

01	02	03	04
DEVELOPER AND SITE INFORMATION:			
PROJECT:	SKYE HEADWATERS		
OWNER / DEVELOPER:	DOC HEADWATERS LAND, LLC 1515 W 35TH STREET, UNIT C AUSTIN, TX 78703 CONTACT: COLBY DENISON		
SITE ADDRESS:	201 HEADWATERS BLVD. DRIPPING SPRINGS, TX 78620		
COUNTY:	HAYS		
PLANNING AND DEVELOPMENT INFORMATION:			
AUTHORITY HAVING JURISDICTION:	CITY OF DRIPPING SPRINGS PLANNING AND DEVELOPMENT DEPT. 511 MERCER ST DRIPPING SPRINGS, TX 78620 (512) 858-4725 HTTP://WWW.CITYOFDRIPPINGSPRINGS.COM/PAGE/CITY.DEVELOPMENTDEPARTMENT		
DEVELOPMENT ORDINANCES:	CITY OF DRIPPING SPRINGS CODE OF ORDINANCES TITLE II BUILDING AND DEVELOPMENT REGULATIONS CHAPTER 30 ZONING		
ZONING:	PPD # 6, APPROVED NOVEMBER 8, 2016		
BUILDING CODE INFORMATION:			
AUTHORITY HAVING JURISDICTION:	CITY OF DRIPPING SPRINGS BUILDING DEPARTMENT 511 MERCER ST DRIPPING SPRINGS, TX 78620 (512) 858-4725 HTTP://WWW.CITYOFDRIPPINGSPRINGS.COM/PAGE/BUILDING.HOME		
CODES:	2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL PLUMBING CODE (IPC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018 INTERNATIONAL FIRE CODE (IFC) 2017 NATIONAL ELECTRICAL CODE (NEC)		
ACCESSIBILITY:	2010 ADA-ABA ACCESSIBILITY GUIDELINES 2012 TEXAS ACCESSIBILITY STANDARDS		
SITE:	2012 TEXAS ACCESSIBILITY STANDARDS		
FULLY ACCESSIBLE UNITS:	2010 ADA-ABA ACCESSIBILITY GUIDELINES FAIR HOUSING ACT		
REMAINING OF UNITS:	FAIR HOUSING SAFE HARBOR, 2003 ANSI A117.1 FAIR HOUSING ACT		

05	06	07	08	09	10	11	12	13	14	15	16	
PROPERTY BUILDING IMPROVEMENT SQUARE FOOTAGE TABULATION:												
BUILDING IDENTIFICATION BUILDING NUMBERS	BUILDING UNIT MIX (QUANTITY) UNIT TYPE	BLDG. OCCUPANCY	AUTOMATIC FIRE SPRINKLERS	CONSTRUCTION TYPE	ALLOWABLE AREA PER FLOOR BASIC W/ INCREASE	ALLOWABLE AREA ALL FLOORS BASIC W/ INCREASE	ALLOWABLE HEIGHT BASIC W/ INCREASE	FIRST FLOOR AREA (GROSS)	SECOND FLOOR AREA (GROSS)	THIRD FLOOR AREA (GROSS)	FORTH FLOOR AREA (GROSS)	TOTAL FLOOR AREA (GROSS)
RESIDENTIAL BLDG TYPE VIIa 1, 4 & 5	(2) B3int # (2) B3end INCLUDES (1) B3int(ADA)	R-2	NFPA 13R	V-A	12,000 SQ. FT. N/A	12,000 SQ. FT. N/A	50' / 3-STORIES N/A	5,422 SQ. FT.	N/A	N/A	N/A	5,422 SQ. FT.
RESIDENTIAL BLDG TYPE VIIb 2, 3 & 9	(3)B3int (2) B3end	R-2	NFPA 13R	V-A	12,000 SQ. FT. N/A	12,000 SQ. FT. N/A	50' / 3-STORIES N/A	6,908 SQ. FT.	N/A	N/A	N/A	6,908 SQ. FT.
RESIDENTIAL BLDG TYPE VIII 6, 7 & 8	(1) B3, (1) C1 # (1) C1a	R-2	NFPA 13R	V-A	12,000 SQ. FT. N/A	12,000 SQ. FT. N/A	50' / 3-STORIES N/A	5,561 SQ. FT.	N/A	N/A	N/A	5,561 SQ. FT.
RESIDENTIAL BLDG TYPE IX 10 & 11	(1) C1a # (2) C2 INCLUDES (1) C2(ADA)	R-2	NFPA 13R	V-A	12,000 SQ. FT. N/A	12,000 SQ. FT. N/A	50' / 3-STORIES N/A	6,154 SQ. FT.	N/A	N/A	N/A	6,154 SQ. FT.
RESIDENTIAL BLDG I 12a	(SEE PLANS) (SEE PLANS)	R-2	NFPA 13R	V-A	12,000 SQ. FT. 36,000 SQ. FT.	18,600 SQ. FT. 55,800 SQ. FT.	50' / 3-STORIES 60' / 4-STORIES	5,196 SQ. FT.	8,584 SQ. FT.	8,424 SQ. FT.	7,409 SQ. FT.	29,613 SQ. FT.
RESIDENTIAL BLDG I 12b	(SEE PLANS) (SEE PLANS)	R-2	NFPA 13R	V-A	12,000 SQ. FT. 36,000 SQ. FT.	15,912 SQ. FT. 47,736 SQ. FT.	50' / 3-STORIES 60' / 4-STORIES	4,448 SQ. FT.	7,779 SQ. FT.	7,502 SQ. FT.	7,502 SQ. FT.	27,231 SQ. FT.
RESIDENTIAL BLDG I 12c	(SEE PLANS) (SEE PLANS)	A-2	NFPA 13	V-A	11,500 SQ. FT. 34,500 SQ. FT.	40,480 SQ. FT. 121,440 SQ. FT.	50' / 2-STORIES 60' / 3-STORIES	10,450 SQ. FT.	12,635 SQ. FT.	0 SQ. FT.	0 SQ. FT.	23,085 SQ. FT.
RESIDENTIAL BLDG I 12d	(SEE PLANS) (SEE PLANS)	R-2	NFPA 13R	V-A	12,000 SQ. FT. 36,000 SQ. FT.	17,364 SQ. FT. 52,092 SQ. FT.	50' / 3-STORIES 60' / 4-STORIES	7,393 SQ. FT.	12,457 SQ. FT.	11,744 SQ. FT.	11,744 SQ. FT.	43,338 SQ. FT.
RESIDENTIAL BLDG I 12e	(SEE PLANS) (SEE PLANS)	R-2	NFPA 13R	V-A	12,000 SQ. FT. 36,000 SQ. FT.	16,248 SQ. FT. 48,744 SQ. FT.	50' / 3-STORIES 60' / 4-STORIES	5,009 SQ. FT.	8,810 SQ. FT.	8,662 SQ. FT.	8,662 SQ. FT.	31,143 SQ. FT.
RESIDENTIAL BLDG I 12f	(SEE PLANS) (SEE PLANS)	R-2	NFPA 13R	V-A	12,000 SQ. FT. 36,000 SQ. FT.	18,432 SQ. FT. 55,296 SQ. FT.	50' / 3-STORIES 60' / 4-STORIES	4,422 SQ. FT.	7,324 SQ. FT.	7,087 SQ. FT.	5,867 SQ. FT.	24,700 SQ. FT.
2-CAR DETACHED GARAGE G:1-2, G:3-4, G:11-12, G:16-17, G:18-19, G:20-21	2 GARAGES (SEE PLANS)	U	N/A	V-B	5,500 SQ. FT. N/A	5,500 SQ. FT. N/A	40' / 1-STORIES N/A	516 SQ. FT.	N/A	N/A	N/A	516 SQ. FT.
3-CAR DETACHED GARAGE G:5-7, G:8-10, G:13-15	3 GARAGES (SEE PLANS)	U	N/A	V-B	5,500 SQ. FT. N/A	5,500 SQ. FT. N/A	40' / 1-STORIES N/A	767 SQ. FT.	N/A	N/A	N/A	767 SQ. FT.
4-CAR DETACHED GARAGE G:31-34	4 GARAGES (SEE PLANS)	U	N/A	V-B	5,500 SQ. FT. N/A	5,500 SQ. FT. N/A	40' / 1-STORIES N/A	1,080 SQ. FT.	N/A	N/A	N/A	1,080 SQ. FT.
3-GOLF CART DETACHED GARAGE C:1-3, C4-6, C11-13	3 GOLF CART GARAGES (SEE PLANS)	U	N/A	V-B	5,500 SQ. FT. N/A	5,500 SQ. FT. N/A	40' / 1-STORIES N/A	355 SQ. FT.	N/A	N/A	N/A	355 SQ. FT.
4-GOLF CART DETACHED GARAGE C:7-10	4 GOLF CART GARAGES (SEE PLANS)	U	N/A	V-B	5,500 SQ. FT. N/A	5,500 SQ. FT. N/A	40' / 1-STORIES N/A	472 SQ. FT.	N/A	N/A	N/A	472 SQ. FT.
TOTALS												253,105 SQ. FT.

CODE REVIEW - RESIDENTIAL BUILDINGS GENERAL:	
OCCUPANCY CLASSIFICATION:	R-2, RESIDENTIAL APARTMENT HOUSES (IBC, SECT. 310.3)
OCCUPANCY SEPARATION:	N/A
CONSTRUCTION TYPE:	V-A (IBC, CHAPTER 5 # SECT. 602.5)
AUTOMATIC SPRINKLER SYSTEM:	NFPA 13-R (IBC, SECT. 903.2.8 # 903.3.1.2) NOTE: SPRINKLER PROTECTION SHALL INCLUDE EXTERIOR BALCONIES, DECKS AND GROUND FLOOR PATIOS (903.3.1.2.1) AND AT OPEN-ENDED CORRIDORS AND ASSOCIATED EXTERIOR STAIRWAYS AND RAMPS (903.3.1.2.2 # 1027.6, EXCEPTION 3).
ALLOWABLE / ACTUAL HEIGHT:	SEE BUILDING TYPE CODE REVIEW
ALLOWABLE / ACTUAL AREA:	SEE BUILDING TYPE CODE REVIEW
FIRE RESISTANCE RATINGS:	(IBC, TABLE 601 # 602)
STRUCTURAL FRAME:	1-HOUR
EXTERIOR BEARING WALLS:	1-HOUR
SEPARATION WALLS:	1-HOUR
INTERIOR BEARING WALLS:	1-HOUR
EXTERIOR NON-BEARING WALLS:	1-HOUR
SEPARATION WALLS:	1-HOUR
INTERIOR NON-BEARING WALLS:	1-HOUR
FLOOR CONSTRUCTION:	1-HOUR
ROOF CONSTRUCTION:	1-HOUR
MAX EXTERIOR WALL OPENINGS:	UNPROTECTED, NON-SPRINKLERED (IBC, TABLE 705.8) (CONSIDERED NON-SPRINKLERED DUE TO NFPA 13R SYSTEM) NO OPENINGS PERMITTED - N/A TO THIS PROJECT NO OPENINGS PERMITTED - N/A TO THIS PROJECT
F.S.D. 0' TO LESS THAN 3':	10% - N/A TO THIS PROJECT
F.S.D. 3' TO LESS THAN 5':	15%
F.S.D. 5' TO LESS THAN 10':	25%
F.S.D. 10' TO LESS THAN 15':	45%
F.S.D. 15' TO LESS THAN 20':	70%
F.S.D. 20' TO LESS THAN 25':	NO LIMIT
F.S.D. 25' TO LESS THAN 30':	
F.S.D. 30' OR GREATER:	
STANDPIPES:	(IBC SECT. 905) N/A TO THIS PROJECT
WHERE REQUIRED:	
PORTABLE FIRE EXTINGUISHERS:	NFPA 10 (IBC SECT. 906)
WHERE REQUIRED:	
@ EACH DWELLING UNIT:	1-A: 10-B-C (LOCATE UNDER KITCHEN SINK) (SECT. 906.1)
@ BUILDING TYPE 12:	2-A: 10-B-C (LOCATE WITHIN CORRIDOR FOR MAX. TRAVEL DISTANCE OF 75' AND MIN. OF 1 UNIT OF A PER 3,000 SQ. FT.) (SECT. 906.2 # TABLE 906.3(1))
AUTOMATIC FIRE DETECTION:	NFPA 72 (IBC, SECT. 907)
REQUIRED ACTIVATION:	UPON SPRINKLER SYSTEM FLOW OF WATER EQUAL TO OR GREATER THAN A SINGLE AUTOMATIC SPRINKLER (NFPA, 9.6.2.8) (IBC, SECT. 903.4.2)
MANUAL FIRE ALARM SYSTEM:	NFPA 72 (IBC SECT. 907)
REQUIRED ACTIVATION:	ONE MANUAL FIRE ALARM BOX LOCATED IN THE FIRE RISER ROOM AS ALLOWED WHEN FLOW OF WATER EQUAL TO OR GREATER THAN A SINGLE AUTOMATIC SPRINKLER INITIATES THE FIRE ALARM SYSTEM (NFPA, SECT. 9.6.2.6) (IBC SECT. 907.2, EXCEPTION 2)

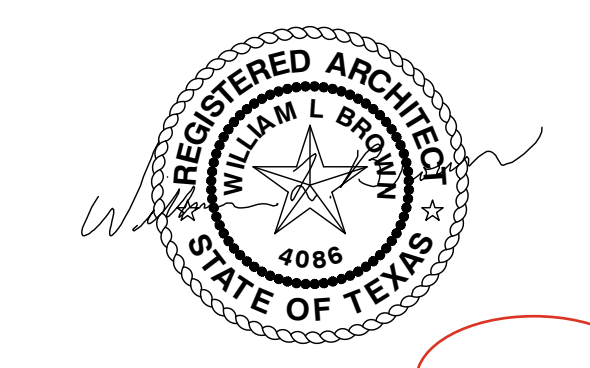
CODE REVIEW - VILLA V Ila:	
OCCUPANCY CLASSIFICATION:	R-2, RESIDENTIAL APARTMENT HOUSES (IBC, SECT. 310.4)
OCCUPANCY SEPARATION:	N/A
ALLOWABLE HEIGHT:	50 FEET / 3 STORIES (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL HEIGHT:	26'-2" / 1-STORY FROM F.F.E.: UP TO 31'-2"
ALLOWABLE AREA:	12,000 SQ. FT. PER FLOOR (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL AREA:	5,422 SQ. FT.
1ST LEVEL:	
AREA CHECK:	5,422 SQ. FT. < 12,000 SQ. FT.; THEREFORE OKAY
CODE REVIEW - VILLA V Iib:	
OCCUPANCY CLASSIFICATION:	R-2, RESIDENTIAL APARTMENT HOUSES (IBC, SECT. 310.4)
OCCUPANCY SEPARATION:	N/A
ALLOWABLE HEIGHT:	50 FEET / 3 STORIES (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL HEIGHT:	26'-2" / 1-STORY FROM F.F.E.: UP TO 31'-2"
ALLOWABLE AREA:	12,000 SQ. FT. PER FLOOR (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL AREA:	6,908 SQ. FT.
1ST LEVEL:	
AREA CHECK:	6,908 SQ. FT. < 12,000 SQ. FT.; THEREFORE OKAY

CODE REVIEW - VILLA V III:	
OCCUPANCY CLASSIFICATION:	R-2, RESIDENTIAL APARTMENT HOUSES (IBC, SECT. 310.4)
OCCUPANCY SEPARATION:	N/A
ALLOWABLE HEIGHT:	50 FEET / 3 STORIES (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL HEIGHT:	22'-9" / 1-STORY FROM F.F.E.: UP TO 27'-9"
ALLOWABLE AREA:	12,000 SQ. FT. PER FLOOR (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL AREA:	5,561 SQ. FT.
1ST LEVEL:	
AREA CHECK:	5,561 SQ. FT. < 12,000 SQ. FT.; THEREFORE OKAY
CODE REVIEW - VILLA V IX:	
OCCUPANCY CLASSIFICATION:	R-2, RESIDENTIAL APARTMENT HOUSES (IBC, SECT. 310.4)
OCCUPANCY SEPARATION:	N/A
ALLOWABLE HEIGHT:	50 FEET / 3 STORIES (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL HEIGHT:	19'-11" / 1-STORY FROM F.F.E.: UP TO 24'-11"
ALLOWABLE AREA:	12,000 SQ. FT. PER FLOOR (TABLE 503)
ALLOWABLE INCREASE:	NOT NEEDED / NOT CALCULATED
ACTUAL AREA:	6,154 SQ. FT.
1ST LEVEL:	
AREA CHECK:	6,154 SQ. FT. < 12,000 SQ. FT.; THEREFORE OKAY



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SKYE HEADWATERS
SPRING ARCHITECTS - DESIGN ARCHITECT
201 HEADWATERS BLVD.
DRIPPING SPRINGS, TX 78620

△ DRAWING ISSUE: DATE:
○ 175 UNIT SET 08/20/20

PROJECT NUMBER: xxxx
CODE REVIEW

G1-2