

DUBUQUE COUNTY - IOWA
APPLICATION FOR PLATTING

1225 SEIPPEL ROAD,
DUBUQUE, IA 52002

(Attach a Sketch Plat with application, showing existing structures, accesses and new lot lines)

Owner Name: Wayne Ameskamp Phone: 563-920-7450

Legal Description:

The NE 1/4 of the NW 1/4, except Lot 1, and the SE 1/4 of the NW 1/4, all in Sect. 27, T89N, R2W of the 5th P.M., Dubuque County, Iowa

Parcel #(s): 0727126001 # Acres 33.97
0727100004 # Acres 38.79
Acres _____

Zoning District: _____ Total Acres: _____

Current Use of Property: _____

Existing Buildings & Structures:

NONE

Reason for Survey & Proposed Use of Each Lot:

To create a parcel to build new house to continue to assist in the farming operation - Lot 1
Lot 2 - to remain as cultivated field

Note the Access for Each Lot:

Lot 1 - applied for entrance permit off Golf Course Road.
Lot 2 = 2 entrances off Dyersville East + 1 entrance off Golf Course Road

For Office Use Only

Is Ag Exemption Form Required? No _____ Yes _____

Is property within 2 miles of a City? No _____ Yes _____
Name of City _____

Is there access to each lot? _____

Acquisition Plat _____ Simple Plat _____ Subdivision: Major _____ Minor _____

List current addresses: _____

RECORDER'S INDEX

LOCATION: THE NORTHEAST QUARTER OF THE
NORTHWEST QUARTER, EXCEPT LOT 1,
AND THE SOUTHEAST QUARTER OF THE
NORTHWEST QUARTER, ALL IN SECTION 27,
TOWNSHIP 89 NORTH, RANGE 2 WEST OF
THE 5th P.M., DUBUQUE COUNTY, IOWA

REQUESTOR: RYAN AMESKAMP
PROPRIETOR: WAYNE AMESKAMP AND
SHARON AMESKAMP

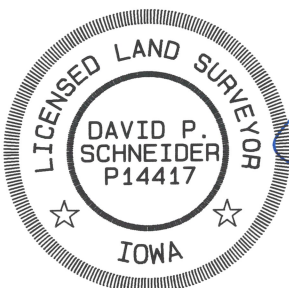
SURVEYOR: DAVID P. SCHNEIDER
SURVEYOR SCHNEIDER LAND SURVEYING
COMPANY: AND PLANNING, INC.

RETURN TO: DAVID P. SCHNEIDER
P.O. BOX 128 FARLEY, IOWA
Ph#563-744-3631 daves@yousq.net

FINAL PLAT AMESKAMP FARM SUBDIVISION, DUBUQUE COUNTY, IOWA THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER, EXCEPT LOT 1, AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, ALL IN SECTION 27, TOWNSHIP 89 NORTH, RANGE 2 WEST OF THE 5th P.M., DUBUQUE COUNTY, IOWA

SURVEY DESCRIPTION - AMESKAMP FARM SUBDIVISION, DUBUQUE COUNTY, IOWA:

THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER, EXCEPT LOT 1, AND
THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, ALL IN SECTION 27,
TOWNSHIP 89 NORTH, RANGE 2 WEST OF THE 5th P.M., DUBUQUE COUNTY, IOWA,
MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE CENTER
OF SAID SECTION 27; THENCE N89°21'38"W, 1327.98 FEET TO THE SOUTHWEST
CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID
SECTION 27; THENCE N00°00'37"E, 1328.48 FEET TO THE NORTHWEST CORNER
OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 27;
THENCE N00°06'57"E, 1333.28 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST
QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 27; THENCE S89°35'54"E,
1056.07 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE
NORTHWEST QUARTER OF SAID SECTION 27 TO THE NORTHWEST CORNER OF LOT 1
OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 27;
THENCE S00°13'43"W, 722.25 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1;
THENCE S89°43'48"E, 280.56 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1;
THENCE S00°15'28"W, 611.74 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST
QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 27; THENCE S00°15'28"W,
1333.88 FEET TO THE POINT OF BEGINNING, CONTAINING 76.889 ACRES, WHICH
INCLUDES 2.587 ACRES OF EXISTING PUBLIC ROAD RIGHT OF WAY.



I hereby certify that this land surveying document was
prepared and the related survey work was performed
by me or under my direct personal supervision and that
I am a duly licensed Land Surveyor under the laws of
the State of Iowa

David P. Schneider P.L.S. P14417

Date:

My license renewal date is December 31, 2025.

Pages or sheets covered by this seal: SHEETS 1 & 2

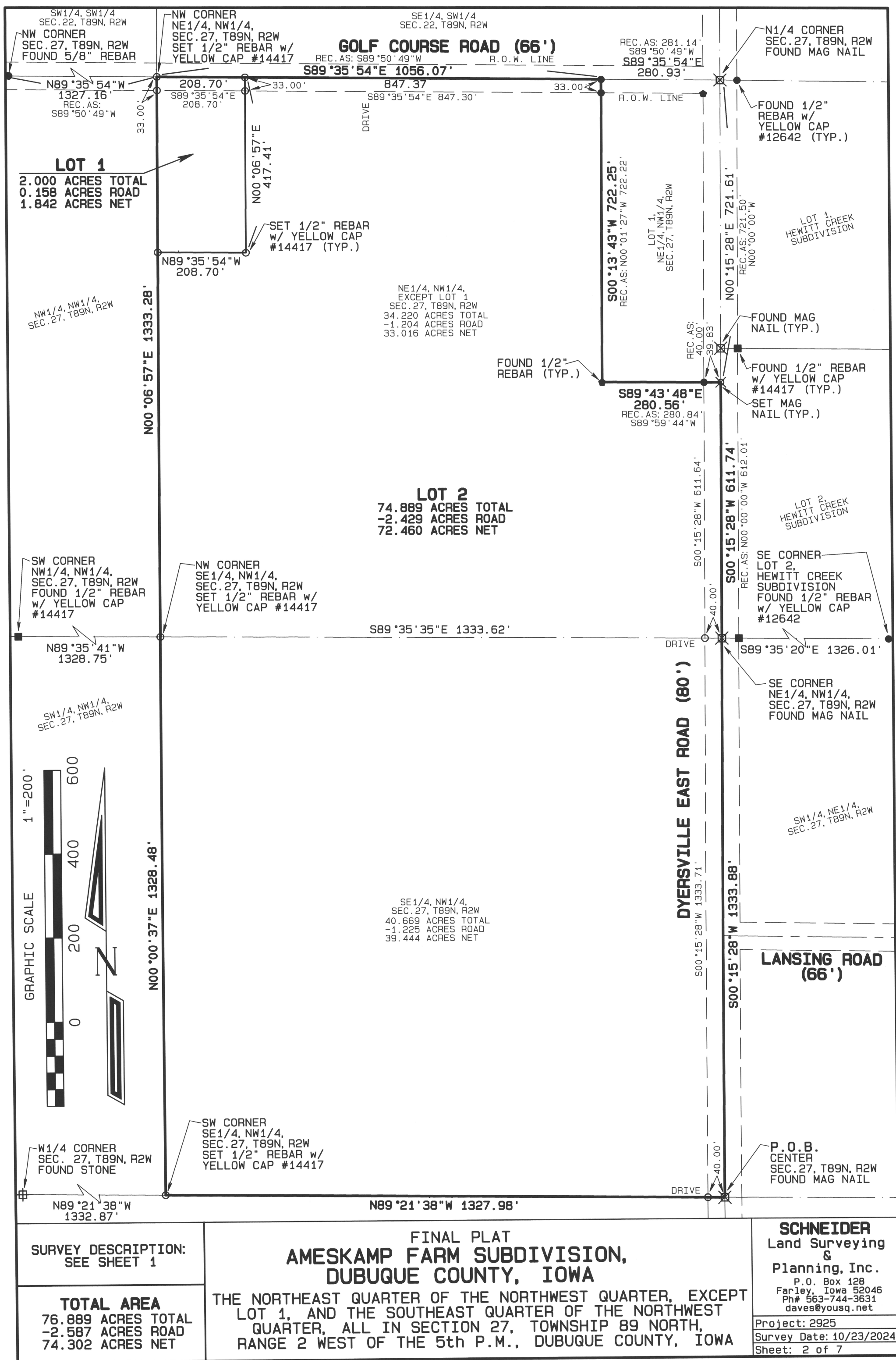
SCHNEIDER
Land Surveying
&
Planning, Inc.

P.O. Box 128
Farley, Iowa 52046
Ph# 563-744-3631
daves@yousq.net

Project: 2925

Survey Date: 10/23/2024

Sheet: 1 of 7



OWNER'S CONSENT

_____, Iowa _____, 2024

The foregoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, is made with the free consent and in accordance with the desires of the undersigned owners and proprietors of said real estate.

Wayne Ameskamp

Sharon Ameskamp

State of Iowa)
) ss:
County of Dubuque)

On this _____ day of _____, 2024, before me, a Notary Public in and for said county, personally appeared Wayne Ameskamp and Sharon Ameskamp to me personally known, who being by me duly affirmed did say that they, Wayne Ameskamp and Sharon Ameskamp, acknowledged the execution of said instrument to be their voluntary act and deed voluntarily executed.

Notary Public in the State of Iowa
My Commission Expires _____

MORTGAGE HOLDER’S ACKNOWLEDGMENT

The undersigned for _____ of _____, State of Iowa do hereby certify that the attached plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, is made with our free consent and in accordance with our desire as lien holder and mortgagee of the premises described herein.

Bank _____ City _____

President _____ V.P. _____

State of Iowa)
) ss:
County of Dubuque)

On this _____ day of _____ 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared _____ and _____ to me personally known, who being by me duly sworn, did say that they are the _____, and _____ respectively, of the corporation executing the within and foregoing instrument; that the seal affixed thereto is the seal of the corporation; that the instrument was signed and sealed on behalf of the corporation by authority of its Board of Directors; and that _____ and _____ as officers acknowledged the execution of the foregoing instrument to be the voluntarily act and deed of the corporation, by it and by them voluntarily executed.

Notary Public in the State of Iowa
My Commission Expires _____

ATTORNEY'S OPINION

I, _____, a practicing attorney at law in (city) _____, Dubuque County, Iowa have examined the abstract of title to the land included within **Ameskamp Farm Subdivision, Dubuque County, Iowa**; said abstract has been prepared in its entirety by the _____ Abstract and Title Company, and was last certified to by said company on the _____ day of _____, _____, at the hour of _____ o'clock __M.

My examination of said abstract shows good and merchantable title on the date and hour of certification to be in Wayne Ameskamp and Sharon Ameskamp. Dated at _____, Iowa, in said County, this _____ day of _____, 2024.

Signature Attorney at Law

Name (printed) _____
Address _____

Phone number _____

COUNTY TREASURER

Dubuque, Iowa _____, 2024

I the undersigned, _____ Treasurer of Dubuque County, Iowa do hereby certify that all taxes and special assessments levied against **Ameskamp Farm Subdivision, Dubuque County, Iowa**, have been paid and said real estate is free and clear of all taxes as of this date.

County Treasurer of Dubuque County, Iowa

COUNTY ASSESSOR

Dubuque, Iowa

The forgoing plat was reviewed in the office of the Dubuque County Assessor this _____ day of _____, 2024.

County Assessor of Dubuque County, Iowa

DUBUQUE COUNTY BOARD OF HEALTH

Dubuque, Iowa _____, 2024

The forgoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, is hereby approved by the Dubuque County Board of Health and approval of said plat by the Dubuque County Board of Supervisors is hereby recommended.

Dubuque County Board of Health - Chairperson

COUNTY ENGINEER

Dubuque, Iowa _____, 2024

I, _____, the Dubuque County Engineer, have received and examined the foregoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, for compliance with the Dubuque County Engineering regulations and have found said plat to be acceptable.

County Engineer of Dubuque County, Iowa

COUNTY PLATS OFFICER

Dubuque, Iowa _____, 2024

I, _____, the Dubuque County Plats Officer, have received and examined the foregoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, for compliance with the Dubuque County Platting and Subdivision regulations and have found said plat to be acceptable.

County Plats Officer of Dubuque County, Iowa

DUBUQUE COUNTY PLANNING AND ZONING

Dubuque, Iowa _____, 2024

The forgoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, is hereby approved by the Dubuque County Planning and Zoning Commission and approval of said plat by the County Board of Supervisors is hereby recommended.

Dubuque County Planning & Zoning Commission
Chairperson

DUBUQUE COUNTY BOARD OF SUPERVISORS

Dubuque, Iowa _____, 2024

The Dubuque County Board of Supervisors of the County of Dubuque, Iowa, do hereby certify that the foregoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, has been filed in the office of the County Board of Supervisors and that by Resolution No. _____ the Dubuque County Board of Supervisors have reviewed and approved said plat.

Chairperson

Attest _____
Dubuque County Auditor

COUNTY AUDITOR

Dubuque, Iowa

The forgoing plat was entered of record in the office of the Dubuque County Auditor this _____ day of _____, 2024. We approve of the subdivision name or title to be recorded.

County Auditor of Dubuque County, Iowa

COUNTY RECORDER

Dubuque, Iowa

The forgoing plat has been received by the Dubuque County Recorder this _____ day of _____, 2024.

County Recorder of Dubuque County, Iowa

CITY OF DYERSVILLE ZONING COMMISSION

Dyersville, Iowa _____, 2024

The foregoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa**, being within 2 miles of the corporate limits of the City of Dyersville is hereby approved by the Dyersville Planning and Zoning Commission and approval of said plat by the City Council of the City of Dyersville, Dubuque County, Iowa is here by recommended.

City of Dyersville Zoning Commission

Chairperson

DYERSVILLE CITY COUNCIL

Dyersville, Iowa _____, 2024

The undersigned, _____, Mayor and _____, Clerk of the City of Dyersville, Dubuque County, Iowa do hereby certify that the foregoing plat of **Ameskamp Farm Subdivision, Dubuque County, Iowa** as appears heretofore has been filed in the Office of the City Clerk of Dyersville, Iowa and that the City Council of the City of Dyersville, Iowa approves said plat.

Mayor

City Clerk

State of Iowa)
) ss:
County of Dubuque)

On this _____ day of _____, 2024, before me, _____ a Notary Public in and for the State of Iowa, personally appeared _____ and _____, to me personally known, and who being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Dyersville, Iowa; that the seal affixed to the foregoing instrument is the Corporate seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation, by authority of its City Council, as contained in Resolution Number _____ adopted by the City Council on the _____ day of _____, 2024, and that _____ and _____ acknowledged the execution of the instrument to be their voluntary act and deed of the corporation, by it voluntary executed.

Notary Public in the State of Iowa
My Commission Expires _____