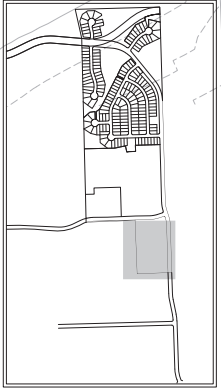






LOT 1	37
LOT 2	37
LOT 3	37
LOT 4	37
LOT 5	37

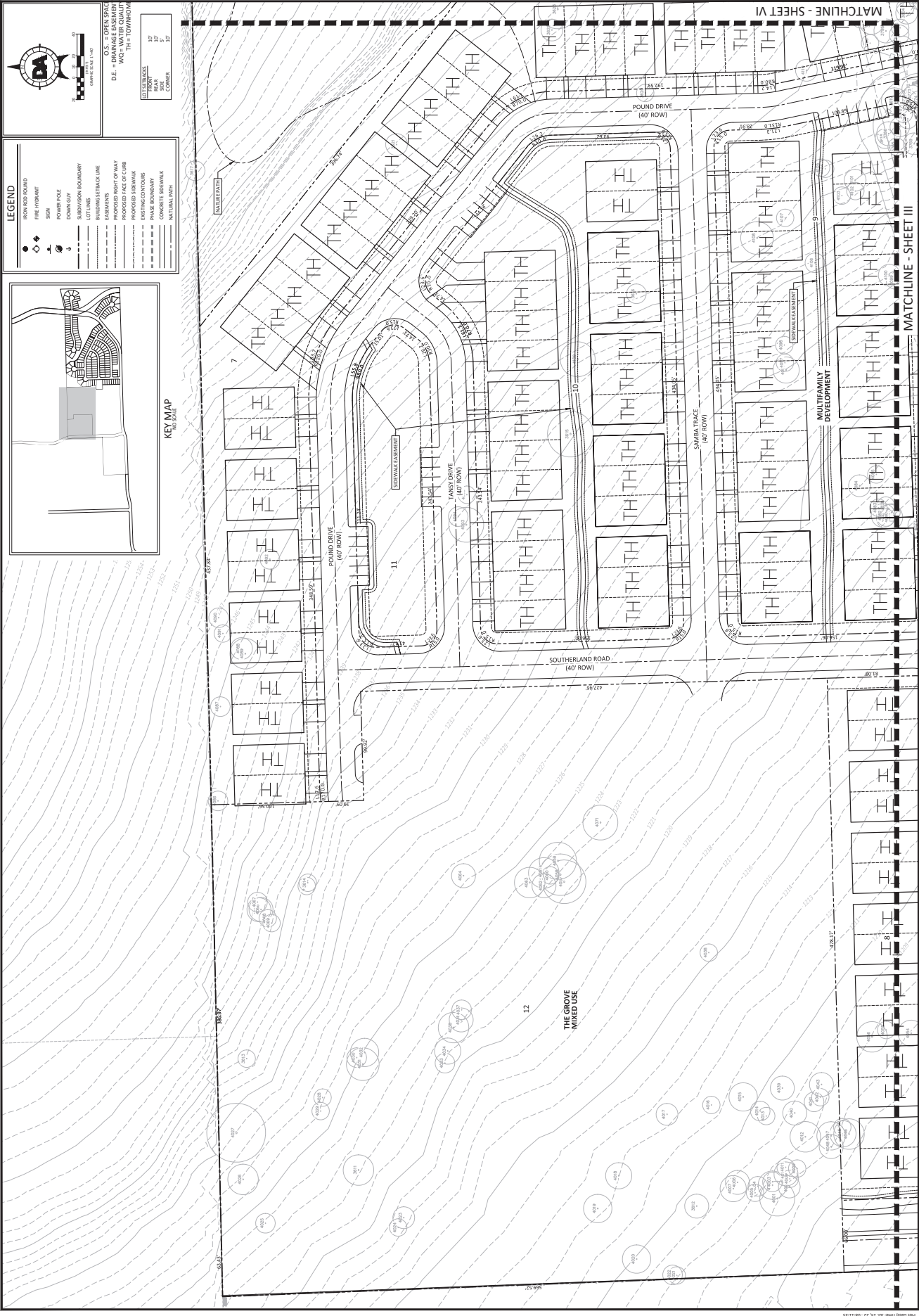


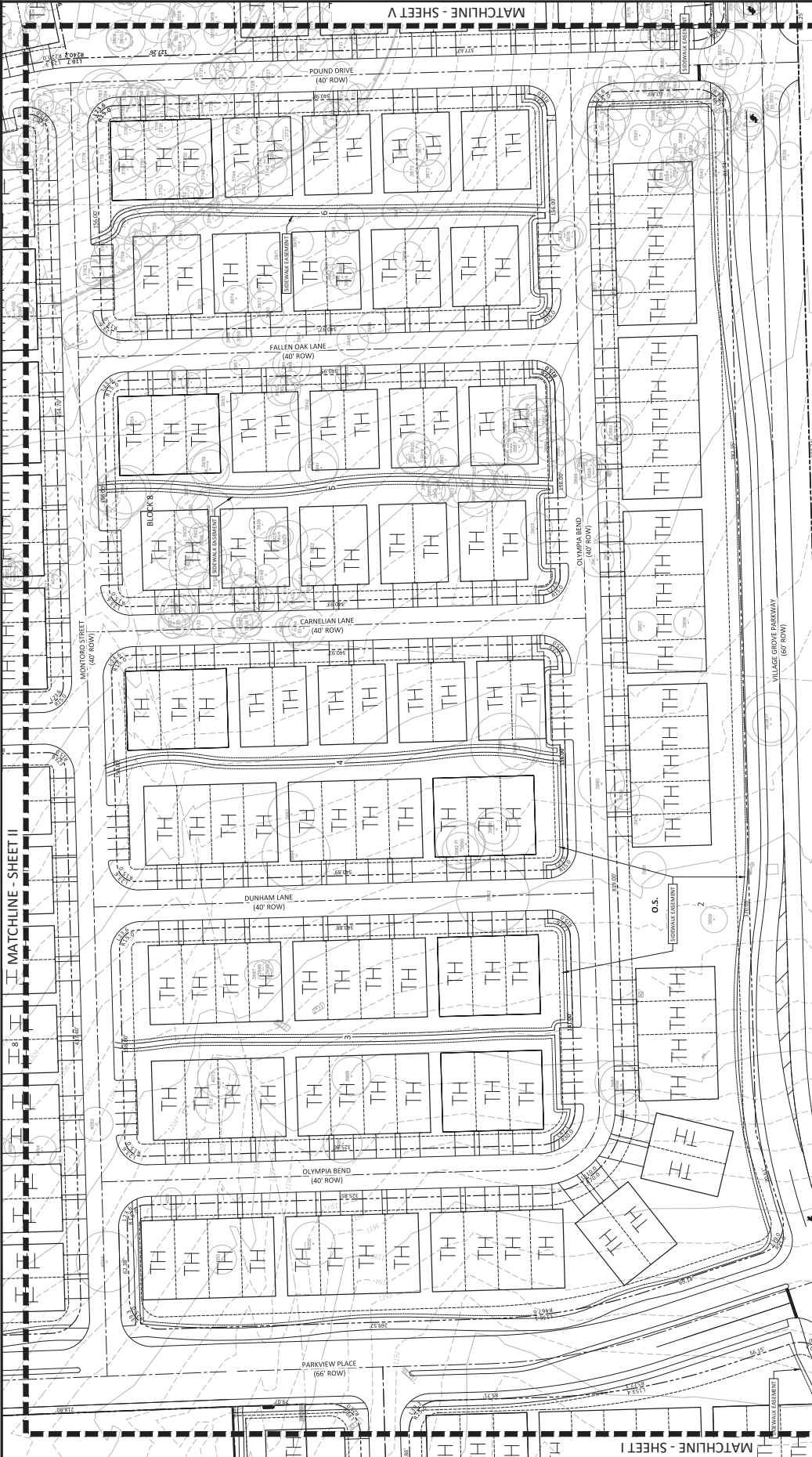
KEY MAP

- O.S. = OPEN SPACE
- O.E. = DRIVE EASEMENT
- W.Q. = WATER QUALITY
- TH = TOWNHOME

**LEGEND**

- RON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN GUY
- SUBDIVISION BOUNDARY
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOUR
- PHASE BOUNDARY
- CONCRETE SIDEWALK
- NATURAL PATH





**LEGEND**

- IRON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN CUFF
- PROPERTY BOUNDARY
- EXISTING LOT BOUNDARY
- BUILDING SETBACK LINE
- FURNISHMENTS
- PROPOSED RIGHT OF WAY
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING DRIVEWAYS
- CONCRETE DRIVEWAY
- NATURAL FERTH

**KEY MAP**  
 1/8" = 1' SCALE

**LEGEND**

- IRON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN CUFF
- PROPERTY BOUNDARY
- EXISTING LOT BOUNDARY
- BUILDING SETBACK LINE
- FURNISHMENTS
- PROPOSED RIGHT OF WAY
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING DRIVEWAYS
- CONCRETE DRIVEWAY
- NATURAL FERTH

**KEY MAP**  
 1/8" = 1' SCALE

**LEGEND**

- IRON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN CUFF
- PROPERTY BOUNDARY
- EXISTING LOT BOUNDARY
- BUILDING SETBACK LINE
- FURNISHMENTS
- PROPOSED RIGHT OF WAY
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING DRIVEWAYS
- CONCRETE DRIVEWAY
- NATURAL FERTH

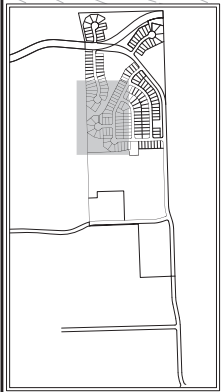
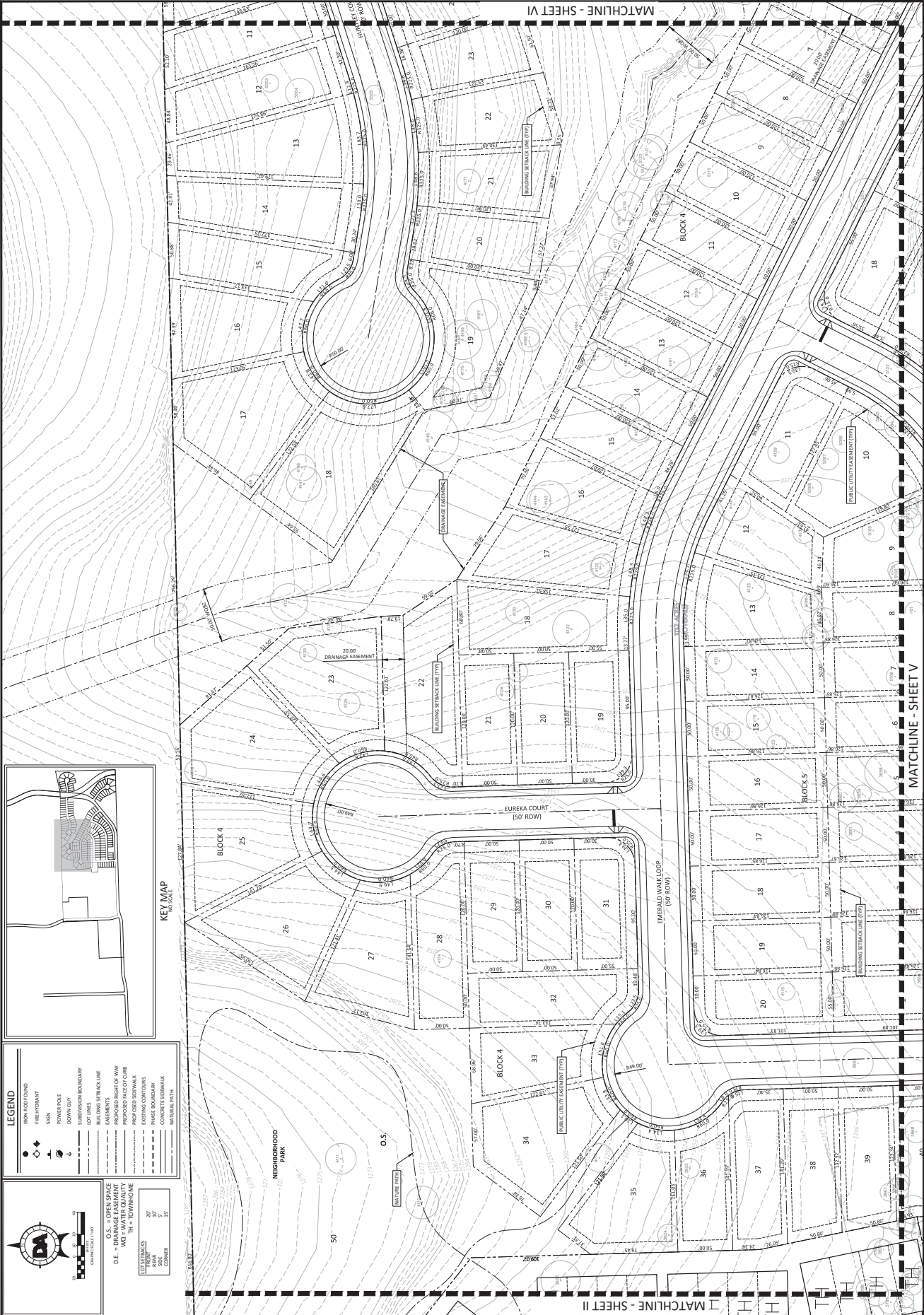
**KEY MAP**  
 1/8" = 1' SCALE

**LEGEND**

- IRON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN CUFF
- PROPERTY BOUNDARY
- EXISTING LOT BOUNDARY
- BUILDING SETBACK LINE
- FURNISHMENTS
- PROPOSED RIGHT OF WAY
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING DRIVEWAYS
- CONCRETE DRIVEWAY
- NATURAL FERTH

**KEY MAP**  
 1/8" = 1' SCALE

EUGENE R. FOSTE  
 BRENDAN L. F.  
 CALLED 5.00  
 DOC. NO. 20  
 O.P.R.H.C.

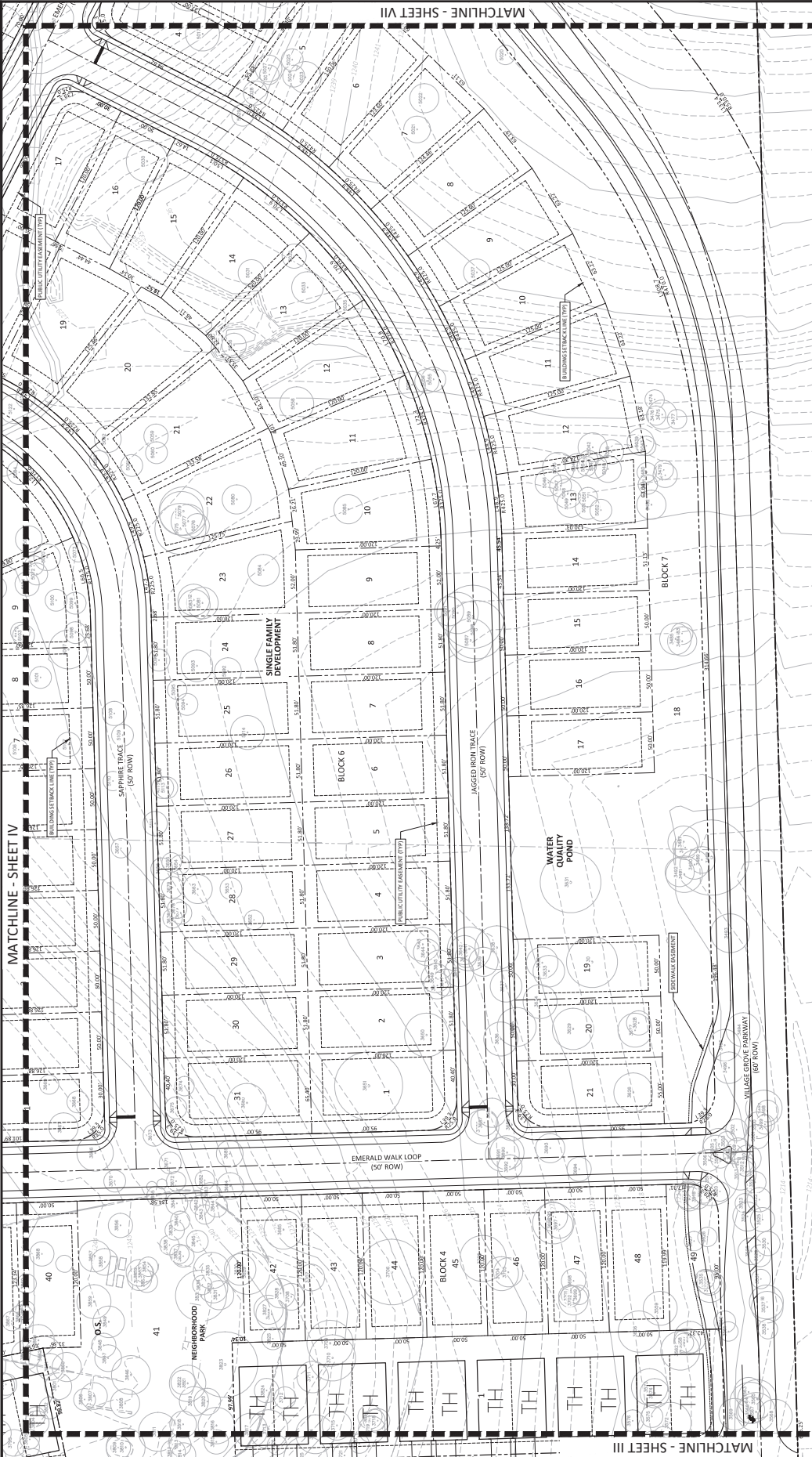


**LEGEND**

- IRON NAIL FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWNHILL
- UPHILL
- SUBMISSION BOUNDARY
- BOUNDARY
- REVISIONS
- REVISIONS
- REVISIONS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- PHASE BOUNDARY
- CONCRETE CURB/WALK
- NATURAL BATH

O.S. = OPEN SPACE  
 D.E. = DRAINAGE EASEMENT  
 N.G. = NORTH GRADIENT  
 T.H. = TOWNHOME

COORDINATES  
 10' BY 10' BY 5'

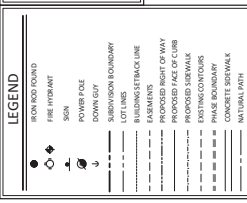


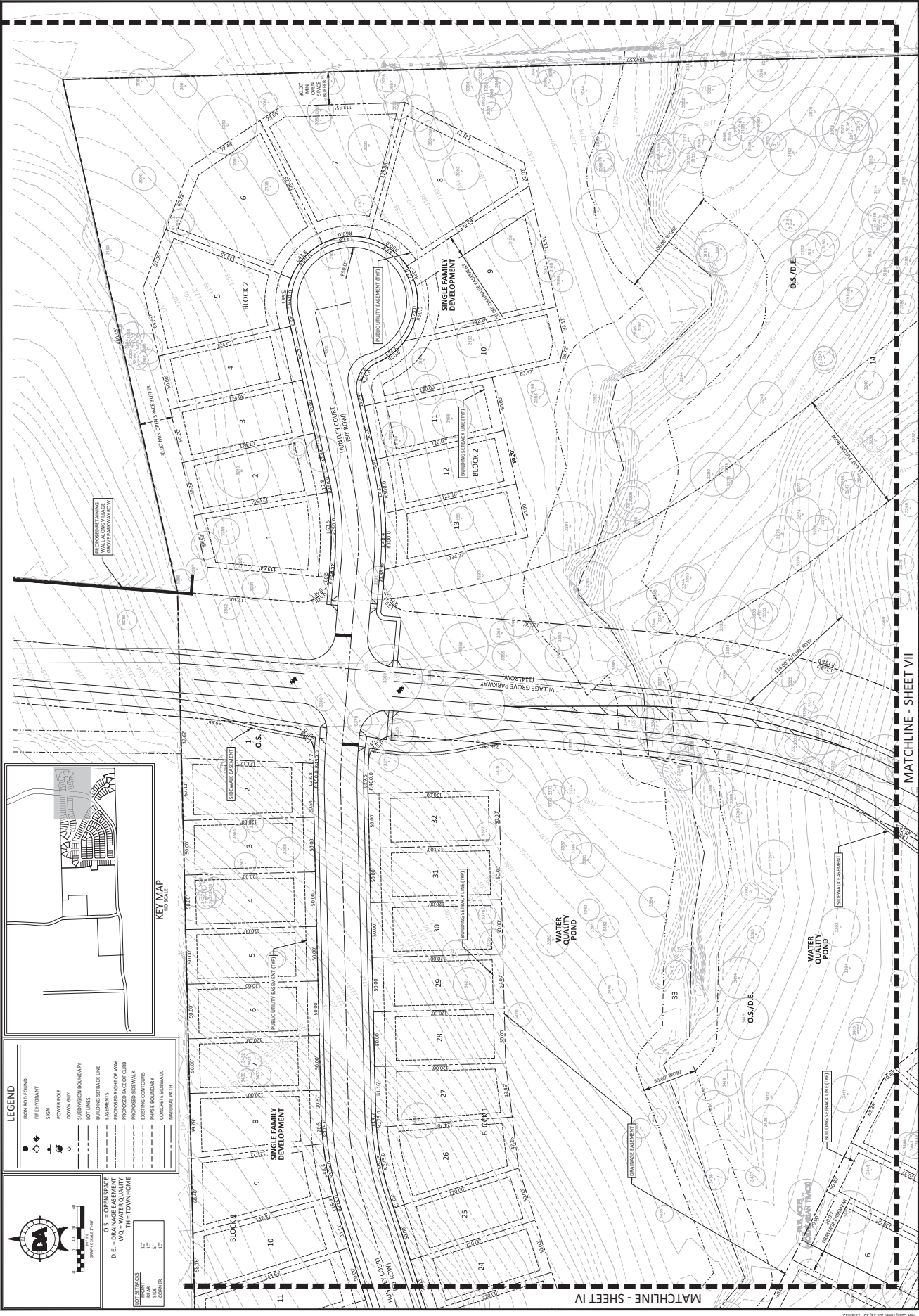
**LEGEND**

- SURVEY BOUNDARY
- - - - - EASEMENT
- - - - - POLE/PIPE
- - - - - DOWN GUT
- - - - - SUBDIVISION BOUNDARY
- - - - - BUILDING SETBACK LINE
- - - - - FURNISHMENT SETBACK LINE
- - - - - PROPOSED FACE OF CURB
- - - - - PROPOSED SIDEWALK
- - - - - EXISTING CONTOURS
- - - - - PHASE BOUNDARY
- - - - - CONCRETE SIDEWALK
- - - - - MULTIFAMILY UNIT

0.S. = OPEN SPACE  
 D.E. = MULTI-WATER QUALITY  
 TH = TOWNHOME

LOT UTILITIES:  
 LOT: 1/8" = 10'  
 PAV: 1/8" = 10'  
 CON: 1/8" = 10'





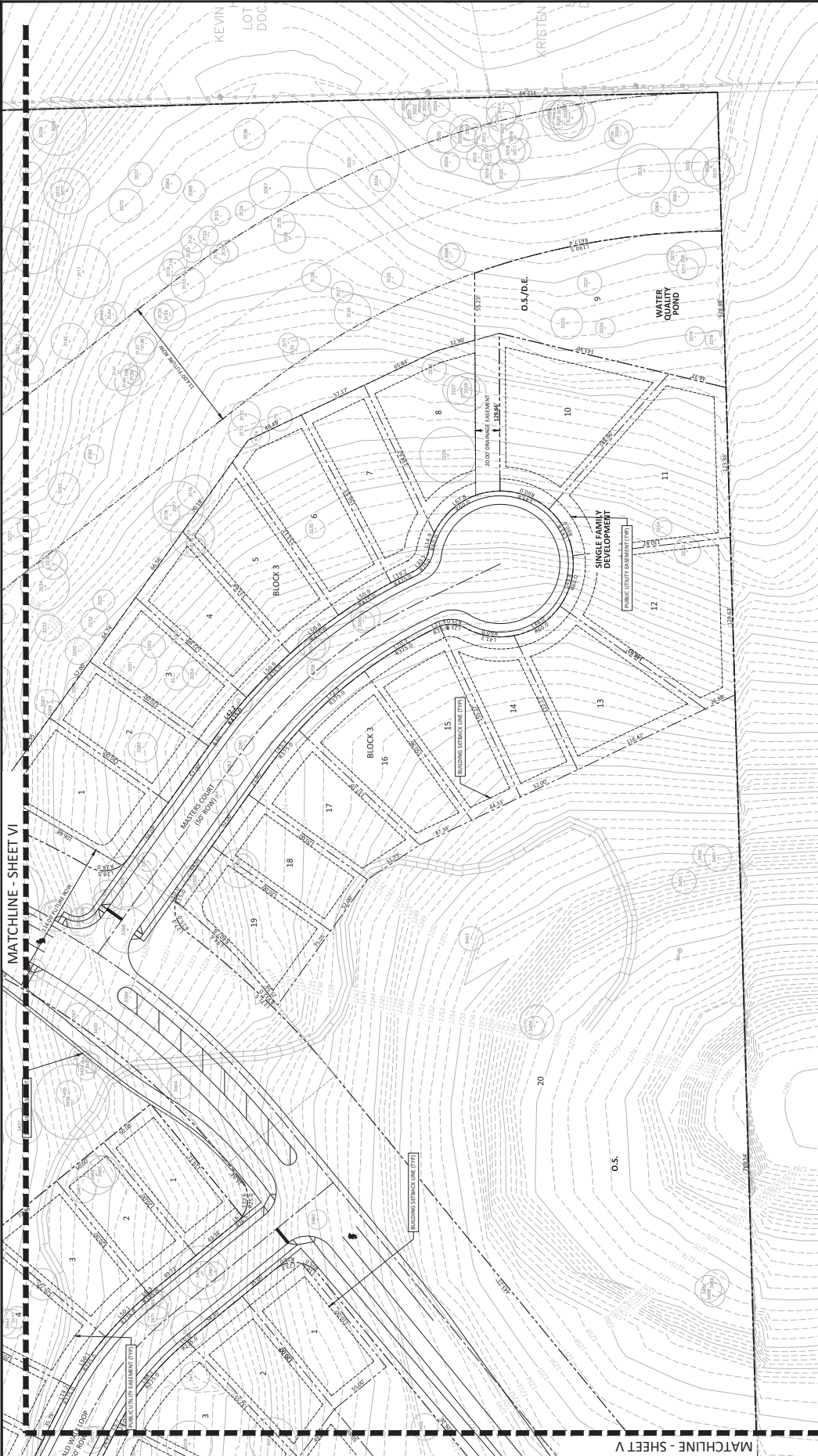
**LEGEND**

- IRON NAIL FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN GUY
- SUBMISSION BOUNDARY
- DOWN GUY
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- PHASE BOUNDARY
- CONCRETE BERM/RAIL
- NATURAL PATH

**SCALE**  
 1" = 20'  
 1" = 40'  
 1" = 80'

**DA**  
 CIVIL ENGINEER

**O.S. - OPEN SPACE**  
**D.E. - DRAINAGE EASEMENT**  
**W.C. - WATER CURB**  
**T.H. - TOWNHOME**



**LEGEND**  
 BANK DOWNSLOPE  
 FIRE HYDRANT  
 SIDE WALK  
 POWER POLE  
 DOWN GUT  
 SUBDIVISION BOUNDARY  
 LOT LINES  
 BUILDING SETBACK LINE  
 EXISTING DRIVEWAY  
 PROPOSED FACE OF CURB  
 EXISTING SIDEWALKS  
 PHASE BOUNDARY  
 MULTIFAMILY BLOCK

D.A. Anderson  
 State of Texas  
 License No. 11422022

D.A. = DISTANCE  
 D.E. = DRAINAGE ELEVATION  
 W.Q. = WATER QUALITY  
 T.H. = TOWNHOME

CELL CORNERS  
 10' SP  
 20' SP  
 30' SP

**KEY MAP**  
 NO SCALE

Drawing: c:\pwworking\entitlements\2023\2377-001A-B\18753.dwg  
 Date: 11/14/2023 11:22:13 AM  
 User: DAAnderson



VILLAGE GROVE  
 SINGLE & MULTIFAMILY DEVELOPMENT  
 DRIPPING SPRINGS, TX

PRELIMINARY PLAT  
 SHEET VIII



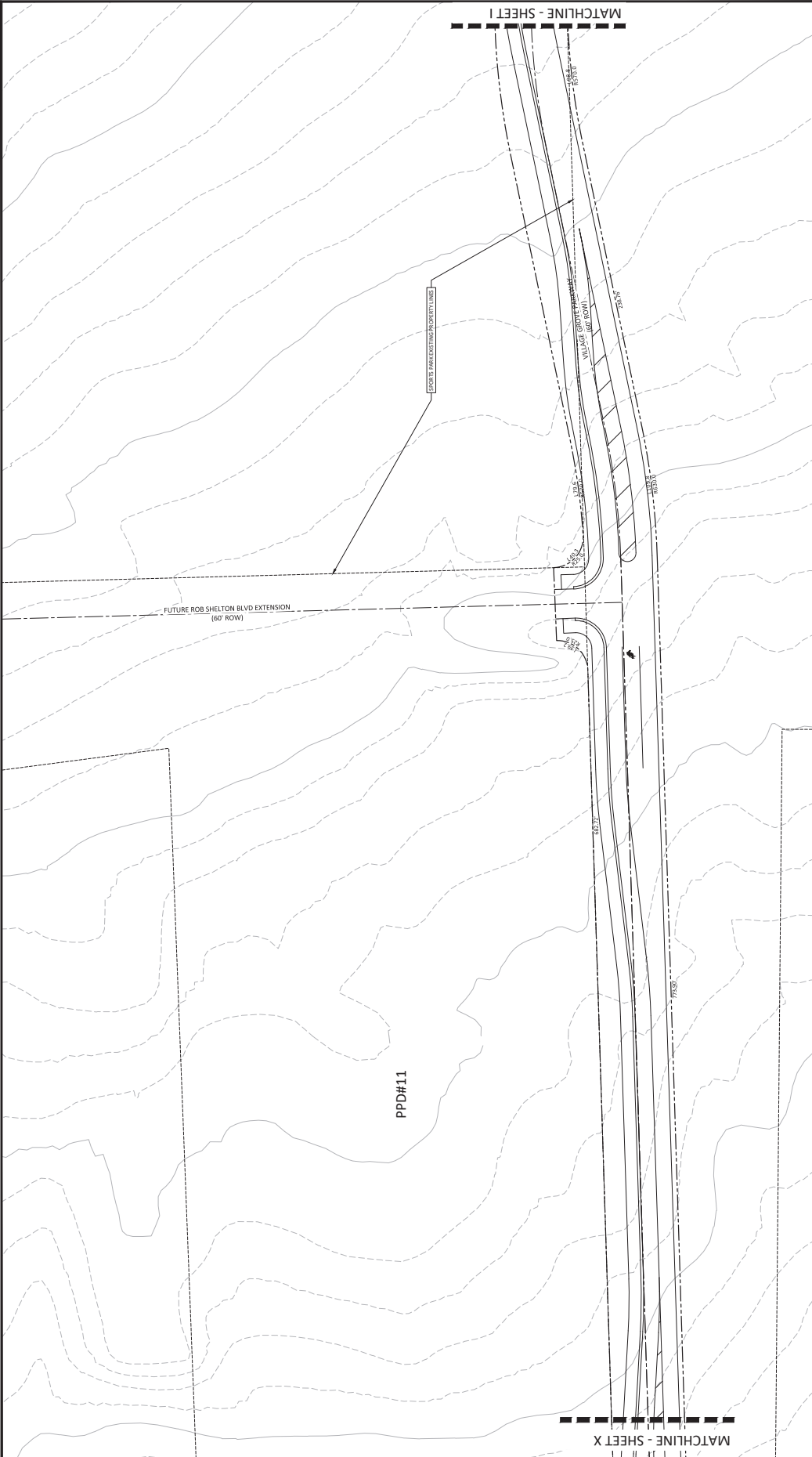
**LEGEND**

	BROWN RED FLAG
	FIRE HYDRANT
	SIGN
	POWER POLE
	DOWN POST
	SURVEY BOUNDARY
	LOT LINES
	EASEMENTS
	PROPOSED FACE OF CURB
	PROPOSED SIDEWALK
	PHASE BOUNDARY
	CONCRETE SIDEWALK
	NATURAL PATH

**THIS SHEET**  
**MATCHLINE**  
 O.S. = OPEN SPACE  
 D.E. = DRAINAGE EASEMENT  
 W.O. = WATER QUALITY  
 T.P. = TYPED NOTE  
 CONSTRUCTION EASEMENT  
 DRAINAGE EASEMENT  
 CONSTRUCTION EASEMENT  
 DRAINAGE EASEMENT  
 CONSTRUCTION EASEMENT

**KEY MAP**  
 NO. 2377-001A-B

NORTH ARROW  
 GRAPHIC SCALE BAR  
 0 10 20 30 40 50 60 70 80 90 100



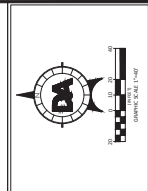
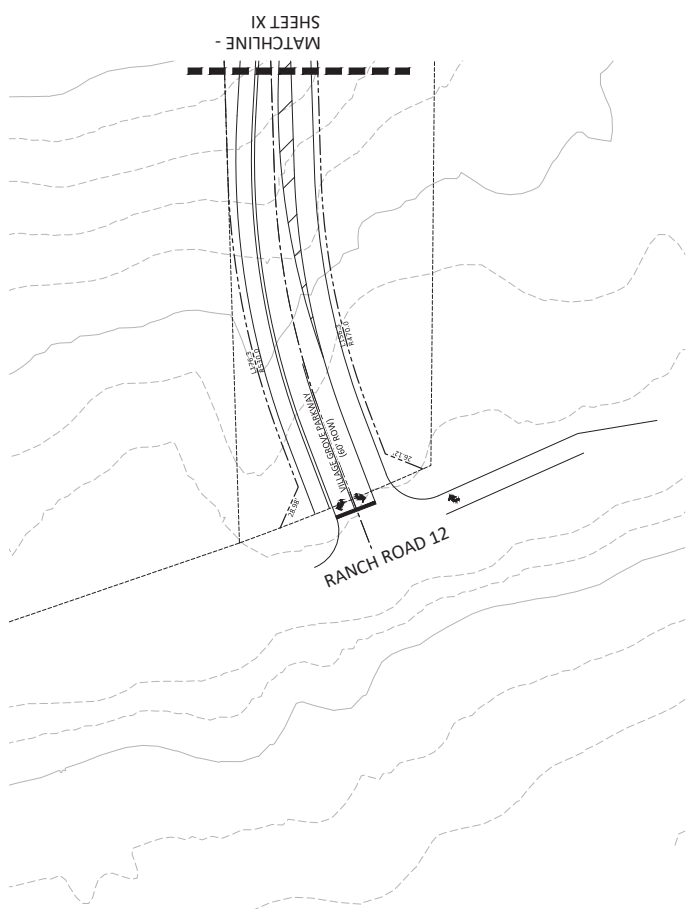
U.S. = OFFICE SPACE  
 D.L.E. = DRIP WATER QUALITY  
 W.O. = WATER QUALITY  
 T.H. = TOWNHOME

LOT EASEMENTS	10'
REAR	20'
CORNER	30'

**LEGEND**

- BOUNDARIES
- EXISTING ROAD
- PROPOSED ROAD
- DOWN GUT
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- FABRICATED
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- PHASE BOUNDARY
- MATERIAL DATA



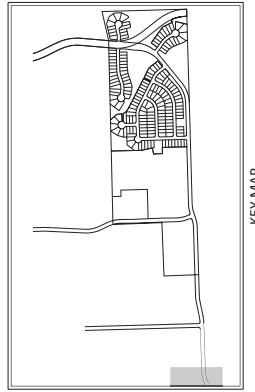


U.S. = OPEN SPACE  
 D.E. = DR = WATER QUALITY  
 TH = TOWNHOME

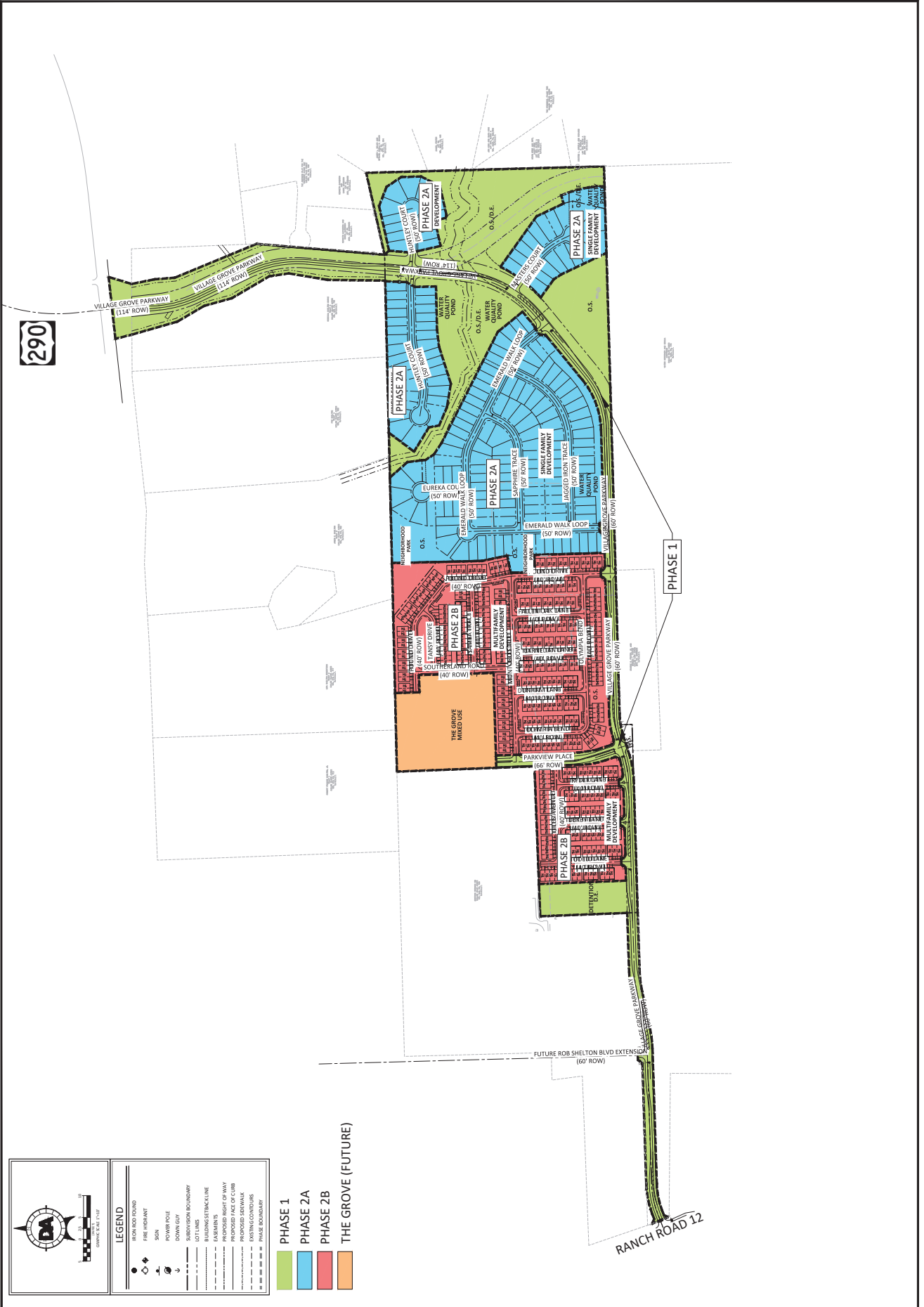
LOT BENCHMARKS	10'
REAR	20'
CORNER	30'

**LEGEND**

- BOUNDARY
- EXISTING
- PROPOSED
- POWER POLE
- DOWN GUT
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- FABRICATED
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALKS
- EXISTING SIDEWALKS
- PHASE BOUNDARY
- PHASE 1
- PHASE 2
- MULTIFAMILY



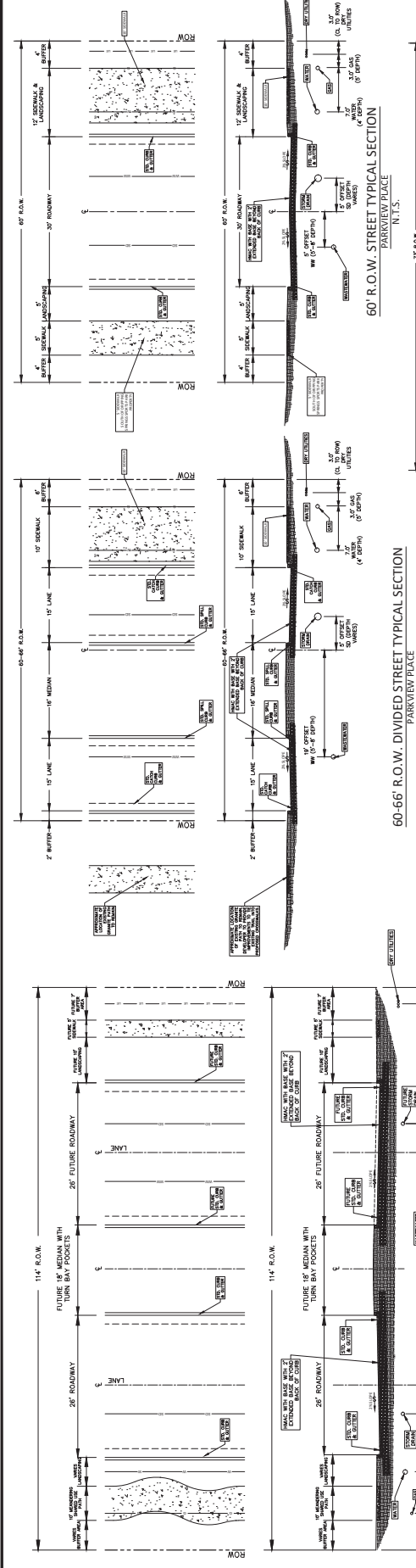
KEY MAP



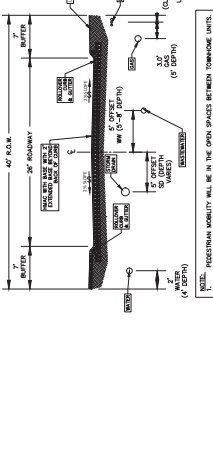
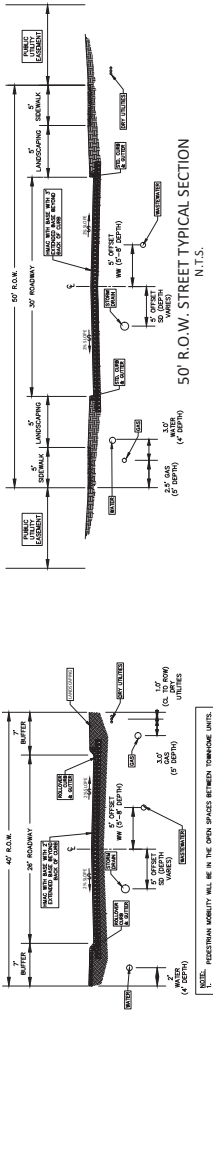
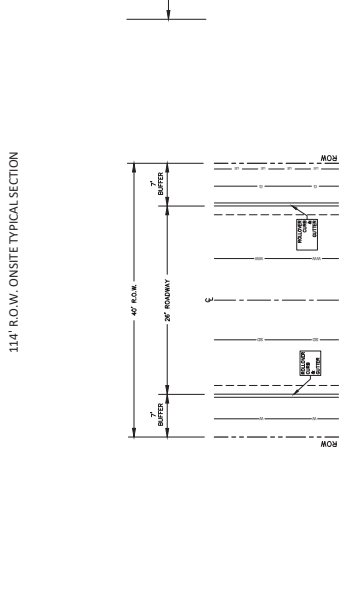
**LEGEND**

- IRON ROD POINT
- IRE INCIDENT
- WELL
- POLE
- CONCRETE
- CONCRETE
- SEWER/STORM BOUNDARY
- BUILDING SETBACK LINE
- EXISTING
- PROPOSED SETBACK
- EXISTING CONTOUR
- PHASE BOUNDARY

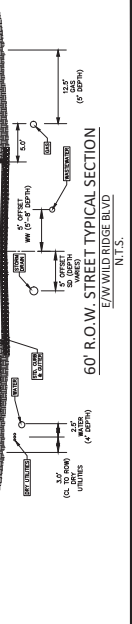
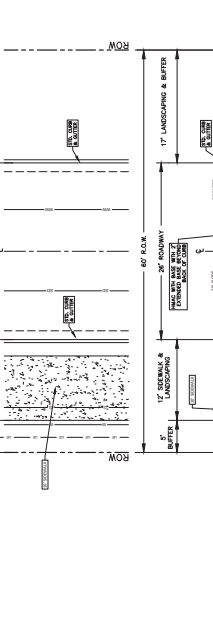
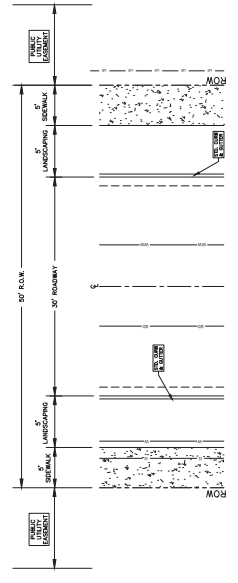
- PHASE 1
- PHASE 2A
- PHASE 2B
- THE GROVE (FUTURE)



NOTE:  
OWNER WILL CONTINUE TO WORK WITH CITY DURING  
DESIGN PHASE OF PROJECT TO MAKE PARK VIEW PLACE  
MORE ACCOMMODATING TO PEDESTRIANS.

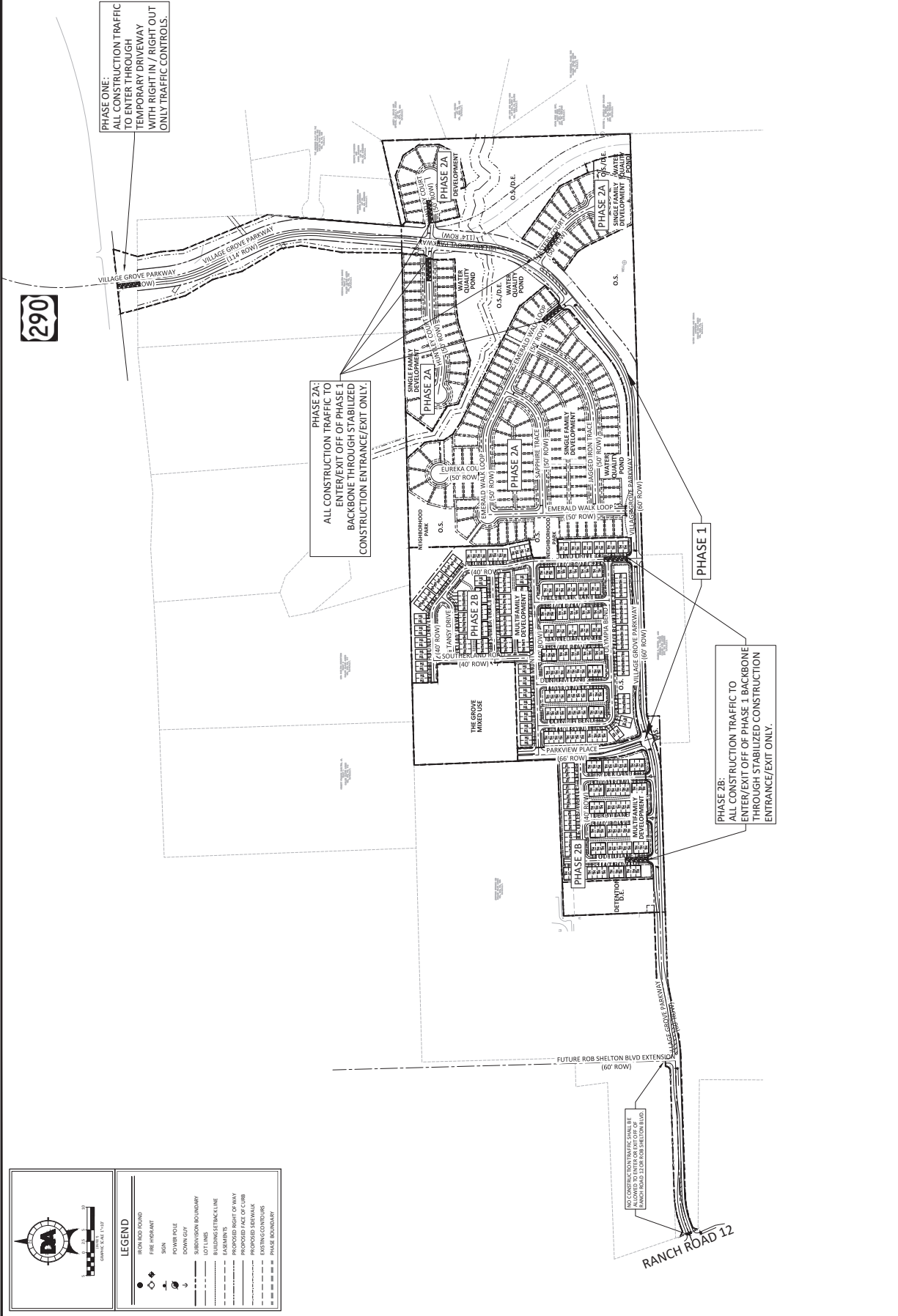


TOWN HOMES ROADWAY TYPICAL SECTION  
N.T.S.





DATE PLOTTED	7/14/2022
DATE PRINTED	
DATE	
SCALE	
PROJECT NO.	237-001A-B
SHEET	14

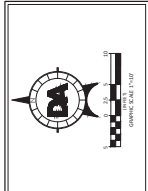


**PHASE ONE:**  
 ALL CONSTRUCTION TRAFFIC TO ENTER THROUGH TEMPORARY DRIVEWAY WITH RIGHT IN / RIGHT OUT ONLY TRAFFIC CONTROLS.

**PHASE 2A:**  
 ALL CONSTRUCTION TRAFFIC TO ENTER/EXIT OFF OF PHASE 1 BACKBONE THROUGH STABILIZED CONSTRUCTION ENTRANCE/EXIT ONLY

**PHASE 1**

**PHASE 2B:**  
 ALL CONSTRUCTION TRAFFIC TO ENTER/EXIT OFF OF PHASE 1 BACKBONE THROUGH STABILIZED CONSTRUCTION ENTRANCE/EXIT ONLY.



**LEGEND**

	IRON ROD PILING
	FIRE HYDRANT
	MANHOLE
	STORM DRAIN
	SUBDIVISION BOUNDARY
	BUILDING SETBACK LINE
	EASEMENTS
	PROPOSED FACE OF CURVE
	PROPOSED SETBACK
	EXISTING CONTOURS
	PHASE BOUNDARY

NO CONSTRUCTION TRAFFIC SHALL BE ALLOWED TO ENTER OR EXIT OFF OF PHASE 1 BACKBONE THROUGH STABILIZED CONSTRUCTION ENTRANCE/EXIT ONLY.