



**DRIPPING SPRINGS**  
Texas

# Ashton Woods

Laura Mueller, City Attorney



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Texas

## HIGHLIGHTS

1. A 4-lane arterial will be built from Founders Park Road south to 290. An east/west collector will be constructed from the 4-lane arterial to the edge of the project.
2. Ashton Woods will improve the north section of Rob Shelton to Founders Park Road to be the same as the southern portion including a median, but with City reimbursement. The offsite road agreement gives the City the flexibility at time of cost estimate to determine whether it wants these improvements to be constructed and paid for with city funds.
3. In consideration of the proposed road improvements which exceed the project's impact, they are requesting
  - not to build a sidewalk on their property for the east/west collector,
  - not to build the pedestrian facilities (sidewalk and shared-use path) on the off-site portion of the 4-lane arterial, and
  - reimbursement for the improvements on Rob Shelton.
4. Ashton Woods has agreed to the City's design requests.

| <b>Development Standards</b>       |   |                                      |
|------------------------------------|---|--------------------------------------|
|                                    | <b>Single-family residential—Town center (SF-3)</b> | <b>Planned District Development</b>  |
| <b>Size of Lots</b>                |   |                                      |
| Minimum Lot area                   | 3,500 square feet                                   | 4,600 square ft./dwelling unit       |
| Minimum Lot Width                  | 35 feet   | 40 feet (Internal); 50 feet (Corner) |
| Minimum Building Width             | 25 feet   | 25 feet                              |
| <b>Setback Requirements</b>        |   |                                      |
| Minimum Front Yard                 | 10 feet   | 20 feet                              |
| Minimum Side Yard                  | 5 feet, 7.5 feet                                    | 5 feet; 15 feet (Corner)             |
| Minimum Rear Yard                  | 10 feet   | 10 feet                              |
| Accessory Building                 | 5 feet  | 5 feet                               |
| <b>Height Regulations</b>          |   |                                      |
| Main Building                      | 2 ½ stories, or 40'                                 | 2 ½ stories, or 40'                  |
| <b>Other Development Standards</b> |   |                                      |
| Impervious Cover                   | 65 %  | 50% total, maximum 65% per lot       |

# DESIGN OF RESIDENCES



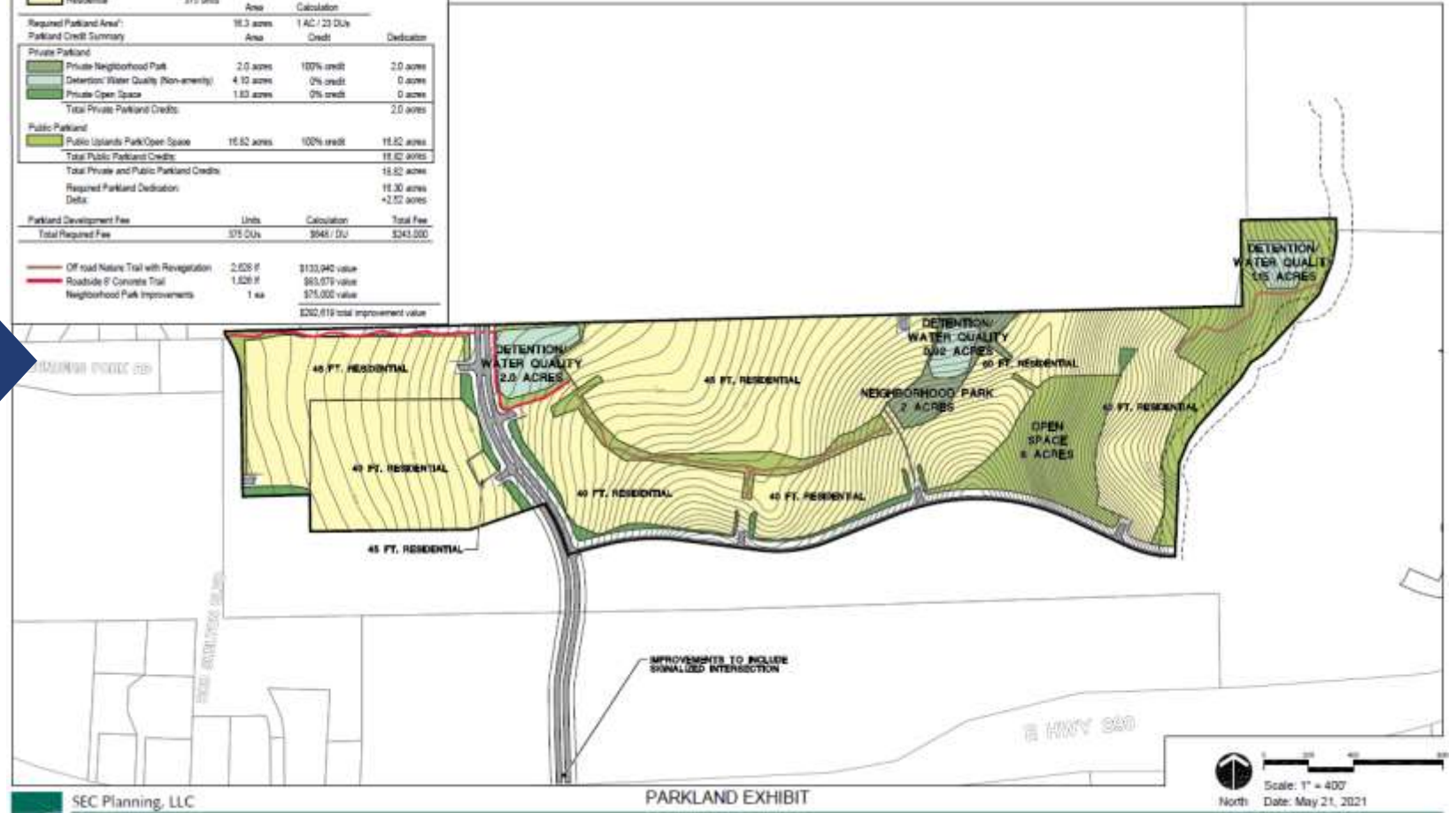
- **Materials:** Masonry, Native Stone, Brick Masonry, Stucco, and Cementitious Siding
- **Elevations:** Requires at least 2 elements and have to be different elevations near each other:
  - two wall planes on the front elevation, offset a minimum of 18 inches; covered front porches or patio; side-entry or swing-in garage entry; garage door recessed from the primary front facade a minimum of four feet; Enhanced garage door materials; Shed roof or trellis (at least 18" deep; combination of at least two roof types (e.g. hip and gable) or two different roof plane; two or more masonry finishes to compliment the architectural style of the home; and the addition of one or more dormers on the front elevation to compliment
  - the architectural style of the home.
- **Floorplans:** minimum of six (6) floorplans will be available, offering a variation of front elevations so that there is no discernable repetition in any street scape.
  - A plan can be repeated every third building pad (Example: Plan A 1, Plan B 1, Plan A 1, Plan B 2),
  - although elevations shall be different on the two houses.

# Parks

- Trail along Founders Park Road
- \$80,000 in Park Development Fee
- Neighborhood Park

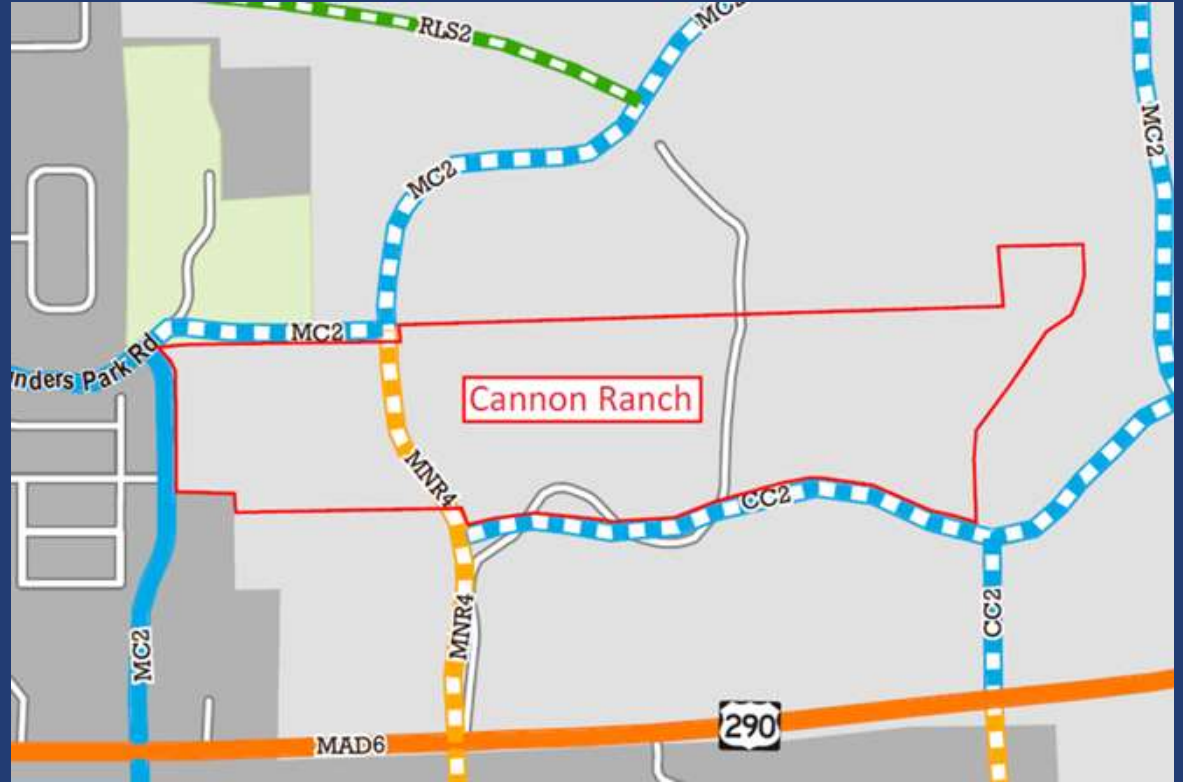
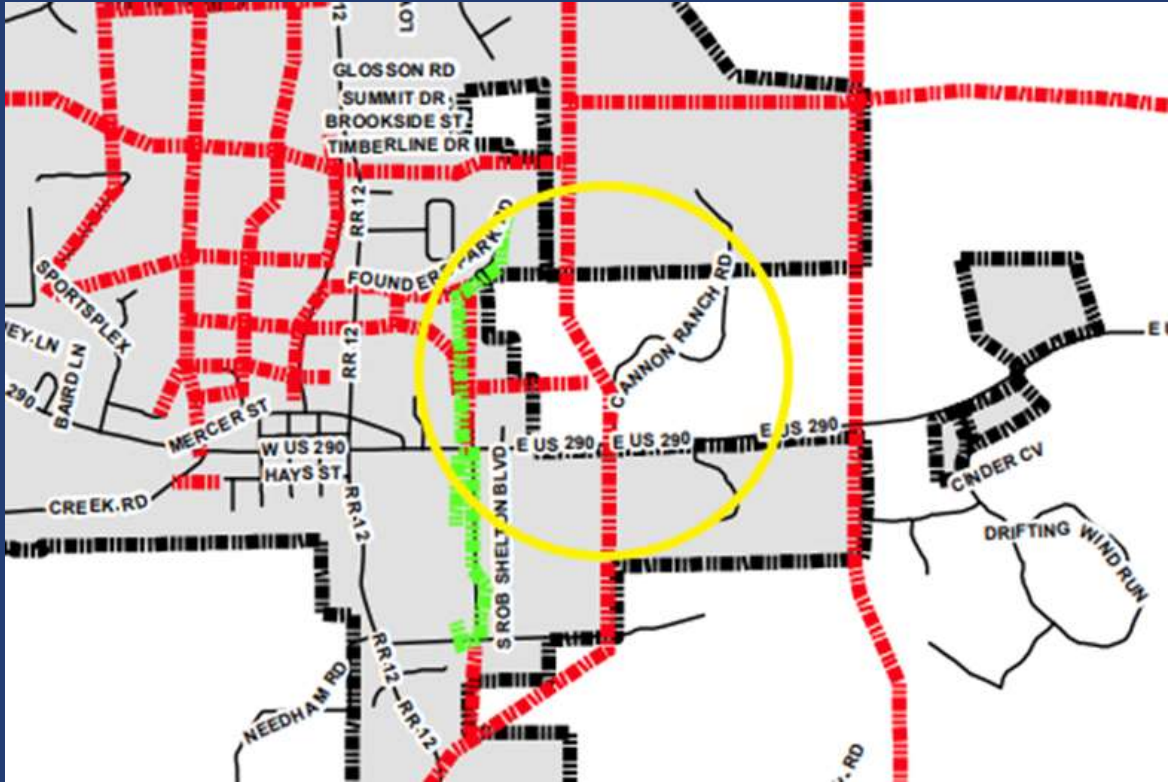
Approved by Parks Committee

| PARKLAND SUMMARY                           |             |                                   |              |
|--|-------------|-----------------------------------|--------------|
| Residential                                | SF Units    | Area                              | Calculation  |
| Required Parkland Area:                    |             | 18.3 acres                        | 1 AC / 22 DU |
| Parkland Credit Summary                    |             | Area                              | Credit       |
| <b>Private Parkland</b>                    |             |                                   |              |
| Private Neighborhood Park                  | 2.0 acres   | 100% credit                       | 2.0 acres    |
| Detention Water Quality (Non-erect)        | 4.12 acres  | 0% credit                         | 0 acres      |
| Private Open Space                         | 1.83 acres  | 0% credit                         | 0 acres      |
| Total Private Parkland Credits:            |             |                                   | 2.0 acres    |
| <b>Public Parkland</b>                     |             |                                   |              |
| Public Uplands Park/Open Space             | 16.62 acres | 100% credit                       | 16.62 acres  |
| Total Public Parkland Credits:             |             |                                   | 16.62 acres  |
| Total Private and Public Parkland Credits: |             |                                   | 18.62 acres  |
| Required Parkland Deduction:               |             |                                   | 18.30 acres  |
| Delta:                                     |             |                                   | +2.32 acres  |
| <b>Parkland Development Fee</b>            |             |                                   |              |
|  | Units       | Calculation                       | Total Fee    |
| Total Required Fee:                        | 375 DU      | \$648 / DU                        | \$243,000    |
| <b>Trail and Improvement Values</b>        |             |                                   |              |
| Off road Nature Trail with Vegetation      | 2,028 ft    | \$133,940 value                   |              |
| Roadside 5' Concrete Trail                 | 1,028 ft    | \$63,075 value                    |              |
| Neighborhood Park Improvements             | 1 ea        | \$75,000 value                    |              |
|  |             | \$200,015 total improvement value |              |



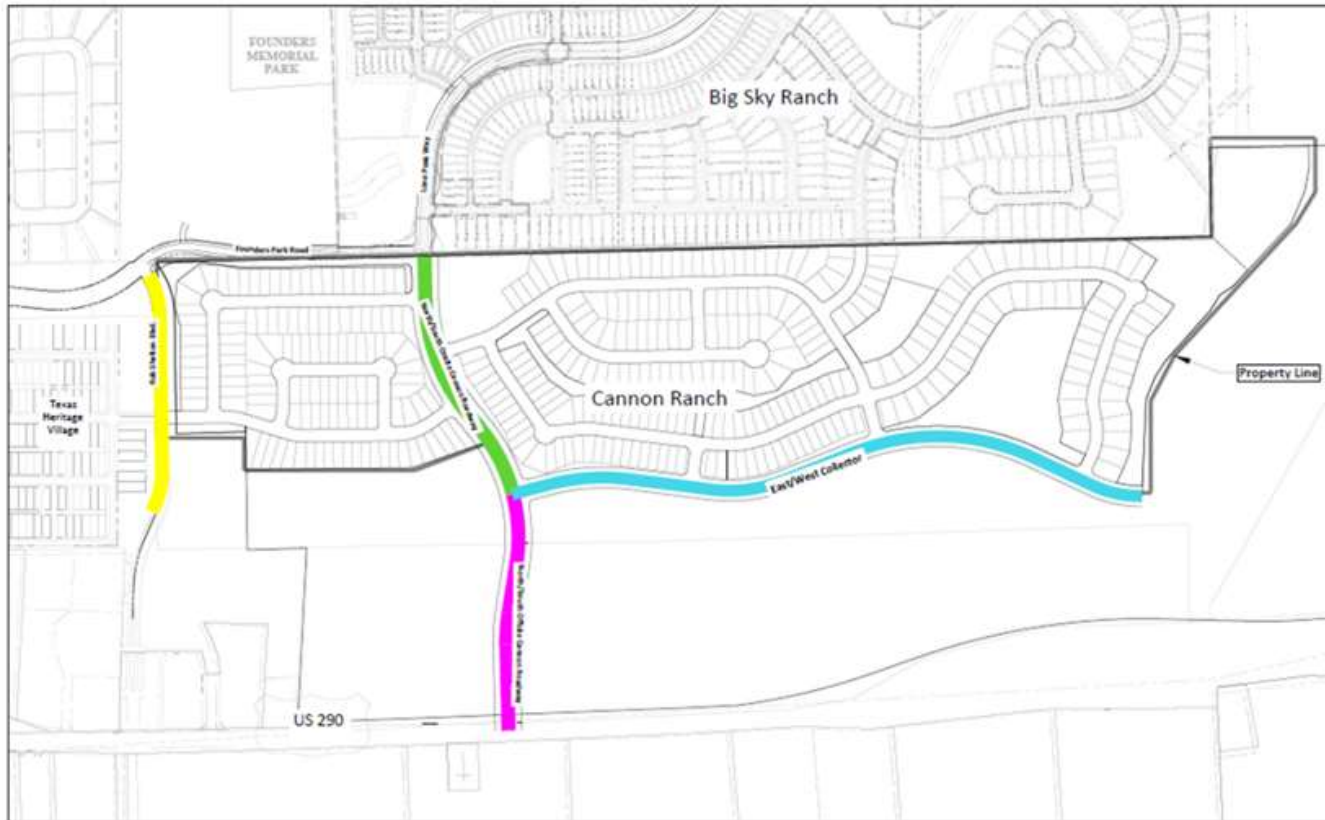
SEC Planning, LLC

PARKLAND EXHIBIT



# Transportation

# TRANSPORTATION



|   | Proposed Road Width | Existing Road Width | Proposed ROW | Existing ROW | Proposed LF |
|---|---------------------|---------------------|--------------|--------------|-------------|
| N/S Onsite Cannon Roadway (North of E/W)  | 48'                 | -                   | 114'         | -            | 1030        |
| N/S Offsite Cannon Roadway (South of E/W) | 48'                 | -                   | 114'         | -            | 1121        |
| E/W Collector                             | 24'                 | -                   | 90'          | -            | 2812        |
| Rob Shelton                               | 44'                 | 22'                 | 60'          | 60'          | 1085        |



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 10/12/2012, Project Number: 12010000

Transportation Option  
 Proposed Recommendations

Cannon Ranch  
 Dripping Springs, TX

SHEET  
 1  
 OF 1  
 Project No.: 12010000

## City Initial Request

- 4 lane Arterial to 290
- East/West Collector
- Traffic Signal
- Offsite Roadway Improvements at Rob Shelton (AW)
- Expansion of Founders Park Road with roundabouts

## Current Proposal

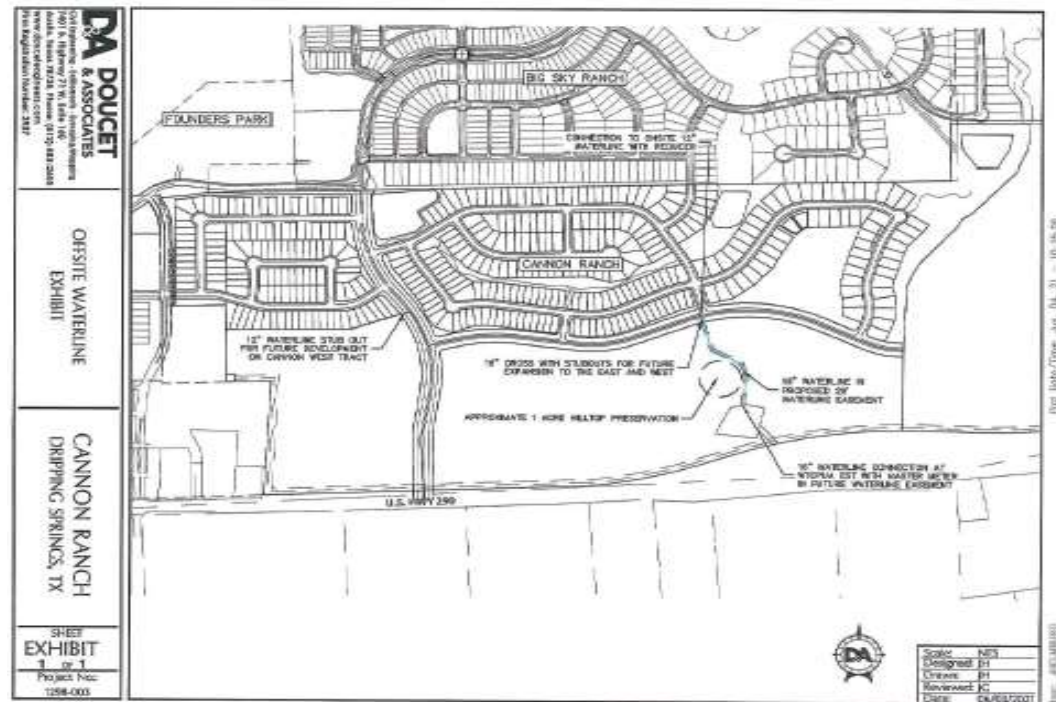
- 4 lane Arterial to 290 (sidewalk and shared-use path onsite)
- East/West Collector
- Contribution to Traffic Signal
- Offsite Roadway Improvements at Rob Shelton (CITY) - City chooses from 4 options
- Dedicated right-of-way for future roundabouts

**Approved by Transportation Committee**

# UTILITY AGREEMENTS

## Wastewater Agreement

- 200 LUEs are immediately available (“Initial Service”).
- 50 LUEs increments at City’s discretion or Owner may use alternative method
- A total of 375 LUEs are available upon completion of the East Interceptor and the new Discharge WWTP.
- Ashton to construct all onsite facilities
- City will be constructing offsite facilities (East Interceptor).
- Impact Fees: 200 LUEs in the amount of \$7,580 per LUE.



## Water Agreement

- City obtains wholesale service from WTCPUA
- City provides retail water service to Development
- Ashton constructs facilities and provides necessary easements
- 375 LUEs plus 10 LUEs for irrigation
- Ashton pays all fees on obtains all permits
- All facilities to be dedicated to City
- Pays charges to City





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**QUESTIONS?**

