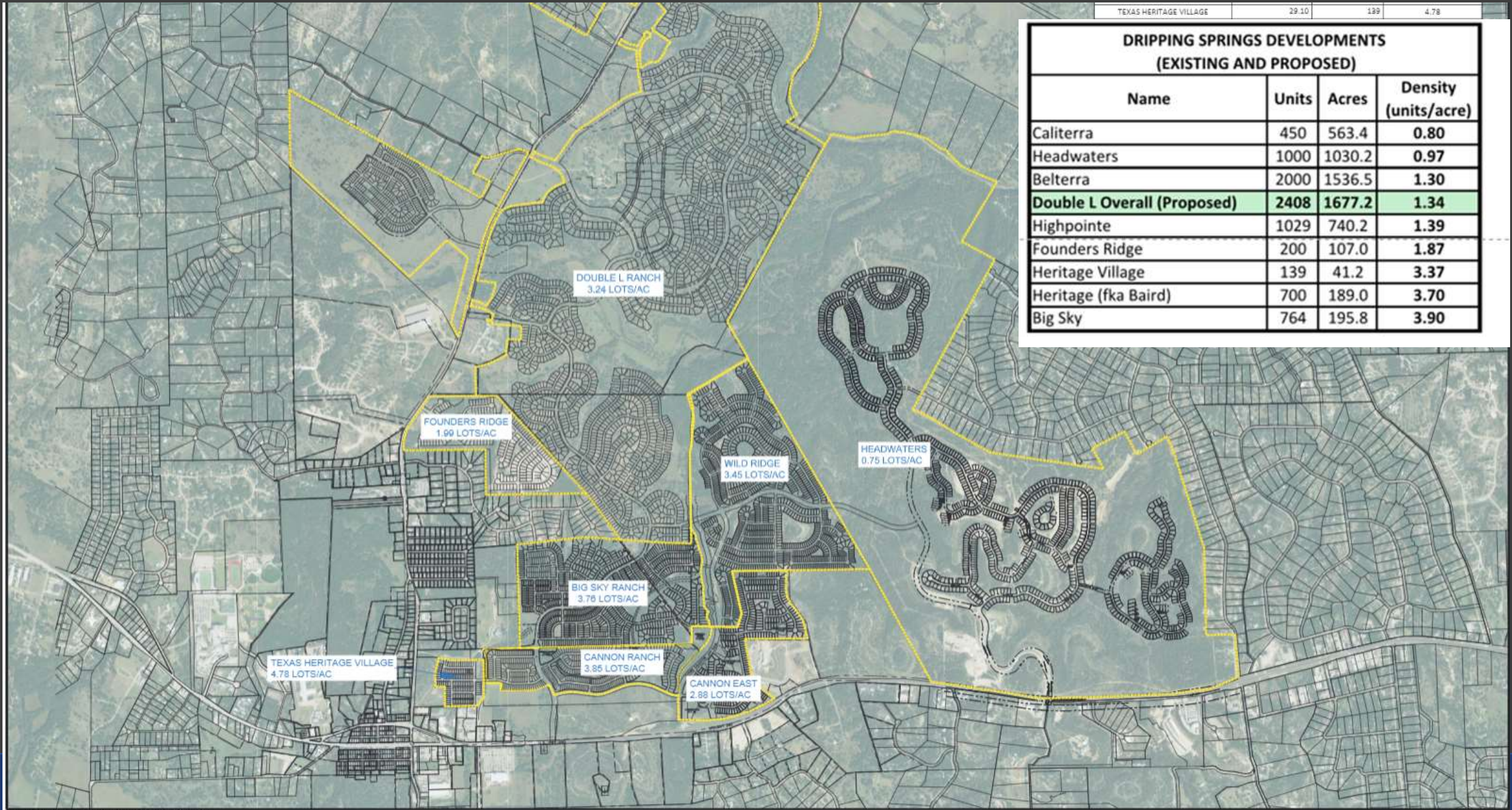


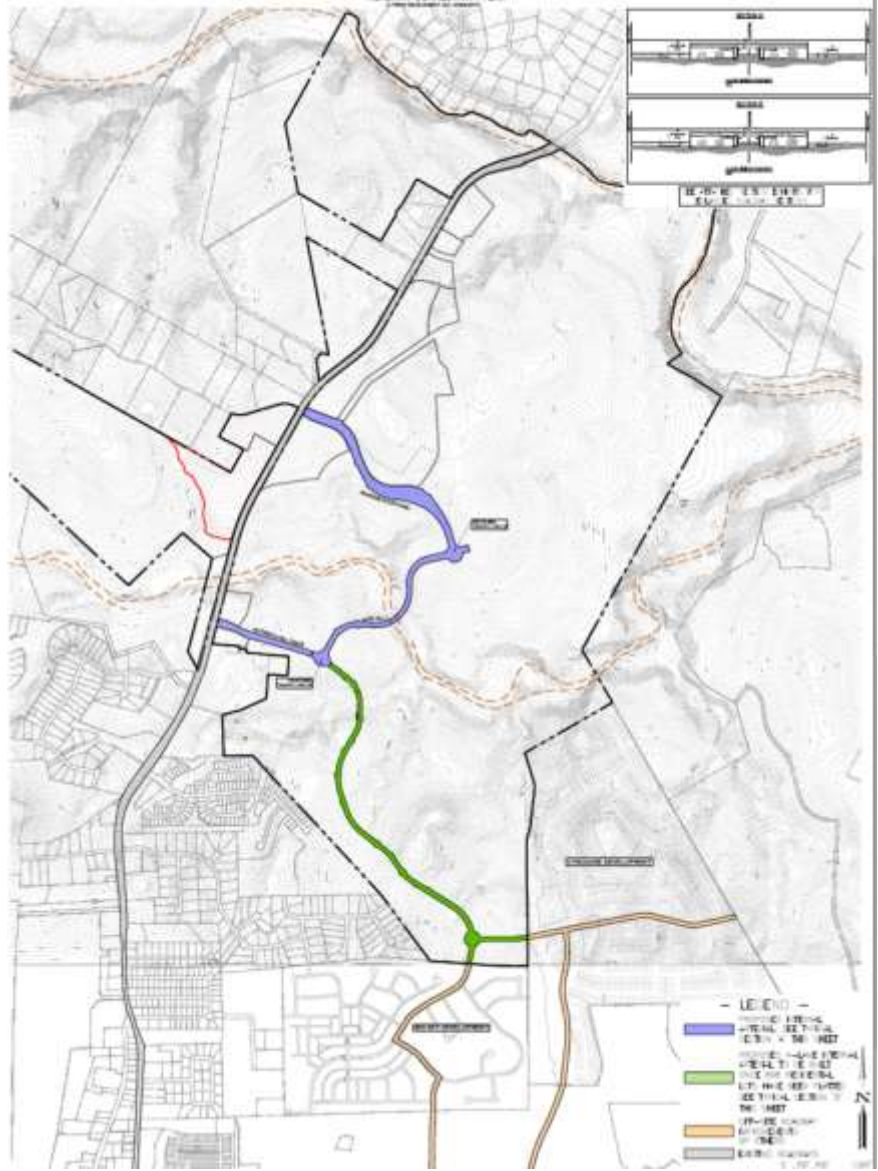


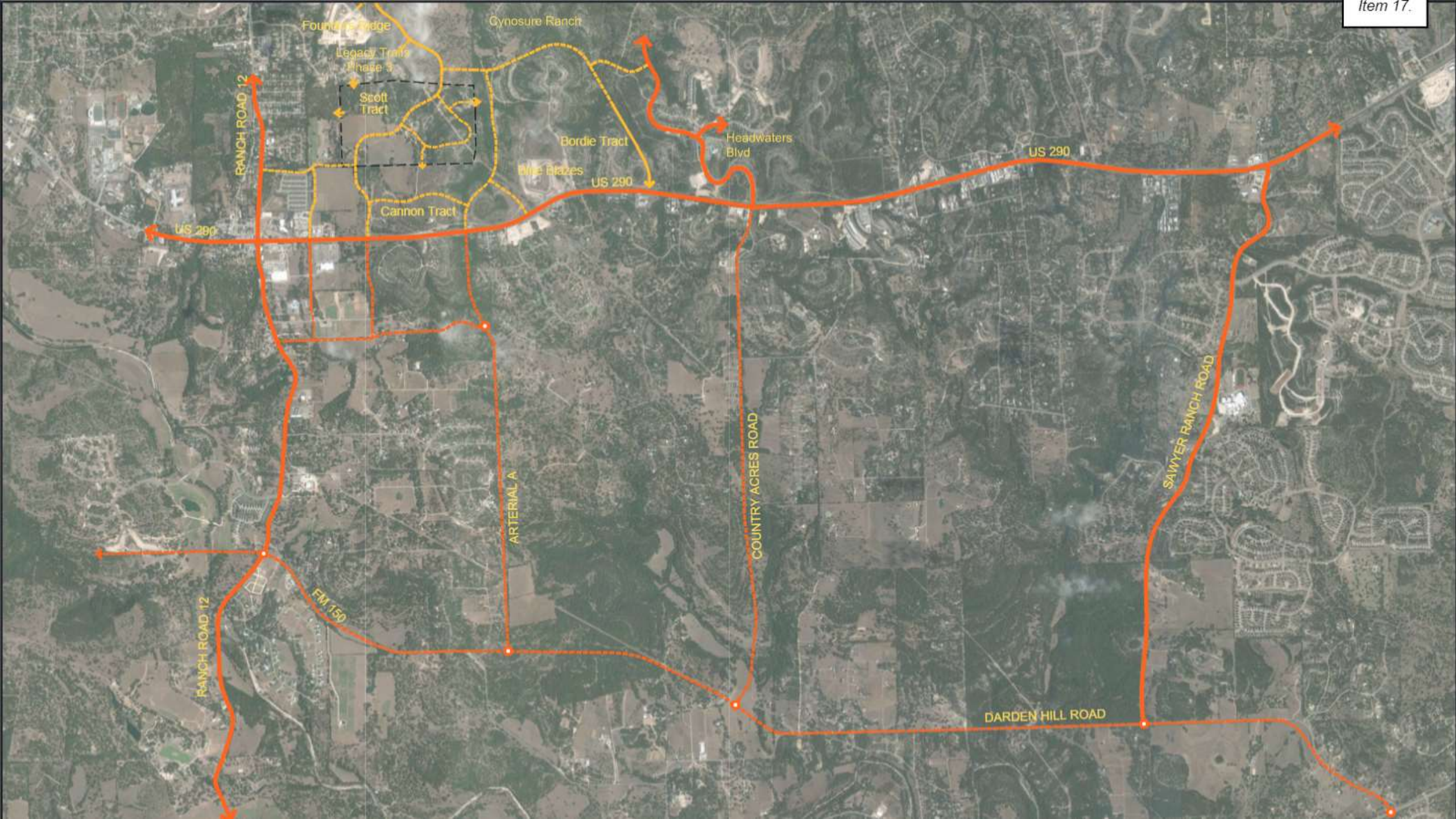
Current DAWG Projects:
Cannon-Ashton Woods PDD
Wild Ridge/Cynosure PDD
Anarene Amended DA

Laura Mueller, City Attorney



| DRIPPING SPRINGS DEVELOPMENTS (EXISTING AND PROPOSED) | | | |
|--|-------------|---------------|-------------------------|
| Name | Units | Acres | Density (units/acre) |
| Caliterra | 450 | 563.4 | 0.80 |
| Headwaters | 1000 | 1030.2 | 0.97 |
| Belterra | 2000 | 1536.5 | 1.30 |
| Double L Overall (Proposed) | 2408 | 1677.2 | 1.34 |
| Highpoint | 1029 | 740.2 | 1.39 |
| Founders Ridge | 200 | 107.0 | 1.87 |
| Heritage Village | 139 | 41.2 | 3.37 |
| Heritage (fka Baird) | 700 | 189.0 | 3.70 |
| Big Sky | 764 | 195.8 | 3.90 |





Founders Ridge

Cynosure Ranch

Legacy Trails
Phase 3

Scott
Tract

Bordie Tract

Headwaters
Blyd

US 290

Blue Blazes

US 290

RANCH ROAD 12

US 290

Cannon Tract

ARTERIAL A

COUNTRY ACRES ROAD

SAWYER RANCH ROAD

RANCH ROAD 12

FM 150

DARDEN HILL ROAD

Cannon – Ashton Woods

- 97 acres
- 375 residences
- 40, 45, and 60 foot lots
- Offsite Road Agreement
- Open issues:
 - Shared use path for East/West Road
 - Finalizing lot width and setbacks for corner lots

SECONDARY ACCESS TO ADJOINING RESIDENTIAL DEVELOPMENT

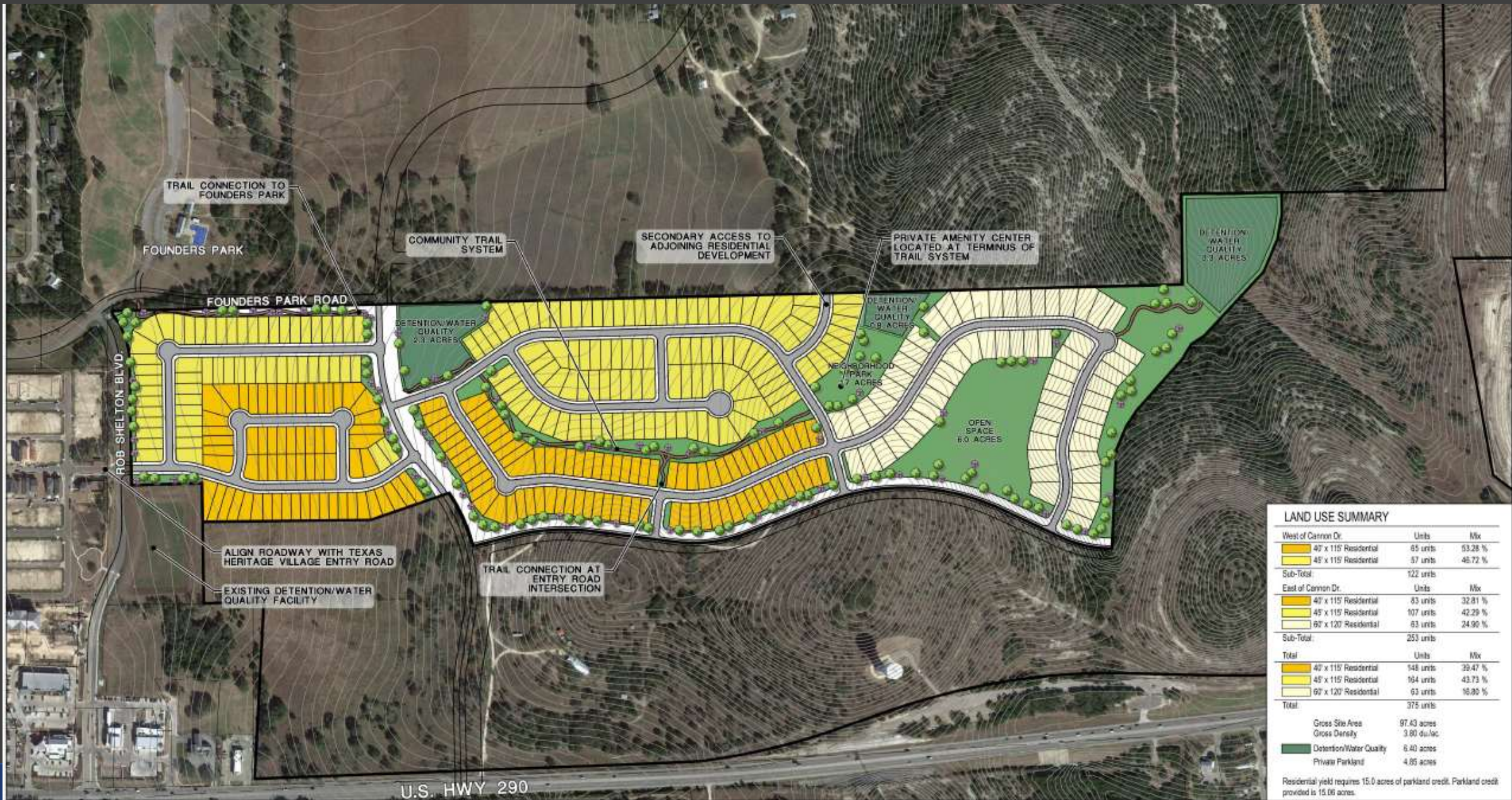
PRIVATE AMENITY CENTER LOCATED AT TERMINUS OF TRAIL SYSTEM

WATER TREATMENT PLANT

LAND USE SUMMARY

| Area | Units |
|-------------------------|------------------|
| West of Cannon Dr | Units |
| 40' x 120' Residential | 81 units |
| 45' x 120' Residential | 87 units |
| Sub Total | 168 units |
| East of Cannon Dr | Units |
| 40' x 120' Residential | 81 units |
| 45' x 120' Residential | 91 units |
| 40' x 120' Residential | 81 units |
| Sub Total | 253 units |
| Total | 421 units |
| Open Site Area | 97.45 acres |
| Open Density | 3.00 units/acre |
| Developer/Owner Density | 8.40 units/acre |
| Urban Potential | 4.00 units/acre |

Residential plot requires 10-15 acres of parking (with 1 acre to 15-20 acres)







LAND USE SUMMARY

| West of Cannon Dr. | Units | Mix |
|-------------------------|------------------|---------|
| 40' x 115' Residential | 65 units | 53.28 % |
| 45' x 115' Residential | 57 units | 46.72 % |
| Sub-Total | 122 units | |
| East of Cannon Dr. | Units | Mix |
| 40' x 115' Residential | 63 units | 32.81 % |
| 45' x 115' Residential | 107 units | 42.29 % |
| 60' x 120' Residential | 63 units | 24.90 % |
| Sub-Total | 253 units | |
| Total | Units | Mix |
| 40' x 115' Residential | 148 units | 39.47 % |
| 45' x 115' Residential | 164 units | 43.73 % |
| 60' x 120' Residential | 63 units | 16.80 % |
| Total | 375 units | |
| Gross Site Area | 97.43 acres | |
| Gross Density | 3.80 du/ac | |
| Detention/Water Quality | 6.40 acres | |
| Private Parkland | 4.85 acres | |

Residential yield requires 15.0 acres of parkland credit. Parkland credit provided is 15.06 acres.



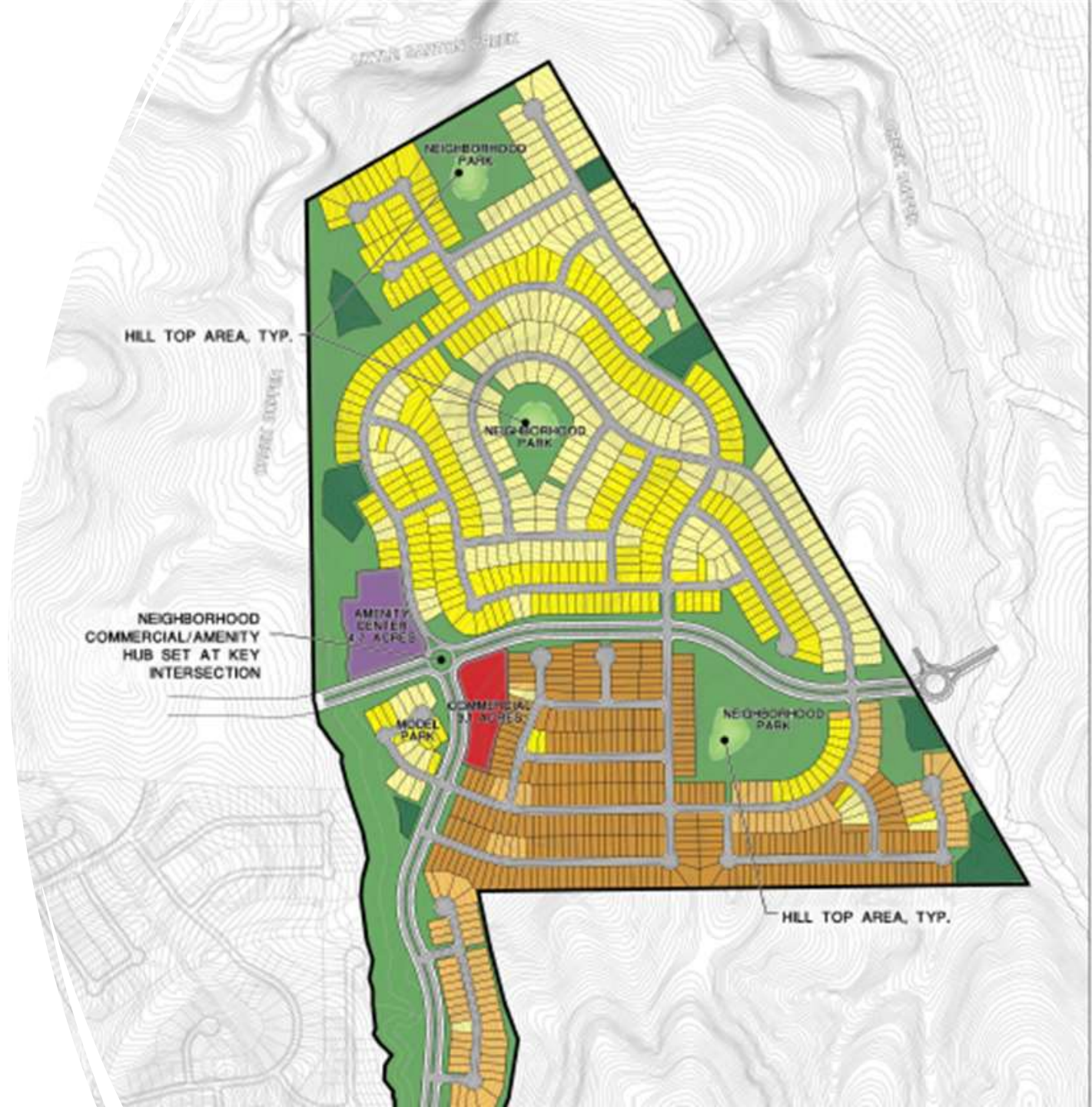


| | Proposed Road Width | Existing Road Width | Proposed ROW | Existing ROW | Proposed LF |
|---|---------------------|---------------------|--------------|--------------|-------------|
|  N/S Onsite Cannon Roadway (North of E/W) | 48' | - | 114' | - | 1030 |
|  N/S Offsite Cannon Roadway (South of E/W) | 48' | - | 114' | - | 1121 |
|  E/W Collector | 24' | - | 90' | - | 2812 |
|  Rob Shelton | 44' | 22' | 60' | 60' | 1085 |

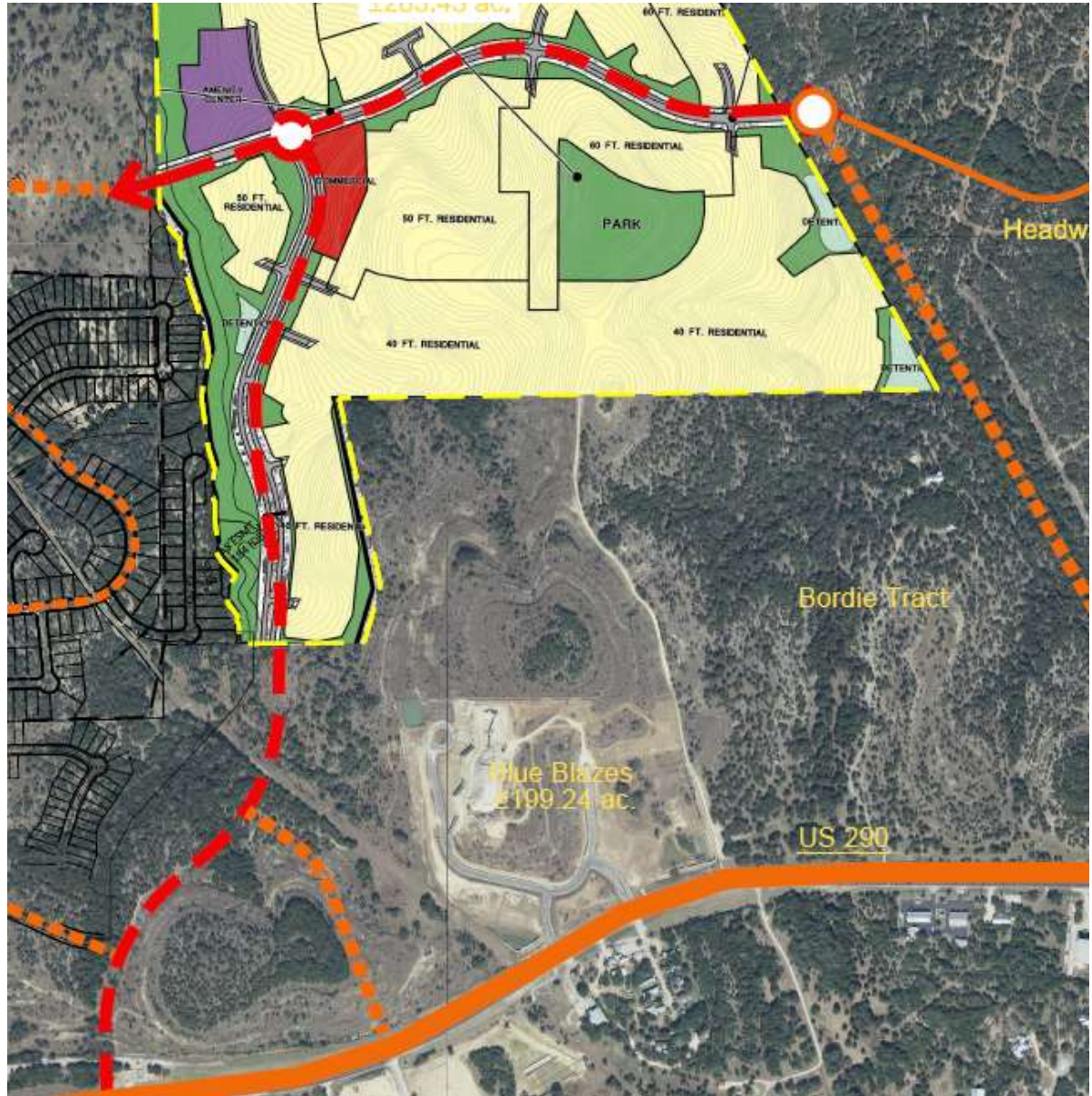
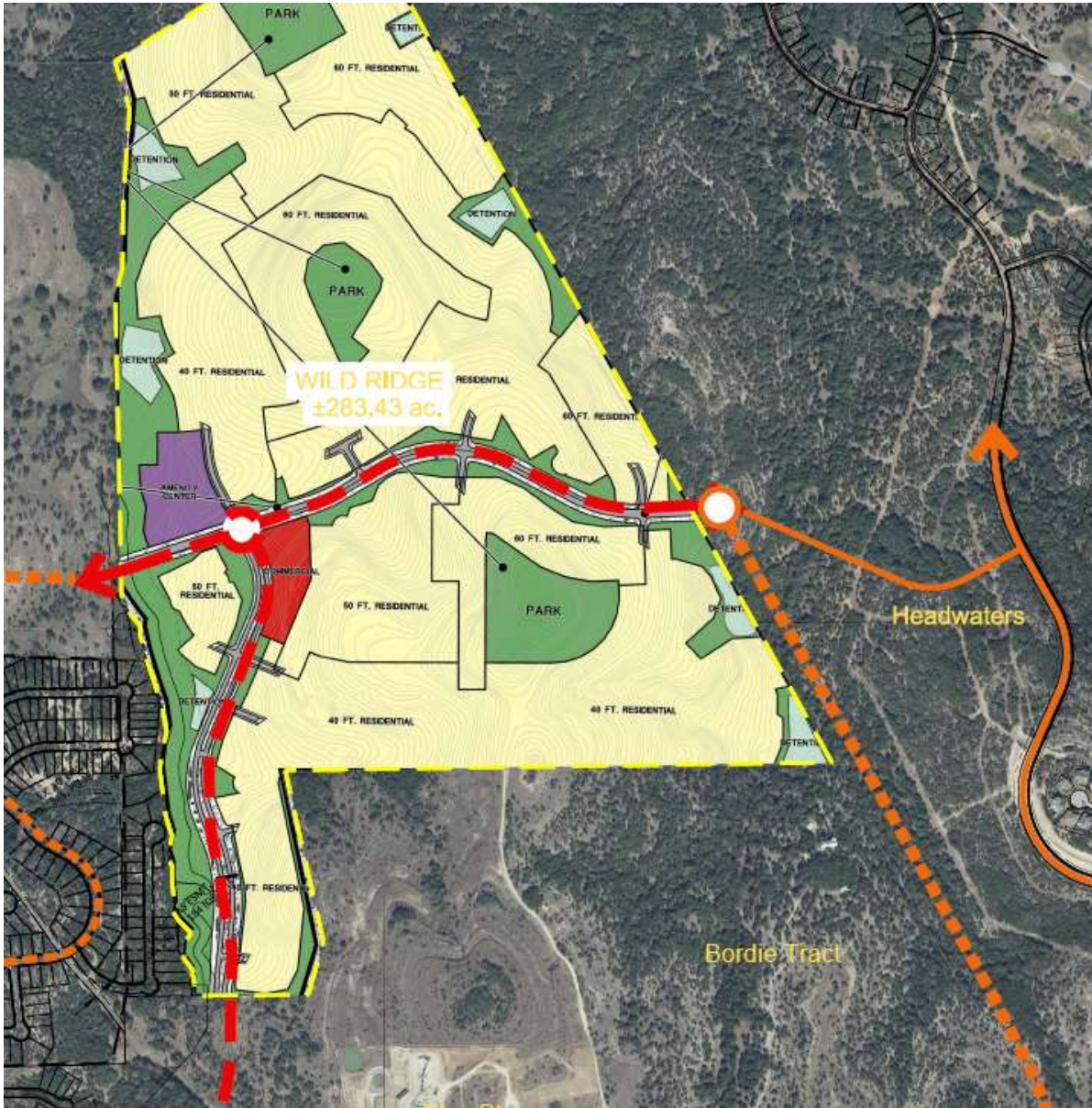


Wild Ridge (Cynosure)

- 283 acres
- Commercial
- 960 residences
- 40, 45, 50, and 60 foot lots
- Transportation Enhancement Agreement
- In City MUD on City Request
- Open issues:
 - 4 lane roadway to 290
 - Financing and Reimbursement
 - Finalizing lot width and setbacks for corner lots

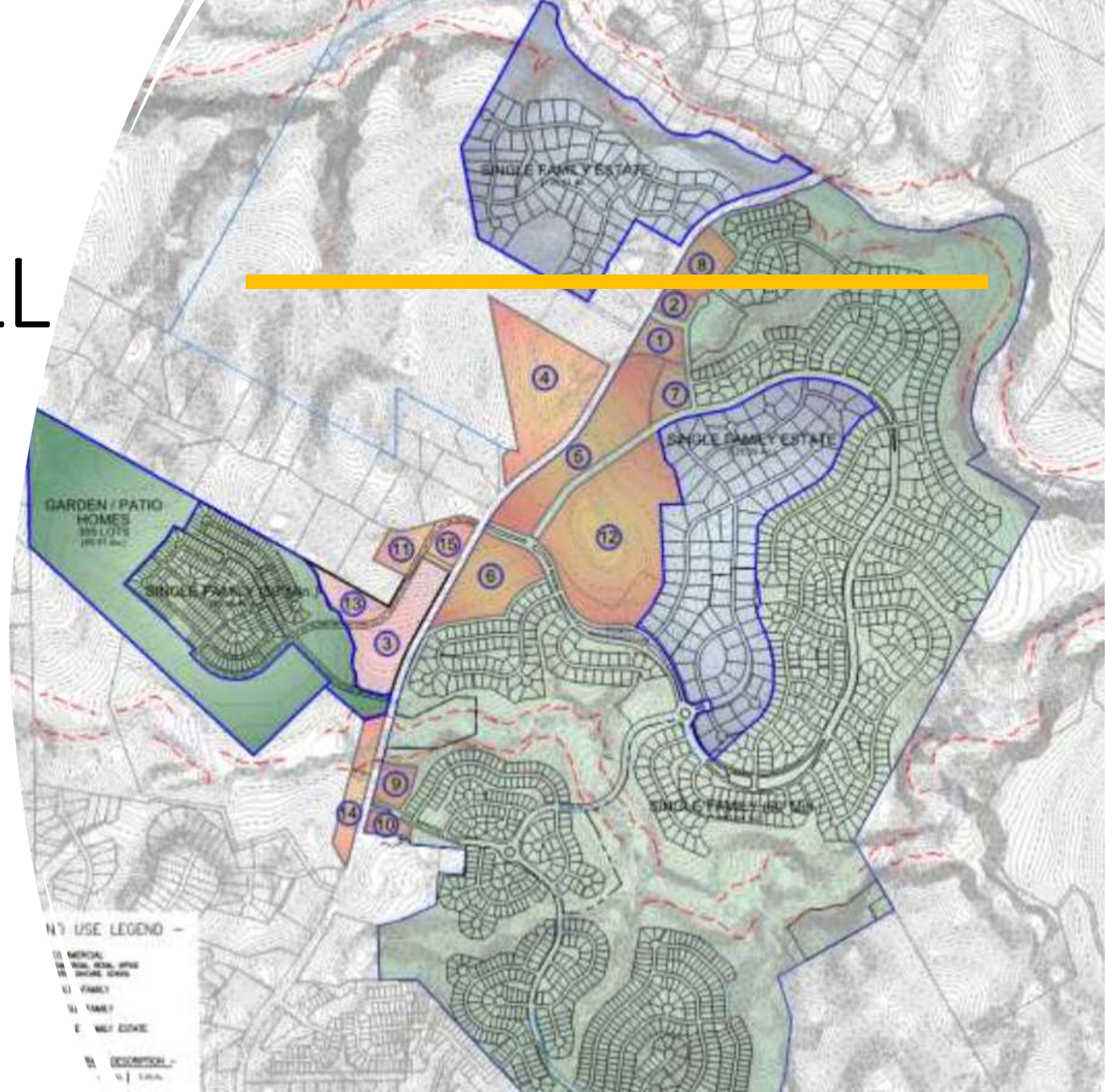






Anarene/Double LL

- Amended DA
- 1680 acres
- 2,886 residences
 - 2408 single family units
 - 435 multi family units
- Commercial Acreage -200 acres including Multifamily and School
- Garden Homes to Estate Lots
- ETJ MUD
- Open issues:
 - Roadway Phasing
 - TIA requirements
 - Commercial v Residential
 - Substantial Increase in Residential Density (1677 to 2,886)
 - Ordinance Effective Dates
 - Parkland

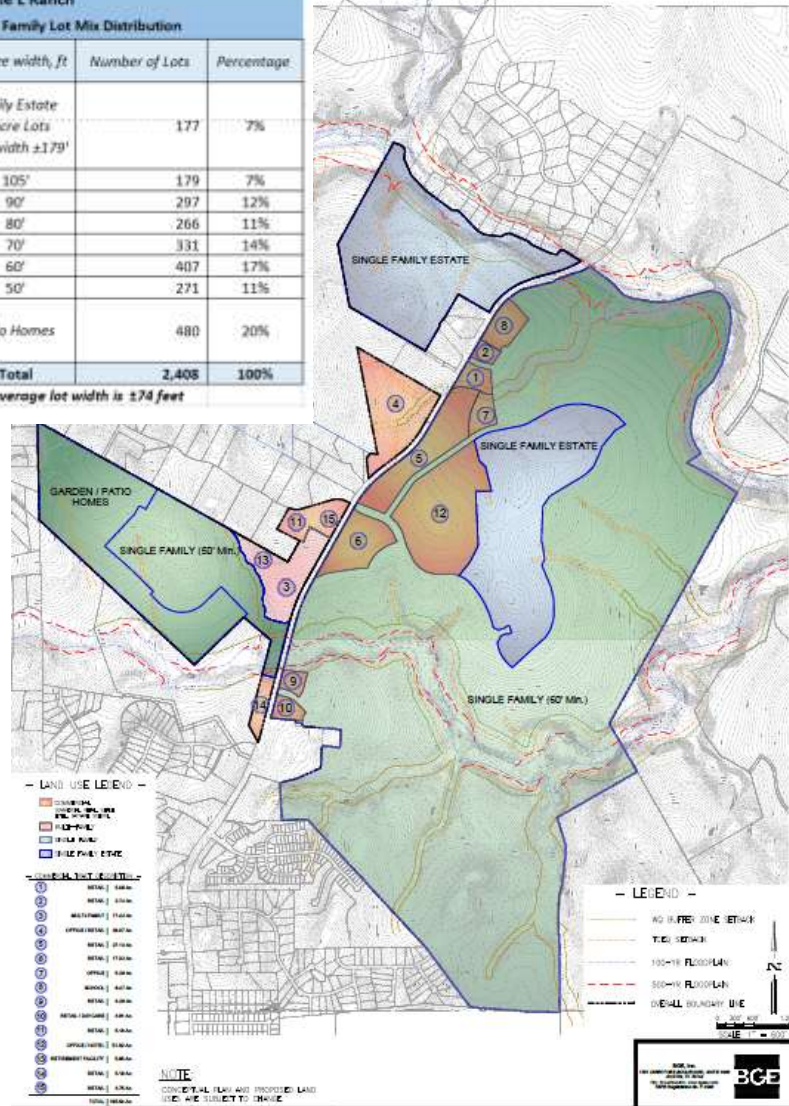


PROPOSED LOT MIX SUMMARY

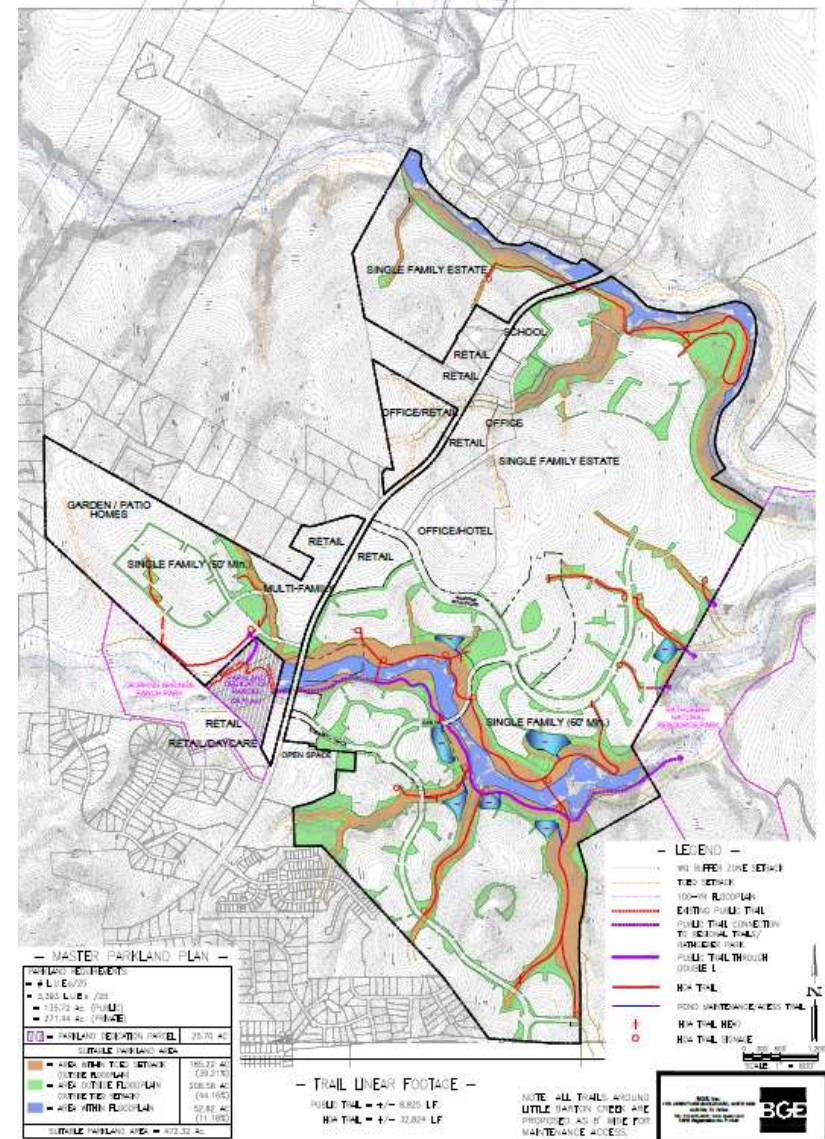
| Double L Ranch | | |
|------------------------------------|----------------|-------------|
| Single Family Lot Mix Distribution | | |
| Lot size width, ft | Number of Lots | Percentage |
| Family Estate | | |
| 1-acre Lots | | |
| Avg. width ±179' | | |
| 105' | 179 | 7% |
| 90' | 297 | 12% |
| 80' | 266 | 11% |
| 70' | 331 | 14% |
| 60' | 407 | 17% |
| 50' | 271 | 11% |
| Patio Homes | | |
| | 480 | 20% |
| Total | 2,408 | 100% |

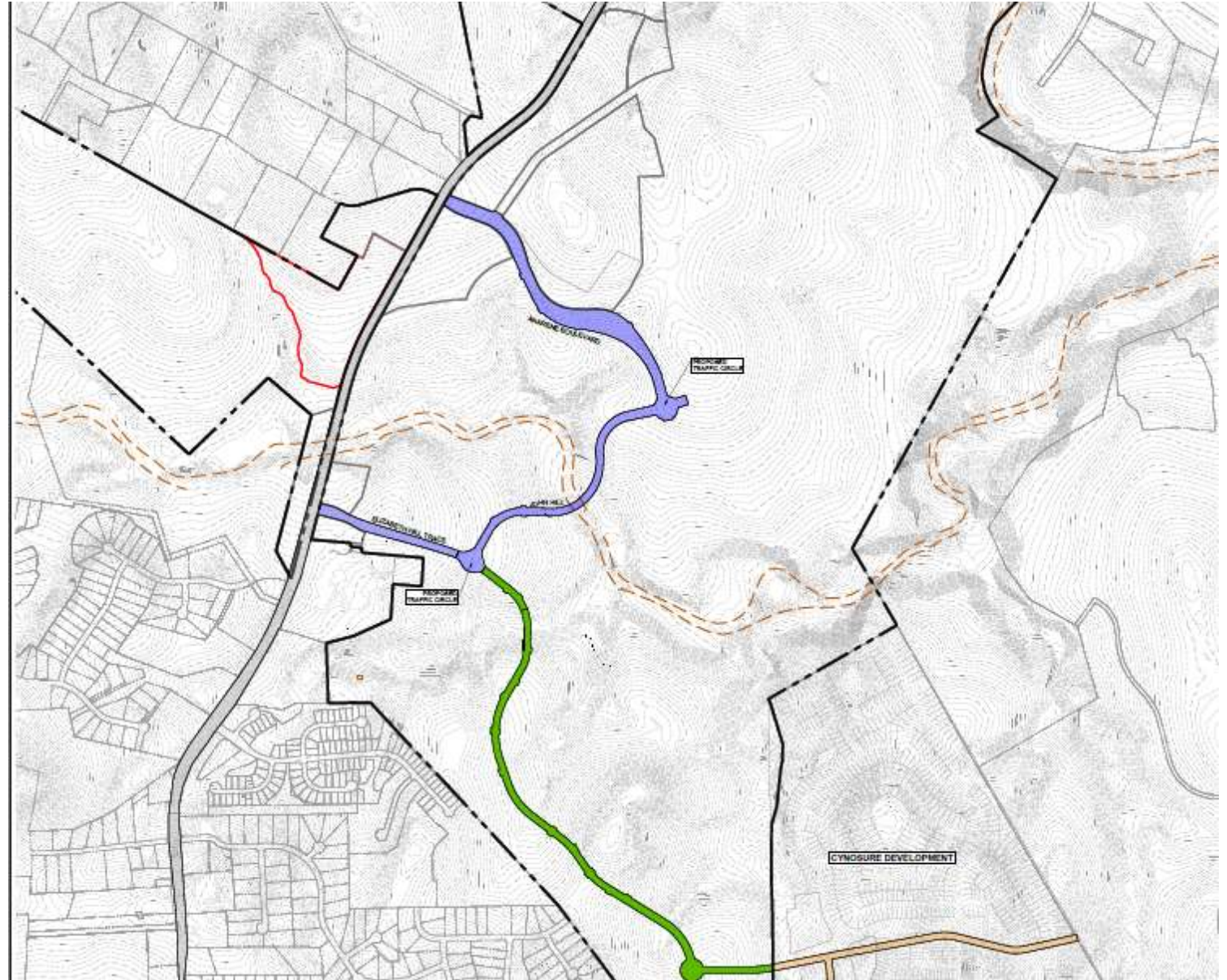
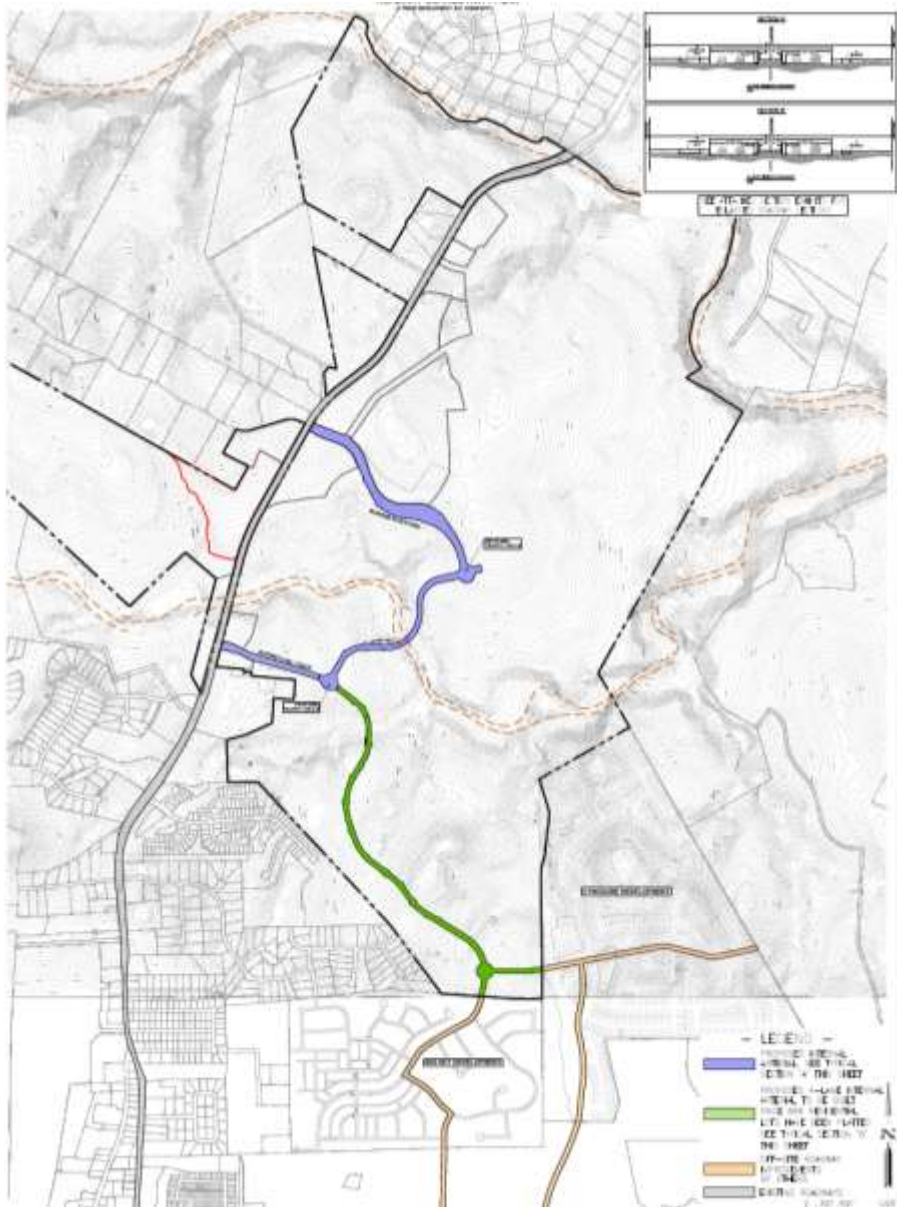
The average lot width is ±74 feet

DOUBLE 'L'
CONCEPTUAL MASTER PLAN
TREND DEVELOPMENT, INC. COMMUNITY



DOUBLE 'L'
MASTER PARKLAND EXHIBIT
(A TREND DEVELOPMENT, INC. COMMUNITY)







QUESTIONS