



Progress Report

City of Dripping Springs TIRZ Task Order 3

April 2024

Description of Work Performed During the Past Period

- TASK 1. TOWN CENTER SUPPORT**
 - No Tasks

- TASK 2. OLD FITZHUGH ROAD**
 - No Tasks

- TASK 3. DOWNTOWN PARKING / STEPHENSON LOT**
 - Prepare site civil plans.
 - Parking lot drainage design.
 - Research solar powered lighting.
 - Illumination photometrics.
 - Illumination design plans.

- TASK 4. TRIANGLE**
 - No Tasks

- TASK 5. PROJECT MEETING AND COORDINATION**
 - Project management and administration.
 - Coordination on TIRZ WA 3 scope and reallocation between tasks.
 - Coordination with landscape design team.

- TASK 6. EXPENSES**
 - None

Anticipated Work to be Performed Next Period

- TASK 1. TOWN CENTER SUPPORT**
 - No Tasks

- TASK 2. OLD FITZHUGH ROAD**
 - No Tasks

- TASK 3. DOWNTOWN PARKING / STEPHENSON LOT**
 - Prepare site civil plans.
 - Parking lot drainage design.
 - Coordination on tree / luminaire layout and updates to parking lot.
 - Coordination on storm line on north property line.
 - Update illumination design plans to hard-wired.
 - Provide luminaire fixture alternatives.
 - Preliminary cost estimates.



TASK 4. TRIANGLE

- No Tasks

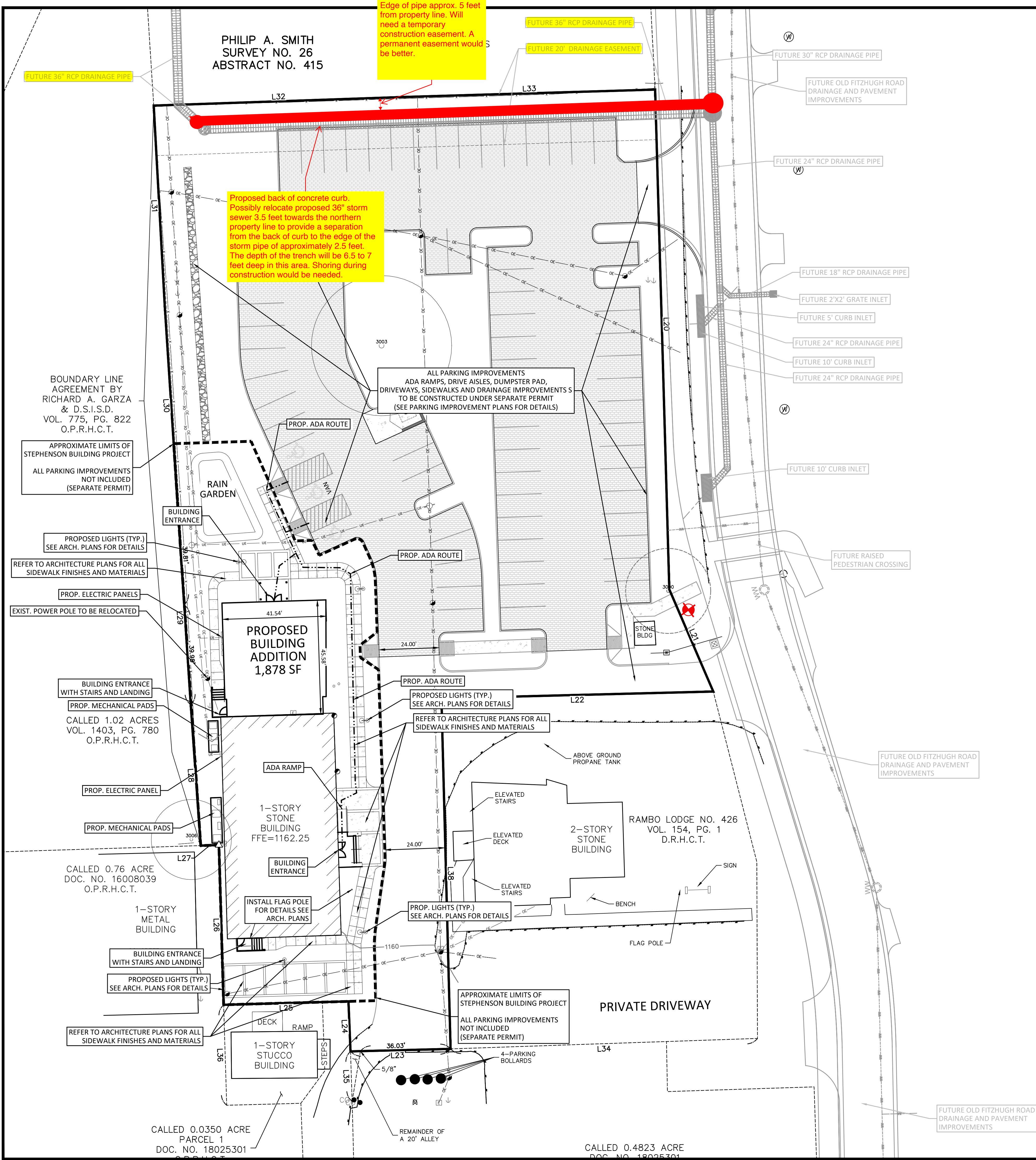
TASK 5. PROJECT MEETING AND COORDINATION

- Project management and administration
- Team meetings (2)
- Coordination with landscape design team.

TASK 6. EXPENSES

- None

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 User: RELZONDO
 Last Modified: Apr. 25, 24, 10:02
 Plot Date/Time: Apr. 25, 24, 17:35:31



SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS.
5. ALL PAVEMENT REMOVED SHALL BE DONE SUCH THAT THE REMAINING PAVEMENT IS LEFT WITH A CLEAN SMOOTH SAWCUT STRAIGHT EDGE.
6. CONTRACTOR IS RESPONSIBLE FOR SAWS AND DAMAGE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
7. STRIPING - FIRE APPARATUS ACCESS ROADS SHALL BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN THE FOUR INCH (4") WHITE LETTERS AT 25 FEET INTERVALS ON THE RED BOARDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.
8. SIGNS - SIGNS SHALL READ "FIRE LANE - NO PARKING" AND SHALL BE 12" WIDE AND 18" HIGH. SIGNS SHALL BE PAINTED ON A WHITE BACKGROUND WITH LETTERS AND BORDERS IN RED, USING NOT LESS THAN 2" LETTERING. SIGNS SHALL BE PERMANENTLY AFFIXED TO A STATIONARY POST AND THE BOTTOM OF THE SIGN SHALL BE SIX FEET, SIX INCHES (6'-6") ABOVE FINISHED GRADE. SIGNS SHALL BE SPACED NOT MORE THAN FIFTY FEET (50') APART ALONG BOTH SIDES OF THE FIRE LANE. SIGNS MAY BE INSTALLED ON PERMANENT BUILDINGS OR WALLS OR AS APPROVED.

Parking Table	
Existing Building 4,023	No additional parking required
Mercer St. Historic District, Ord. #2020-27	
Community Center Building Addition 1,849 SF	10 Spaces Required
(10 spaces plus 1 for every 2,000 SF)	
Standard Spaces Provided	67
(Per IBC Table 1106.1 51 to 75, 3 spaces including 1 Van)	3
Accessible Spaces Provided	70
Total Parking Spaces Provided	0
Bicycle Parking Provided	

Site Table - Existing Conditions		
Gross Site Area	59,760 sf	1.37 ac
No. of Buildings	1	
Building Coverage	4,023 sf	7%
Impervious Cover	9,916 sf	17%

Site Table - Proposed Conditions		
Gross Site Area	59,760 sf	1.37 ac
No. of Buildings	2	
Building Coverage	5,872 sf	10%
Gross Floor Area of Proposed Building	1,849 sf	
Height (stories & feet) of Proposed Building	1 story	19 ft
Impervious Cover	34,455 sf	68%
Limits of Construction	50,865 sf	1.16 ac

GRAPHIC SCALE 1"=20'

LEGEND

- PROPERTY LINE
- WATER QUALITY
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WASTEWATER LINE
- WATER LINE
- GAS LINE
- FIBER OPTIC CABLE
- WIRE FENCE
- OVERHEAD ELECTRIC
- EDGE OF PAVEMENT
- BUILDING OVERHANG
- PROPOSED 6" VERTICAL CURB
- ACCESSIBLE ROUTE- PEDESTRIAN ACCESS
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED HMAC PAVEMENT
- WATER VALVE
- WATER METER
- WASTEWATER MANHOLE
- WATER MANHOLE
- TRAFFIC SIGN
- POWER POLE
- DOWN GUY
- CLEAN OUT
- ELECTRIC PULL BOX
- COMMUNICATION PULL BOX
- ELECTRIC VAULT
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE
- EXIST./PROP. FIRE HYDRANT
- GAS METER

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 TBPES Firm Number: 382
 TBPES Firm Number: 10105890

SITE PLAN

**STEPHENSON BUILDING
 ADDITION**

**311 OLD FITZHUGH ROAD,
 DRIPPING SPRINGS, TEXAS**

THESE PLANS ARE RELEASED UNDER THE AUTHORITY OF JOE GRASSO, P.E., TBP#73285, ON 00/00/00, FOR THE PURPOSES OF REVIEW AND ARE NOT TO BE USED FOR CONSTRUCTION PRIOR TO APPROVAL BY THE CITY OF DRIPPING SPRINGS.

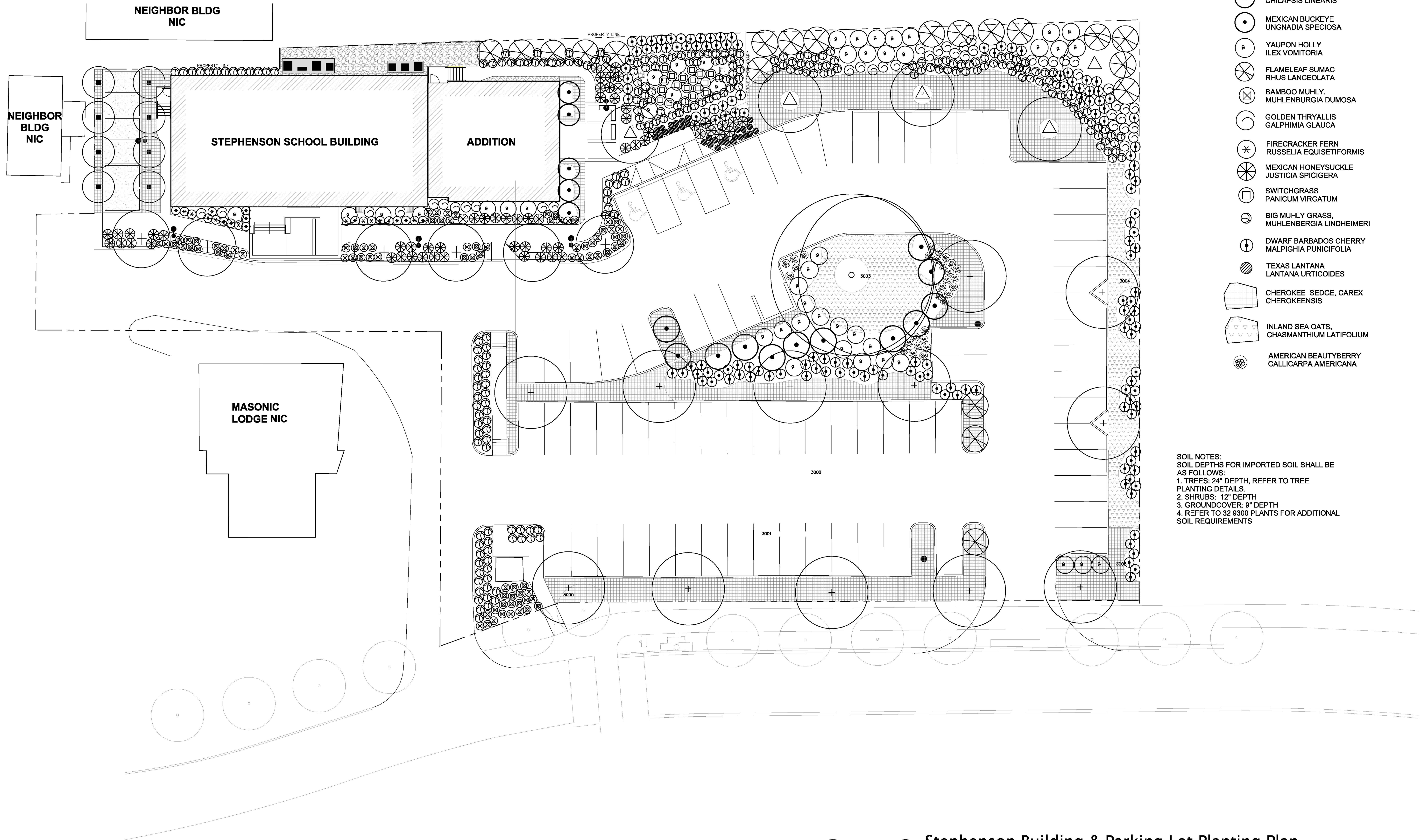
Designed: RLE/MH/PM
 Drawn: RLE
 Reviewed: TM/JG
 Date: 4/25/2024

SHEET

8

OF 13

Project No.: 1577-009C



PLANTING LEGEND

- CHINQUAPIN OAK, QUERCUS MUHLENBERGII
- CEDAR ELM, ULMUS CRASSIFOLIA
- DESERT WILLOW CHILAPIS LINEARIS
- MEXICAN BUCKEYE UNGNADIA SPECIOSA
- YAUPON HOLLY ILEX VOMITORIA
- FLAMELEAF SUMAC RHUS LANCEOLATA
- BAMBOO MUHLY, MUHLENBURGIA DUMOSA
- GOLDEN THRYALLIS GALPHIMIA GLAUCA
- FIRECRACKER FERN RUSSELLIA EQUISETIFORMIS
- MEXICAN HONEYSUCKLE JUSTICIA SPICIGERA
- SWITCHGRASS PANICUM VIRGATUM
- BIG MUHLY GRASS, MUHLENBURGIA LINDHEIMERI
- DWARF BARBADOS CHERRY MALPIGHIA PUNICIFOLIA
- TEXAS LANTANA LANTANA URTICOIDES
- CHEROKEE SEDGE, CAREX CHEROKEENSIS
- INLAND SEA OATS, CHASMANTHIUM LATIFOLIUM
- AMERICAN BEAUTYBERRY CALLICARPA AMERICANA

SOIL NOTES:
SOIL DEPTHS FOR IMPORTED SOIL SHALL BE AS FOLLOWS:
1. TREES: 24" DEPTH, REFER TO TREE PLANTING DETAILS.
2. SHRUBS: 12" DEPTH
3. GROUND COVER: 9" DEPTH
4. REFER TO 32 9300 PLANTS FOR ADDITIONAL SOIL REQUIREMENTS

City of Dripping Springs
STEPHENSON SCHOOL
BUILDING,
PARKING LOT

311 Old Fitzhugh
Dripping Springs, TX
78620

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REVISION HISTORY

Project No. XXXX Date XXXX XX, 2024

Sheet Name

Planting Plan

Sheet Number



1 Stephenson Building & Parking Lot Planting Plan

SCALE: 3/32"=1'



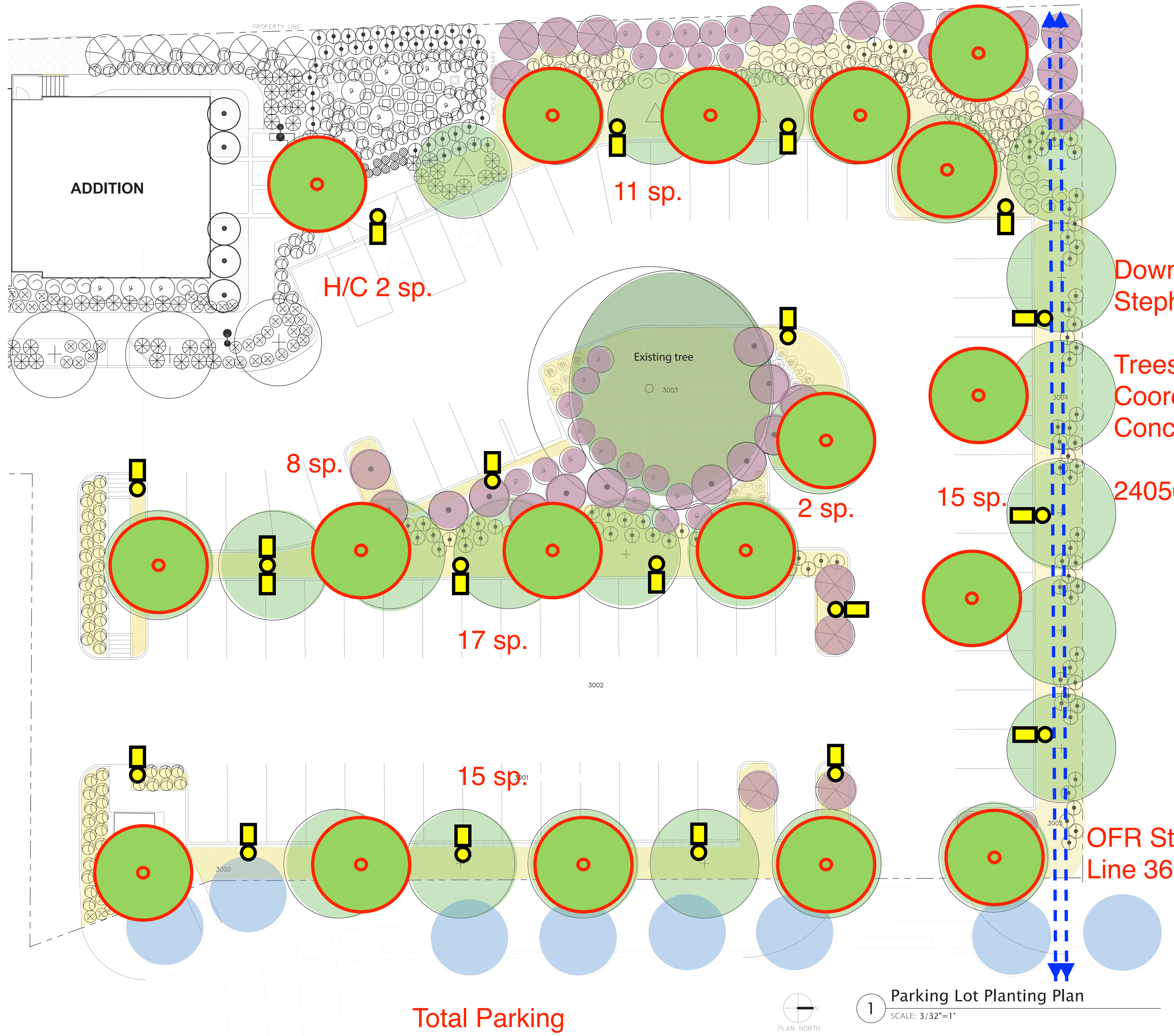
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- TEXAS LANTANA, LANTANA URTICOIDES
- CHEROKEE SEDGE, CAREX CHEROKEENSIS
- INLAND SEA OATS, CHASMANTHIUM LATIFOLIUM

- Ord. Req'd Pkg Lot Tree
- Solar Light 20' Pole

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4. REFER TO 32 9300 PLANTS FOR ADDITIONAL SOIL REQUIREMENTS

- Shade tree
- Small ornamental tree
- Shrubs & Groundcover
- Future Fitzhugh Rd. tree



Total Parking = 70 sp.



1

Parking Lot Planting Plan

SCALE: 3/32"=1'

Downtown Parking Stephenson Lot:

Trees / Lights / Pipe Coordination Concept Plan

240502- KES

OFR Storm Line 36"

City of Dripping Springs
STEPHENSON SCHOOL BUILDING,
PARKING LOT

311 Old Fitzhugh
Dripping Springs, TX
78620

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REVISION HISTORY

Project No. XXXX Date XXXX xx, 2024

Sheet Name
Planting Plan

Sheet Number

Site trees



Chinkapin Oak



Chinkapin Oak fall color



Yaupon Holly



Cedar Elm



Mexican Buckeye



Mexican Buckeye bloom



Flameleaf Sumac

Shrubs & Groundcover



golden thryallis



barbados cherry



Texas lantana



inland sea oats



lindheimer's muhly



switchgrass (in bioswale)



mexican honeysuckle



cherokee sedge



american beautyberry

