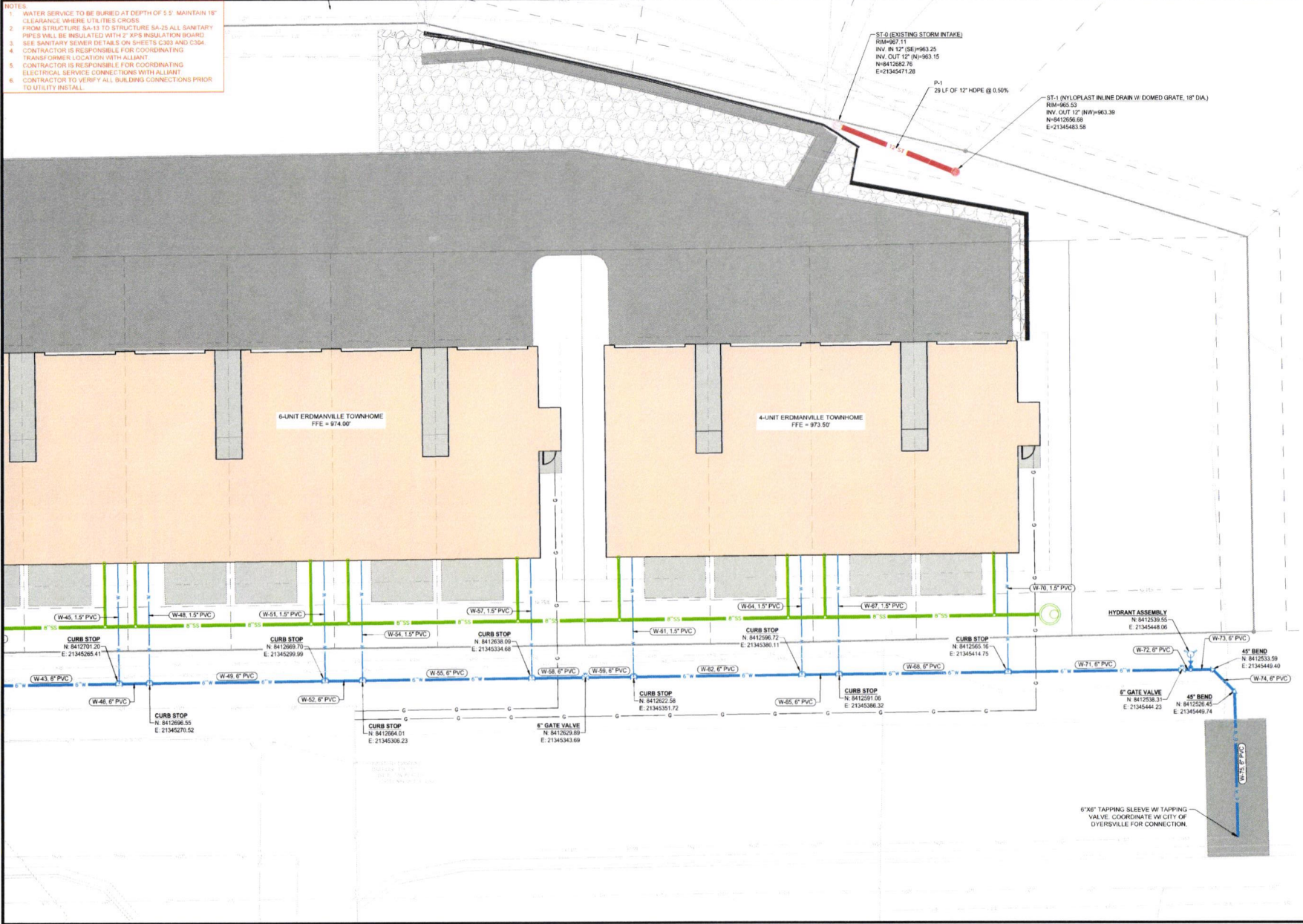
ENGINEER DRAWN BY CHECKED BY  
BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 UTILITY PLAN

DRAWING NO.  
C301



- NOTES**
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-0" MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
  2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" EPS INSULATION BOARD
  3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304
  4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT
  5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT
  6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL



ST-0 (EXISTING STORM INTAKE)  
 RM=967.11  
 INV. IN 12" (SE)=963.25  
 INV. OUT 12" (N)=963.15  
 N=8412682.76  
 E=21345471.28

P-1  
 29 LF OF 12" HDPE @ 0.50%

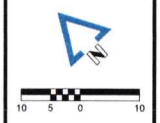
ST-1 (NEW) PLASTIC INLINE DRAIN W/ DOMED GRATE, 18" DIA.  
 RM=965.23  
 INV. OUT 12" (NW)=963.39  
 N=8412656.99  
 E=21345483.58

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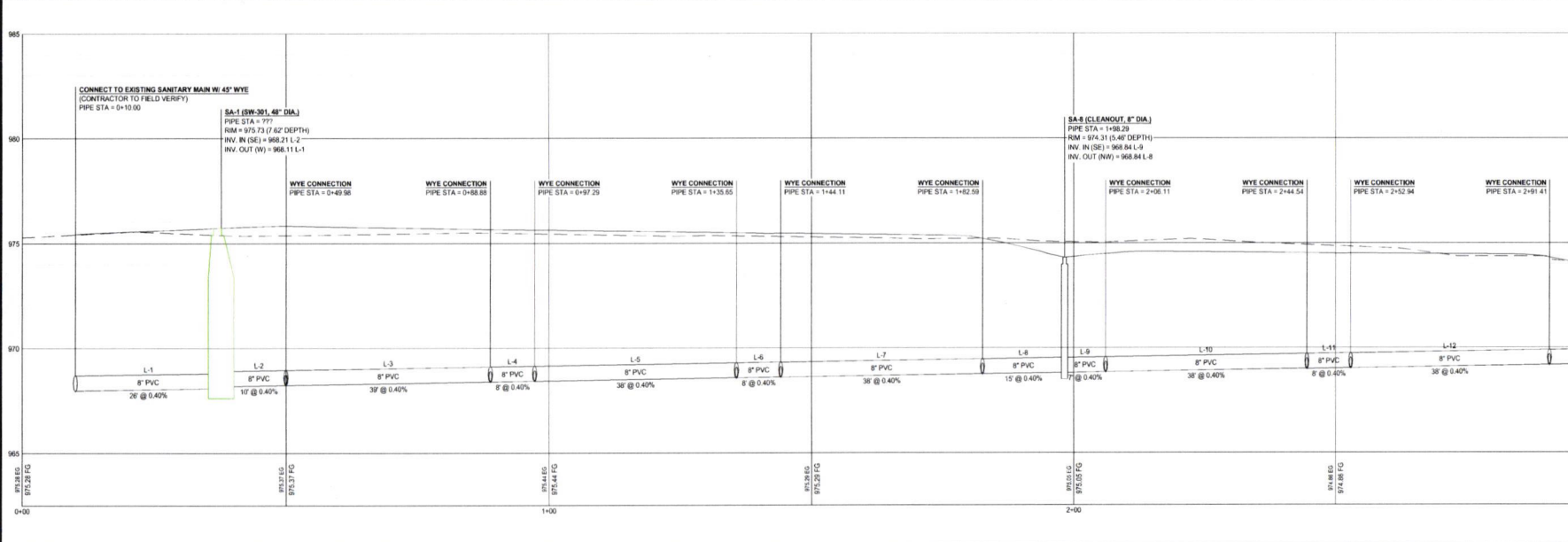
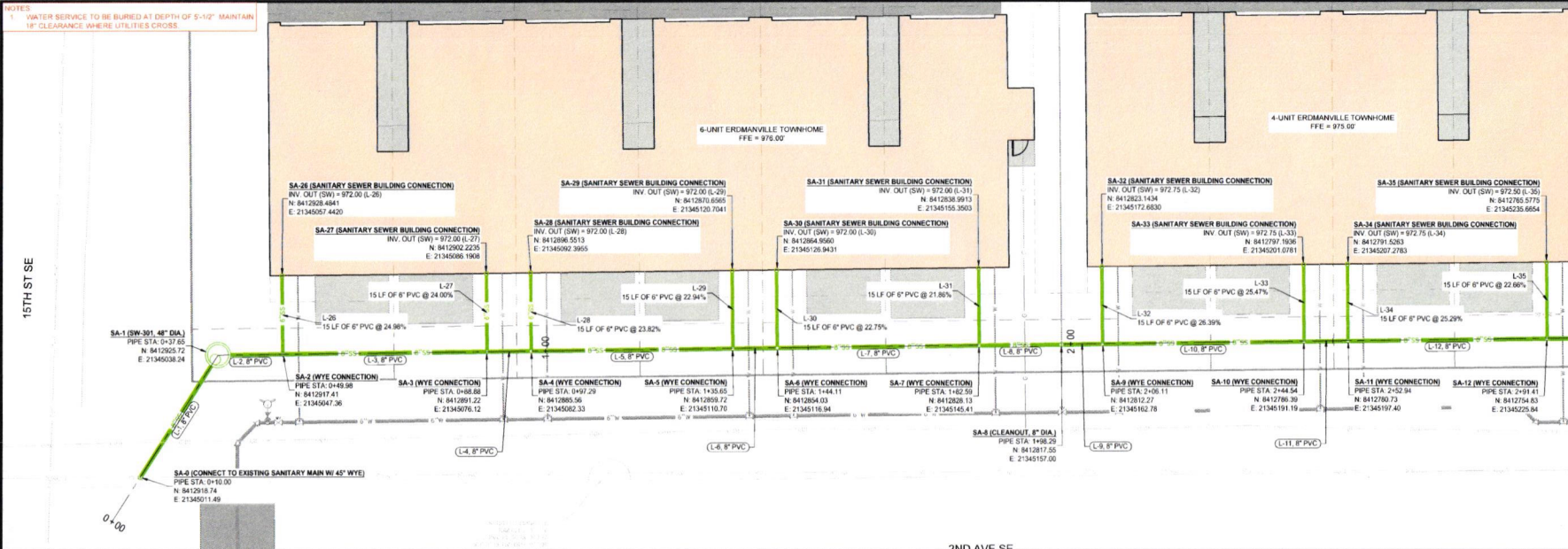

PROJECT INFO  
 2024060635

ENGINEER DRAWN BY: CHECKED BY:  
 BA OF ME

2ND AVENUE MULTIFAMILY  
 1520 2ND AVENUE SE  
 DYERSVILLE, IA 52040  
 UTILITY PLAN

DRAWING NO.  
**C302**

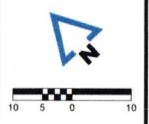
NOTES:  
WATER SERVICE TO BE BURIED AT DEPTH OF 5'-10" MAINTAIN  
18" CLEARANCE WHERE UTILITIES CROSS.



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which arise from failure to obtain  
independent from the engineers or  
surveyors' guidance with respect to  
any alleged errors, omissions,  
inconsistencies, ambiguities, or  
conflicts contained within the  
Plans and Specifications.

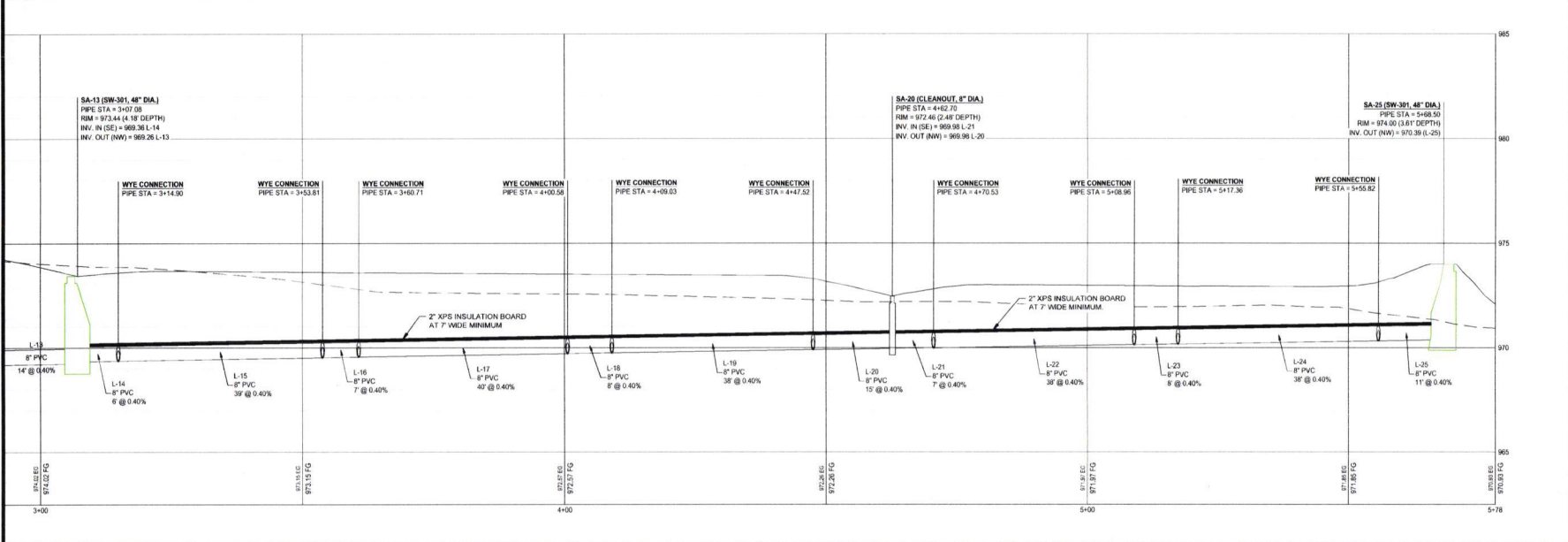
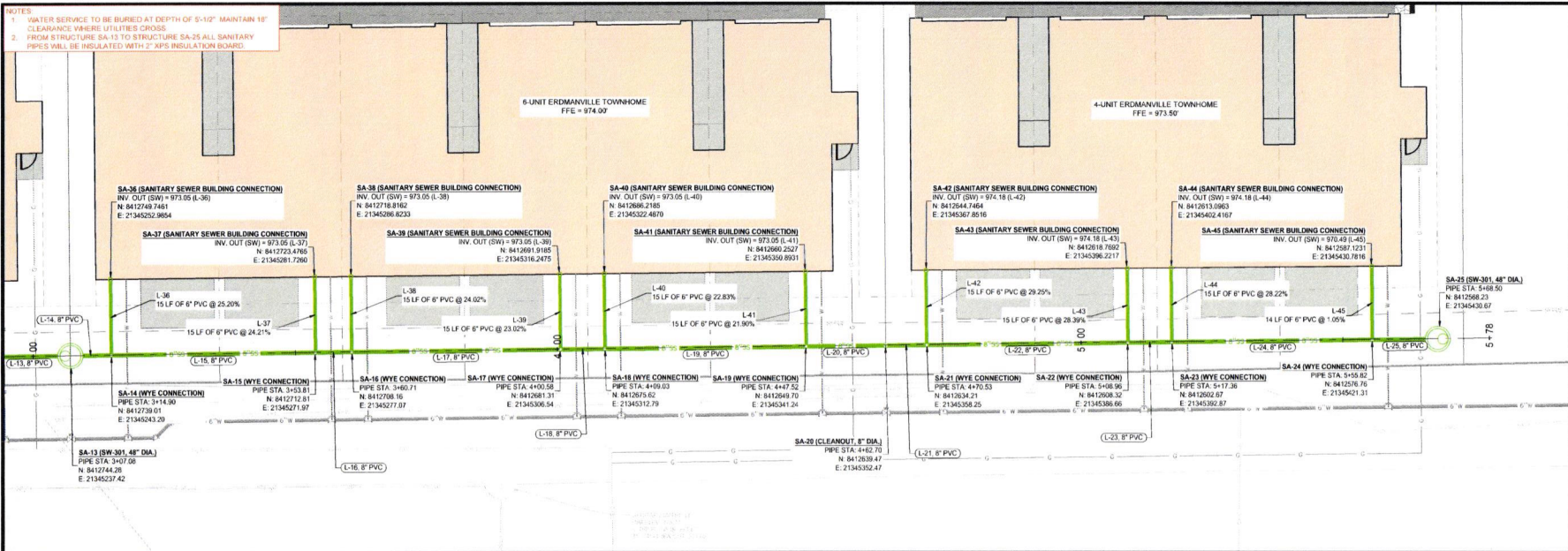
IOWA CERTIFICATE OF  
AUTHORITY NO. 26867



REVISIONS


PROJECT INFO  
202406033  
ENGINEER DRAWN BY CHECKED BY  
BA OF ME

2ND AVENUE MULTIFAMILY  
1520 2ND AVENUE SE  
DYERSVILLE, IA 52040  
SANITARY SEWER PLAN & PROFILE  
DRAWING NO  
**C303**

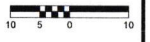


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PROJECT INFO  
202406535  
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2ND AVENUE MULTIFAMILY  
1520 2ND AVENUE SE  
DYERSVILLE, IA 52040

SANITARY SEWER PLAN & PROFILE

DRAWING NO.  
**C304**





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 \* TDC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0" (1/8" = 1'-0")  
 DATE: 10/11/2025



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" (1/8" = 1'-0")  
 DATE: 10/11/2025

**TYP. ELEVATION NOTES**

1. THESE ELEVATIONS ARE DIAGRAMMATIC ONLY. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED SHALL HAVE PRECEDENCE OVER ELEVATIONS UNLESS NOTED OTHERWISE.
2. GENERAL CONTRACTOR TO VERIFY COLOR & DECORATIVE FEATURES OF EXTERIOR APPLICATIONS.
3. TYP. COVERINGS UNLESS NOTED OTHERWISE:  
 A) SIDING: SIDING  
 B) SHIMS: SIDING  
 C) PORCH: SIDING TO BE IF
4. APPROXIMATE PLACEMENT OF PAUL GREENE HANGING ALPHAS AT 1/2" FROM TOP OF ROOF DASH OR PROJECTIONS OF EXTERIOR CORNERS OF METAL TRUCK. "NEAR" OR "TO" NOT SHOWN.
5. ROOFING MATERIALS AND  
 A) TOP SHIMS: SHIMS OVER SHIMS APPROX. ROOFING FELT 1/2" ROOF BEARING SHIMS STYLE: COLOR: ROOFING: W/COVER  
 B) FASCIA: SIDING MATERIAL AND  
 A) FASCIA AND GUTTER: SIDING STYLE: COLOR: W/COVER
6. SILLING MATERIALS AND  
 A) SILLING: 2" x 4" SHIMS STYLE: COLOR: W/COVER  
 B) SILLING BOARD: SIDING STYLE: COLOR: W/COVER  
 C) SILLING BOARD: SIDING STYLE: COLOR: W/COVER
7. GUTTER: SIDING MATERIALS AND  
 A) GUTTER: SIDING STYLE: W/COVER (METAL) FIN: MANUFACTURED SPECIF
8. FINISH: SIDING MATERIALS AND  
 A) FINISH: SIDING STYLE: W/COVER (METAL) FIN: MANUFACTURED SPECIF
9. FINISH: SIDING MATERIALS AND  
 A) FINISH: SIDING STYLE: W/COVER (METAL) FIN: MANUFACTURED SPECIF
10. SURFACE FINISHES: UNLESS NOTED OTHERWISE, UNLESS OTHERWISE NOTED OTHERWISE.



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 CONSTRUCTION

**STONEGATE 4-PLEX**  
 1520 2ND AVE SE  
 DYERSVILLE  
 JEFF KETELS

**QUICK REFERENCE**

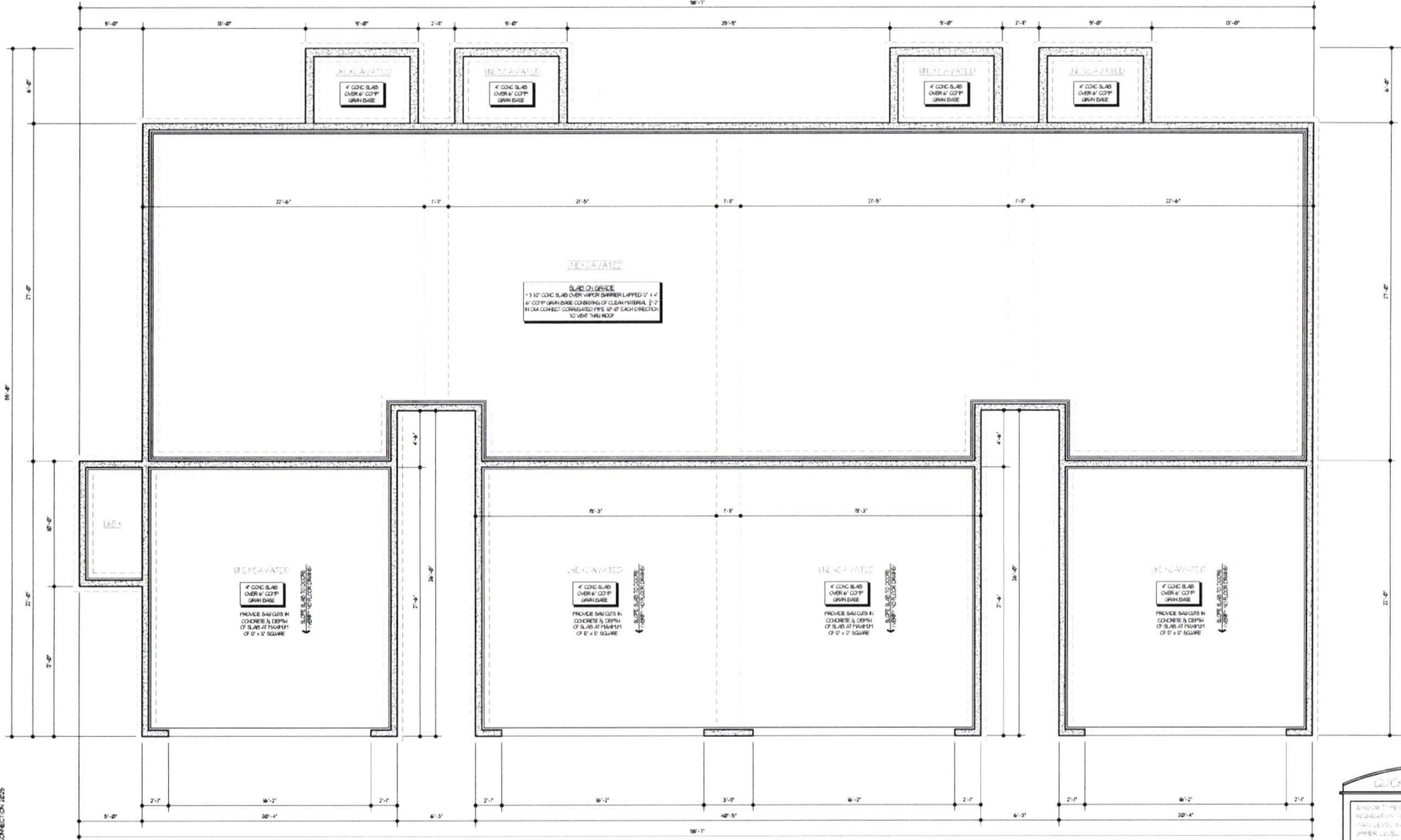
PROJECT NO.	23390
DRAWN BY:	MAP
CHECKED BY:	JAT
PREPARED BY:	EXTDNR 10/11/2025
PRINTING SET DATE:	NOVEMBER 14, 2025
FINAL SET DATE:	
REVISION:	
PRINTED:	Nov 19, 2025

RIGHT & LEFT  
 EXTERIOR ELEVATIONS  
**A1.2**

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 \* TDC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE

**ROOF COORDINATION NOTES:**

1. NETWORKING PER WALL SECTION SEE R.C. 404.02/31 OR 404.02/30
2. TYPICAL ROOFER'S FINISH ROOFING SIZE (FROM DIMENSIONALITY)  
 31. FINISH ROOF: 1/2" x 1/2" JACO  
 32. FINISH ROOF: 1/2" x 1/2" JACO
3. COORDINATE ALL ROOFING REPLICATIONS AND REVISIONS TO FINAL SPACE. REVISIONS REQUIRED PRIOR TO PROTECTION OF THE
4. ADJUSTED SOIL BEARING AND PER FR. CONTRACTOR TO VERIFY CONDITIONS
5. FOUNDATION TO BE SEALED W/ 1/2" POLYURETHANE FOAM  
 51. 50 POUND ROLL ROOFING  
 52. 6 MIL POLYURETHANE COATING  
 53. 6 MIL POLYURETHANE COATING  
 54. 6 MIL POLYURETHANE COATING  
 55. 6 MIL POLYURETHANE COATING
6. AT FOUNDATION PROVIDE 2" RIGID WALL BRUSH ON INSIDE FACE OF WALL WITH ROOFING TO BOTTOM OF CONCRETE SLAB AND SEAL WITH A DISTANCE OF 4" FROM



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**FOUNDATION PLAN**  
 1520 2ND AVE SE  
 DYERSVILLE, IA 52544  
 (515) 281-1111

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 THESE PLANS ARE PREPARED FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE FOUNDATION CONDITIONS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND CORRECTING ALL DIMENSIONS AND NETWORKS TO SUPPLYING AGENTS

QUICK REFERENCE	
PROJECT NO.	23390
DRAWN BY	MAP
CHECKED BY	MAP
PRELIM DATE	OCTOBER 18, 2023
PRINTING DATE	NOVEMBER 14, 2023
FINAL DATE	
REVISION	
PROVIDED	NOV 14, 2023
FOUNDATION PLAN	
SCALE	AS SHOWN
DATE	NOV 14, 2023
BY	MAP
CHECKED	MAP
DATE	NOV 14, 2023
BY	MAP
CHECKED	MAP
DATE	NOV 14, 2023



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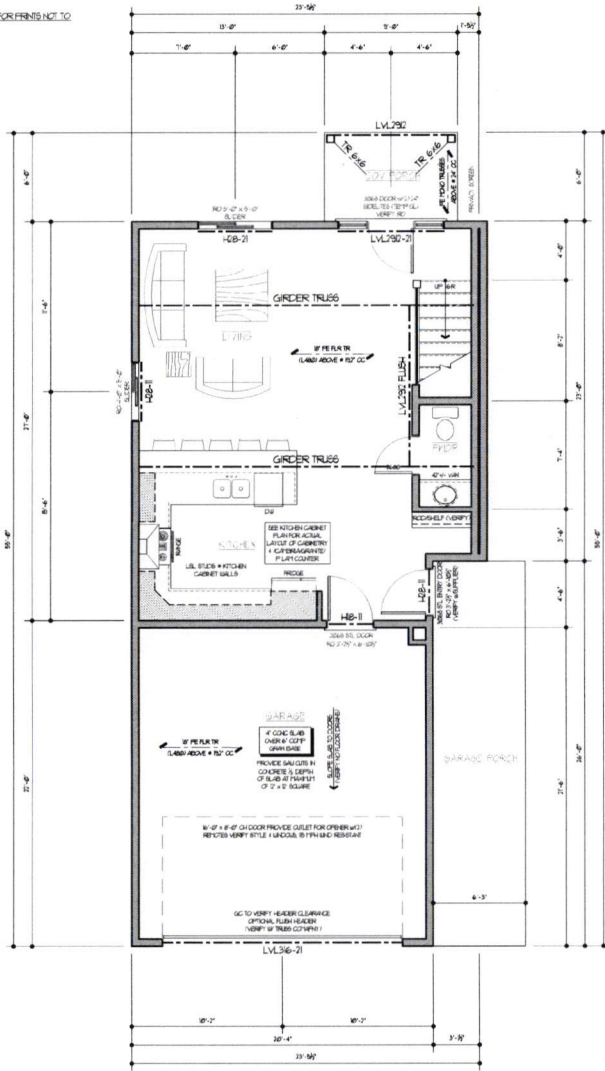
**STONEGATE 4-PLEX**  
 1520 2ND AVE SE  
 DYERSVILLE  
 JEFF KETELS

**A2.0**

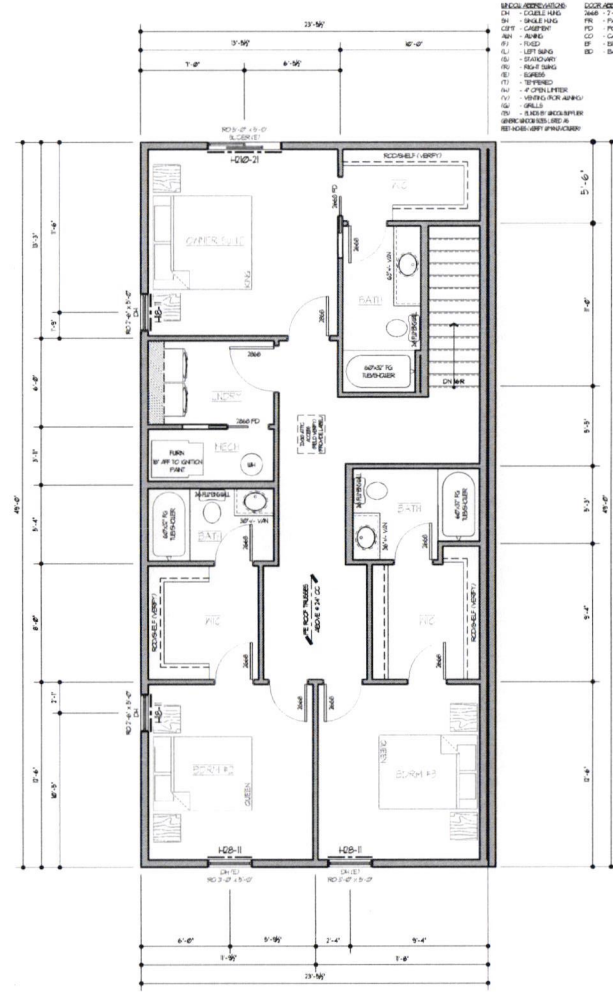




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 \* DCC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



**FIRST FLOOR UNIT PLAN**  
 SCALE: 1/8" = 1'-0" (AS SHOWN)

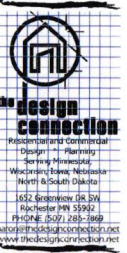


**SECOND FLOOR UNIT PLAN**  
 SCALE: 1/8" = 1'-0" (AS SHOWN)

SYMBOL DESCRIPTION	SYMBOL DESCRIPTION
CL - COBBLE SLAB	PD - PAIR 4'-0"
SH - SMALL HING	PC - POCKET DOOR
LD - LANTERN	PO - POCKET OPENING
AN - ANGLE	DL - DOUBLE GLASS
FL - FLUSH	SD - SWATH DOOR
LS - LIGHT SWITCH	SD - SWATH DOOR
RS - REAR SINK	SD - SWATH DOOR
ST - STAIR	SD - SWATH DOOR
TR - TRIMMED	SD - SWATH DOOR
AL - 4" OPEN LANTERN	SD - SWATH DOOR
VS - VENT FOR AIRWAY	SD - SWATH DOOR
GR - GRILLS	SD - SWATH DOOR
RS - REAR SINK	SD - SWATH DOOR
RS - REAR SINK	SD - SWATH DOOR
RS - REAR SINK	SD - SWATH DOOR

**NOTE:**  
 THESE PLANS ARE INTENDED FOR ESTIMATING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND CORRECTING ALL DIMENSIONS AND CONDITIONS TO MATCH THE PLANS.

QUICK REFERENCE LIST	
PROJECT NO.	25306
DRAWN BY:	MAT
CHECKED BY:	MD
DATE:	OCTOBER 16, 2015
PROJECT DATE:	NOVEMBER 16, 2015
FINAL UPDATE:	
REVISION:	
PRINTED:	Nov 19, 2015



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**UNIT PLANS**  
**A3.3**

