

CONSTRUCTION PLANS

FOR

RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

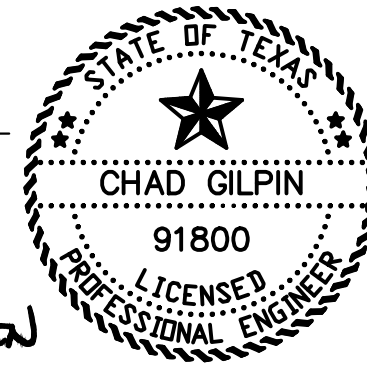
FEBRUARY 2022

PROJECT # PARKS 2022-01

INDEX OF SHEETS

SHEET NO.	SHEET TITLE
01	COVERSHEET
02	GENERAL NOTES
03	SCHEDULE OF QUANTITIES
04	PHASING PLAN
05	OVERALL EXISTING CONDITIONS
06	EXISTING CONDITIONS & DEMOLITION PLAN
07	EROSION & SEDIMENTATION CONTROL PLAN
08	EROSION & SEDIMENTATION CONTROL DETAILS
09	OVERALL DRAINAGE AREA MAP
10	OVERALL SITE PLAN
11	BOX CULVERT PLAN & PROFILE
12	DSRP RESTRIPIPING PLAN - BASE BID
13	BID ALT 1 - DSRP RESTRIPIPING PLAN
14	BID ALT 2 - NORTH RV PARKING PLAN
15	BID ALT 3 - ACCESSIBLE PARKING
16	SITE DETAILS
17	PAVING DETAILS
18	DRAINAGE DETAILS (1 OF 3)
19	DRAINAGE DETAILS (2 OF 3)
20	DRAINAGE DETAILS (3 OF 3)

SUBMITTED BY:



Chad Gilpin

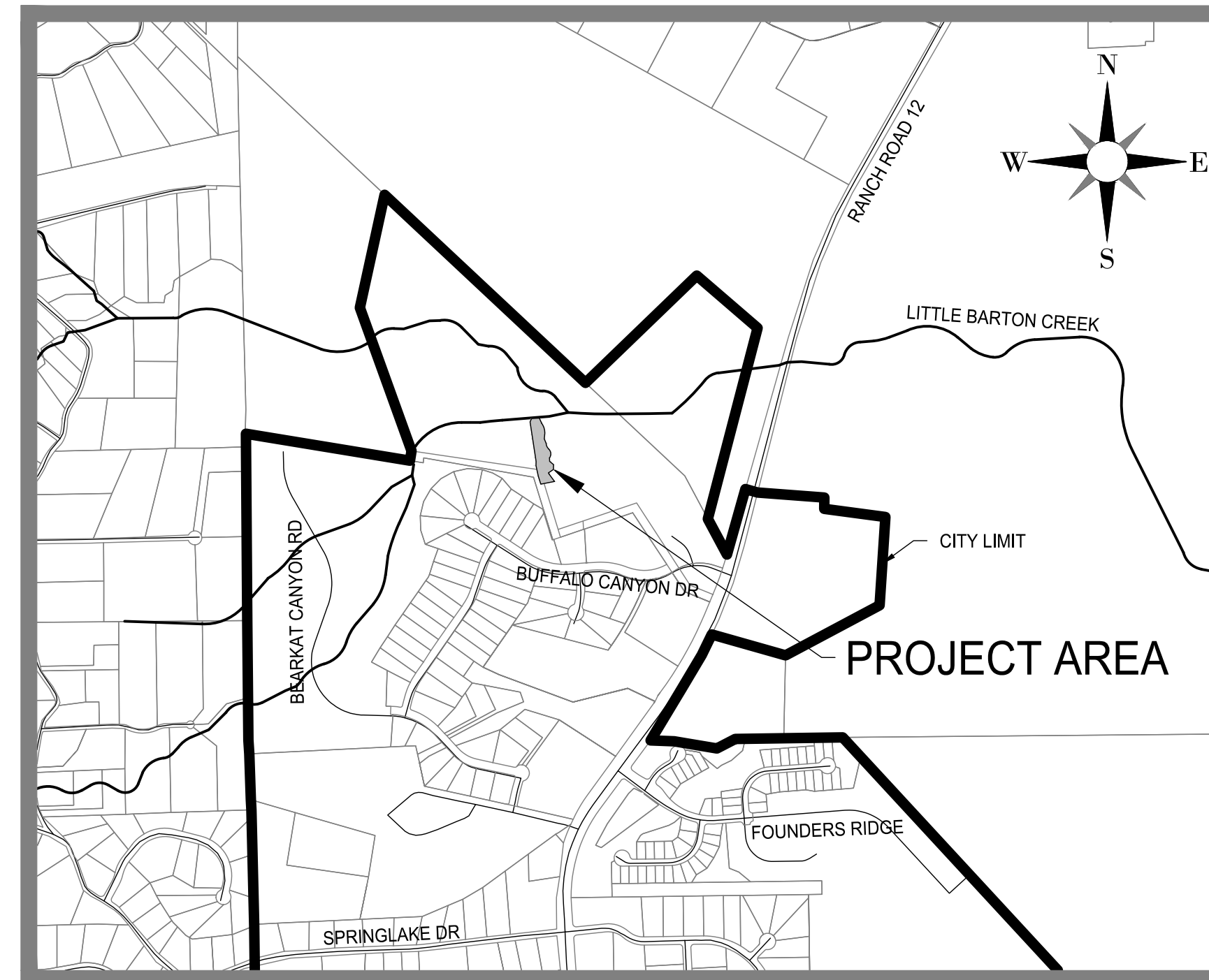
CHAD GILPIN, P.E., CITY ENGINEER

2/19/2022
DATE

APPROVED BY:

MICHELLE FISCHER, CITY ADMINISTRATOR

DATE



APPROX. SCALE: 1"=1000'

PREPARED FOR:

CITY OF DRIPPING SPRINGS, TEXAS



NOTES:

- THIS PROJECT LIES WITHIN THE CITY LIMITS OF DRIPPING SPRINGS, TEXAS AND IS ZONED PP PUBLIC PARK.
- THIS PROJECT LIES WITHIN THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER.
- BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE 4204, NAD83. COORDINATES AND DISTANCES SHOWN HEREON ARE IN GRID.
- A PORTION OF WORK LIES IN THE SHADED ZONE "AE" (AREAS DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOODPLAIN), AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR HAYS COUNTY, TEXAS AND INCORPORATED AREAS, MAP NUMBER 48209C01005F, REVISED SEPTEMBER 2, 2005. NO FILL IS BEING PLACED WITHIN THE FLOODWAY AS PART OF THE PROPOSED DRAINAGE AND ROADWAY IMPROVEMENTS.
- THE PROPOSED IMPROVEMENTS PLANS WERE PREPARED WITH THE BEST INFORMATION AVAILABLE THROUGH SURVEY, RECORD DRAWINGS, AND FIELD OBSERVATIONS. PER DIRECTION FROM THE CITY, GEOTECHNICAL PAVEMENT ANALYSIS AND RECOMMENDATIONS WERE NOT PERFORMED AS PART OF THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SURVEY VERIFICATION REQUIRED TO COMPLETE THE PROJECT.

PREPARED BY:



T.B.P.L.S. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9266
9701 BRODIE LN, SUITE 203
AUSTIN, TX 78748
PH: 512.220.8100

THESE PLANS ARE FULL SIZE AT 11" X 17"

A. GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR IS TO CONTACT ONE OF THE FOLLOWING:
 - TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-245-4545
 - TEXAS ONE CALL SYSTEM (TOCS) 1-800-344-8377
 - FOR LOCATION OF EXISTING
 - FACILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF
 - ANY CONSTRUCTION ACTIVITIES.
- PRIOR TO ANY CONSTRUCTION, THE ENGINEER SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CITY OF DRIPPING SPRINGS, HER/HIMSELF, THE CONTRACTOR, OTHER UTILITY COMPANIES, ANY AFFECTED PARTIES AND ANY OTHER ENTITY THE CITY OR ENGINEER MAY REQUIRE.
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 E. 6TH STREET, AUSTIN, TEXAS.
- CONTRACTOR SHALL TAKE ALL DUE PRECAUTIONS TO PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE INCURRED TO EXISTING FACILITIES AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR, AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR TO GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITIES AFFECTED BY HIS OPERATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING EXCESS AND WASTE MATERIAL, INCLUDING METHODS OF HANDLING AND DISPOSAL.
- CONTRACTOR TO COORDINATE INTERRUPTIONS OF ALL UTILITIES AND SERVICES. ALL WORK TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY COMPANY OR AGENCY INVOLVED.
- WHEN UN-LOCATED OR INCORRECTLY LOCATED, A BREAK IN UTILITY LINES, OR OTHER UTILITIES AND SERVICES ARE ENCOUNTERED DURING SITE WORK OPERATIONS, CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY IMMEDIATELY TO OBTAIN PROCEDURE DIRECTIONS. CONTRACTOR SHALL COOPERATE WITH THE APPLICABLE UTILITY COMPANY IN MAINTAINING ACTIVE SERVICES IN OPERATION.
- WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE ENGINEER.
- CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. RECORD SHALL BE KEPT IN AN ONSITE SET OF MARKED-UP RECORD DRAWINGS.
- CONTRACTOR TO LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS AND PROJECT ENGINEERING REFERENCE POINTS. RE-ESTABLISH DISTURBED OR DESTROYED ITEMS BY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL STRIP SIX (6) INCHES OF TOPSOIL FROM ALL AREAS SUBJECT TO GRADE MODIFICATION. REMOVE ALL AREAS OF WEAK SOIL.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING FENCES. IN THE EVENT THAT A FENCE MUST BE REMOVED, THE CONTRACTOR SHALL REPLACE SAID FENCE OR PORTION THEREOF WITH THE SAME TYPE OF FENCING TO A QUALITY OF EQUAL OR BETTER THAN THE ORIGINAL FENCE.
- UPON COMPLETION OF THE PROJECT, THE SITE(S) AS DEFINED HEREIN SHALL BE CLEANED OF ALL DEBRIS AND LEFT IN A NEAT AND PRESENTABLE CONDITION.
- ALL ADJOINING PAVEMENT SECTIONS SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION AND ANY DAMAGES INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO CONTROL DUST CAUSED BY THE WORK AND COMPLY WITH POLLUTION CONTROL REGULATIONS OF GOVERNING AUTHORITIES (NO SEPARATE PAY).
- TRAFFIC CONTROLS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT TxDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND TxDOT BARRICADE AND CONSTRUCTION STANDARDS.
- RE-VEGETATE ALL DISTURBED AREAS UPON COMPLETION OF THE WORK PER CITY OF DRIPPING SPRINGS CONSTRUCTION STANDARDS.
- CONTRACTOR TO EXERCISE CAUTION DURING CONSTRUCTION NEAR AND AROUND GAS LINES AND POWER LINES.
- ALL WORK IS TO BE PERFORMED BETWEEN THE FOLLOWING HOURS:
 - 7:00 A.M. TO 7:00 P.M. MONDAY - FRIDAY
 - ALL WORK REQUIRING CITY INSPECTION SHALL BE PERFORMED MONDAY THRU FRIDAY. THE CITY RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER ALL WORK PERFORMED WITHOUT INSPECTION.
- THE CONTRACTOR SHALL MAKE AN EXAMINATION OF THE PROJECT SITE AND COMPLETELY FAMILIARIZE HIMSELF WITH THE NATURE AND EXTENT OF ANY WORK TO BE ACCOMPLISHED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR ANY WORK MADE NECESSARY BY UNUSUAL CONDITIONS OR OBSTACLES ENCOUNTERED DURING THE PROGRESS OF THE WORK, WHEN SUCH CONDITIONS OR OBSTACLES ARE READILY APPARENT UPON A VISIT TO THE SITE. IF THERE ARE ANY QUESTIONS OF THIS REGARD OR IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE SUBMISSION OF BIDS.
- IN THOSE CASES WHERE FIXED FEATURES REQUIRE, THE DESIGN SLOPES INDICATED HEREIN AND ON THE CROSS SECTIONS MAY BE MODIFIED IN THE FIELD AS DETERMINED BY THE CITY OF DRIPPING SPRINGS IF EXISTING CONDITIONS SO REQUIRE.
- ACCESS TO OFFICES, BUSINESSES, AND DRIVEWAYS ALONG THE PROJECT MUST RECEIVE PRIORITY BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF HIS MATERIALS AND EQUIPMENT FROM THEFT, VANDALISM, ANIMALS, FIRE, ETC. WHILE SAID MATERIALS AND EQUIPMENT ARE ON THE PROJECT, WHETHER STORED OR INSTALLED IN PLACE, UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF DRIPPING SPRINGS.

B. ENVIRONMENTAL NOTES

- THE CONTRACTOR TO INSTALL AND MAINTAIN EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING, GRADING, OR EXCAVATION). CONTRACTOR TO REMOVE EROSION/SEDIMENTATION CONTROLS AT THE COMPLETION OF THE PROJECT AND GRASS RESTORATION.
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS TO BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. DEVIATIONS FROM THE APPROVED PLAN MUST BE SUBMITTED TO AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL DISTURBED AREAS TO BE RESTORED UPON COMPLETION OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR RE-VEGETATION ACTIVITIES. ALL MATERIALS AND LABOR SHALL BE SUBSIDIARY TO OTHER BID ITEMS.
- RESTORATION TO BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1-1/2 INCHES HIGH WITH 70% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 25 SQUARE FEET EXIST.
- A MINIMUM OF FOUR (4) INCHES OF TOPSOIL TO BE PLACED IN ALL AREAS DISTURBED BY CONSTRUCTION.
- THE CONTRACTOR TO SEED, SOD OR HYDROMULCH ALL EXPOSED CUTS AND FILLS UPON COMPLETION OF CONSTRUCTION.
- EROSION AND SEDIMENTATION CONTROLS TO BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILDUP WITHIN TREE DRIPLINE.
- TO AVOID SOIL COMPACTION, CONTRACTOR SHALL NOT ALLOW VEHICULAR TRAFFIC, PARKING, OR STORAGE OF EQUIPMENT OR MATERIALS IN THE TREE DRIPLINE AREAS.
- WHERE A FENCE IS CLOSER THAN FOUR (4) FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF EIGHT (8) FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE FENCING.
- TREES TO BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- ANY ROOT EXPOSED BY THE CONSTRUCTION ACTIVITY TO BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOPSOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN TWO DAYS, COVER THEM WITH ORGANIC MATTER IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- CONTRACTOR TO PRUNE VEGETATION TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND EQUIPMENT BEFORE DAMAGE OCCURS (RIPPING OF BRANCHES, ETC.). ALL FINISHED PRUNING TO BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE "**NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES**").
- THE CONTRACTOR IS TO INSPECT THE CONTROLS AT WEEKLY INTERVALS AND AFTER EVERY RAINFALL EXCEEDING ¼ INCH TO VERIFY THAT THEY HAVE NOT BEEN SIGNIFICANTLY DISTURBED. ANY ACCUMULATED SEDIMENT AFTER A SIGNIFICANT RAINFALL TO BE REMOVED AND PLACED IN THE OWNER DESIGNATED SPOIL DISPOSAL.

C. SEQUENCE OF CONSTRUCTION:

- TEMPORARY EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED AS INDICATED ON THE APPROVED SITE PLAN OR SUBDIVISION CONSTRUCTION PLAN AND IN ACCORDANCE WITH THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON THE SITE. INSTALL TREE PROTECTION, INITIATE TREE MITIGATION MEASURES AND CONDUCT "PRE - CONSTRUCTION" TREE FERTILIZATION (IF APPLICABLE).
- THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE REVISED, IF NEEDED, TO COMPLY WITH CITY INSPECTORS' DIRECTIVES, AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN REQUIREMENTS AND THE EROSION PLAN.
- THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.
- BEGIN SITE CLEARING/CONSTRUCTION (OR DEMOLITION) ACTIVITIES.
- PERMANENT WATER QUALITY PONDS OR CONTROLS WILL BE CLEANED OUT AND FILTER MEDIA WILL BE INSTALLED PRIOR TO/CONCURRENTLY WITH RE-VEGETATION OF SITE.
- COMPLETE CONSTRUCTION AND START RE-VEGETATION OF THE SITE AND INSTALLATION OF LANDSCAPING.

- AFTER A FINAL INSPECTION HAS BEEN CONDUCTED BY THE CITY INSPECTOR AND WITH APPROVAL FROM THE CITY INSPECTOR, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND COMPLETE ANY NECESSARY FINAL RE-VEGETATION RESULTING FROM REMOVAL OF THE CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE WATER QUALITY PONDS OR CONTROLS.

D. STREET AND DRAINAGE NOTES:

- ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE CITY'S EXPENSE. ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY INSPECTOR AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING.
- BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 95% MAXIMUM DENSITY TO WITHIN 3" OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 6" IN THE GREATEST DIMENSION. THE REMAINING 3" SHALL BE CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR SUSTAINING PLANT LIFE.
- DEPTH OF COVER FOR ALL CROSSINGS UNDER PAVEMENT INCLUDING GAS, ELECTRIC, TELEPHONE, CABLE TV, WATER SERVICES, ETC., SHALL BE A MINIMUM OF 30" BELOW SUBGRADE UNLESS OTHERWISE SPECIFIED ON THE PLAN
- STREET RIGHTS-OF-WAY SHALL BE GRADED AT A SLOPE OF 1/4" PER FOOT TOWARD THE CURB UNLESS OTHERWISE INDICATED. HOWEVER, IN NO CASE SHALL THE WIDTH OF RIGHT-OF-WAY AT 1/4" PER FOOT SLOPE BE LESS THAN 10 FEET UNLESS A SPECIFIC REQUEST FOR AN ALTERNATE GRADING SCHEME IS MADE TO AND ACCEPTED BY THE CITY OF DRIPPING SPRINGS PLANNING AND DEVELOPMENT DEPARTMENT.
- BARRICADES BUILT TO CITY OF DRIPPING SPRINGS STANDARDS SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB AND PUBLIC SAFETY.
- ALL R.C.P. SHALL BE MINIMUM CLASS III.

E. PROJECT NOTES:

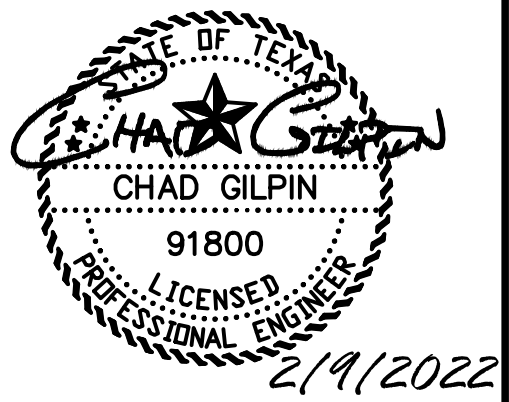
- CONTRACTOR TO QUANTIFY SPOILS MATERIALS TO BE STORED ONSITE AND SPOILS HAULED OFFSITE. COORDINATE WITH OWNER TO DETERMINE WHAT PORTION OF SPOILS ARE TO BE STOCKPILED ON SITE. CONTRACTOR TO PROVIDE SEPARATE BID TOTALS FOR ANTICIPATED ONSITE AND OFFSITE SPOIL MATERIALS.
- ASPHALT AND EXISTING ROAD BASE TO BE STORED ONSITE AFTER DEMOLITION FOR RECYCLED USE IN THE PROPOSED BASE SECTION PER TXDOT SPECIFICATION PROVIDED IN THE SCHEDULE OF QUANTITIES.

NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.



ENGINEER'S SEAL:



FACILITY:

DRIPPING SPRINGS RANCH PARK

PROJECT:

RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

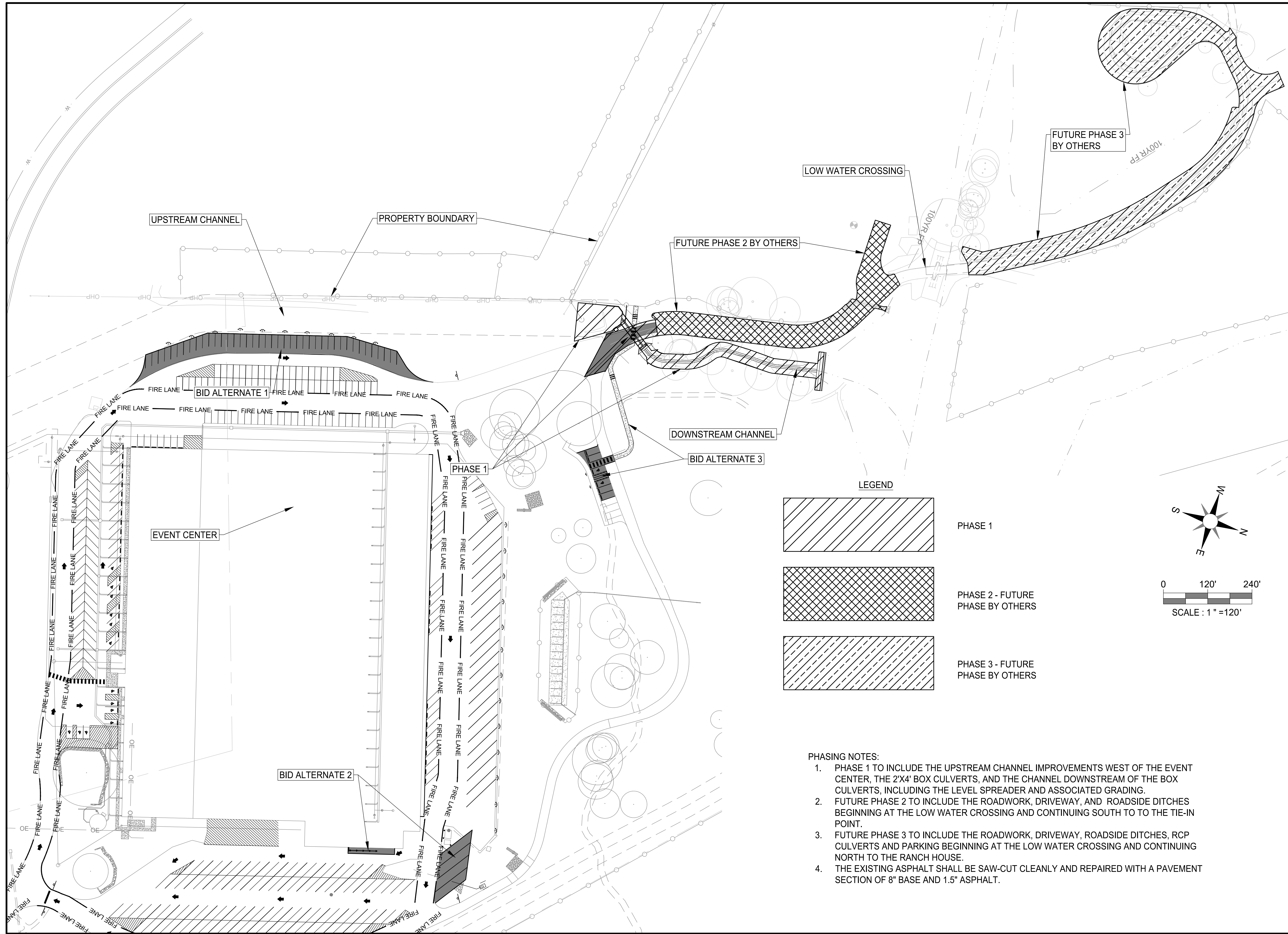


DESIGN: BL CHECKED: CG/RB

DATE: 02/09/2022

PROJ # PARKS-2022-01

GENERAL NOTES
SHEET
02 OF 20



NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE
COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT
PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS
AMENDED. UNAUTHORIZED USE OF THESE PLANS
OR THE DESIGNS REPRESENTED THEREIN WILL
SUBJECT THE INFRINGER TO DAMAGES AND/OR
JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
ENGINEERING COMPANY

T.B.P.L.S. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9286
9701 BRODIE LANE #203
AUSTIN, TX 78748
PH: 512.220.8100

ENGINEER'S SEAL:

CHAD GILPIN
91800
LICENSED PROFESSIONAL ENGINEER
2/9/2022

FACILITY:
DRIPPING SPRINGS RANCH PARK

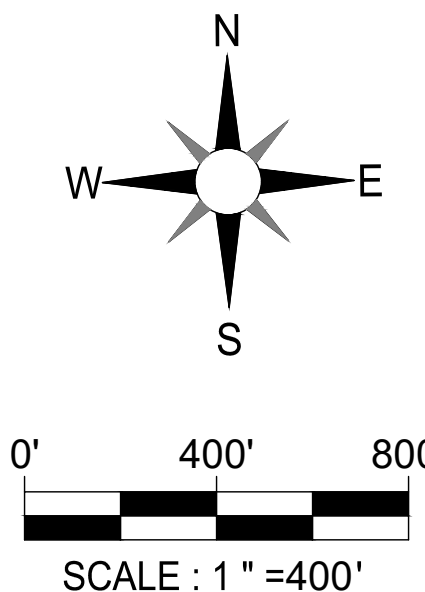
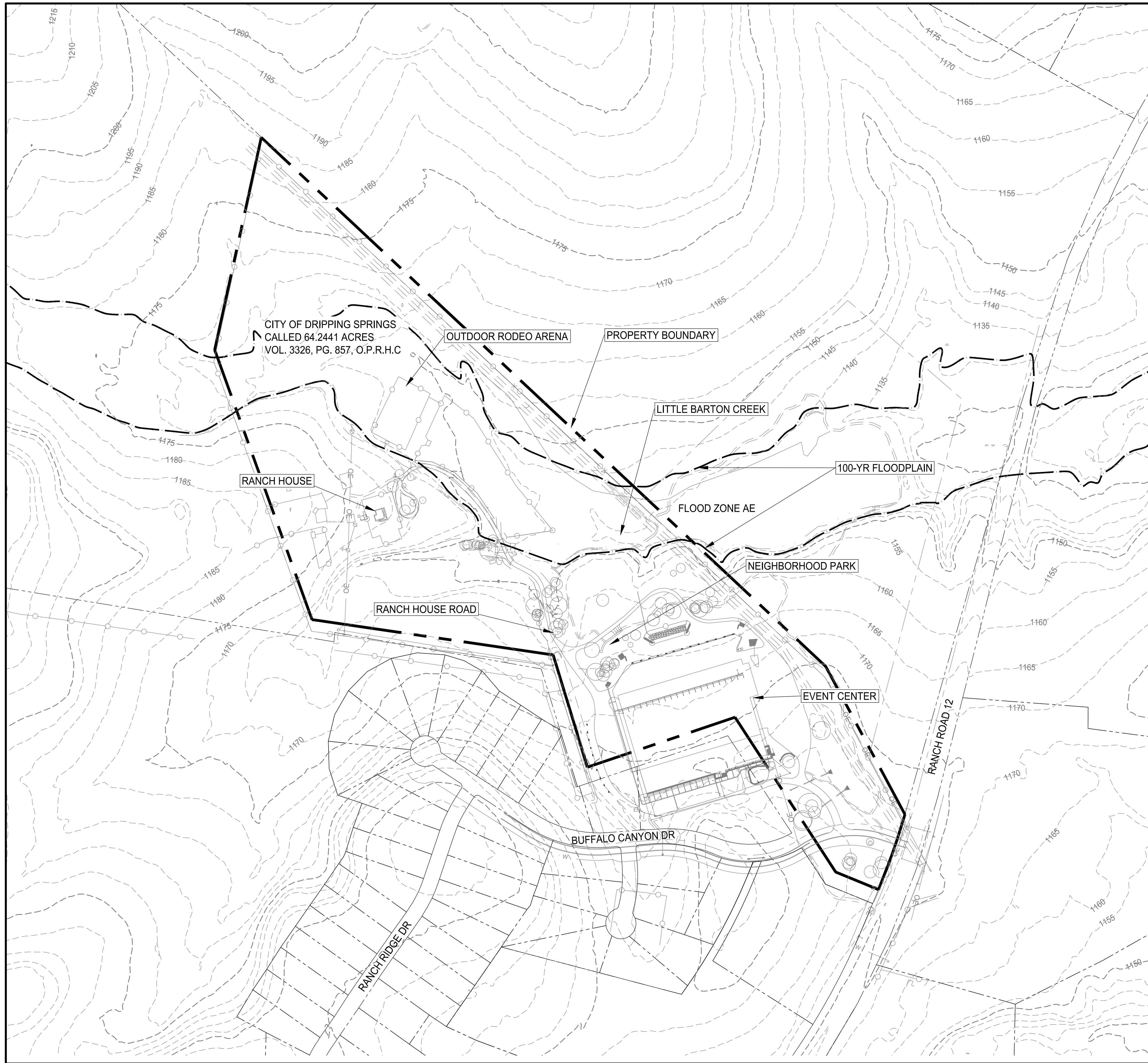
PROJECT:
RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

DRIPPING SPRINGS
Texas
Open spaces, friendly faces.

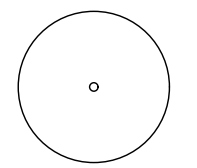




DESIGN: BL CHECKED: CG/RB
DATE: 02/09/2022
PROJ # PARKS-2022-01

PHASING PLAN
SHEET
04 OF 20

- PHASING NOTES:**
1. PHASE 1 TO INCLUDE THE UPSTREAM CHANNEL IMPROVEMENTS WEST OF THE EVENT CENTER, THE 2'X4' BOX CULVERTS, AND THE CHANNEL DOWNSTREAM OF THE BOX CULVERTS, INCLUDING THE LEVEL SPREADER AND ASSOCIATED GRADING.
 2. FUTURE PHASE 2 TO INCLUDE THE ROADWORK, DRIVEWAY, AND ROADSIDE DITCHES BEGINNING AT THE LOW WATER CROSSING AND CONTINUING SOUTH TO TO THE TIE-IN POINT.
 3. FUTURE PHASE 3 TO INCLUDE THE ROADWORK, DRIVEWAY, ROADSIDE DITCHES, RCP CULVERTS AND PARKING BEGINNING AT THE LOW WATER CROSSING AND CONTINUING NORTH TO THE RANCH HOUSE.
 4. THE EXISTING ASPHALT SHALL BE SAW-CUT CLEANLY AND REPAIRED WITH A PAVEMENT SECTION OF 8" BASE AND 1.5" ASPHALT.



LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING CONTOUR
-  PROPERTY BOUNDARY
-  EXISTING FENCE
-  100-YR FLOODPLAIN BOUNDARY

NOTES:

1. A PORTION OF WORK LIES IN ZONE "AE" (AREAS DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOODPLAIN), AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR HAYS COUNTY, TEXAS AND INCORPORATED AREAS, MAP NUMBER 48209C01005F, REVISED SEPTEMBER 2, 2005. NO FILL IS BEING PLACED WITHIN THE FLOODWAY AS PART OF THE PROPOSED DRAINAGE AND ROADWAY IMPROVEMENTS.

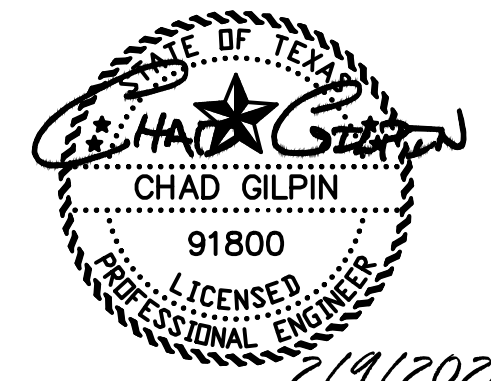
NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
ENGINEERING COMPANY

T.B.P.L.S. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9286
9701 BRODIE LANE #203
AUSTIN, TX 78748
PH: 512.220.8100

ENGINEER'S SEAL:



FACILITY:

DRIPPING SPRINGS RANCH PARK

PROJECT:

RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT



DESIGN: BL CHECKED: CG/RB

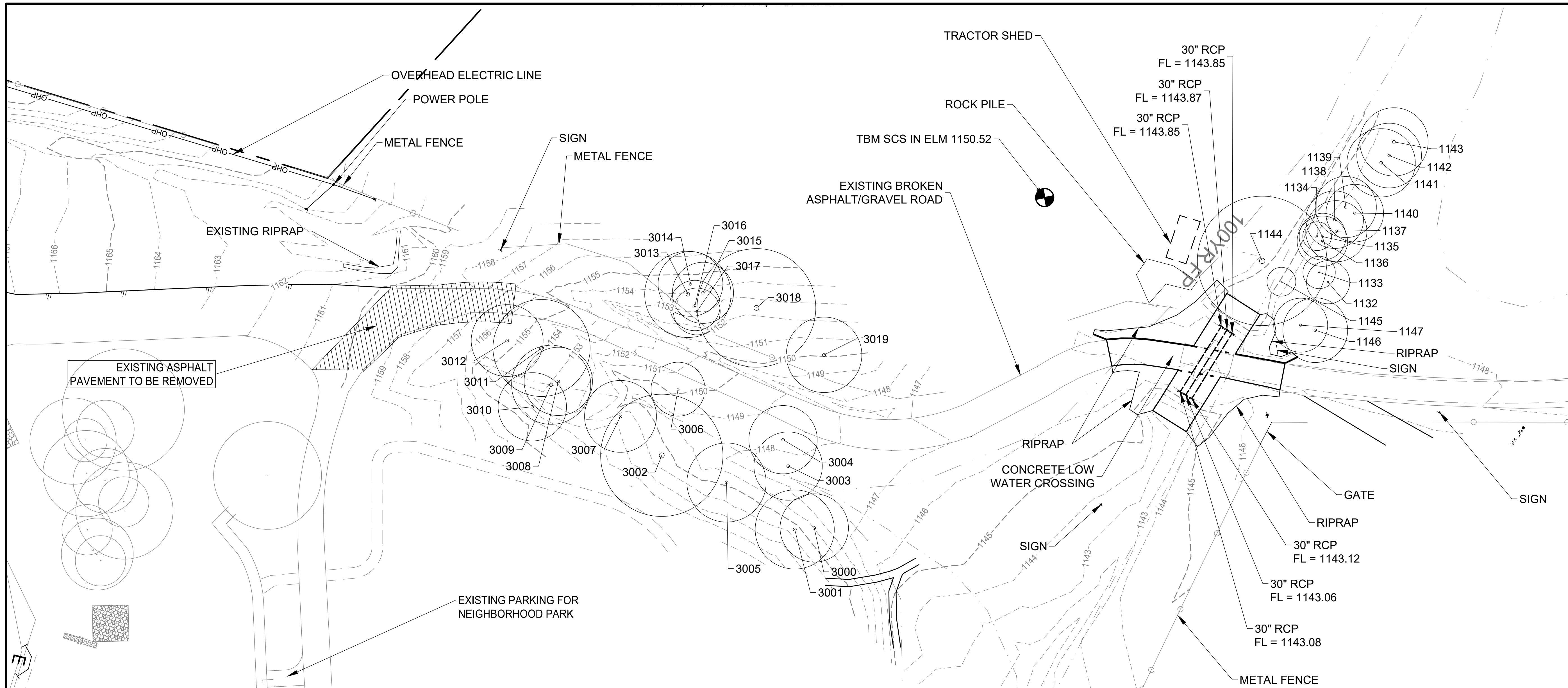
DATE: 02/09/2022

PROJ # PARKS-2022-01

OVERALL EXISTING CONDITIONS

SHEET

05 OF 20



NO.	REVISION	DATE

COPYRIGHT NOTICE:
 THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
 ENGINEERING COMPANY
 T.B.P.L.S. Firm Registration # 10193770
 T.B.P.E. Firm Registration # F-9266
 9701 BRODIE LANE #203
 AUSTIN, TX 78748
 PH: 512.220.8100

ENGINEER'S SEAL:

FACILITY:
 DRIPPING SPRINGS RANCH PARK

PROJECT:
 RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

DESIGN: BL CHECKED: CG/RB
 DATE: 02/09/2022
 PROJ # PARKS-2022-01

EXISTING CONDITIONS & DEMOLITION PLAN
 SHEET
 06 OF 20

TREE TABLE		
TAG NO.	DESCRIPTION	STATUS
1132	12" LIVE OAK	P
1133	9" LIVE OAK	P
1134	8" LIVE OAK	P
1135	13" LIVE OAK	P
1136	14" LIVE OAK	P
1137	17" CEDAR ELM	P
1138	16" LIVE OAK	P
1139	17" LIVE OAK	P
1140	16" LIVE OAK	P
1141	19" LIVE OAK	P
1142	18" LIVE OAK	P
1143	19" LIVE OAK	P
1144	36" LIVE OAK	P
1145	8" TREE	P
1146	18" LIVE OAK (12", 11")	P
1147	15" LIVE OAK	P
3000	19" LIVE OAK	P
3001	22" LIVE OAK	P
3002	34" LIVE OAK (24", 20")	P
3003	19" LIVE OAK	P
3004	19" CEDAR ELM	P
3005	22" LIVE OAK	P
3006	15" LIVE OAK	P
3007	20" LIVE OAK (16", 8")	P

TAG NO.	DESCRIPTION	STATUS
3008	19" LIVE OAK	P
3009	22" LIVE OAK	P
3010	19" LIVE OAK	P
3011	27" LIVE OAK	P
3012	20" CEDAR ELM (16", 7")	P
3013	24" LIVE OAK (14", 10")	P
3014	18" LIVE OAK	P
3015	17" LIVE OAK (13", 8")	P
3016	14" LIVE OAK	P
3017	13" LIVE OAK	P
3018	33" LIVE OAK	P
3019	21" LIVE OAK (14", 13")	P
3020	21" LIVE OAK (14", 13")	P
3021	14" LIVE OAK	P
3022	13" LIVE OAK	P
3023	9" CEDAR ELM	P
3024	22" LIVE OAK (15", 14")	P
3025	18" HACKBERRY	P
3026	14" LIVE OAK (10", 7")	P

LEGEND
 P - PROTECTED
 R - REMOVE

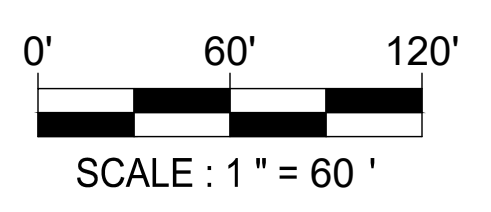
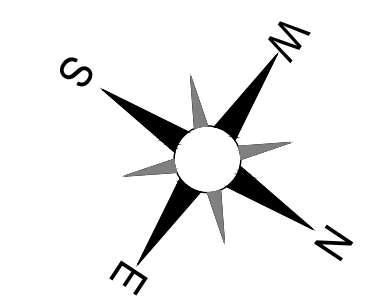
- NOTES:**
- CONTRACTOR SHALL REMOVE DEBRIS FROM THE PROJECT AREA, TO BE PAYABLE UNDER DEMOLITION WORK. SUCH DEBRIS SHALL INCLUDE REMAINING PORTIONS OF DEMOLITION, FLOOD DEBRIS, AND VEGETATION/TREES ALONG CREEK BANK WITHIN THE PROJECT AREA.
 - CONTRACTOR TO RE-VEGETATE ALL DISTURBED AREAS UPON COMPLETION OF THE WORK IN COMPLIANCE WITH THE EROSION AND SEDIMENTATION CONTROL NOTES.
 - CONTRACTOR SHALL SAW-CUT AND/OR ADJUST EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS TRANSITION GRADE.
 - THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE CONSTRUCTION AREA. THE EXACT LOCATION OF UNDERGROUND UTILITIES IS NOT CERTAIN. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE AREA UTILITY COMPANIES FOR EXACT LOCATIONS AT LEAST 48 HOURS PRIOR TO CONSTRUCTION OR COMMENCING ANY WORK SO AS TO PREVENT ANY DAMAGE OR INTERFERENCE WITH PRESENT UTILITIES.
 - A PRE-CONSTRUCTION MEETING WITH THE CITY ENGINEER AND CONTRACTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.
 - THE CONTRACTOR SHALL PROTECT ALL AREAS

WHICH ARE NOT INCLUDED IN THE ACTUAL LIMITS OF THE PROPOSED CONSTRUCTION AREAS FROM DESTRUCTION. CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO TREES, VEGETATION AND OTHER NATURAL SURROUNDINGS. THE AREAS NOT DISTURBED SHALL BE DETERMINED BY THE ENGINEER. THE CONTRACTOR, AT HIS EXPENSE, SHALL RESTORE TO ANY AREAS DISTURBED AS A RESULT OF THEIR OPERATIONS TO A CONDITION AS GOOD AS, OR BETTER THAN, THAT PRESENT PRIOR TO THEIR CONTRACT.

- THE ESTIMATED QUANTITIES PUBLISHED WITH THESE CONSTRUCTION DOCUMENTS ARE FURNISHED AS AN AID IN THE BIDDING PROCESS AND ARE NOT TO BE SUBSTITUTED FOR CONTRACTORS QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY OBSTACLES THAT MAY IMPEDE OR PREVENT THE PROPER CONSTRUCTION OF THE PROJECT.

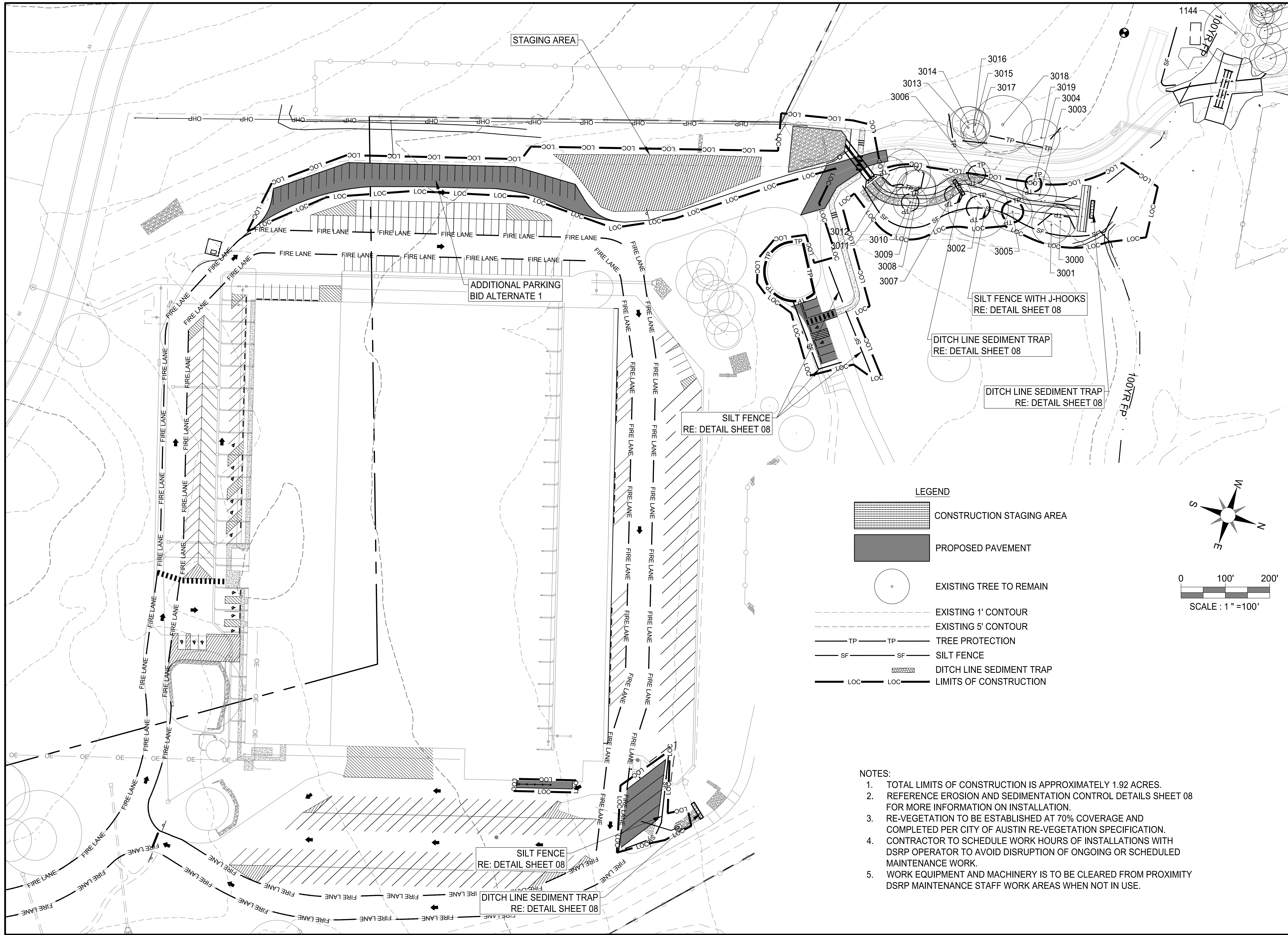
BENCHMARK:
 TBM 22-38-51 COTTON SPINDLE SET IN ELM TREE, ±120' SOUTH OF CREEK, ±100 WEST OF ASPHALT ROAD.

ELEVATION: 1,150.52 FEET NAVD-88



LEGEND

- BENCHMARK
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY BOUNDARY



NO.	REVISION	DATE

COPYRIGHT NOTICE:
 THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
 ENGINEERING COMPANY
 T.B.P.L.S. Firm Registration # 10193770
 T.B.P.E. Firm Registration # F-9286
 9701 BRODIE LANE #203
 AUSTIN, TX 78748
 PH: 512.220.8100

ENGINEER'S SEAL:

FACILITY:
 DRIPPING SPRINGS RANCH PARK

PROJECT:
 RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

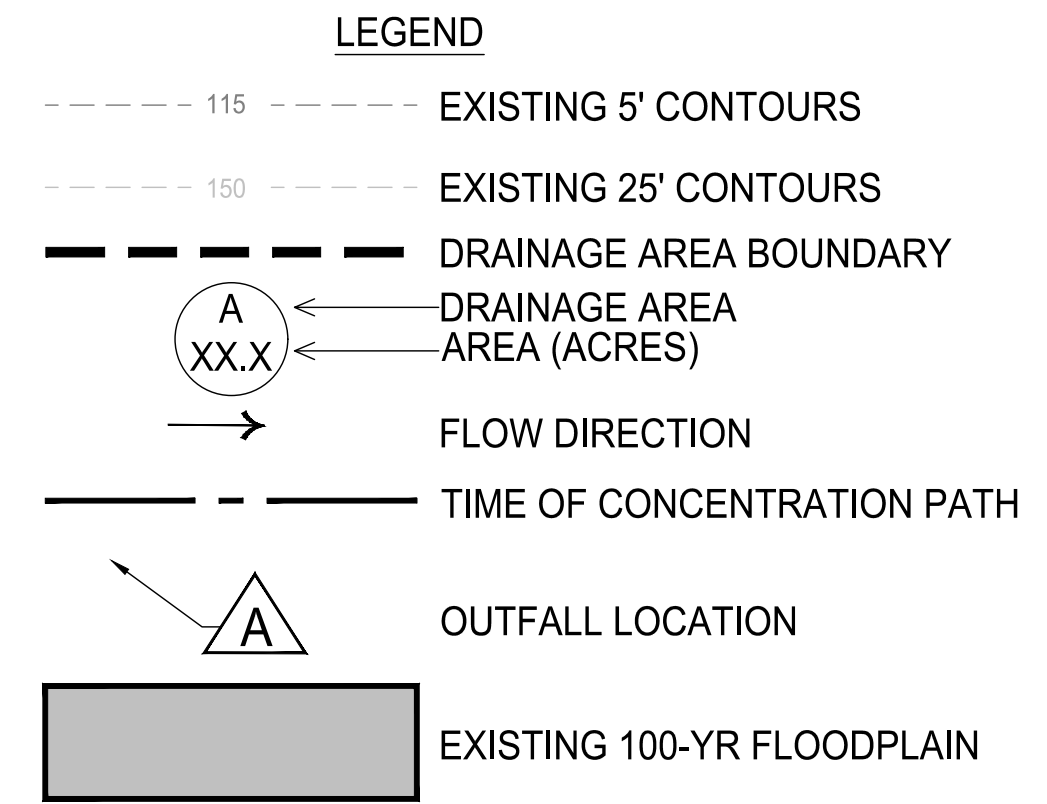
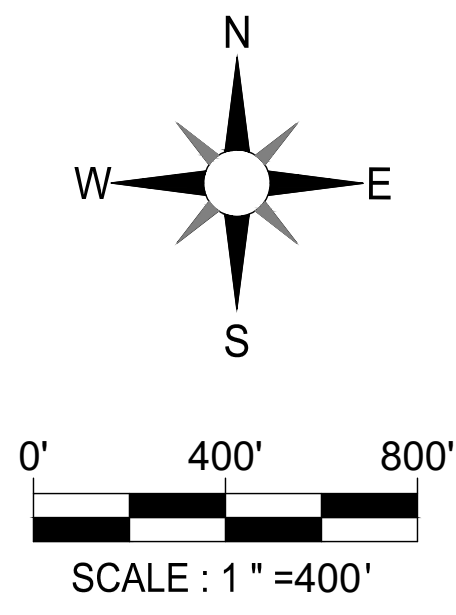
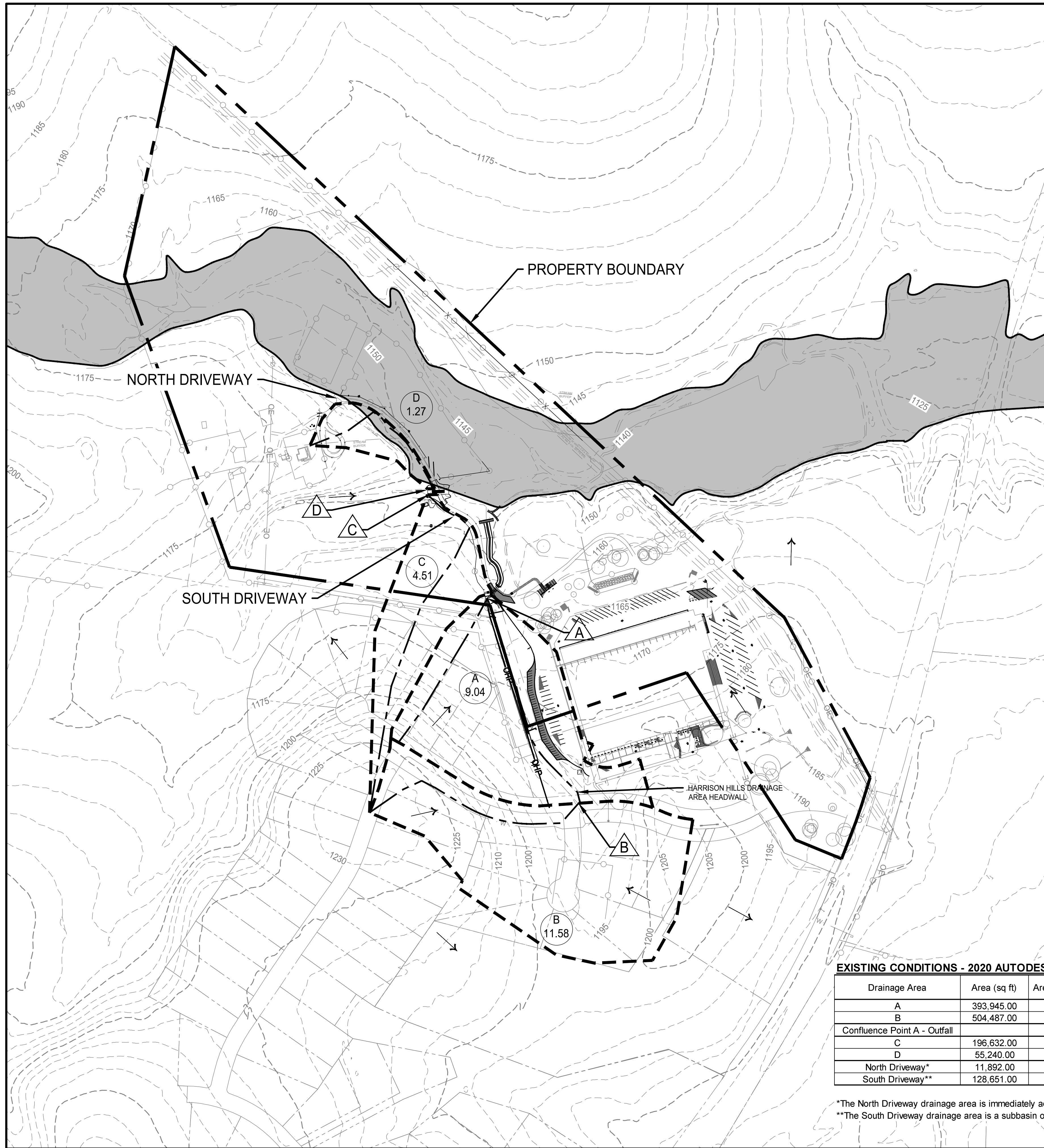
DESIGN: BL CHECKED: CG/RB
 DATE: 02/09/2022
 PROJ # PARKS-2022-01

EROSION & SEDIMENTATION CONTROL PLAN SHEET
 07 OF 20

LEGEND

- CONSTRUCTION STAGING AREA
- PROPOSED PAVEMENT
- EXISTING TREE TO REMAIN
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- TREE PROTECTION
- SILT FENCE
- DITCH LINE SEDIMENT TRAP
- LIMITS OF CONSTRUCTION

- NOTES:**
- TOTAL LIMITS OF CONSTRUCTION IS APPROXIMATELY 1.92 ACRES.
 - REFERENCE EROSION AND SEDIMENTATION CONTROL DETAILS SHEET 08 FOR MORE INFORMATION ON INSTALLATION.
 - RE-VEGETATION TO BE ESTABLISHED AT 70% COVERAGE AND COMPLETED PER CITY OF AUSTIN RE-VEGETATION SPECIFICATION.
 - CONTRACTOR TO SCHEDULE WORK HOURS OF INSTALLATIONS WITH DSRP OPERATOR TO AVOID DISRUPTION OF ONGOING OR SCHEDULED MAINTENANCE WORK.
 - WORK EQUIPMENT AND MACHINERY IS TO BE CLEARED FROM PROXIMITY DSRP MAINTENANCE STAFF WORK AREAS WHEN NOT IN USE.



- NOTES:**
1. THE PROPOSED SITE IS LOCATED PARTIALLY WITHIN THE 100-YEAR FLOODPLAIN. FIRM PANEL NO. 48209C0128F, HAYS COUNTY, TEXAS AND INCORPORATED AREAS (EFFECTIVE DATE SEPTEMBER 2, 2005).
 2. THE SITE IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
 3. THE SITE IS LOCATED IN THE LITTLE BARTON CREEK ZONE WATERSHEDS.
 4. 1 FT CONTOURS WERE INTERPOLATED FROM THE CAPCOG 2008 5 FT CONTOURS AVAILABLE ON THE TEXAS NATURAL RESOURCES INFORMATION SYSTEM (TNRIS) DATABASE.
 5. THE 24-HOUR STORM EVENT RAINFALL DATA USED FOR THIS DRAINAGE ANALYSIS WAS OBTAINED FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) AND IS CURRENT FOR THE CITY OF DRIPPING SPRINGS AT THE TIME THIS SITE PLAN WAS COMPLETED.
 6. ALL DRAINAGE DESIGN CRITERIA USED FOR THIS DRAINAGE ANALYSIS OTHER THAN THE STORM EVENT RAINFALL DATA WAS OBTAINED FROM THE CURRENT CITY OF AUSTIN DRAINAGE CRITERIA MANUAL.

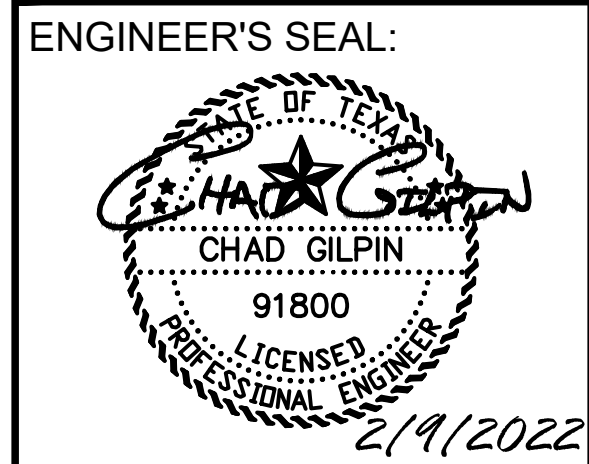
EXISTING CONDITIONS - 2020 AUTODESK HYDRAFLOW HYDROGRAPHS MODEL

Drainage Area	Area (sq ft)	Area (acres)	Area (Sq Mile)	CN	Tc (hrs)	Tlag	Q - PEAK FLOWS			
							2 YEAR (cfs)	10 YEAR (cfs)	25 YEAR (cfs)	100 YEAR (cfs)
A	393,945.00	9.044	0.0141	84.47	0.281	0.169	18.43	36.31	50.27	77.44
B	504,487.00	11.581	0.0181	84.00	0.681	0.408	16.44	32.71	45.46	70.31
Confluence Point A - Outfall							26.26	53.02	74.21	115.72
C	196,632.00	4.514	0.0071	81.99	0.462	0.277	7.10	14.57	20.46	31.98
D	55,240.00	1.268	0.0020	89.00	0.348	0.209	2.83	5.21	7.04	10.62
North Driveway*	11,892.00	0.273	0.0004	89.00	0.193	0.116	0.76	1.40	1.89	2.85
South Driveway**	128,651.00	2.953	0.0046	81.99	0.462	0.277	4.65	9.53	13.39	20.92

*The North Driveway drainage area is immediately adjacent to Drainage Area D and has the same assumptions as Drainage Area D other than the Area and Time of Concentration
 **The South Driveway drainage area is a subbasin of Drainage Area C and has the same assumptions as Drainage Area C other than the Area.

NO.	REVISION	DATE

COPYRIGHT NOTICE:
 THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.



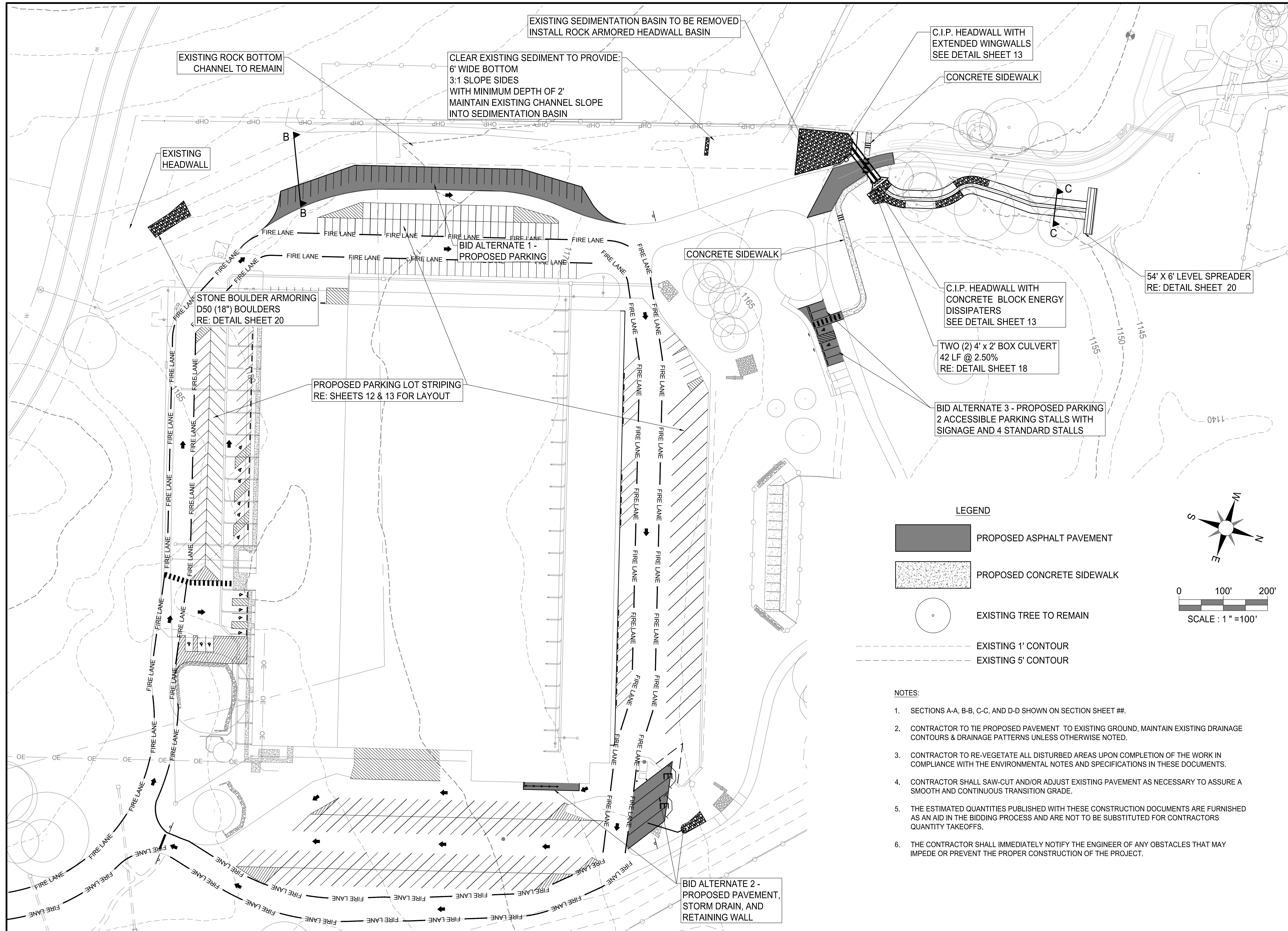
FACILITY:
 DRIPPING SPRINGS RANCH PARK

PROJECT:
 RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT



DESIGN: BL **CHECKED:** CG/RB
DATE: 02/09/2022
PROJ # PARKS-2022-01

OVERALL DRAINAGE AREA MAP
SHEET
 09 OF 20



EXISTING SEDIMENTATION BASIN TO BE REMOVED
INSTALL ROCK ARMORED HEADWALL BASIN

EXISTING ROCK BOTTOM
CHANNEL TO REMAIN

CLEAR EXISTING SEDIMENT TO PROVIDE:
6' WIDE BOTTOM
3:1 SLOPE SIDES
WITH MINIMUM DEPTH OF 2'
MAINTAIN EXISTING CHANNEL SLOPE
INTO SEDIMENTATION BASIN

C.I.P. HEADWALL WITH
EXTENDED WINGWALLS
SEE DETAIL SHEET 13

CONCRETE SIDEWALK

EXISTING
HEADWALL

BID ALTERNATE 1 -
PROPOSED PARKING

CONCRETE SIDEWALK

C.I.P. HEADWALL WITH
CONCRETE BLOCK ENERGY
DISSIPATERS
SEE DETAIL SHEET 13

54' X 6' LEVEL SPREADER
RE: DETAIL SHEET 20


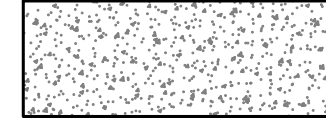
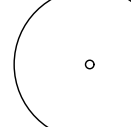


STONE BOULDER ARMORING
D50 (18") BOULDERS
RE: DETAIL SHEET 20

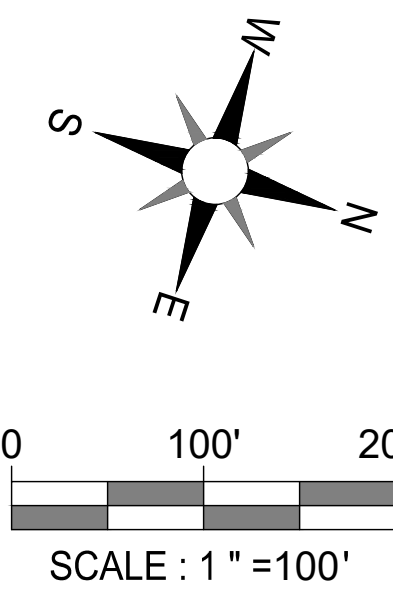
PROPOSED PARKING LOT STRIPING
RE: SHEETS 12 & 13 FOR LAYOUT

TWO (2) 4' X 2' BOX CULVERT
42 LF @ 2.50%
RE: DETAIL SHEET 18

BID ALTERNATE 3 - PROPOSED PARKING
2 ACCESSIBLE PARKING STALLS WITH
SIGNAGE AND 4 STANDARD STALLS

LEGEND

-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED CONCRETE SIDEWALK
-  EXISTING TREE TO REMAIN
-  EXISTING 1' CONTOUR
-  EXISTING 5' CONTOUR



NOTES:

1. SECTIONS A-A, B-B, C-C, AND D-D SHOWN ON SECTION SHEET ##.
2. CONTRACTOR TO TIE PROPOSED PAVEMENT TO EXISTING GROUND, MAINTAIN EXISTING DRAINAGE CONTOURS & DRAINAGE PATTERNS UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO RE-VEGETATE ALL DISTURBED AREAS UPON COMPLETION OF THE WORK IN COMPLIANCE WITH THE ENVIRONMENTAL NOTES AND SPECIFICATIONS IN THESE DOCUMENTS.
4. CONTRACTOR SHALL SAW-CUT AND/OR ADJUST EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS TRANSITION GRADE.
5. THE ESTIMATED QUANTITIES PUBLISHED WITH THESE CONSTRUCTION DOCUMENTS ARE FURNISHED AS AN AID IN THE BIDDING PROCESS AND ARE NOT TO BE SUBSTITUTED FOR CONTRACTORS QUANTITY TAKEOFFS.
6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY OBSTACLES THAT MAY IMPEDE OR PREVENT THE PROPER CONSTRUCTION OF THE PROJECT.

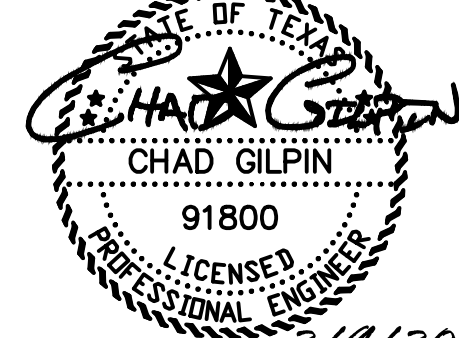
NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE
COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT
PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS
AMENDED. UNAUTHORIZED USE OF THESE PLANS
OR THE DESIGNS REPRESENTED THEREIN WILL
SUBJECT THE INFRINGER TO DAMAGES AND/OR
JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
ENGINEERING COMPANY

T.B.P.L.S. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9286
9701 BRODIE LANE #203
AUSTIN, TX 78748
PH: 512.220.8100

ENGINEER'S SEAL:



2/9/2022

FACILITY:
**DRIPPING SPRINGS
RANCH PARK**

PROJECT:
**RANCH HOUSE
ROAD PHASE 1 &
DSRP RE-STRIPING
PROJECT**

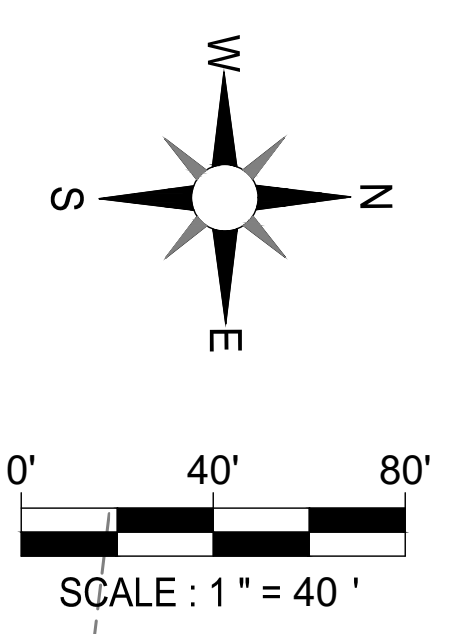
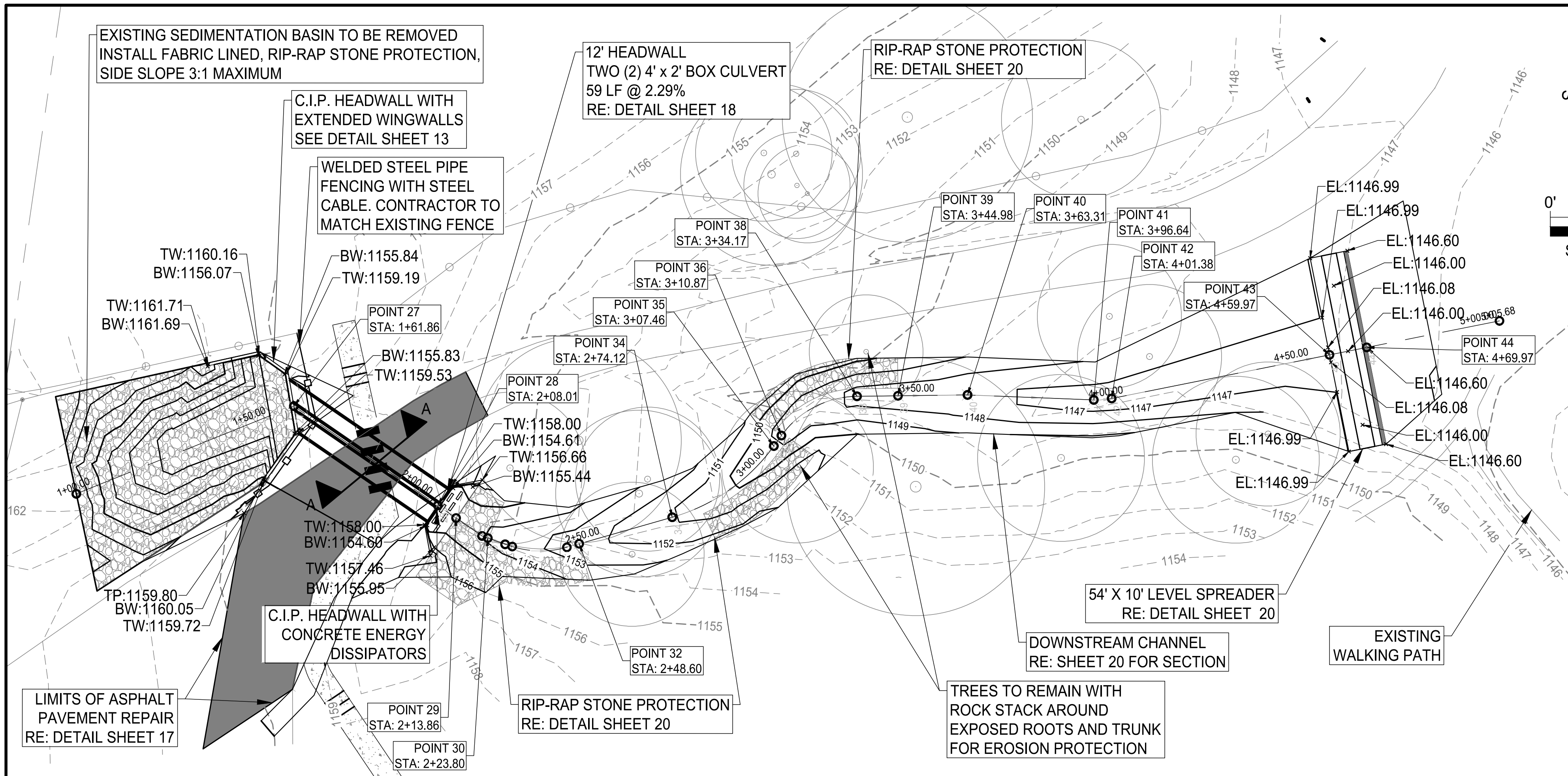


DESIGN: BL CHECKED: CG/RB

DATE: 02/09/2022

PROJ # PARKS-2022-01

OVERALL SITE PLAN
SHEET
10 OF 20



- LEGEND**
- TW = TOP OF WALL ELEVATION
 - BW = BOTTOM OF WALL ELEVATION
 - TP = TOP OF PAVEMENT
 - EL = FINISH ELEVATION
 - (Circle symbol) EXISTING TREE TO REMAIN
 - - - - - 114 EXISTING 1' CONTOUR
 - - - - - 115 EXISTING 5' CONTOUR
 - — — — — 114 PROPOSED 1' CONTOUR
 - — — — — 115 PROPOSED 5' CONTOUR
 - TP — TP — TP — TP — TP — TP — TREE PROTECTION
 - LOC — LOC — LOC — LOC — LOC — LIMITS OF CONSTRUCTION

NO.	REVISION	DATE

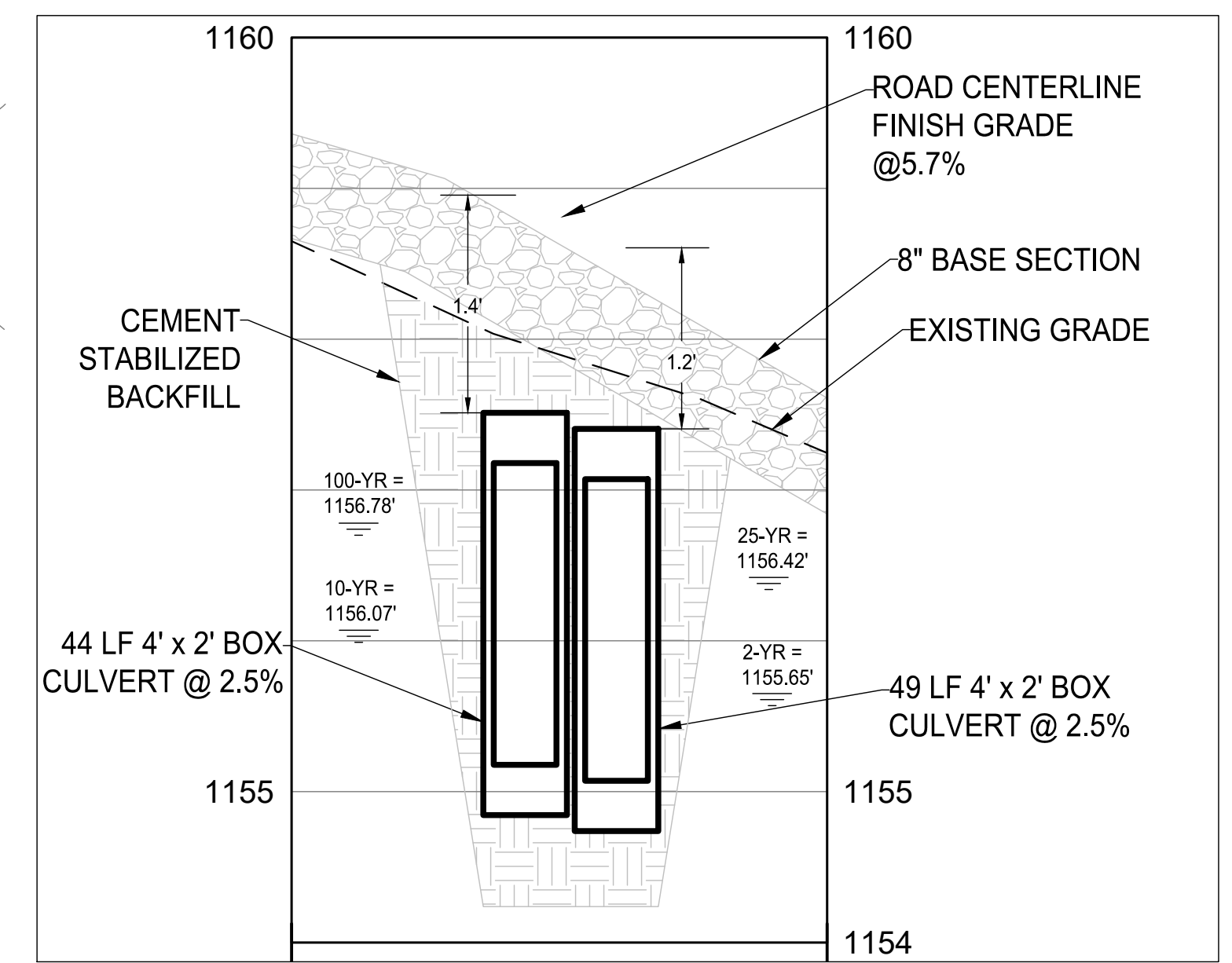
COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE
COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT
PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS
AMENDED. UNAUTHORIZED USE OF THESE PLANS
OR THE DESIGNS REPRESENTED THEREIN WILL
SUBJECT THE INFRINGER TO DAMAGES AND/OR
JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
ENGINEERING COMPANY

T.B.P.E. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9286
9701 BRODIE LANE #203
AUSTIN, TX 78748
PH: 512.220.8100

ENGINEER'S SEAL:

2/9/2022



SECTION A-A
SCALE: 1"=20'

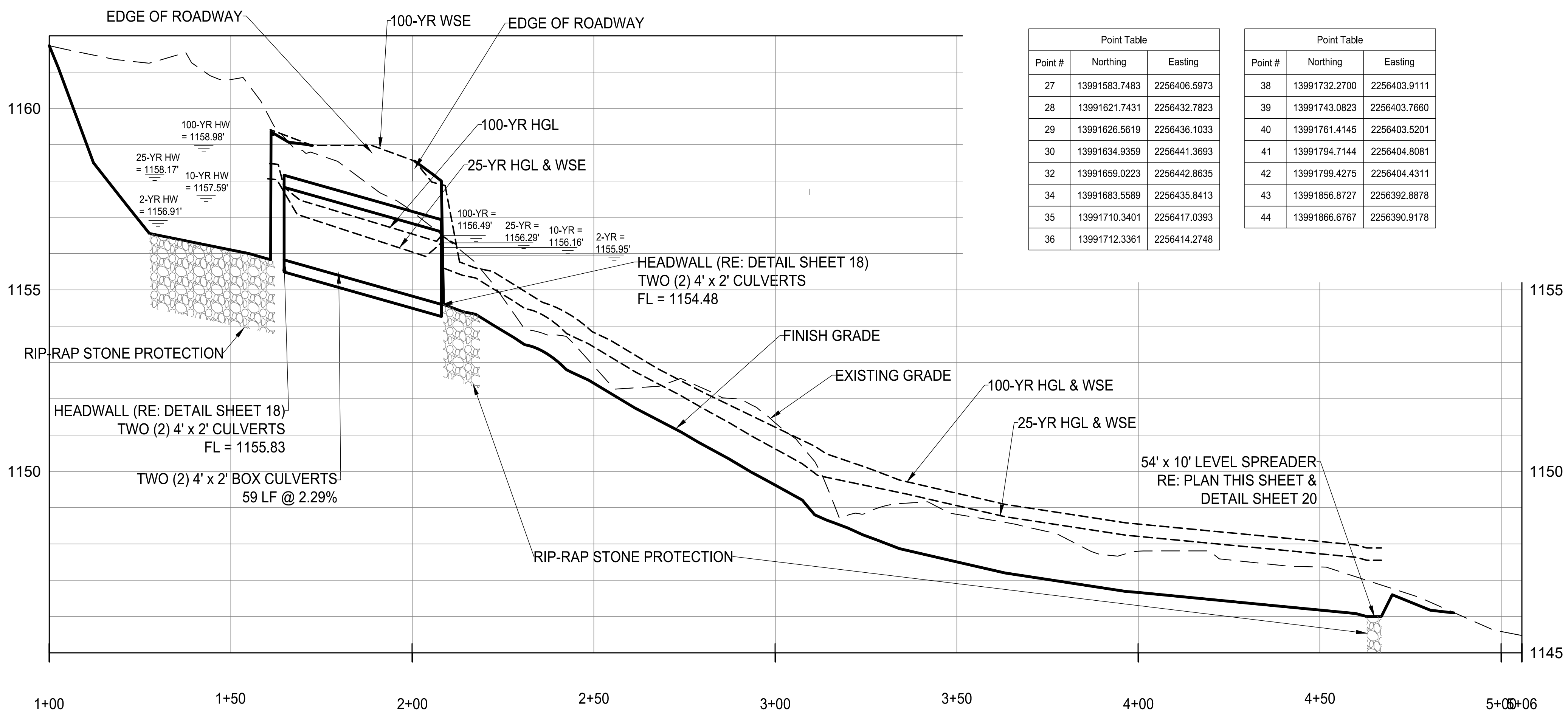
Point Table			Point Table		
Point #	Northing	Easting	Point #	Northing	Easting
27	13991583.7483	2256406.5973	38	13991732.2700	2256403.9111
28	13991621.7431	2256432.7823	39	13991743.0823	2256403.7660
29	13991626.5619	2256436.1033	40	13991761.4145	2256403.5201
30	13991634.9359	2256441.3693	41	13991794.7144	2256404.8081
32	13991659.0223	2256442.8635	42	13991799.4275	2256404.4311
34	13991683.5589	2256435.8413	43	13991856.8727	2256392.8878
35	13991710.3401	2256417.0393	44	13991866.6767	2256390.9178
36	13991712.3361	2256414.2748			

NOTES:

- FILL AROUND CULVERT TRENCH SECTION TO BE CEMENT-STABILIZED BACKFILL. BACKFILL THE EXCAVATION TO THE ELEVATIONS SHOWN WITH CEMENT-STABILIZED BACKFILL. USE CEMENT-STABILIZED BACKFILL THAT CONTAINS AGGREGATE, WATER, AND A MINIMUM OF 7% HYDRAULIC CEMENT BASED ON THE DRY WEIGHT OF THE AGGREGATE, IN ACCORDANCE WITH TEX-120-E. USE CLEAN SAND AS AGGREGATE FOR CEMENT-STABILIZED BACKFILL UNLESS OTHERWISE SHOWN ON THE PLAN.
- CONTRACTOR TO TIE PROPOSED PAVEMENT TO EXISTING GROUND, MAINTAIN EXISTING DRAINAGE CONTOURS & DRAINAGE PATTERNS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO RE-VEGETATE ALL DISTURBED AREAS UPON COMPLETION OF THE WORK IN COMPLIANCE WITH THE ENVIRONMENTAL NOTES AND SPECIFICATIONS IN THESE DOCUMENTS.
- ALL EXCESS MATERIAL SHALL BE HAULED AND DISPOSED OFFSITE.
- CONTRACTOR SHALL SAW-CUT AND/OR ADJUST EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS TRANSITION GRADE.
- THE ESTIMATED QUANTITIES PUBLISHED WITH THESE CONSTRUCTION DOCUMENTS ARE FURNISHED AS AN AID IN THE BIDDING PROCESS AND ARE NOT TO BE SUBSTITUTED FOR CONTRACTORS QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY OBSTACLES THAT MAY IMPEDE OR PREVENT THE PROPER CONSTRUCTION OF THE PROJECT.

CULVERT SUMMARY

STORM EVENT	FLOW (CFS)	VELOCITY (FT/SEC)
2-YR	26.26	4.72
10-YR	53.02	5.97
25-YR	74.21	6.68
100-YR	115.72	7.56

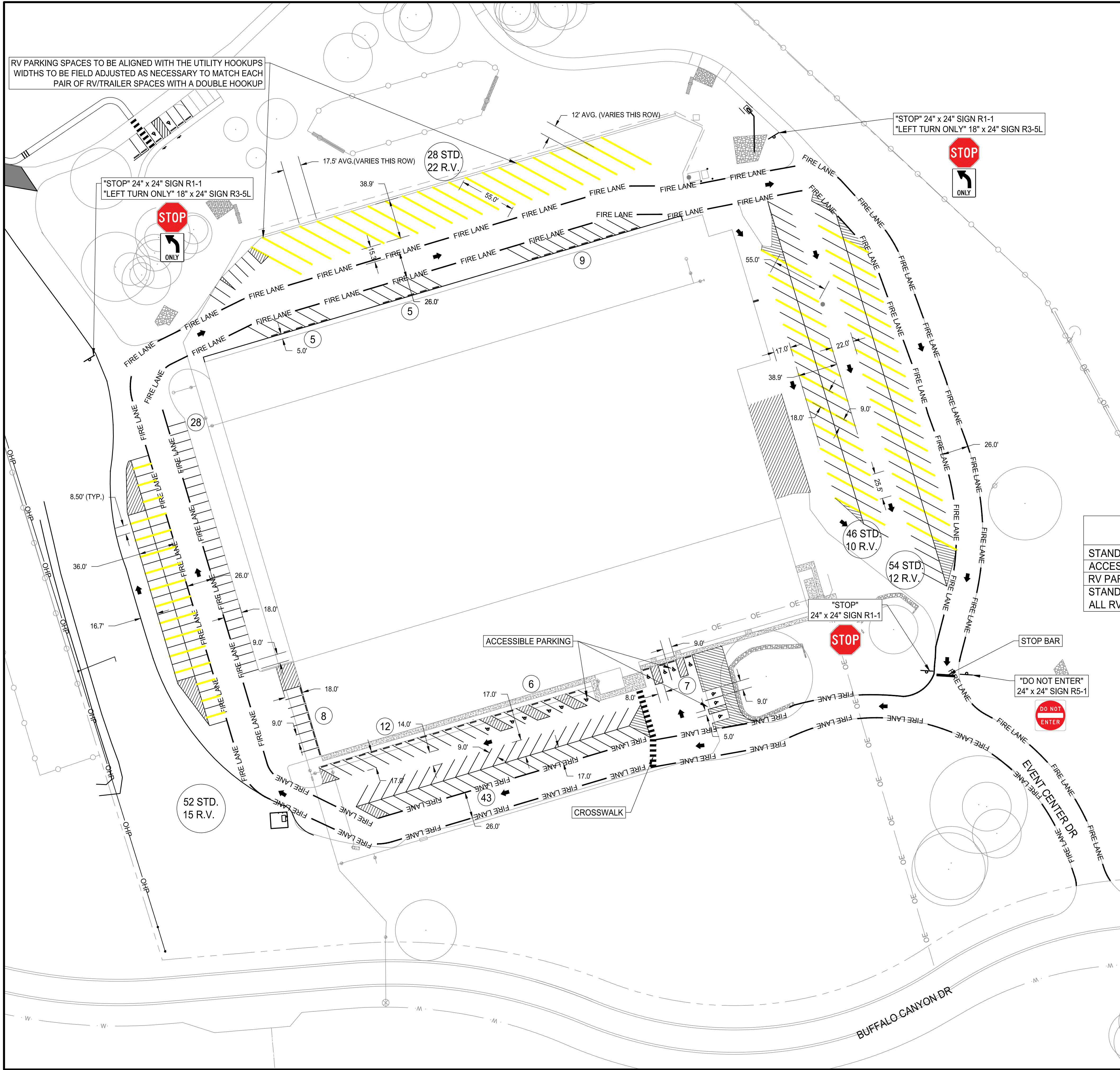


FACILITY:
DRIPPING SPRINGS RANCH PARK

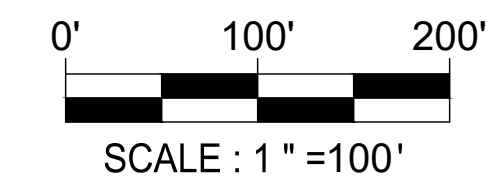
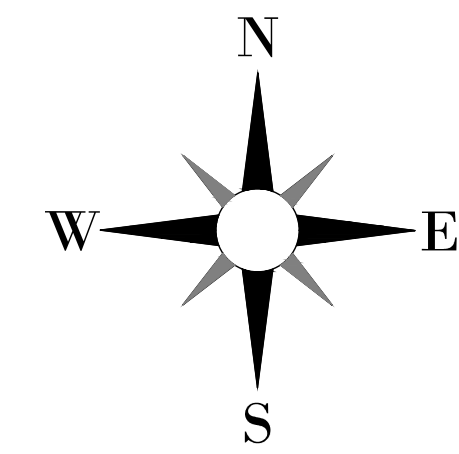
PROJECT:
RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

DESIGN: BL CHECKED: CG/RB
DATE: 02/09/2022
PROJ # PARKS-2022-01

BOX CULVERT PLAN & PROFILE
SHEET 11 OF 20



RV PARKING SPACES TO BE ALIGNED WITH THE UTILITY HOOKUPS
 WIDTHS TO BE FIELD ADJUSTED AS NECESSARY TO MATCH EACH
 PAIR OF RV/TRAILER SPACES WITH A DOUBLE HOOKUP



LEGEND

- ROW
- FIRE LANE
- FIRE LANE (NO PARKING)
- PARKING STRIPE
- RV YELLOW PARKING STRIPE
- ← TRAFFIC FLOW

	EXISTING LAYOUT	BASE BID LAYOUT	BID ALT 1	BID ALT 2	BID ALT 3	TOTAL BUILD
STANDARD PARKING	334	268	+40	-	+4	312
ACCESSIBLE PARKING	14	13	-	-	+2	15
RV PARKING	26	58	+5	+4	-	67
STANDARD PARKING WITH ALL RV PARKING FULL	286	128	-	-	+4	132

NOTE:
 CONTRACTOR TO MARK PARKING LAYOUT FOR INSPECTION BY ENGINEER PRIOR TO INSTALLATION OF PERMANENT STRIPING.

NO.	REVISION	DATE

COPYRIGHT NOTICE:
 THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
 ENGINEERING COMPANY
 T.B.P.L.S. Firm Registration # 10193770
 T.B.P.E. Firm Registration # F-9286
 9701 BRODIE LANE #203
 AUSTIN, TX 78748
 PH: 512.220.8100

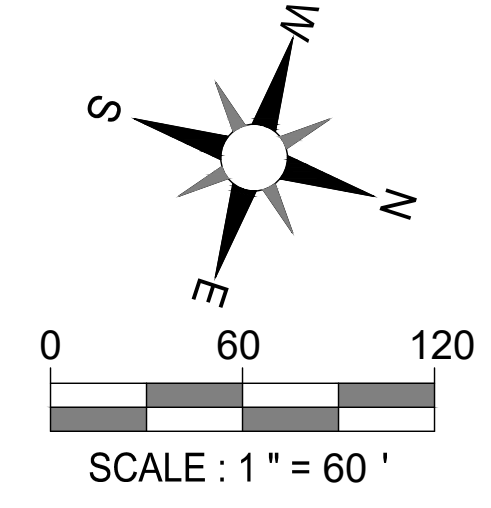
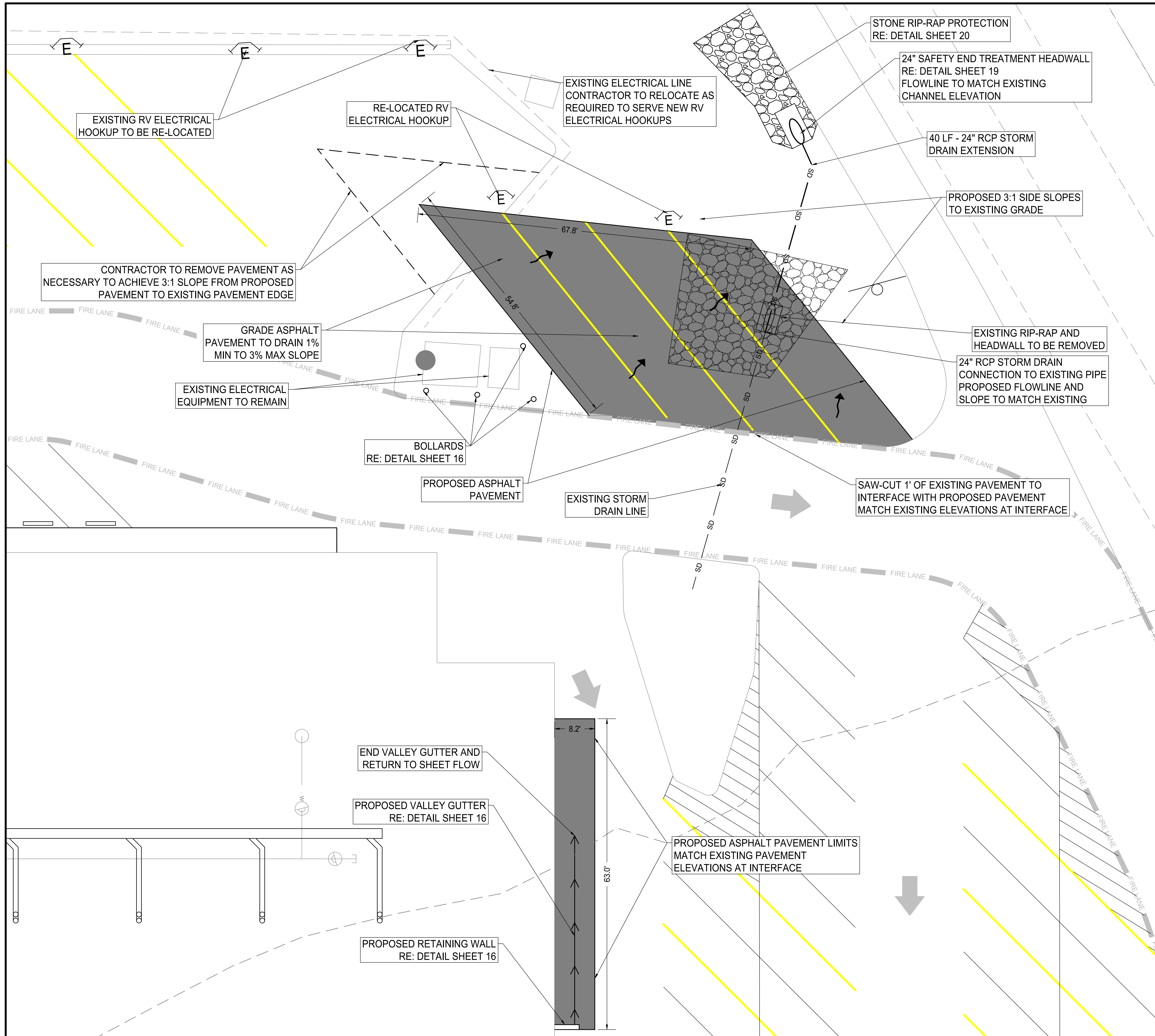
ENGINEER'S SEAL:

FACILITY:
 DRIPPING SPRINGS RANCH PARK

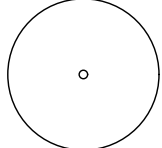
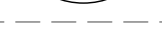



PROJECT:
 RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

DESIGN: BL CHECKED: CG/RB
 DATE: 02/09/2022
 PROJ # PARKS-2022-01

DSRP RESTRIPIING PLAN - BASE BID
 SHEET
 12 OF 20



LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING 1' CONTOUR
-  EXISTING 5' CONTOUR
-  PROPOSED ASPHALT PAVEMENT
-  DIRECTION OF FLOW

- NOTES:**
1. ALL ELECTRICAL WORK IS TO BE DONE BY A LICENSED ELECTRICIAN AND COMPLY WITH ELECTRICAL CODE CURRENTLY ADOPTED BY THE CITY.
 2. CONTRACTOR TO TIE PROPOSED PAVEMENT TO EXISTING GROUND, MAINTAIN EXISTING DRAINAGE CONTOURS & DRAINAGE PATTERNS UNLESS OTHERWISE NOTED.
 3. CONTRACTOR TO RE-VEGETATE ALL DISTURBED AREAS UPON COMPLETION OF THE WORK IN COMPLIANCE WITH THE ENVIRONMENTAL NOTES AND SPECIFICATIONS IN THESE DOCUMENTS.
 4. CONTRACTOR SHALL SAW-CUT AND/OR ADJUST EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS TRANSITION GRADE.
 5. THE ESTIMATED QUANTITIES PUBLISHED WITH THESE CONSTRUCTION DOCUMENTS ARE FURNISHED AS AN AID IN THE BIDDING PROCESS AND ARE NOT TO BE SUBSTITUTED FOR CONTRACTORS QUANTITY TAKEOFFS.
 6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY OBSTACLES THAT MAY IMPEDE OR PREVENT THE PROPER CONSTRUCTION OF THE PROJECT.


NOTE:
CONTRACTOR TO SUBMIT GRADING CUT SHEET FOR CITY ENGINEER TO CONFIRM LAYOUT AND PLAN PRIOR TO INSTALLATION OF PAVEMENT.

NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
ENGINEERING COMPANY
T.B.P.L.S. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9266
9701 BRODIE LANE #203
AUSTIN, TX 78748
PH: 512.220.8100

ENGINEER'S SEAL:



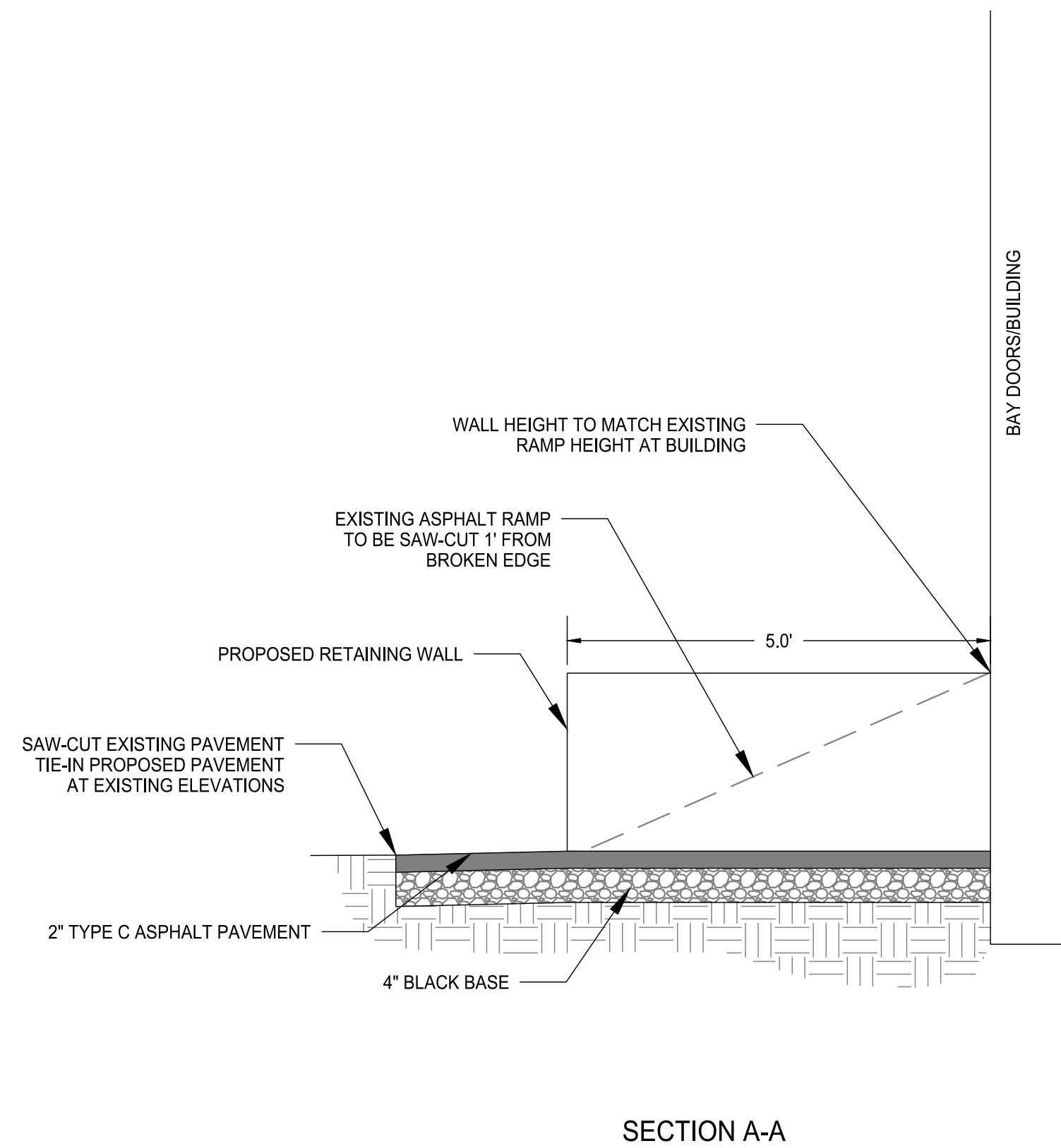
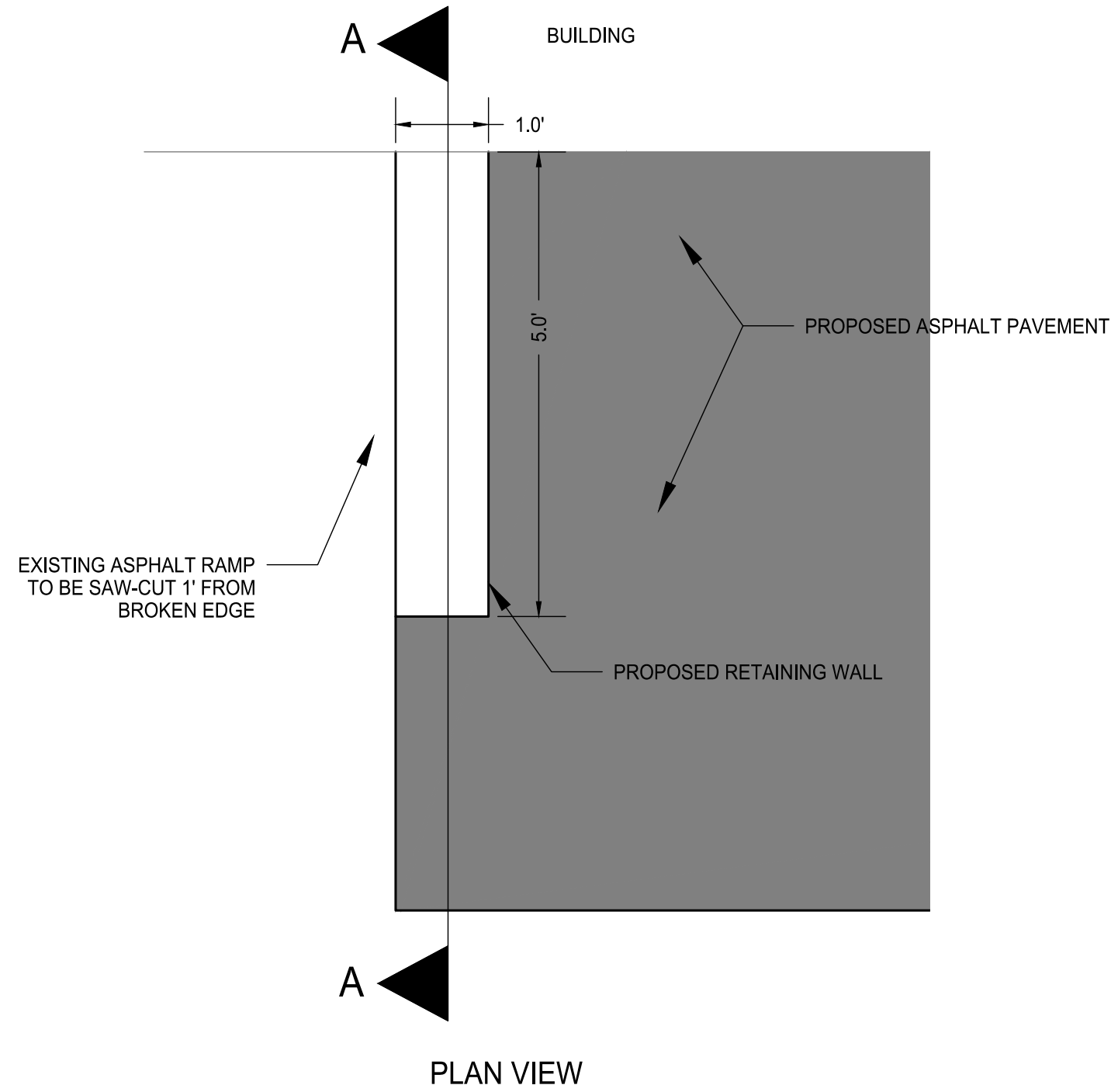
FACILITY:
DRIPPING SPRINGS RANCH PARK

PROJECT:
RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

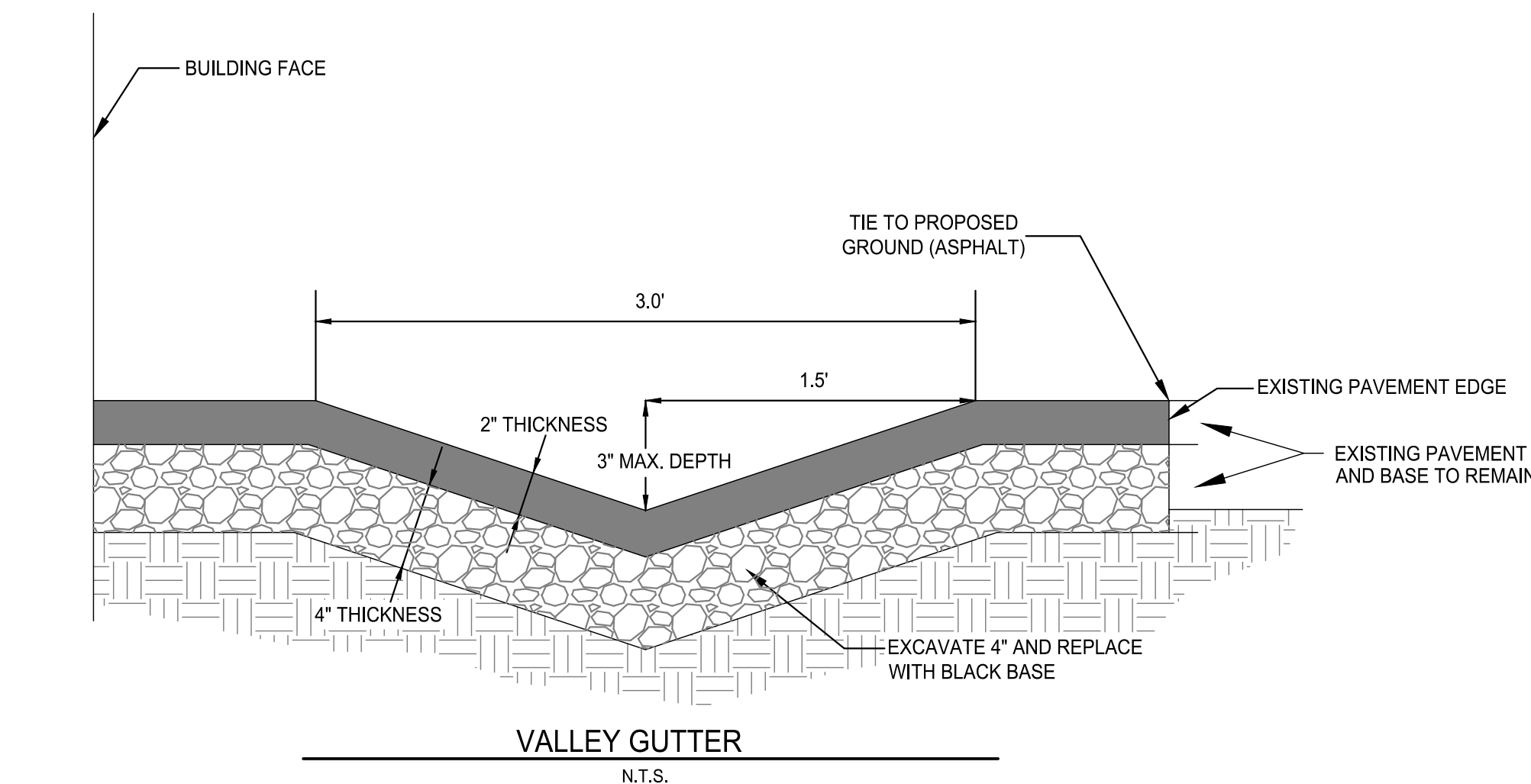
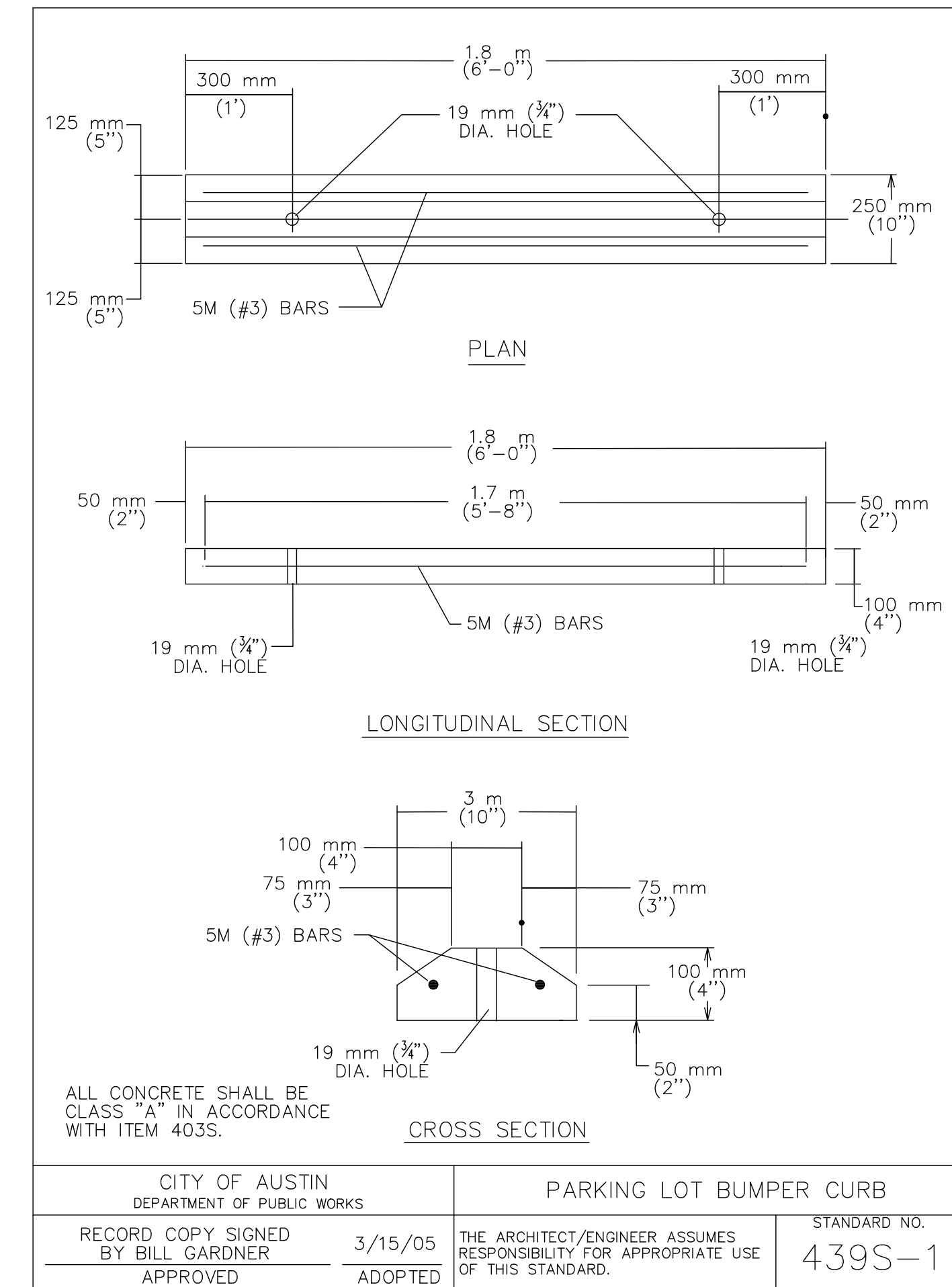


DESIGN: BL CHECKED: CG/RB
DATE: 02/09/2022
PROJ # PARKS-2022-01

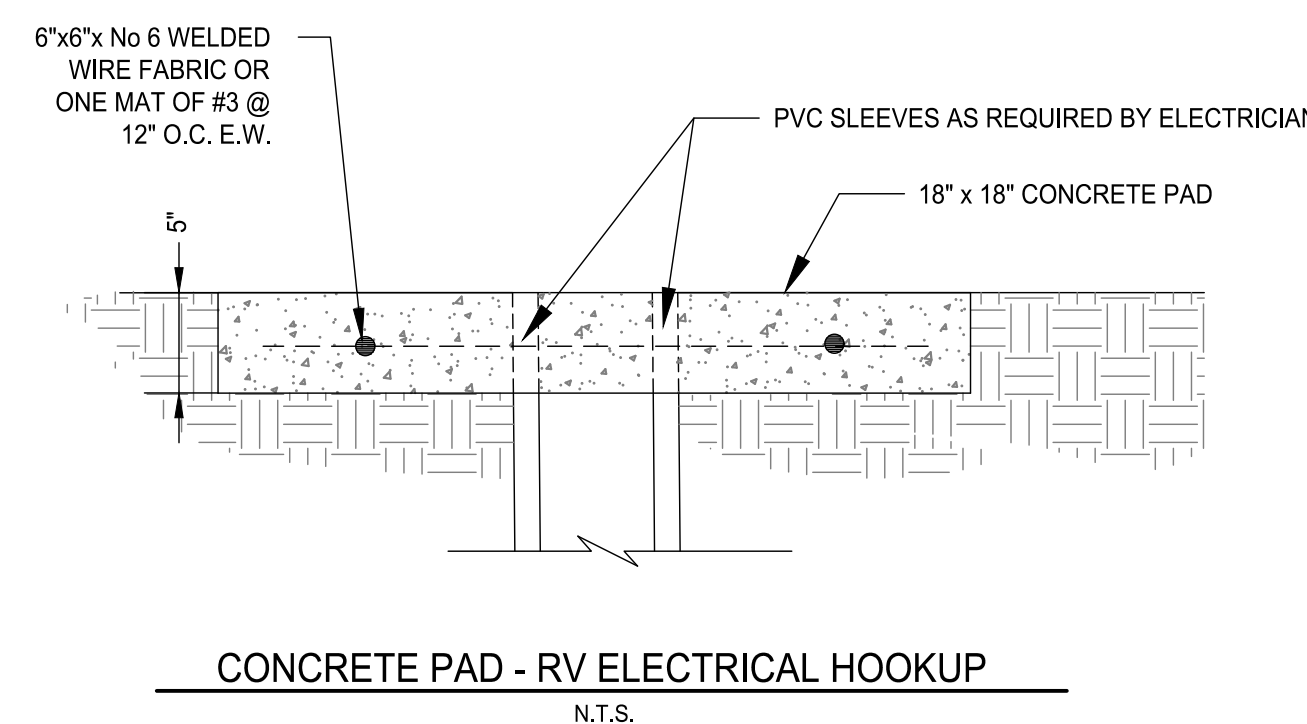
BID ALT 2 - NORTH RV PARKING PLAN
SHEET
14 OF 20



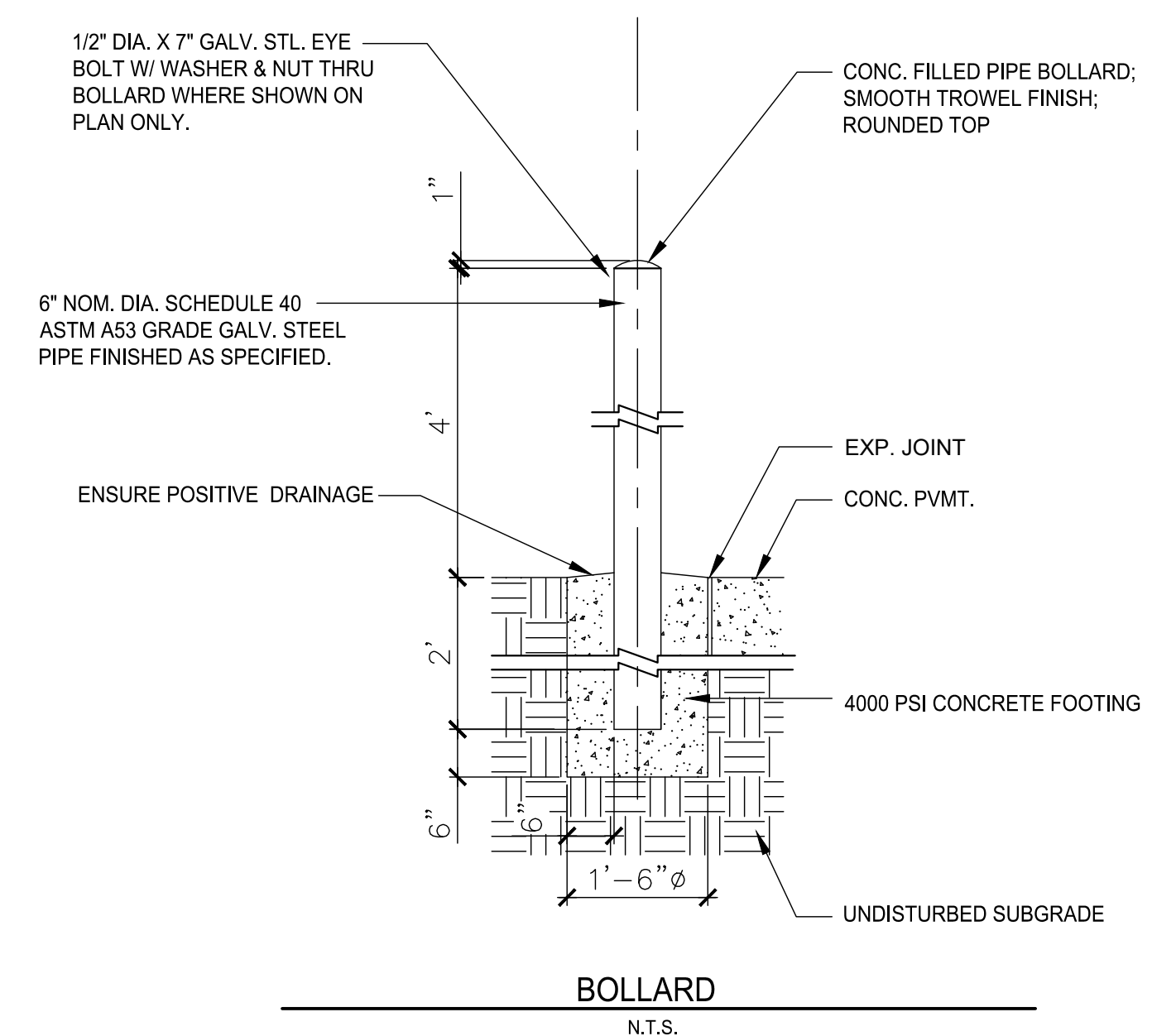
RETAINING WALL
N.T.S.



VALLEY GUTTER
N.T.S.



CONCRETE PAD - RV ELECTRICAL HOOKUP
N.T.S.



BOLLARD
N.T.S.

NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
ENGINEERING COMPANY

T.B.P.L.S. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9286
9701 BRODIE LANE #203
AUSTIN, TX 78748
PH: 512.220.8100

ENGINEER'S SEAL:

CHAD GILPIN
91800
LICENSED PROFESSIONAL ENGINEER
2/9/2022

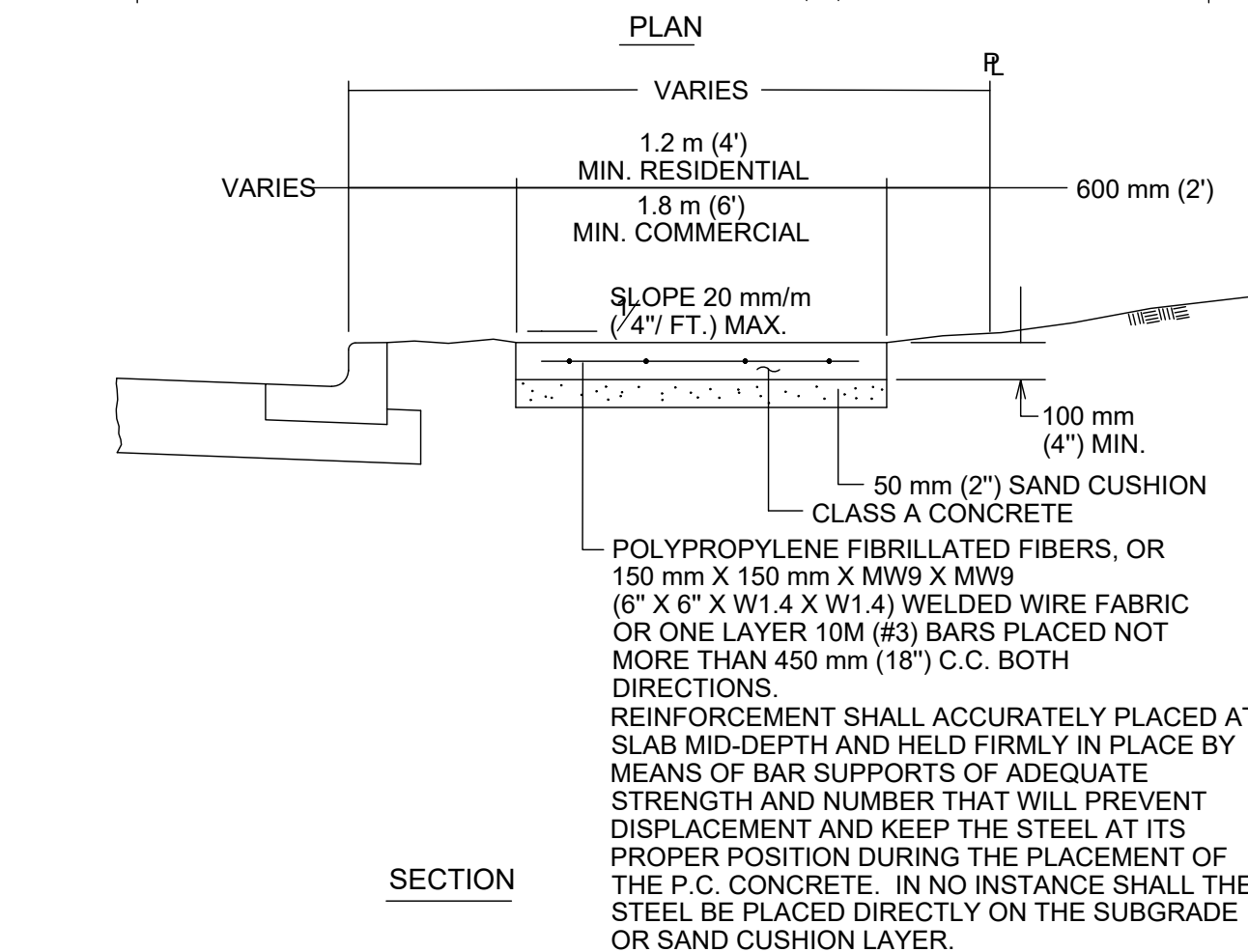
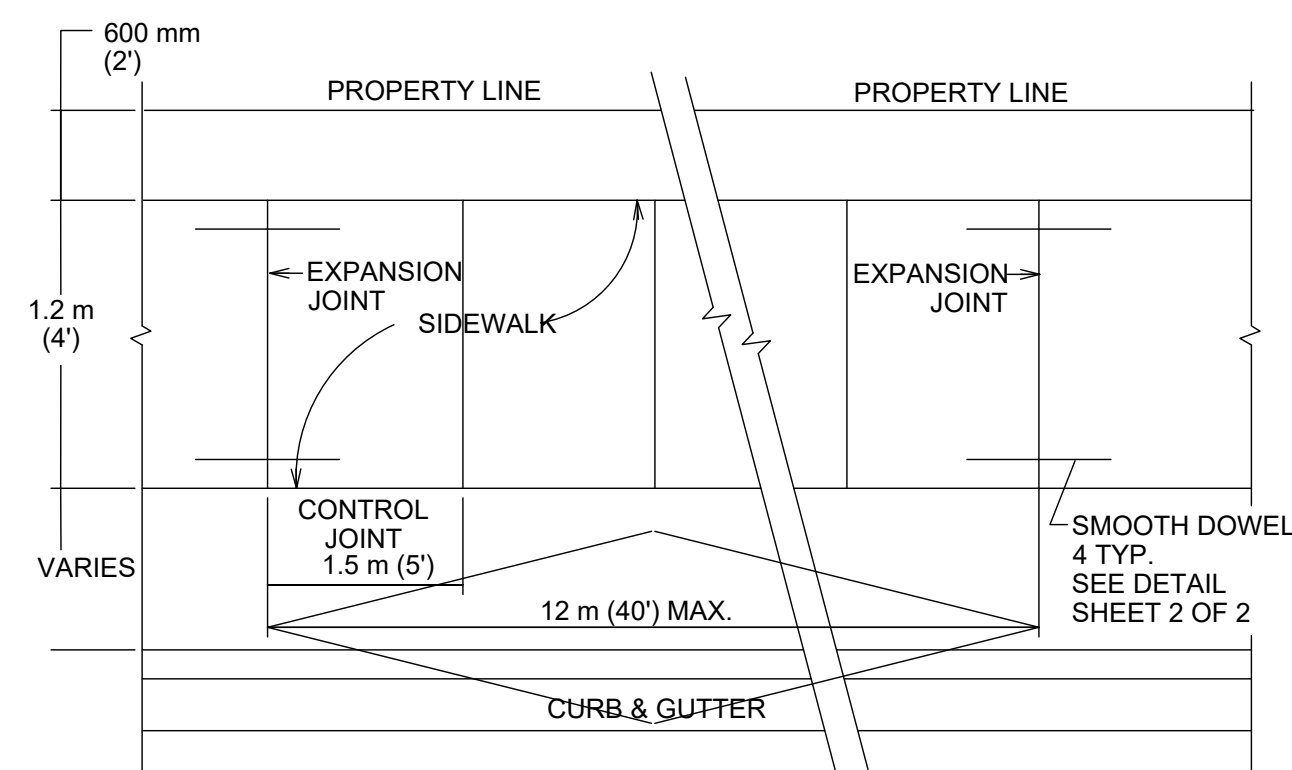
FACILITY:
DRIPPING SPRINGS RANCH PARK

PROJECT:
RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

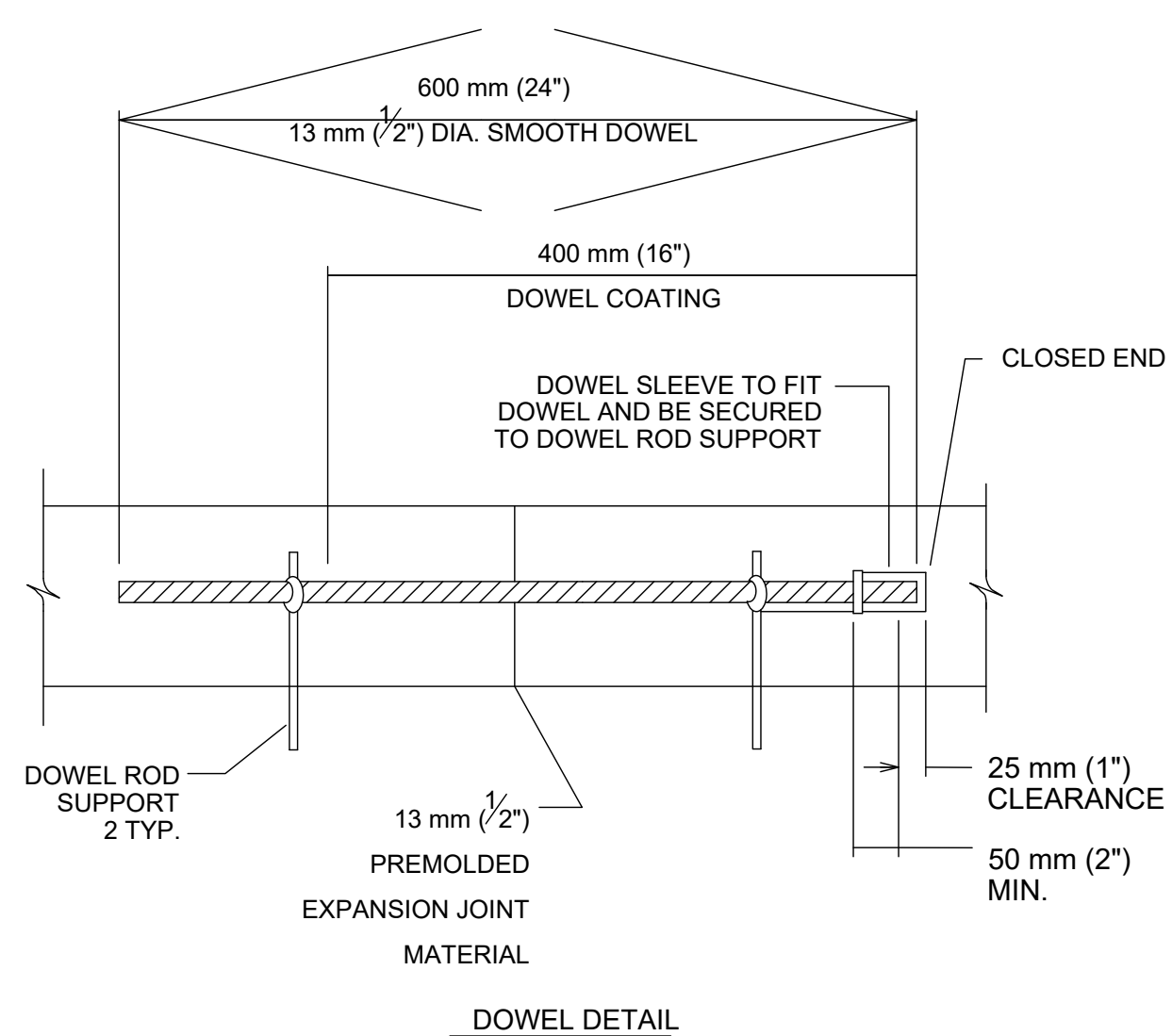
DRIPPING SPRINGS
Texas
Open spaces, friendly faces.

DESIGN: BL CHECKED: CG/RB
DATE: 02/09/2022
PROJ # PARKS-2022-01

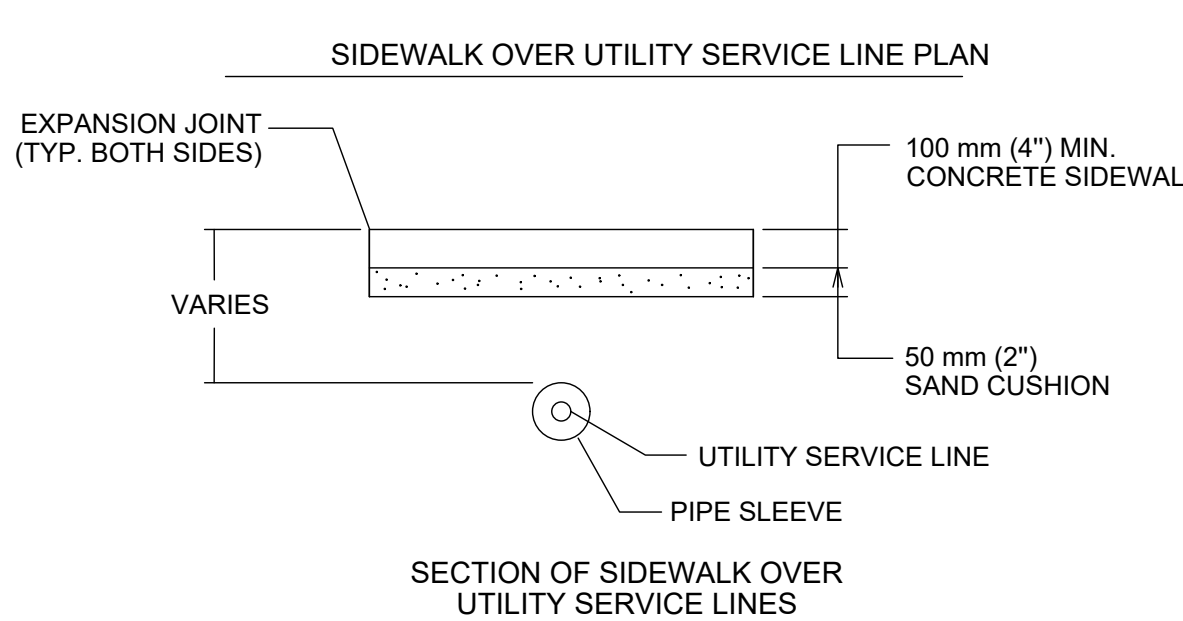
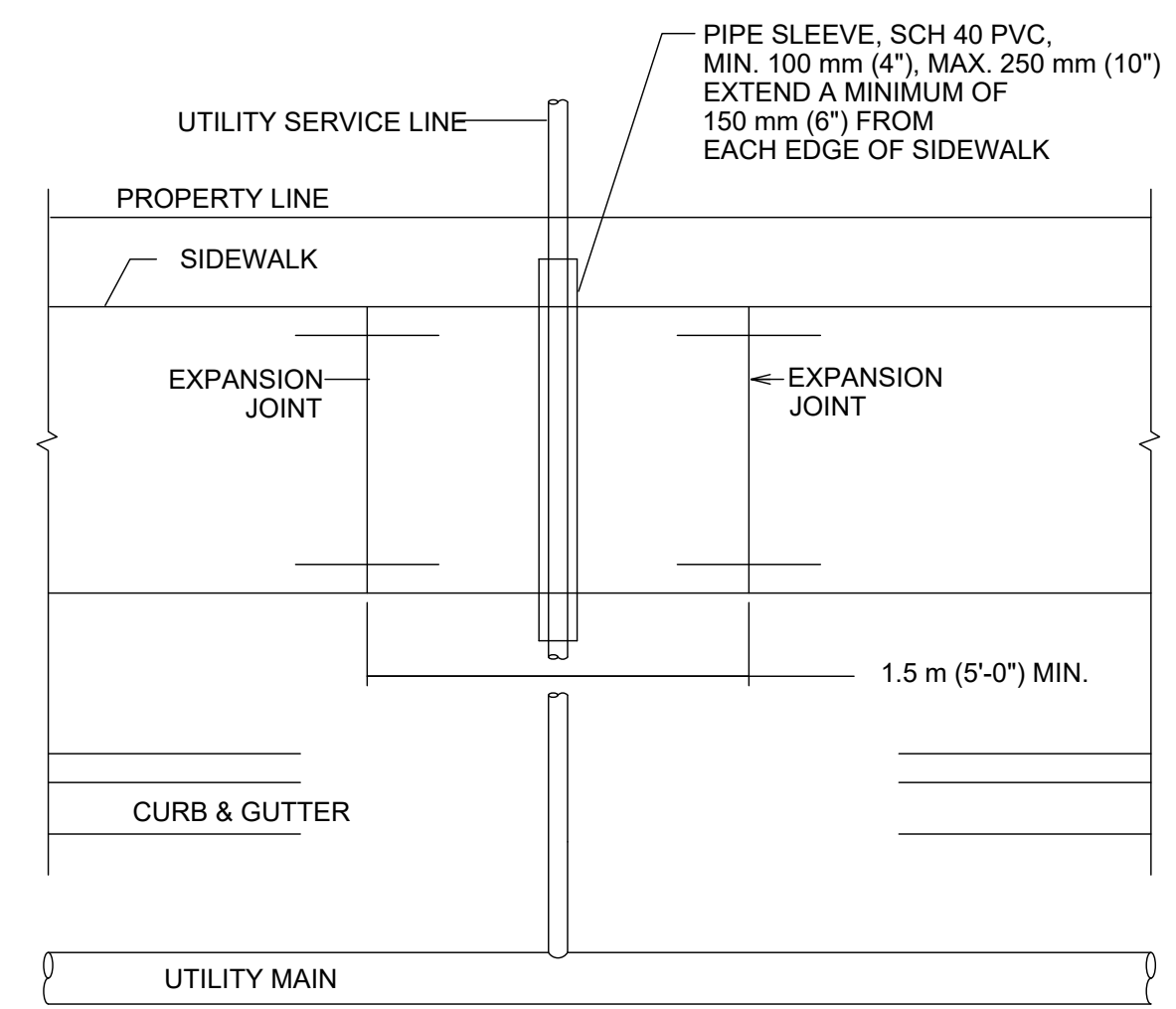
SITE DETAILS
SHEET
16 OF 20



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	SIDEWALK	STANDARD NO. 432S-1 1 OF 3
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

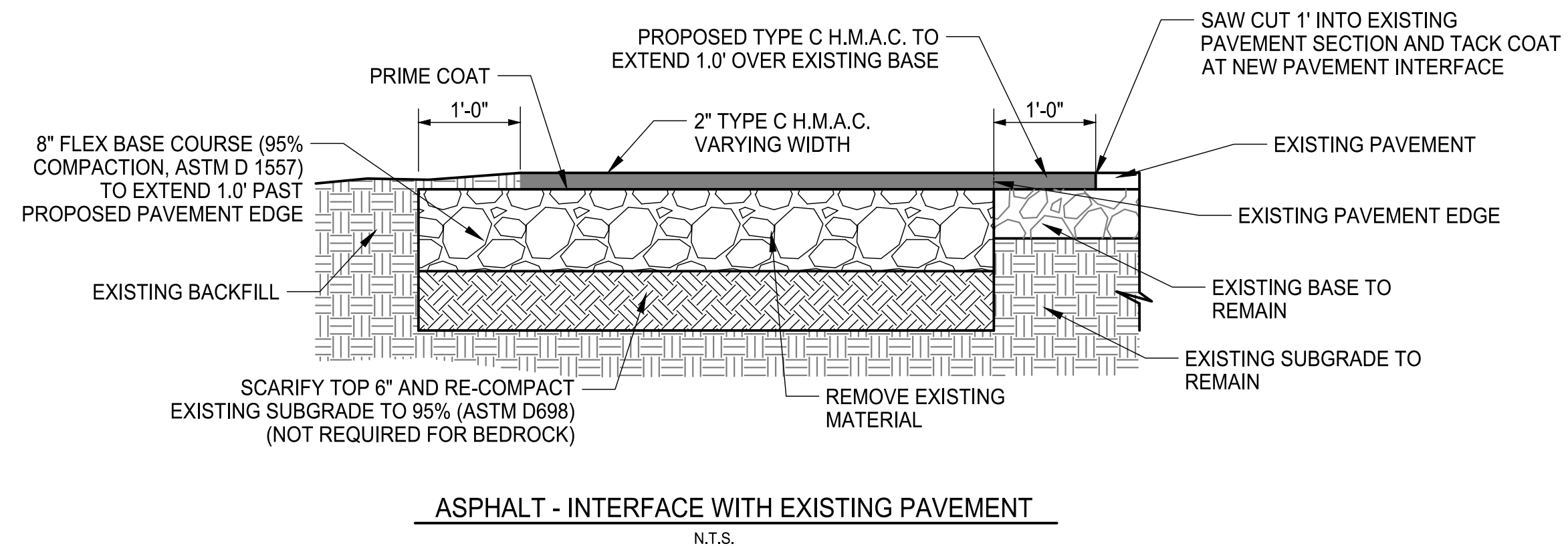
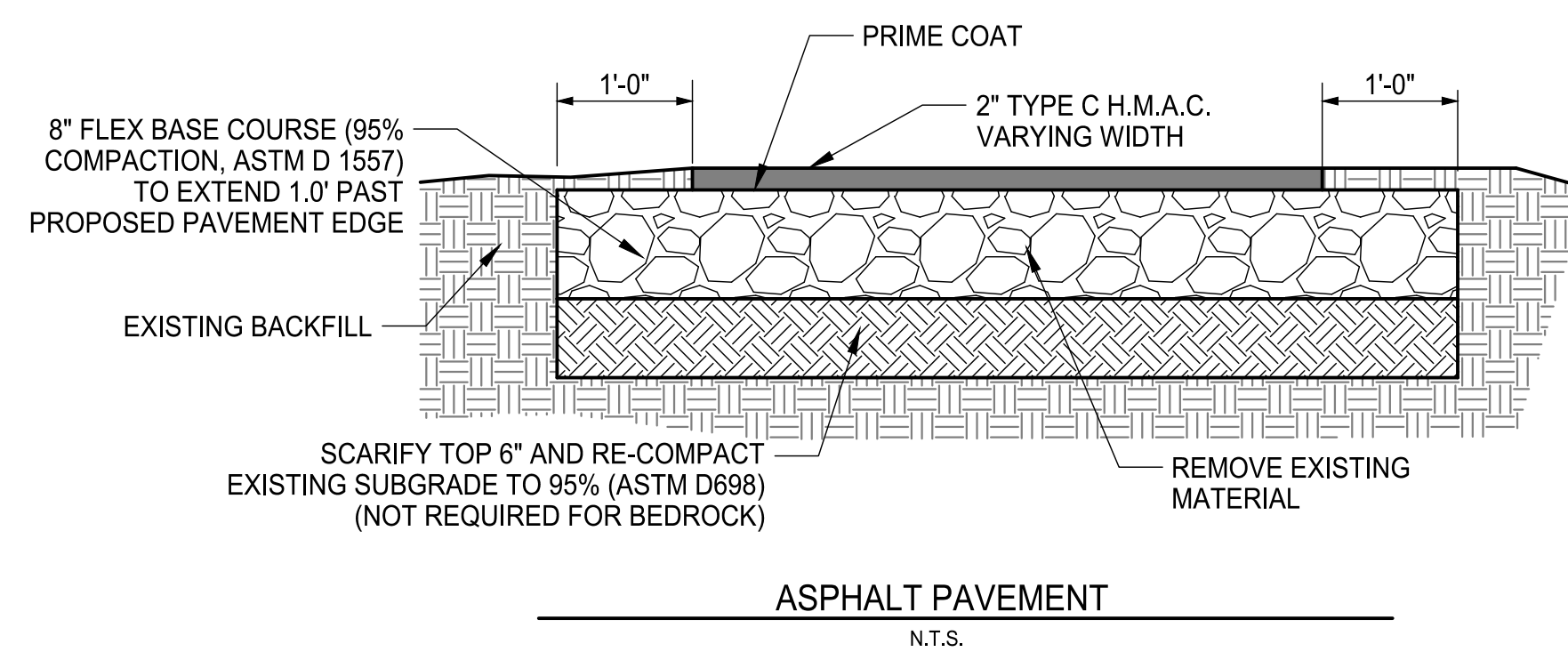
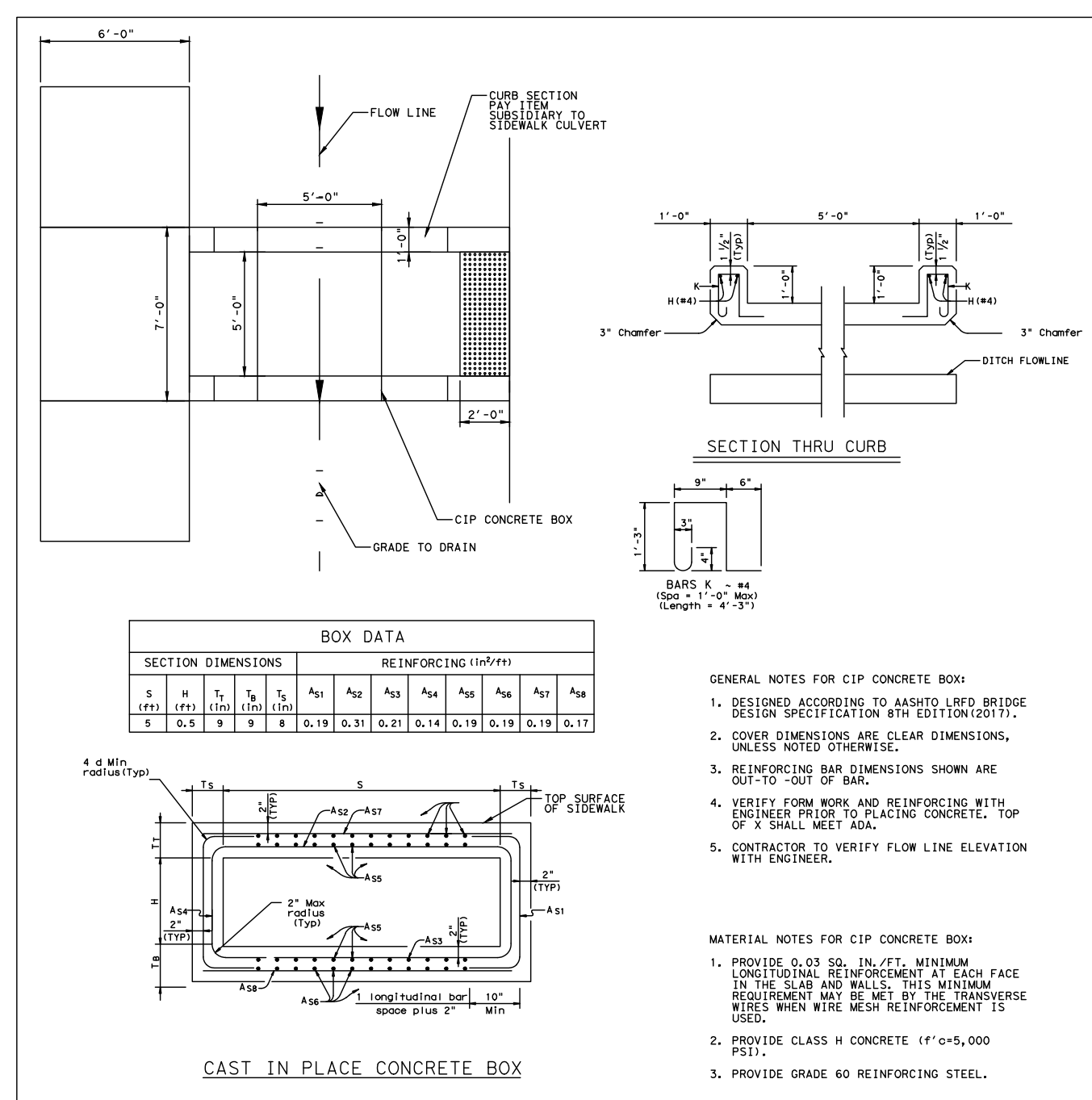


CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	SIDEWALK	STANDARD NO. 432S-1 2 OF 3
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



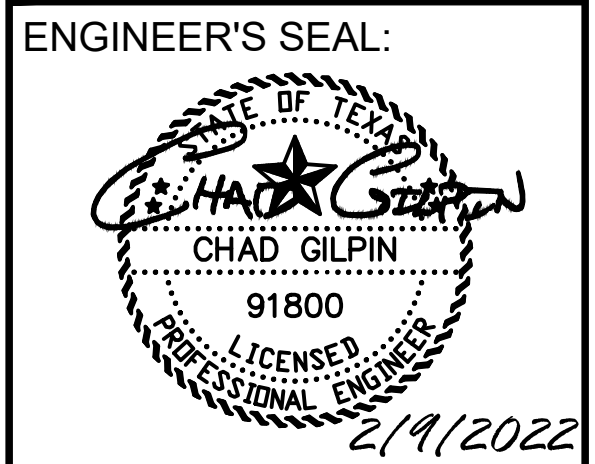
NOTES:
1. THIS STANDARD APPLIES TO THE INSTALLATION OF NEW UTILITIES OR UTILITIES BEING REPLACED BY A NEW LINE.
2. NO JOINTS IN UTILITY SERVICE PIPE TO BE LOCATED INSIDE PVC PIPE SLEEVE.

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	SIDEWALK	STANDARD NO. 432S-1 3 OF 3
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS AMENDED. UNAUTHORIZED USE OF THESE PLANS OR THE DESIGNS REPRESENTED THEREIN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.



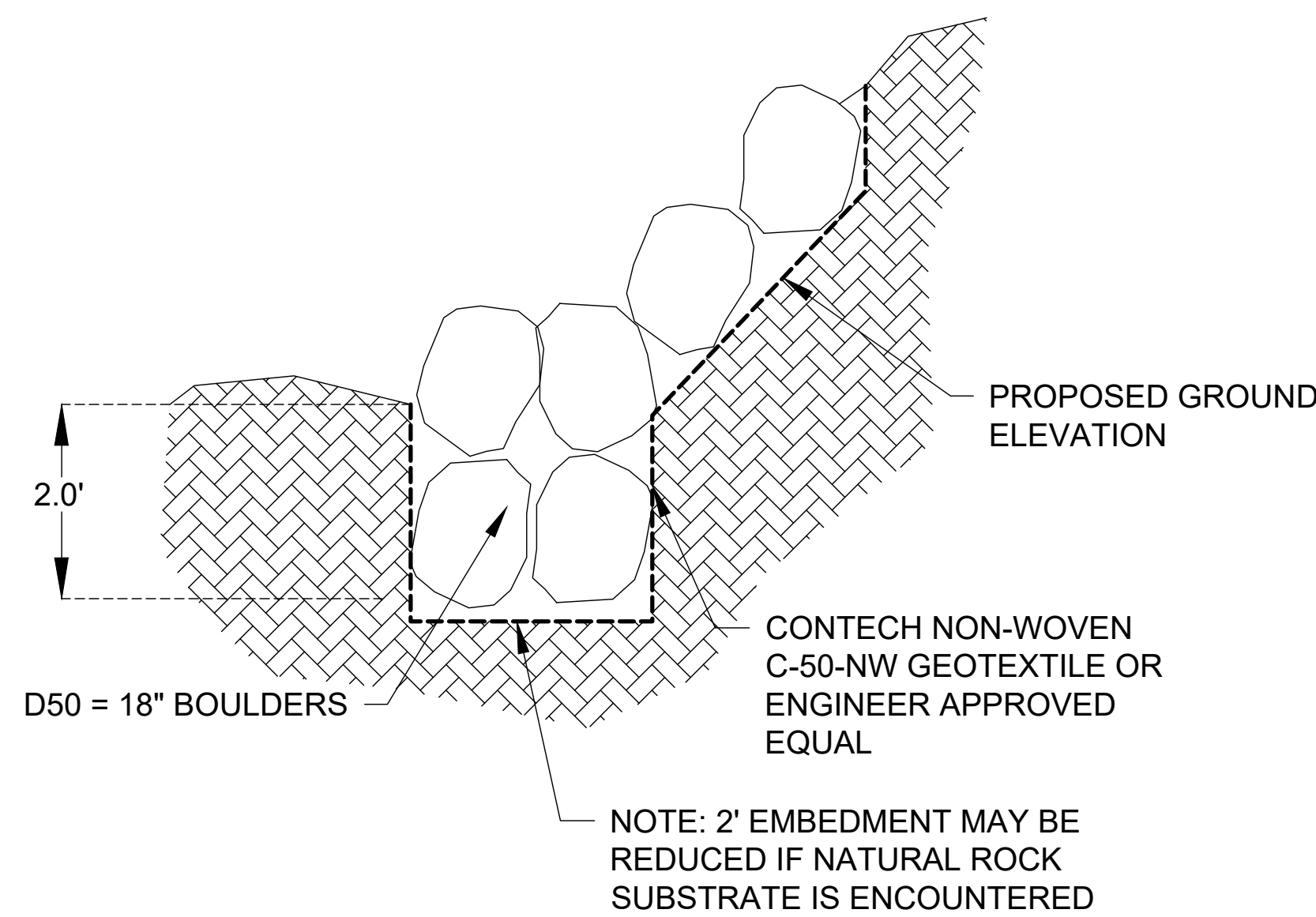
FACILITY:
DRIPPING SPRINGS RANCH PARK

PROJECT:
RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

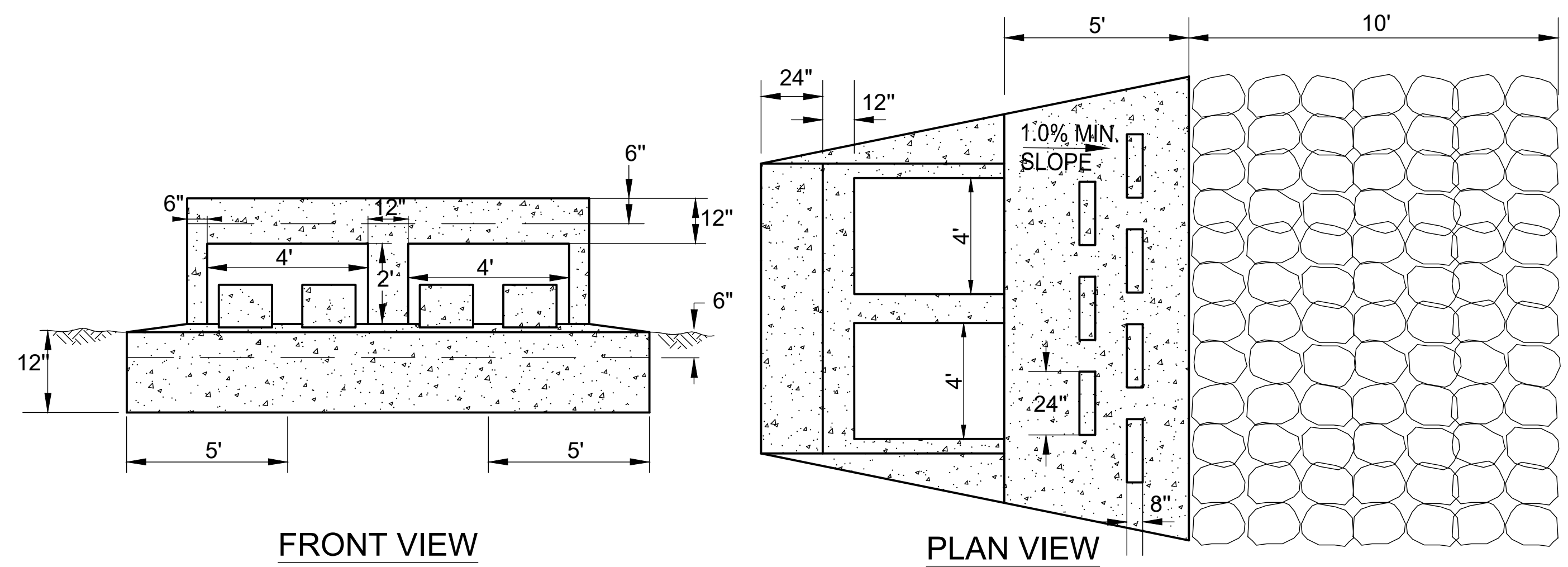


DESIGN: BL CHECKED: CG/RB
DATE: 02/09/2022
PROJ # PARKS-2022-01

PAVING DETAILS
SHEET
17 OF 20

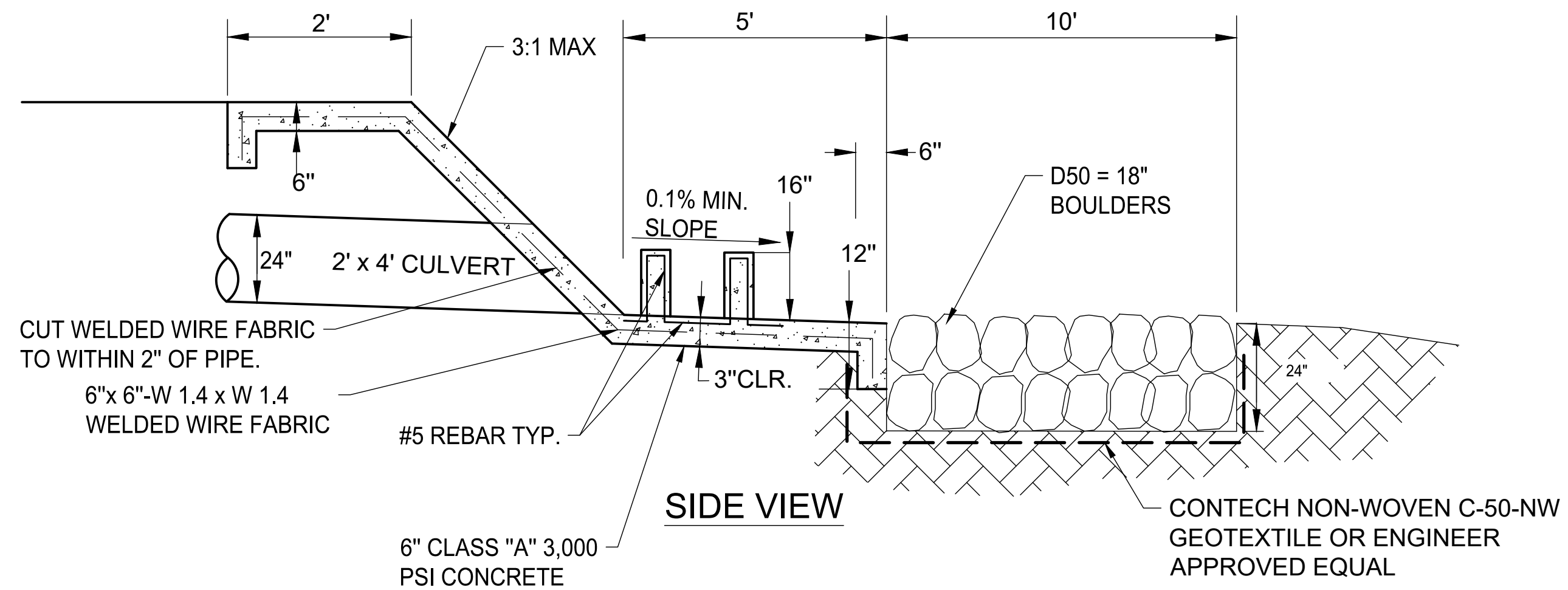


RIP-RAP STONE PROTECTION
N.T.S.

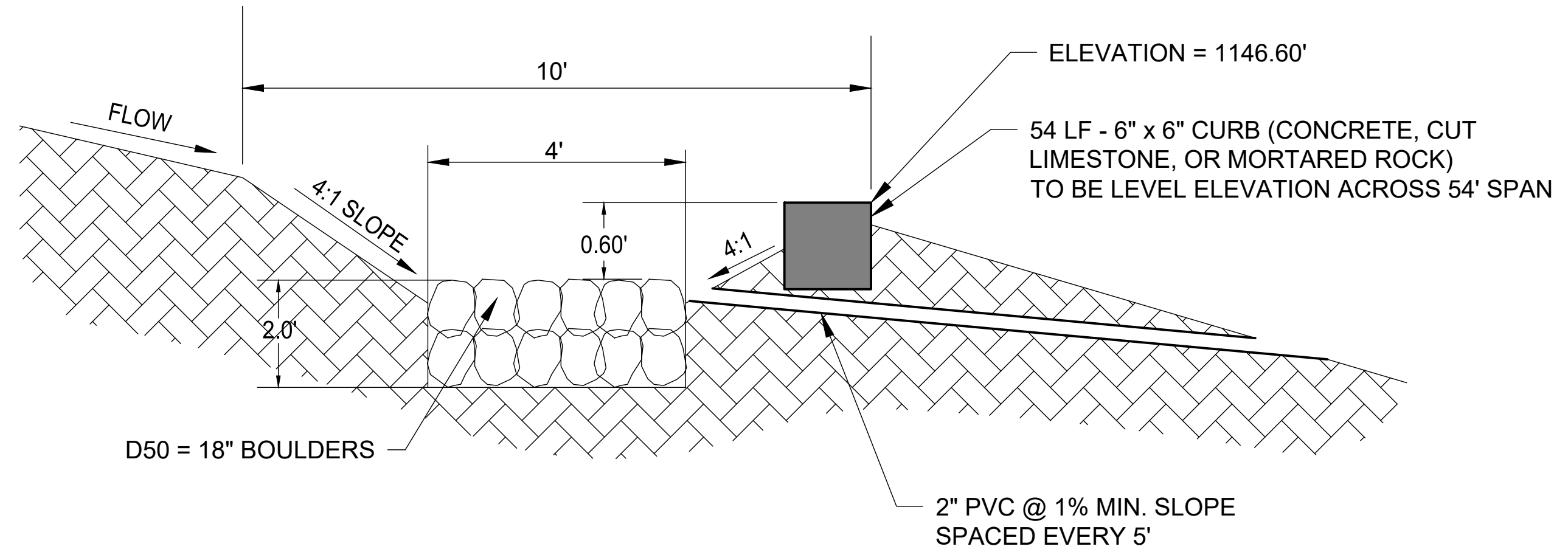


FRONT VIEW

PLAN VIEW



HEADWALL WITH CONCRETE DISSIPATERS
N.T.S.



LEVEL SPREADER
N.T.S.

NO.	REVISION	DATE

COPYRIGHT NOTICE:
THE DESIGNS REPRESENTED BY THESE PLANS ARE
COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT
PROTECTION UNDER 17 U.S.C. §101, ET SEQ., AS
AMENDED. UNAUTHORIZED USE OF THESE PLANS
OR THE DESIGNS REPRESENTED THEREIN WILL
SUBJECT THE INFRINGER TO DAMAGES AND/OR
JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

GILPIN
ENGINEERING COMPANY

T.B.P.L.S. Firm Registration # 10193770
T.B.P.E. Firm Registration # F-9286
9701 BRODIE LANE #203
AUSTIN, TX 78748
PH: 512.220.8100

ENGINEER'S SEAL:

FACILITY:
DRIPPING SPRINGS RANCH PARK

PROJECT:
RANCH HOUSE ROAD PHASE 1 & DSRP RE-STRIPING PROJECT

DRIPPING SPRINGS
Texas
Open spaces. friendly faces.

DESIGN: BL CHECKED: CG/RB
DATE: 02/09/2022
PROJ # PARKS-2022-01

DRAINAGE DETAILS
(3 OF 3)
SHEET
20 OF 20