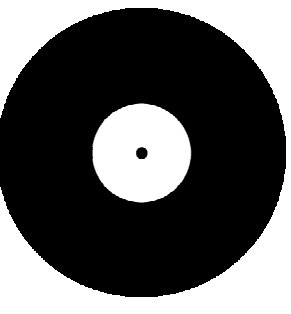




H-PLAN



MID-CENTURY H-PLAN

MidCentury Custom Homes
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COVER

264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

1	2	3	4	5	6	7
REVISIONS						

DESIGNER INITIAL

CLIENT INITIAL

1/4" = 1'-0" 5.26.23

A0.00

GENERAL PROJECT NOTES:

1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.

2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.

3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.

4. THESE DRAWINGS HAVE NOT BEEN DRAWN BY A REGISTERED ARCHITECT.

5. THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.

6. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.

7. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.

8. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.

9. DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.

10. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.

11. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.

12. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.

13. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

14. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.

15. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS OVERSEEING UTILITIES AFFECTED BY HIS OPERATIONS, PRIOR TO COMMENCING WORK.

16. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.

17. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR, NOTIFY THE DESIGNER FOR DIRECTION ON HOW TO PROCEED.

18. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.

19. CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

DOOR SCHEDULE					
Level	Mark	Type	Head Height	Comments	Count
FIRST FLOOR	29	(2)1680	8' - 0 3/4"		1
FIRST FLOOR	20	(2)2080	8' - 0"		1
FIRST FLOOR	15	(2)2080	8' - 0"		1
FIRST FLOOR	25	(2)2080	8' - 0"		1
FIRST FLOOR	1	(2)3080 EXT.	8' - 0"	FRONT DOOR	1
FIRST FLOOR	2	(2)3080 EXT.	8' - 0"	BACK GALLERY DOOR	1
FIRST FLOOR	36	(2) 4080 EXT SLIDER	8' - 0"	EXTERIOR GLASS SLIDER - ORDER THROUGH WINDOW MANU.	1
FIRST FLOOR	38	(4) 4080 EXT Slider	8' - 0"		1
FIRST FLOOR	39	10'6" (3680) slider	8' - 0"		1
FIRST FLOOR	18	1680	8' - 0"		1
FIRST FLOOR	22	2080 PKT	8' - 0"		1
FIRST FLOOR	23	2080 PKT	8' - 0"		1
FIRST FLOOR	32	2080 SHWR	8' - 0"		1
FIRST FLOOR	33	2080 SHWR	8' - 0"		1
FIRST FLOOR	12	2480	8' - 0"		1
FIRST FLOOR	13	2480 PKT	8' - 0"		1
FIRST FLOOR	30	2480 PKT	8' - 0"		1
FIRST FLOOR	17	2680	8' - 0"		1
FIRST FLOOR	21	2680	8' - 0"		1
FIRST FLOOR	8	2680	8' - 0"	HVAC RATED DOOR	1
FIRST FLOOR	24	2680	8' - 0"		1
FIRST FLOOR	10	2680 PKT	8' - 0"		1
FIRST FLOOR	9	2680 PKT	8' - 0"		1
FIRST FLOOR	31	2680 TEMP. GLS.	8' - 0"		1
FIRST FLOOR	11	2880	8' - 0"		1
FIRST FLOOR	26	2880	8' - 0"		1
FIRST FLOOR	16	2880	8' - 0"		1
FIRST FLOOR	19	2880	8' - 0"		1
FIRST FLOOR	14	2880	8' - 0"		1
FIRST FLOOR	28	2880	8' - 0"		1
FIRST FLOOR	27	3080	8' - 0"		1
FIRST FLOOR	7	3080	8' - 0"	FIRERATED - AUTO CLOSE HINGE	1
FIRST FLOOR	5	3080 EXT.	8' - 0"	EXTERIOR FULL LITE DOOR	1
FIRST FLOOR	4	3080 EXT.	8' - 0"	EXTERIOR FULL LITE DOOR	1
FIRST FLOOR	3	3080 EXT.	8' - 0"	EXTERIOR FULL LITE DOOR	1
FIRST FLOOR	41	4080 EXT.	8' - 0"		1
FIRST FLOOR	34	8080	8' - 0"	GARAGE DOOR	1
FIRST FLOOR	35	16080	8' - 0"	GARAGE DOOR	1

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DOOR SCHEDULE NOTES

- * PASSAGE SETS TO CONTAIN THUMB LOCKS AT ALL BEDROOMS AND BATHROOMS, EXCEPT FOR DOUBLE DOOR LOCATIONS
- * ALL DOORS FROM GARAGE INTO HOUSE TO BE FIRE RATED ACCORDING TO IRC 2006 REQUIREMENTS SECTION R 309.1
- * POCKET DOORS TO HAVE CONTINUOUS PLYWOOD SHEATHING ENCLOSING POCKET UNIT

WINDOW SCHEDULE					
Level	Type	Mark	Head Height	Comments	Count
	Windows 1	1, 2, 3			1
	Windows 1	1809		Custom Gable Windows	1
FIRST FLOOR	37.520	60	10' - 6"		1
FIRST FLOOR	37.520	61	10' - 6"		1
FIRST FLOOR	37.520	62	10' - 6"		1
FIRST FLOOR	3050	27	8' - 3"		1
FIRST FLOOR	3620	45	10' - 6"		1
FIRST FLOOR	3620	44	10' - 6"		1
FIRST FLOOR	3620	43	10' - 6"		1
FIRST FLOOR	3680	48	8' - 3"		1
FIRST FLOOR	3680	47	8' - 3"		1
FIRST FLOOR	3680	46	8' - 3"		1
FIRST FLOOR	4016	24	8' - 0"		1
FIRST FLOOR	4020	36	10' - 0"		1
FIRST FLOOR	4020	35	10' - 0"		1
FIRST FLOOR	4050	2	8' - 0"		1
FIRST FLOOR	4050	5	8' - 0"		1
FIRST FLOOR	4050	4	8' - 0"		1
FIRST FLOOR	4050	3	8' - 0"		1
FIRST FLOOR	4050	37	8' - 0"		1
FIRST FLOOR	4050	1	8' - 0"		1
FIRST FLOOR	4050	38	8' - 0"		1
FIRST FLOOR	4080	10	8' - 0"		1
FIRST FLOOR	4080	34	8' - 0"		1
FIRST FLOOR	4080	33	8' - 0"		1
FIRST FLOOR	4080	11	8' - 0"		1
FIRST FLOOR	4080	12	8' - 0"		1
FIRST FLOOR	4080	32	8' - 0"		1
FIRST FLOOR	4080	31	8' - 0"		1
FIRST FLOOR	4080	9	8' - 0"		1
FIRST FLOOR	4616	20	8' - 0"		1
FIRST FLOOR	4616	21	8' - 0"		1
FIRST FLOOR	4616	49	10' - 0"		1
FIRST FLOOR	4616	50	10' - 0"		1
FIRST FLOOR	4616	51	10' - 0"		1
FIRST FLOOR	4616	52	10' - 0"		1
FIRST FLOOR	4616	53	10' - 0"		1
FIRST FLOOR	4616	19	8' - 0"		1
FIRST FLOOR	4680	40	8' - 3"		1
FIRST FLOOR	4680	42	8' - 3"		1
FIRST FLOOR	4680	41	8' - 3"		1
FIRST FLOOR	4680	54	8' - 3"		1
FIRST FLOOR	4680	55	8' - 3"		1
FIRST FLOOR	4680	56	8' - 3"		1
FIRST FLOOR	4680	57	8' - 3"		1
FIRST FLOOR	4680	58	8' - 3"		1
FIRST FLOOR	4680	65	8' - 0"		1
FIRST FLOOR	4680	66	8' - 0"		1
FIRST FLOOR	5040	29	12' - 6"		1
FIRST FLOOR	5040	30	12' - 6"		1
FIRST FLOOR	5040	59	12' - 6"		1
FIRST FLOOR	5046	28	8' - 0"		1
FIRST FLOOR	5050	26	8' - 0"		1
FIRST FLOOR	5050	25	8' - 0"		1
FIRST FLOOR	5050	23	8' - 0"		1
FIRST FLOOR	5050	22	8' - 0"		1
FIRST FLOOR	5616	18	8' - 0"		1

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TOTAL COV'D CALCS.

MAIN HOUSE A/C	2,783 SQ FT
CASITA A/C	464 SQ FT
TOTAL HEATED	3,247 SQ FT
GARAGE	662 SQ FT
PORCHES	1,068 SQ FT
TOTAL COV'D	4,978 SQ FT

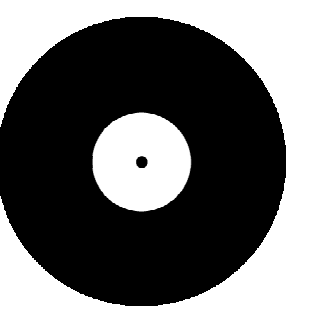
SHEET INDEX

0.0	PRESENTATION
A0.00	COVER
A0.01	INDEX
A1.00	SITE PLAN
A2.00	FIRST FLOOR PLAN
A2.01	FIRST FLOOR PLAN DIMENSIONED
A3.00	ROOF PLAN
A4.00	EXTERIOR ELEVATIONS
A4.01	EXTERIOR ELEVATIONS
A4.02	EXTERIOR ELEVATIONS
A4.10	BUILDING SECTIONS
A5.00	RENDERINGS & GRAPHICS
A6.00	REFLECTED CEILING PLAN
A7.10	INTERIOR ELEVATIONS
A7.11	INTERIOR ELEVATIONS
M1.00	MECHANICAL FLOOR PLAN
P1.00	PLUMBING FLOOR PLAN
S1.00	FIRST FLOOR STRUCTURAL DIAGRAM
S1.01	SLAB DIAGRAM

REFERENCE FLOOR PLANS AND ELEVATIONS FOR SIZE AND QUANTITY VERIFICATION REQUIRED FOR PROCUREMENT

GRAPHIC SYMBOLS

	Roof Slope		Floor Elevation Change
	Exterior Elevation		Window Tag
	Interior Elevation		Door Tag
			Elevation/Spot Elevation
			Centerline
			Plate Line



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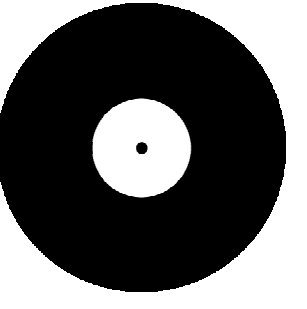
264 CHARRO VISTA DR, DRIFTWOOD, TX
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DESIGNER INITIAL
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1/4" = 1'-0" 5.26.23

A0.01



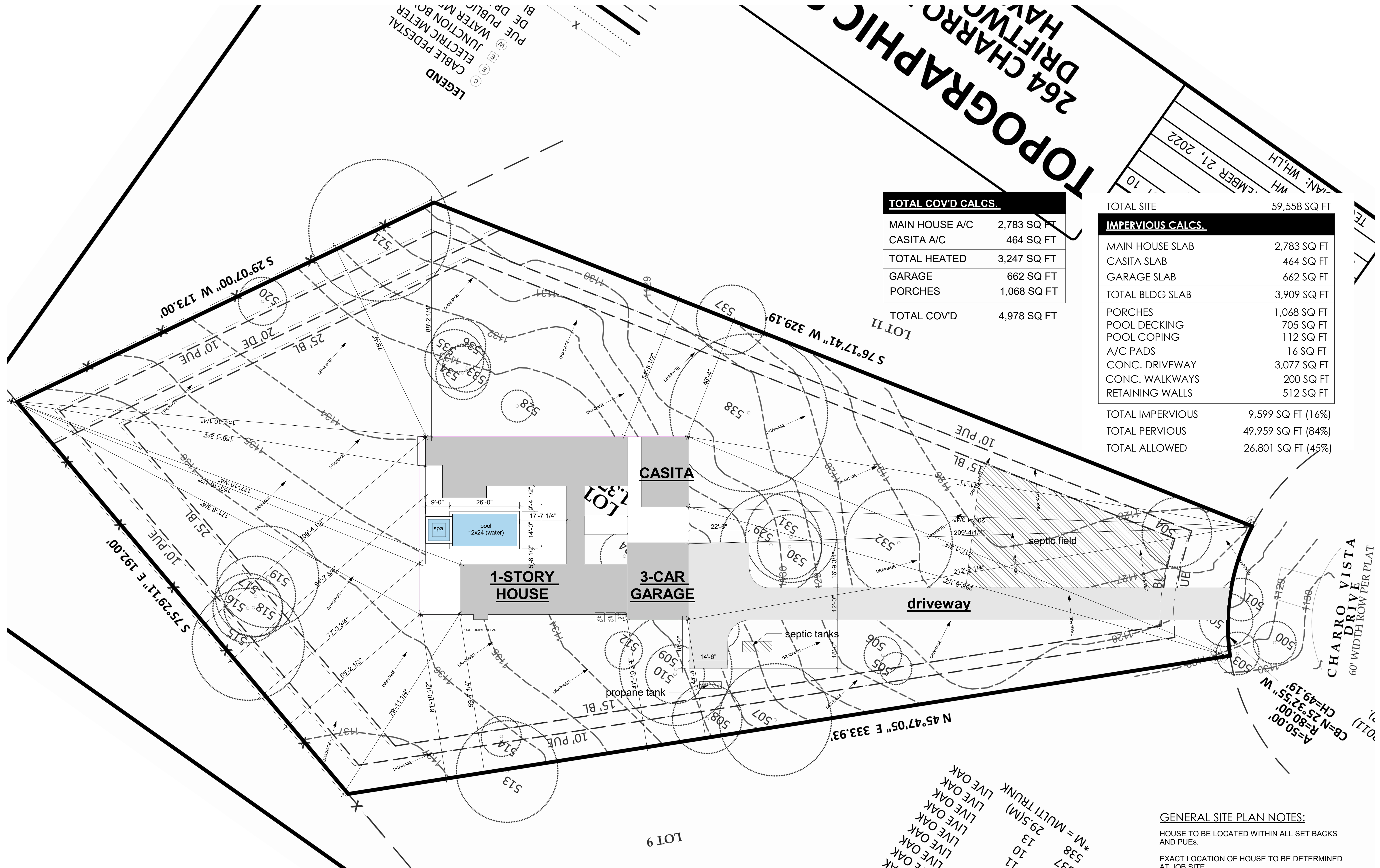
NO.	REVISIONS
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DESIGNER INITIAL _____

CLIENT INITIAL _____

As indicated 5.26.23

A1.00



TOTAL COV'D CALCS.

MAIN HOUSE A/C	2,783 SQ FT
CASITA A/C	464 SQ FT
TOTAL HEATED	3,247 SQ FT
GARAGE	662 SQ FT
PORCHES	1,068 SQ FT
TOTAL COV'D	4,978 SQ FT

IMPERVIOUS CALCS.

TOTAL SITE	59,558 SQ FT
MAIN HOUSE SLAB	2,783 SQ FT
CASITA SLAB	464 SQ FT
GARAGE SLAB	662 SQ FT
TOTAL BLDG SLAB	3,909 SQ FT
PORCHES	1,068 SQ FT
POOL DECKING	705 SQ FT
POOL COPING	112 SQ FT
A/C PADS	16 SQ FT
CONC. DRIVEWAY	3,077 SQ FT
CONC. WALKWAYS	200 SQ FT
RETAINING WALLS	512 SQ FT
TOTAL IMPERVIOUS	9,599 SQ FT (16%)
TOTAL PERVIOUS	49,959 SQ FT (84%)
TOTAL ALLOWED	26,801 SQ FT (45%)

GENERAL SITE PLAN NOTES:

HOUSE TO BE LOCATED WITHIN ALL SET BACKS AND PUES.

EXACT LOCATION OF HOUSE TO BE DETERMINED AT JOB SITE.

DRIVEWAY LAYOUT FOR REFERENCE ONLY. ACTUAL MAY VARY. MATERIAL PER OWNER. VERIFY COMPLIANCE WITH JURISDICTIONAL AUTHORITY PRIOR TO CONSTRUCTION.

1 Site Plan
1/16" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO SHEET A0.00 FOR ADDITIONAL GENERAL NOTES.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE TO THE FACE OF STUD ON WALLS, UNLESS OTHERWISE INDICATED.
- ALL SINKS AND LAVATORIES SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE FIXTURE IS 1'-3" MIN. TO THE FACE OF ADJACENT FIXED EQUIPMENT, PARTITIONS, CASEWORK, WALLS, ETC. AND 1'-3" MIN. TO THE CENTER OF AN ADJACENT FIXTURE.
- ALL INTERIOR AND EXTERIOR WALLS TO BE 4" STUD WITH DOUBLE SIDED GYP UNLESS OTHERWISE NOTED.
- RE: SHEET A0.04 FOR PARTITION TYPE SCHEDULE ALL WALLS TO BE LEVEL 7 FINISH UNLESS OTHERWISE SPECIFIED.
- DOORS INSTALLED ADJACENT TO PERPENDICULAR WALL SHALL BE LOCATED 4 1/2" (3 STUD WIDTHS) FROM FACE OF FLANKING WALL STUDS.
- ALL CONSTRUCTION AND SPECIFICATIONS TO COMPLY WITH CURRENT BUILDING CODES, INCLUDING BUT NOT LIMITED TO BEDROOM WINDOWS, CHIMNEYS, FIREPLACES, STAIRWAYS, HANDRAILS, DUCTWORK, ELECTRICAL FIXTURES, ATTIC ACCESS, CLASS USED IN SHOWER, VENTILATION, WALL BRACING, FOUNDATION, SLAB, SITE DRAINAGE, STRUCTURAL LOADS, IRRIGATION, ATTIC VENTILATION, ROOFING MATERIALS & REQUIREMENTS, CONCRETE PSI, BASEMENT CONSTRUCTION INCLUDING WATERPROOFING AND VENTILATION, AND ENGINEERING WHEN NECESSARY.
- THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO CONSTRUCT THIS STRUCTURE. THEREFORE THESE PLANS MUST BE FIELD VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR OR SUBCONTRACTOR. ALL CODES, ORDINANCES, AND REQUIREMENTS FEDERAL, STATE AND LOCAL, TAKE PRECEDENCE OVER ANY PART OF THESE DOCUMENTS WHICH MAY CONFLICT WITH THESE AGENCIES RULES AND/OR REGULATIONS AND MUST BE ADHERED TO BEFORE AND DURING CONSTRUCTION. THESE PLANS AND ARE USE ARE THE PROPERTY OF THE DESIGNER AND ARE NOT TO BE REPRODUCED, USED FOR OTHER CONSTRUCTION, TRACED, REDRAWN, OR WE USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.
- DIMENSIONS SHOWING ON THE FLOORPLAN ARE NOMINAL. SLIGHT FIELD ADJUSTMENTS MAY BE NECESSARY. BUILDER/CONTRACTORS TAKE FULL RESPONSIBILITY FOR ANY CHANGES MADE IN THE FIELD.
- WINDOW SIZES ARE FOR REFERENCE. EXACT WINDOW SIZE AND TYPE SHALL BE SELECTED BY BUILDER IN ACCORDANCE WITH ALL BUILDING CODES. PROVIDE FIRE EGRESS AND BEDROOM WINDOWS AS PER CODE.
- PROVIDE ATTIC VENTILATION AS PER BUILDING CODES.
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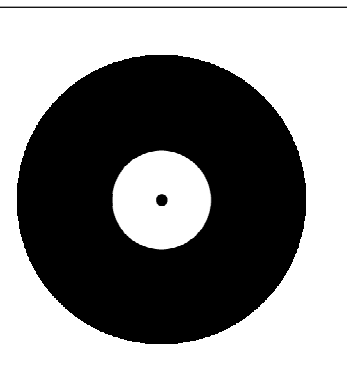
FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- COLUMN GRID
- EXTERIOR ELEVATION TAG
- INTERIOR ELEVATION TAG
- BUILDING SECTION TAG
- WALL SECTION TAG
- ENLARGED CALL OUT
- DOOR TAG
- PARTITION TAG
- WINDOW DIMENSION

ROOM NAME
0'-0" X 0'-0"
CEILING DESC.

FLOOR PLAN NOTES BY NUMBER

TOTAL COVD' CALCS.	
MAIN HOUSE A/C	2,783 SQ FT
CASITA A/C	464 SQ FT
TOTAL HEATED	3,247 SQ FT
GARAGE	662 SQ FT
PORCHES	1,068 SQ FT
TOTAL COVD'	4,978 SQ FT



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FIRST FLOOR PLAN
264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	REVISIONS
1	
2	
3	
4	
5	
6	
7	

DESIGNER INITIAL
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

A2.00



1 **FIRST FLOOR**
1/4" = 1'-0" **PLAN**
DIMENSIONED

FLOOR PLAN GENERAL NOTES

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FLOOR PLAN LEGEND

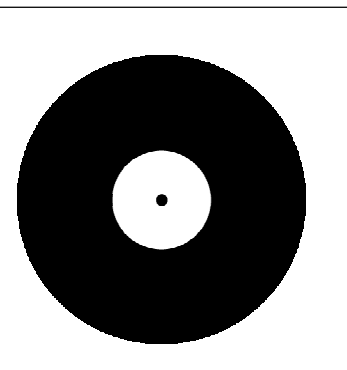
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ROOM NAME
0'-0" X 0'-0" ROOM TAG
CEILING DESC.

FLOOR PLAN NOTES BY NUMBER

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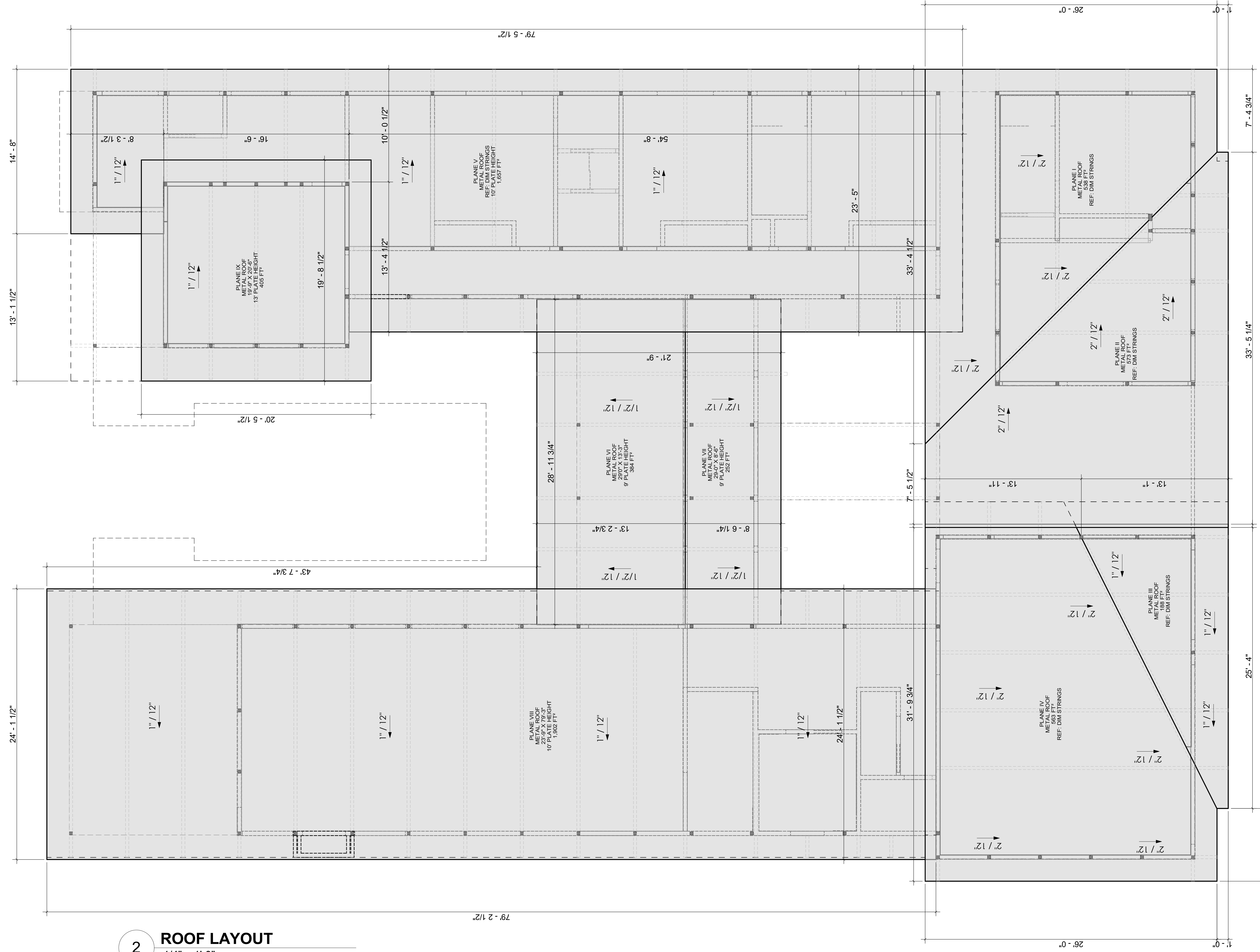
FIRST FLOOR PLAN
DIMENSIONED
264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	REVISIONS
1	
2	
3	
4	
5	
6	
7	

DESIGNER INITIAL
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

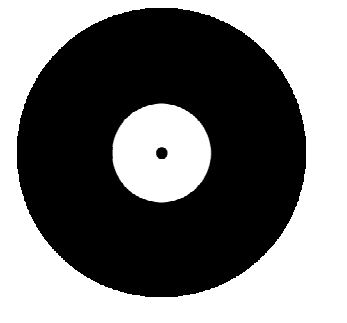
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- ROOF PLAN GENERAL NOTES**
- PITCHES TO BE AS NOTED ON PLANS.
 - ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
 - ALL OVERHANGS TO BE AT LEAST 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
 - ALL FRAMING TO BE PER ENGINEER'S SPECIFICATIONS.
 - BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
 - ALL LOAD BEARING HEADERS & CONCEALED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER.
 - ALL POSTS, BEAMS, TRUSSES, ETC. TO BE SIZED AND APPROVED BY ENGINEER. POSTS TO BE DOUG. FIR.
 - OPEN CELL SPRAY FOAM INSULATION PER SUPPLIER AT ALL ENCLOSED ATTIC AREAS TO CREATE CONDITIONED ATTIC SPACE.
 - ENGINEERED FRAMING AND WIND BRACING TO BE PROVIDED BY OTHERS
 - CHIMNEY TO BE CONSTRUCTED TO MEET INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS
 - ROOFER IS RESPONSIBLE FOR CALLING OUT AND CONSTRUCTING CRICKETS TO CODE.
- ROOF PLAN LEGEND**
- CRICKET
 - SHINGLE ROOF
 - METAL ROOF
 - STRUCTURAL FRAMING BELOW
 - WALLS BELOW
 - SPOT SLOPE
 - HIDDEN ROOF PLANE BELOW

- LEGEND**
- ROOF PLANE
 - STRUCTURAL FRAME BELOW
 - STRUCTURAL BEAM
 - HIDDEN ROOF PLANE BELOW
 - STRUCTURAL POST

2 ROOF LAYOUT
1/4" = 1'-0"



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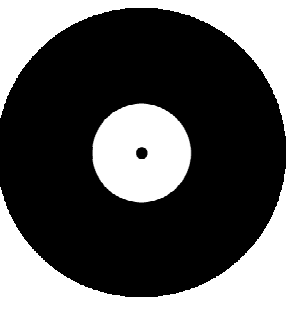
ROOF PLAN
264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	REVISIONS
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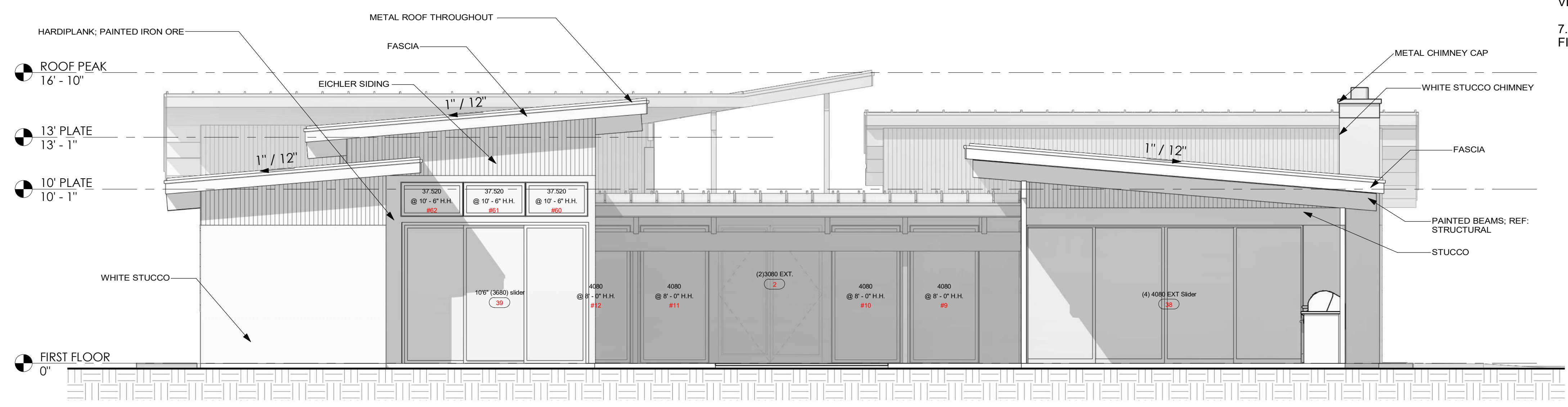
DESIGNER INITIAL
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

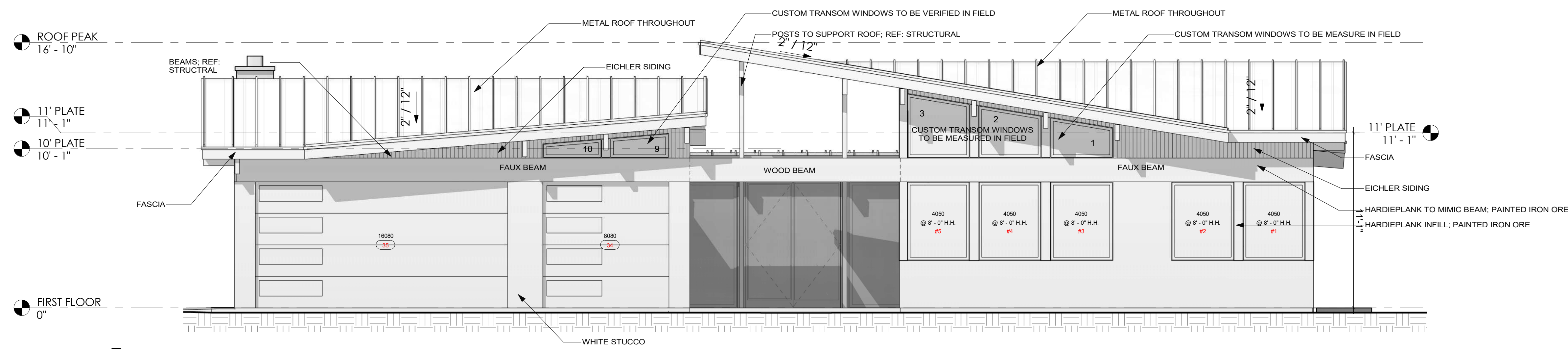
A3.00



- GENERAL ELEVATION NOTES:**
- 2.) MAXIMUM 12" EXPOSED FOUNDATION ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. NO EXPOSED GALVANIZED FLASHING ALLOWED.
 - 3.) GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
 - 4.) ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
 - 5.) ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
 - 6.) CHIMNEY/FLUE, IF REQUIRED, AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
 - 7.) ALL ATTIC AND GARAGE WINDOWS TO APPEAR FINISHED OUT.



2 REAR ELEVATION
 1/4" = 1'-0"



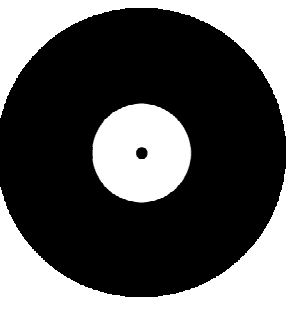
1 FRONT ELEVATION
 1/4" = 1'-0"

1	2	3	4	5	6	7
REVISIONS						

DESIGNER INITIAL

CLIENT INITIAL

1/4" = 1'-0" 5.26.23

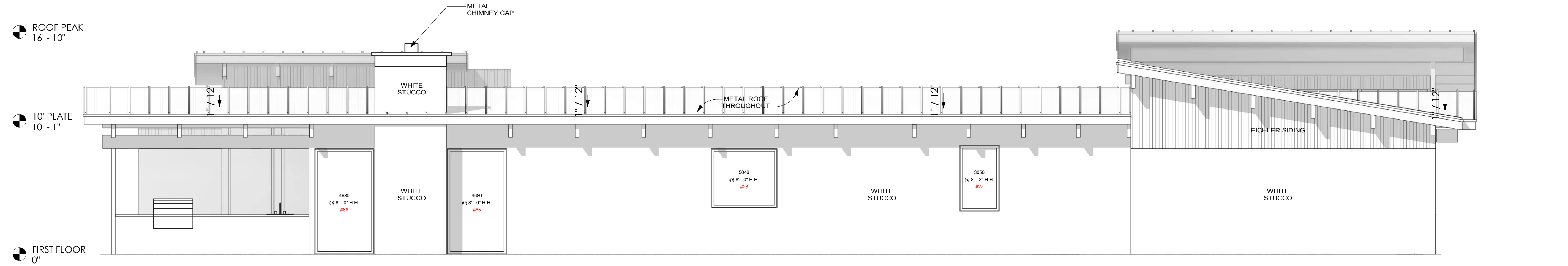


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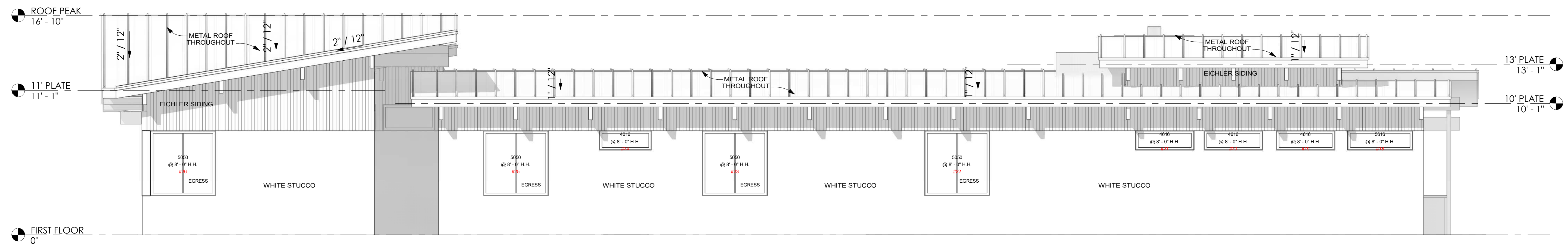
EXTERIOR ELEVATIONS

264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE



2 LEFT ELEVATION
1/4" = 1'-0"

Note:
In compliance with Table R302.1(1) of the IRC
Fireblocking is provided from the wall top plate
to the underside of the roof sheathing to bring
the roof eave fire-resistance rating to 0 hours
on the underside of the eave.
This structure will not have gable vent
openings.



1 RIGHT ELEVATION
1/4" = 1'-0"

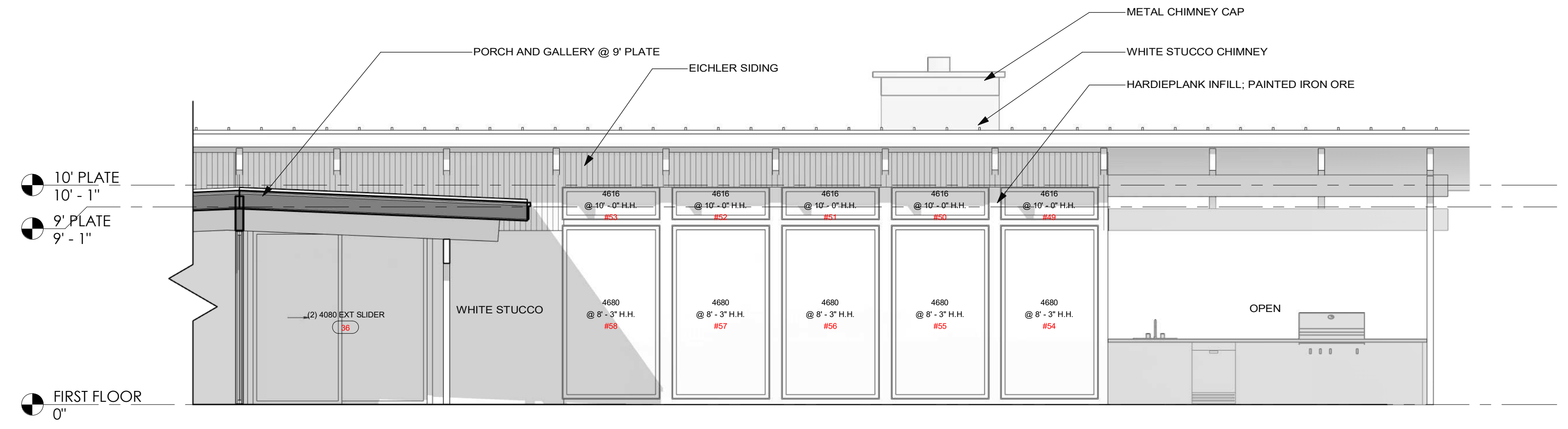
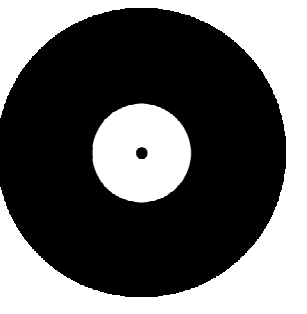
1	2	3	4	5	6	7
REVISIONS						

DESIGNER INITIAL

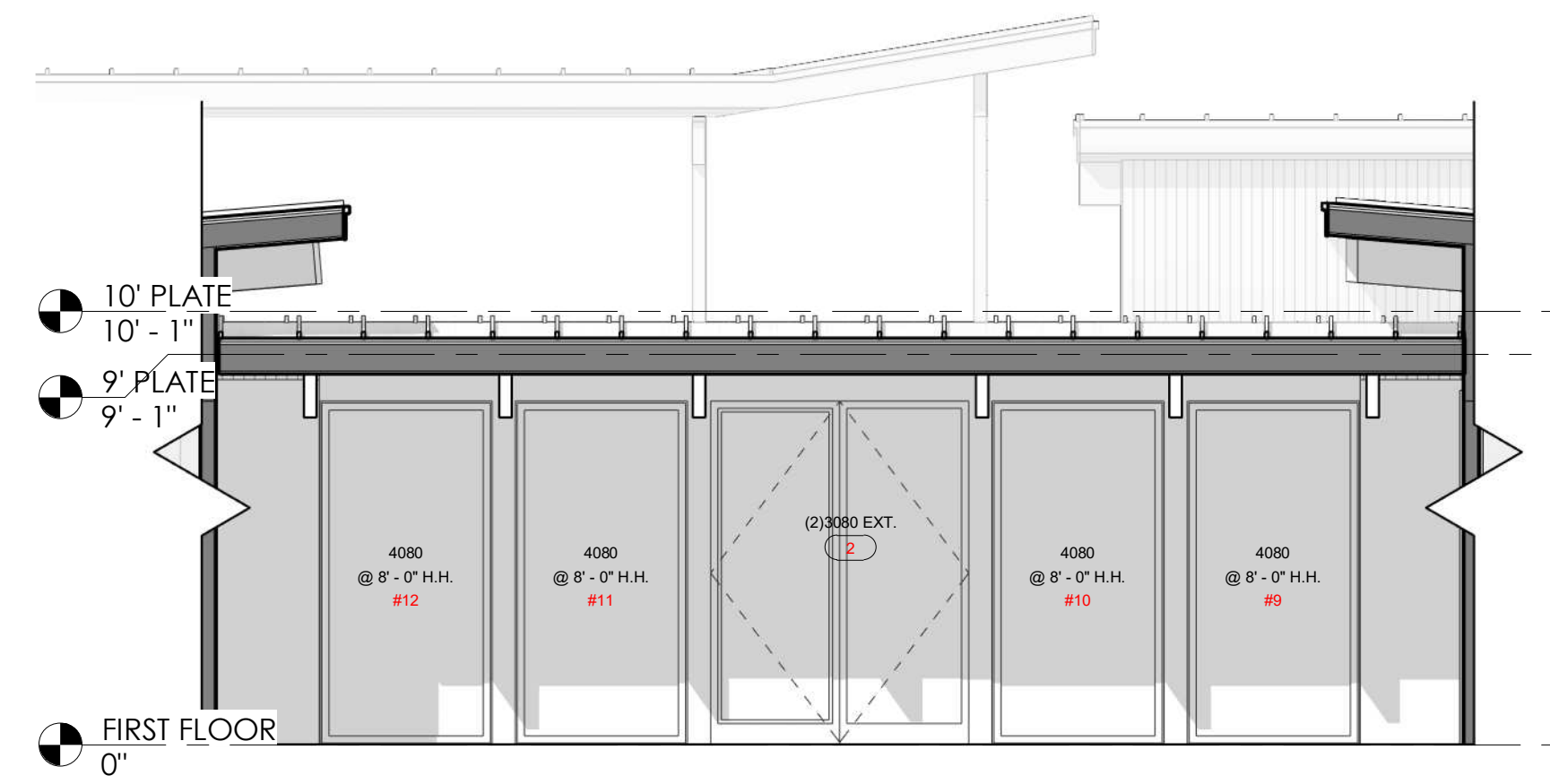
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

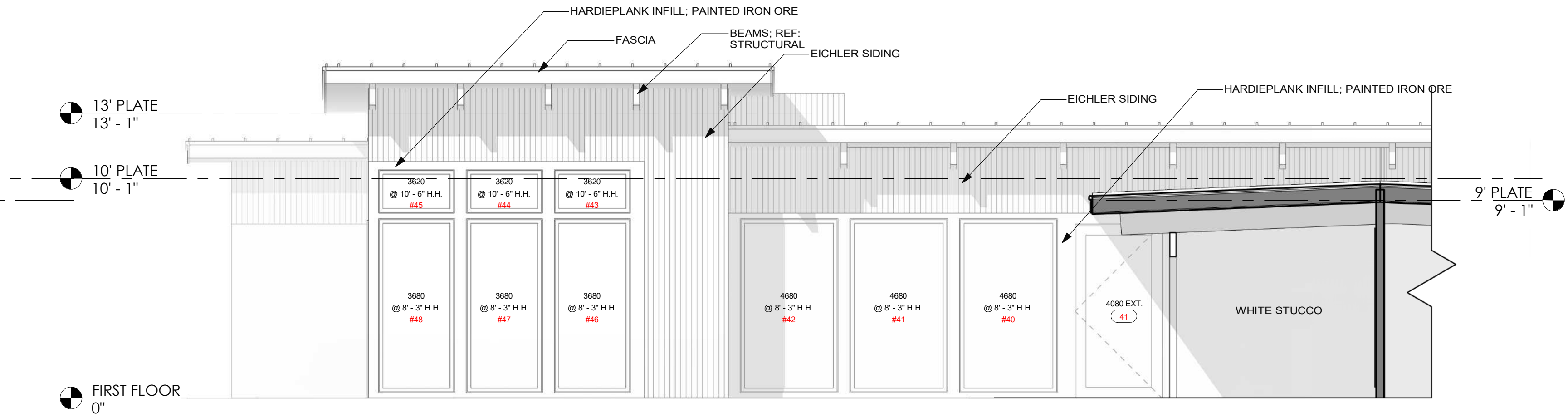
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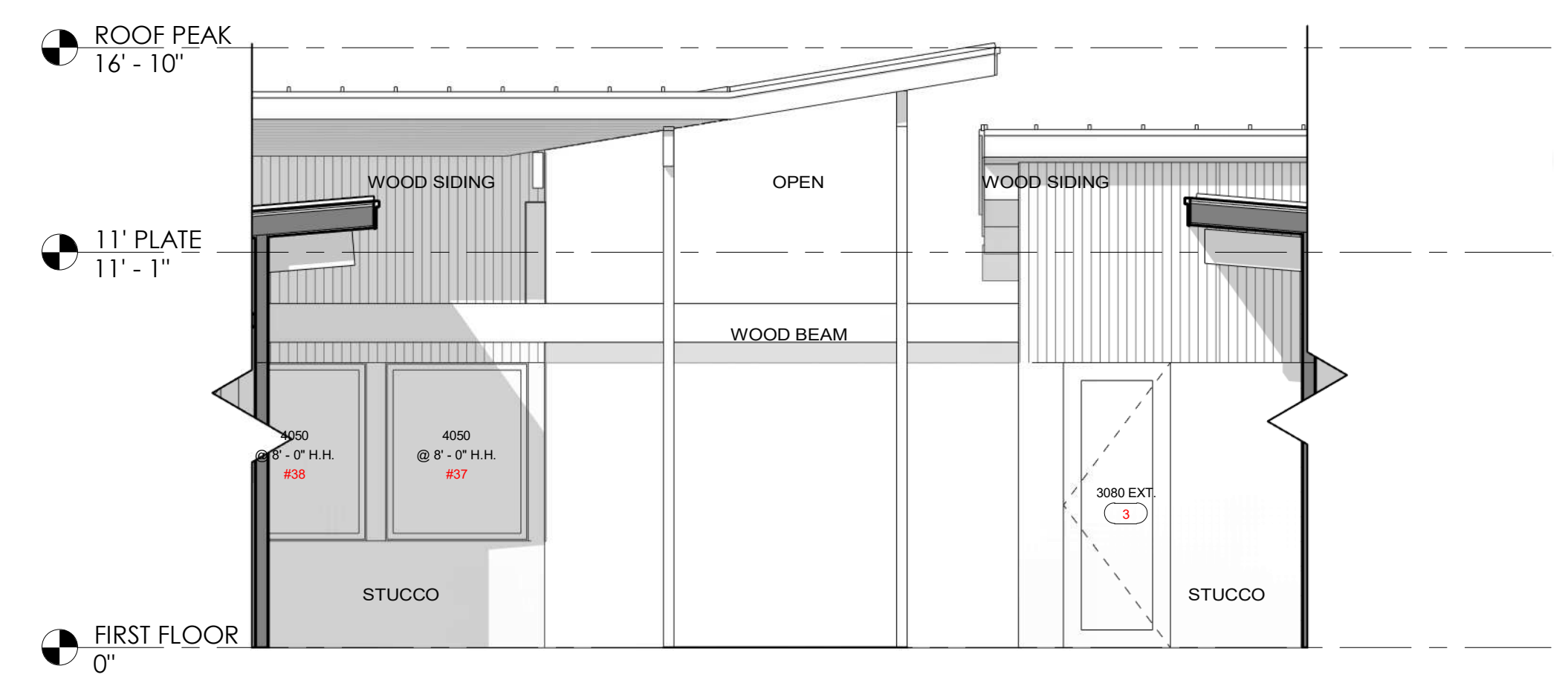
7 REAR COURTYARD - COMMONS WING
1/4" = 1'-0"



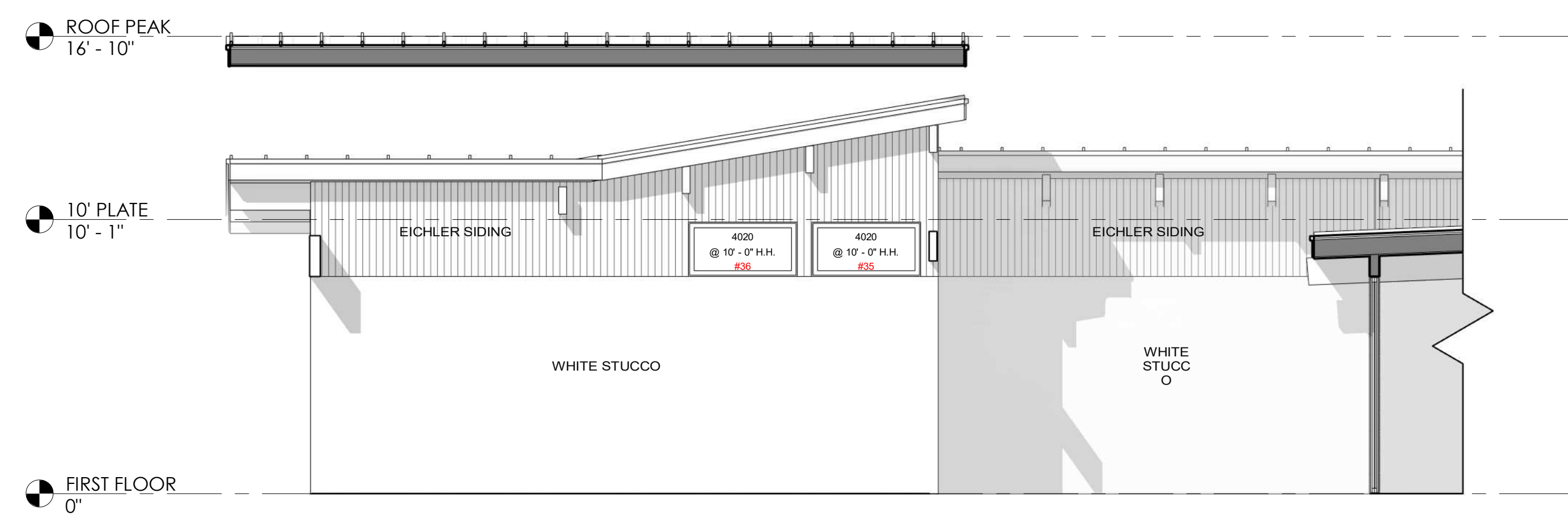
6 REAR COURTYARD - BACK PORCH
1/4" = 1'-0"



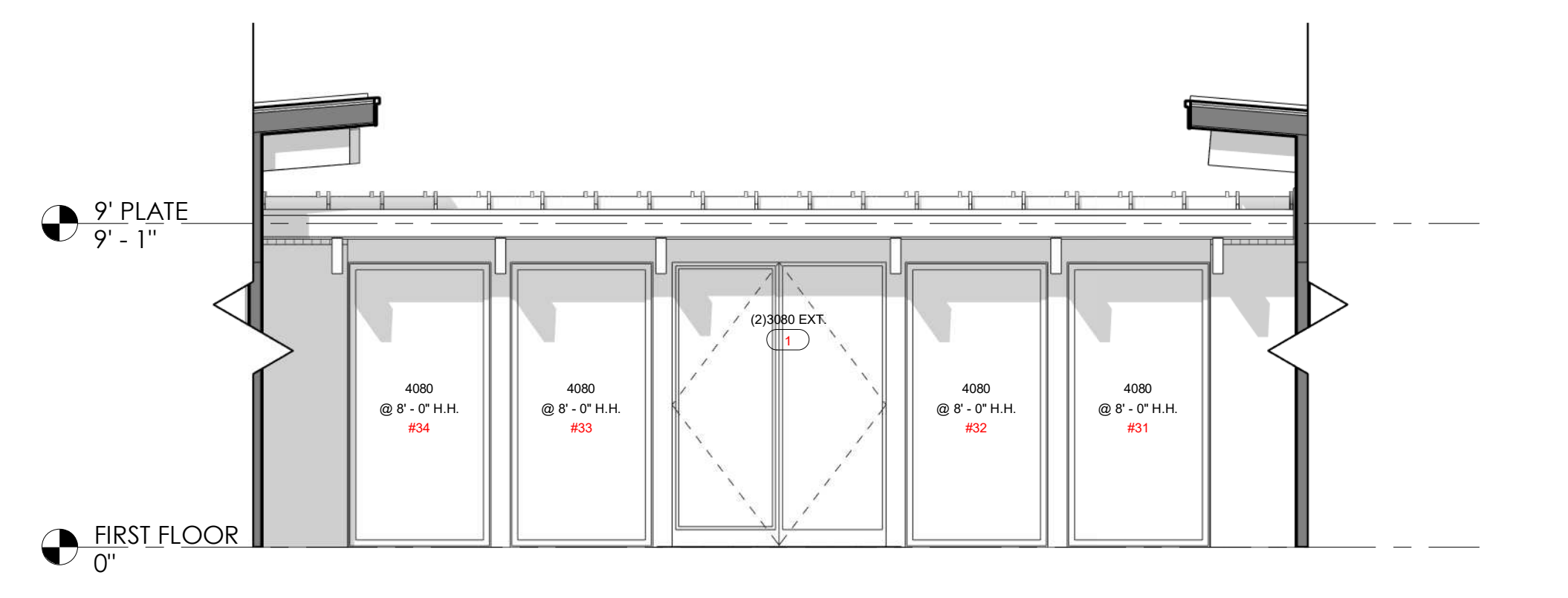
5 REAR COURTYARD - BEDROOM WING
1/4" = 1'-0"



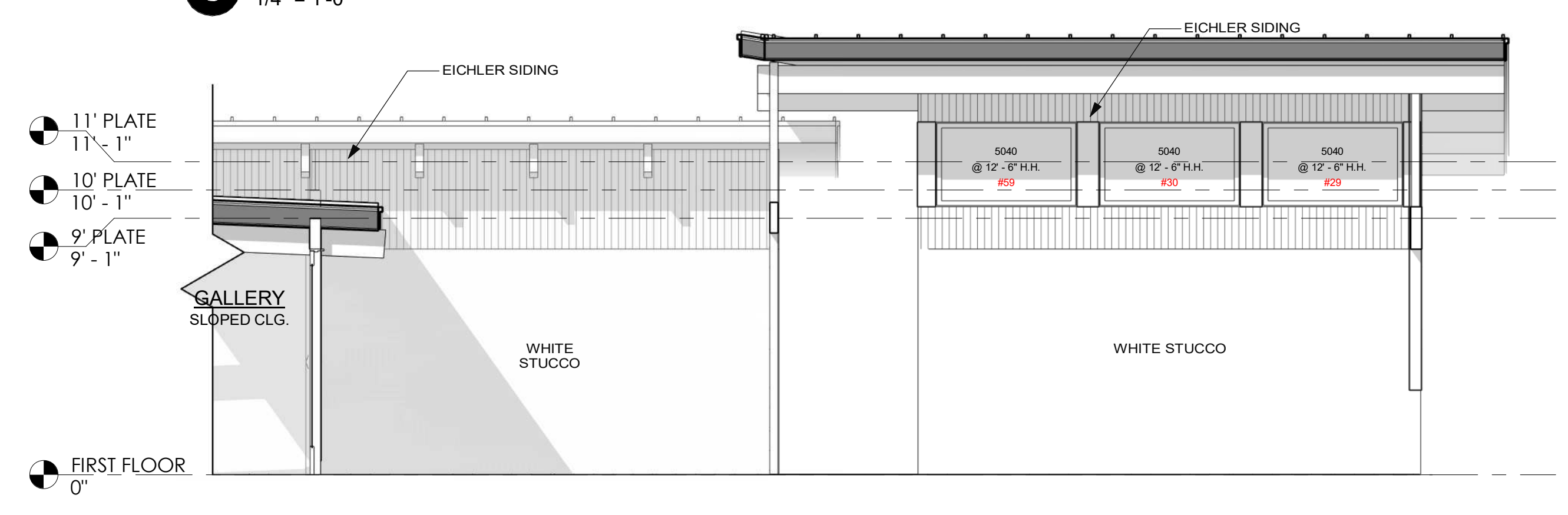
4 FRONT COURTYARD
1/4" = 1'-0"



3 FRONT COURTYARD - LEFT
1/4" = 1'-0"



2 FRONT COURTYARD - GALLERY WALL
1/4" = 1'-0"



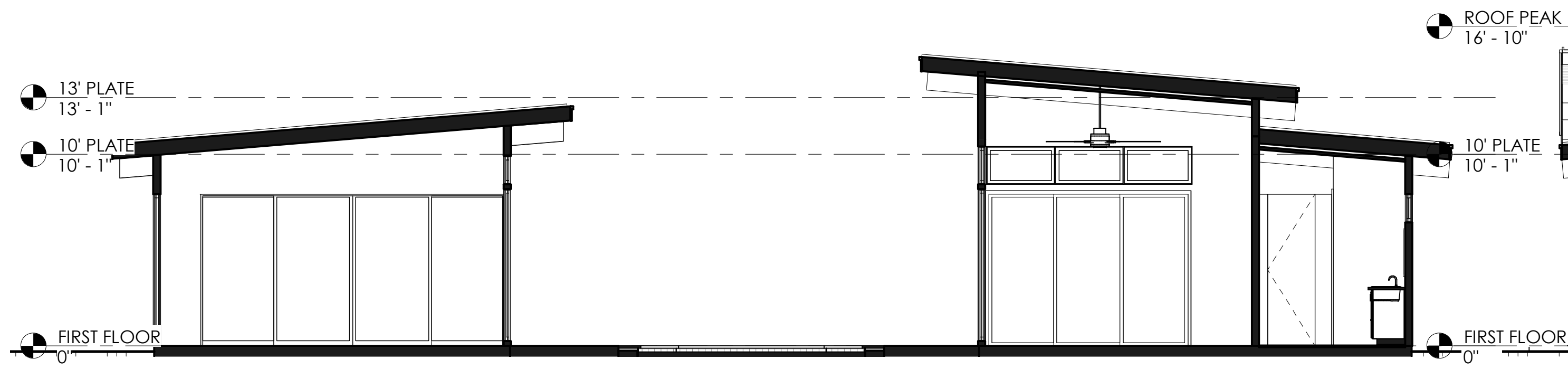
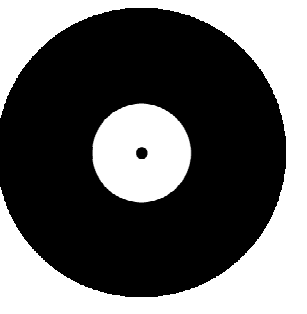
1 FRONT COURTYARD - RIGHT
1/4" = 1'-0"

1	2	3	4	5	6	7

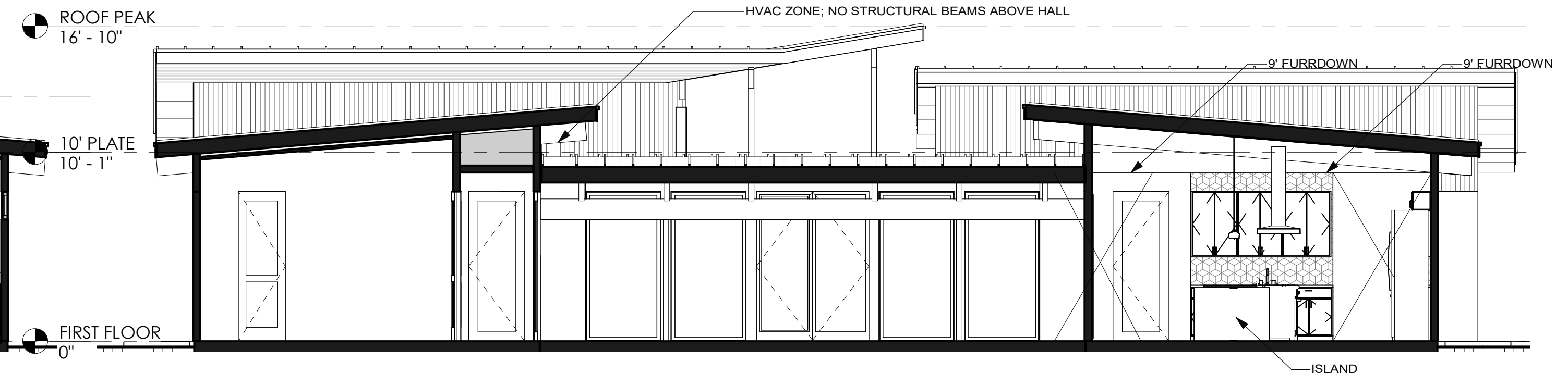
REVISIONS

DESIGNER INITIAL

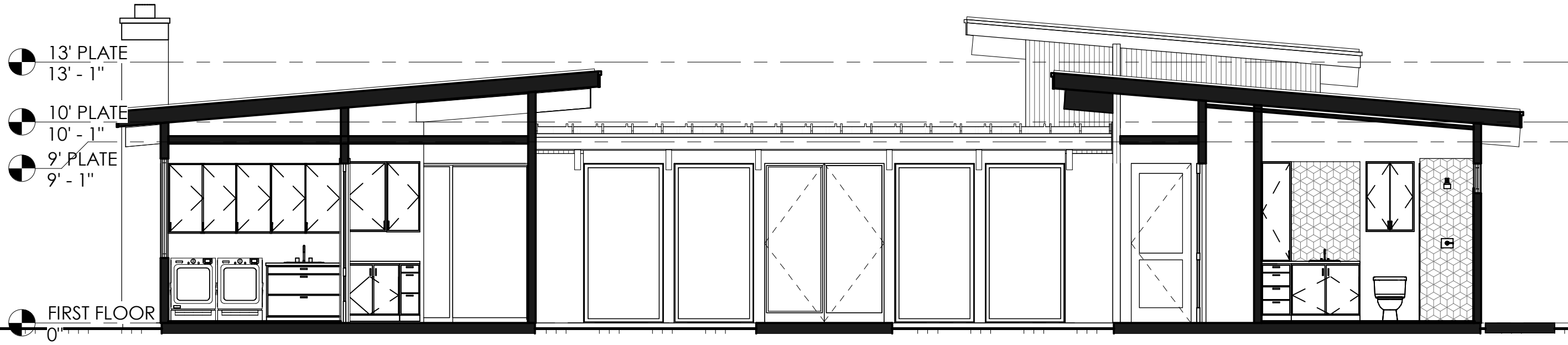
CLIENT INITIAL



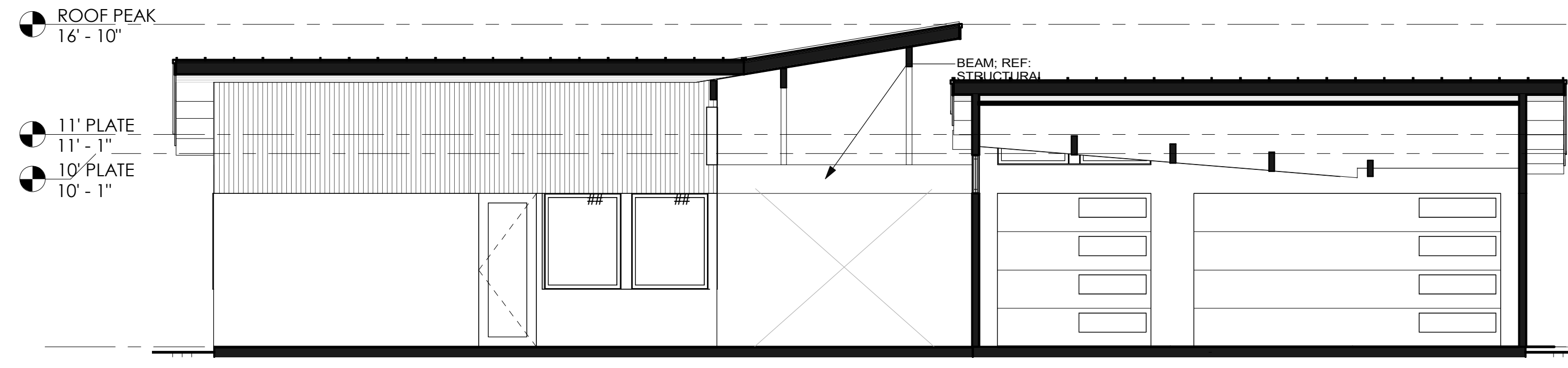
6 BUILDING SECTION - CROSS 4
 3/16" = 1'-0"



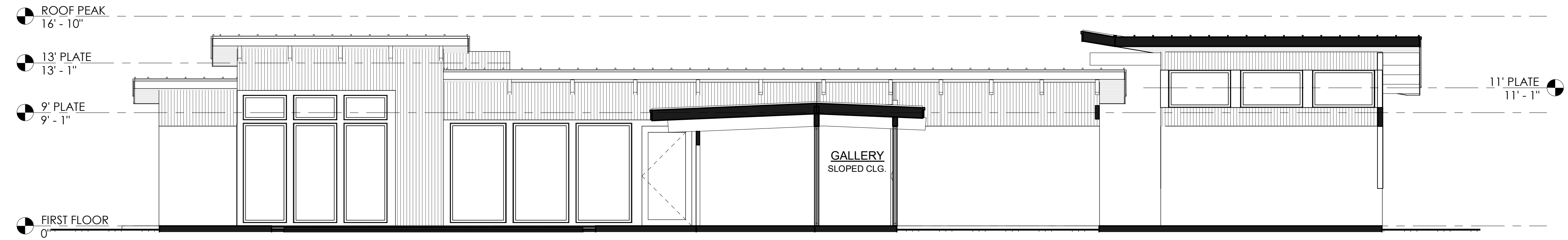
5 BUILDING SECTION - CROSS 3
 3/16" = 1'-0"



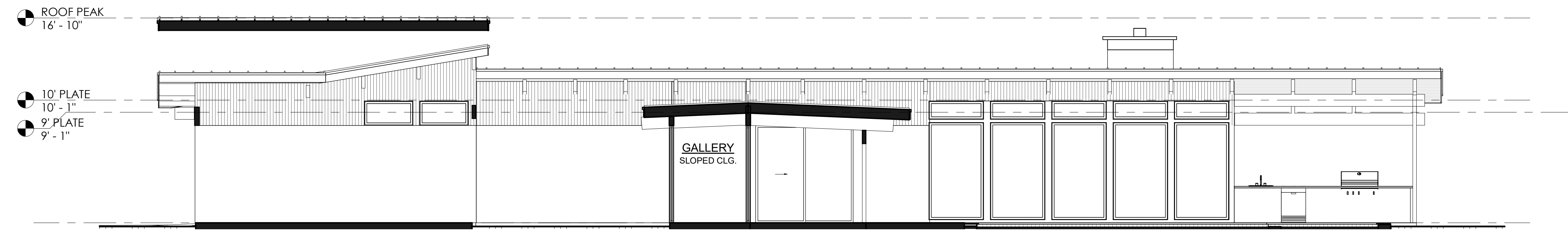
4 BUILDING SECTION - CROSS 2
 3/16" = 1'-0"



3 BUILDING SECTION - CROSS 1
 3/16" = 1'-0"



2 BUILDING SECTION - LONG 2
 3/16" = 1'-0"

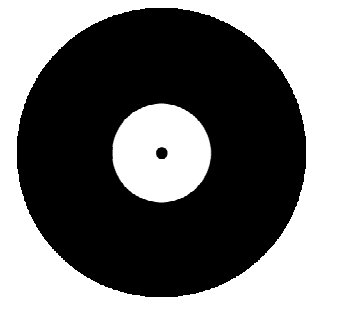
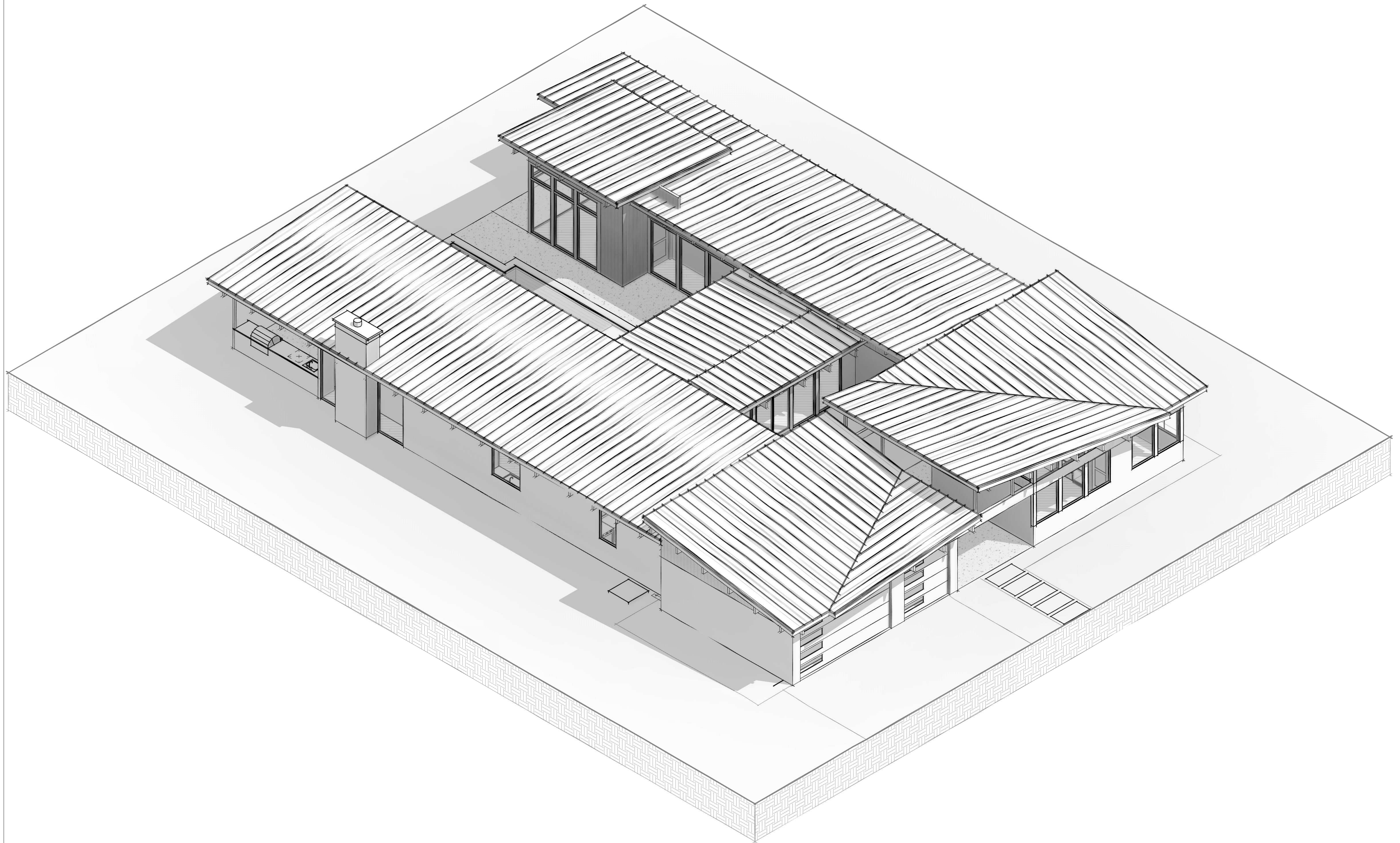


1 BUILDING SECTION - LONG 1
 3/16" = 1'-0"

NO.	REVISIONS
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DESIGNER INITIAL
 CLIENT INITIAL

3/16" = 1'-0" 5.26.23



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RENDERINGS & GRAPHICS

264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	DESCRIPTION
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DESIGNER INITIAL
CLIENT INITIAL

5.26.23

A5.00



1 REFLECTED
1/4" = 1'-0" CLG

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DESIGNER INITIAL

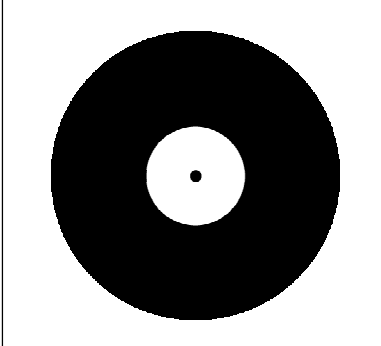
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

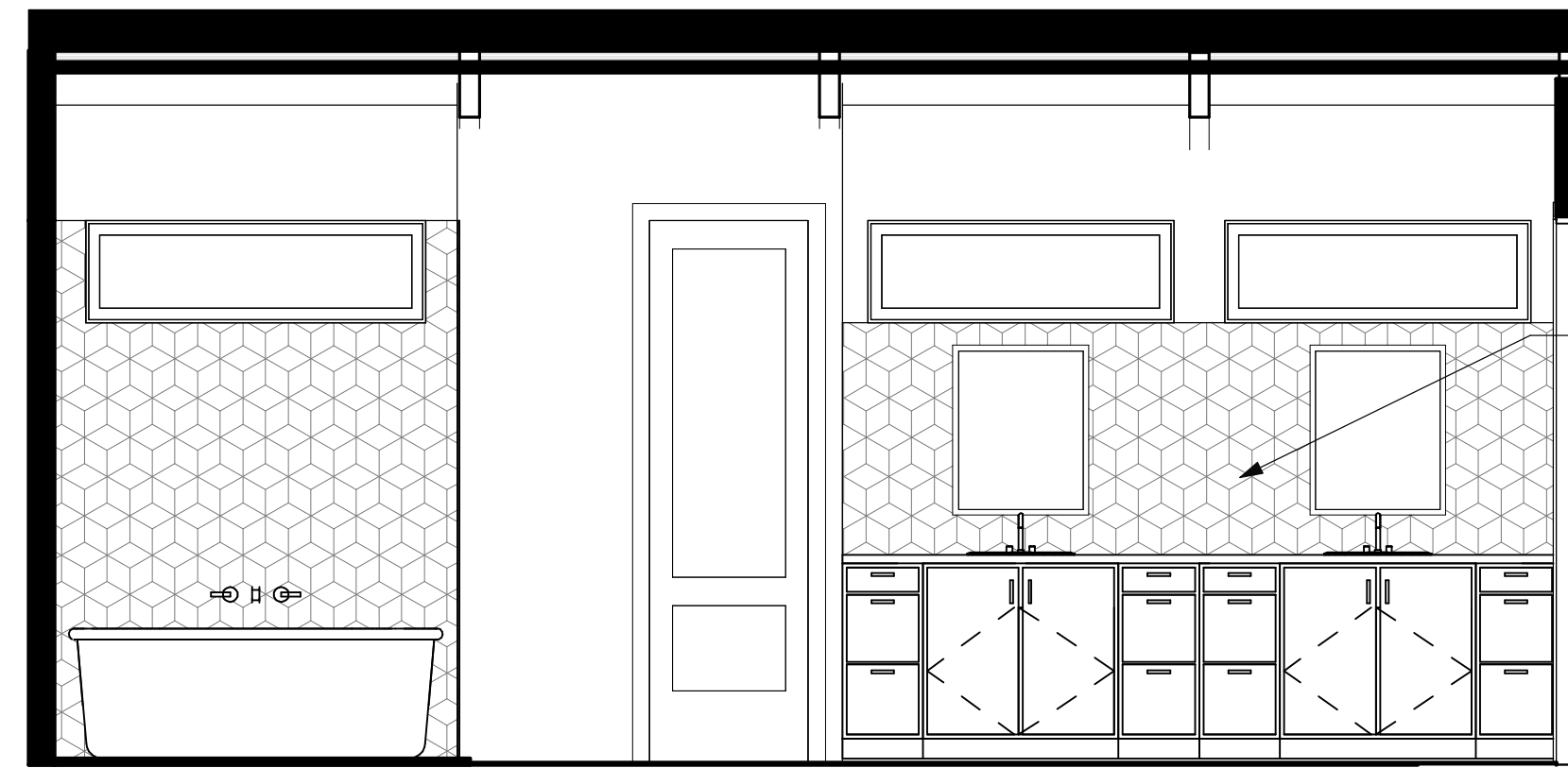
A6.00

REFLECTED CEILING PLAN
264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

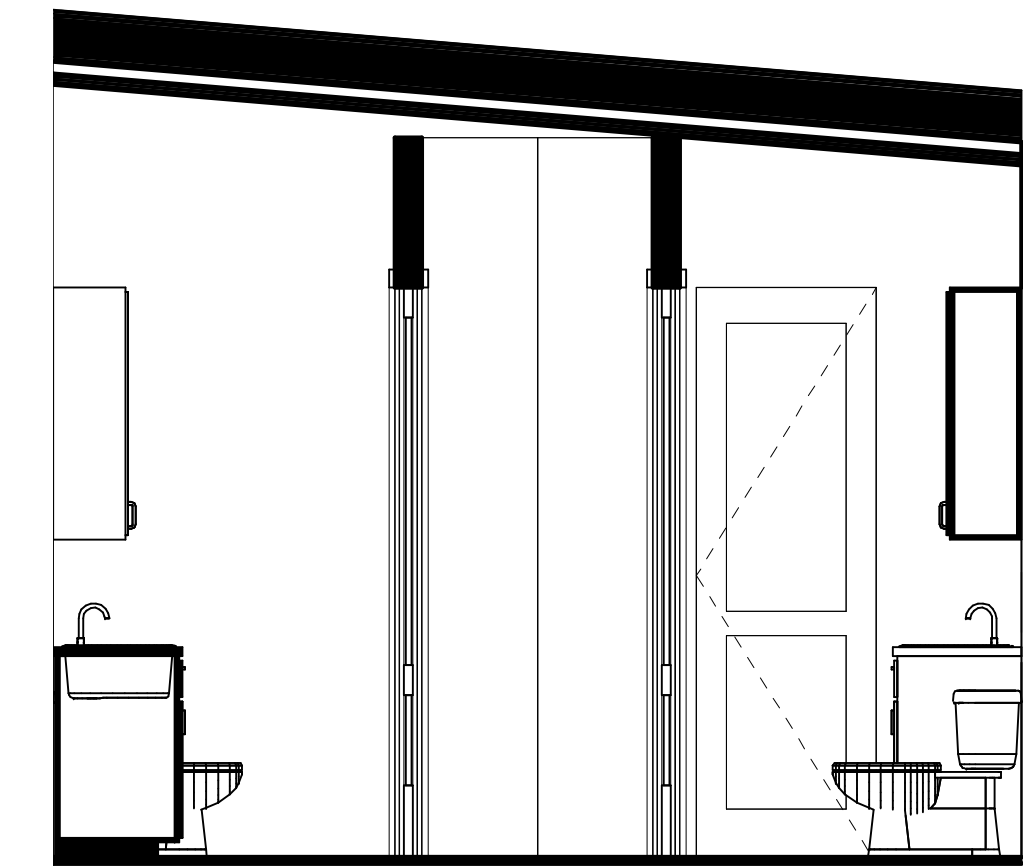
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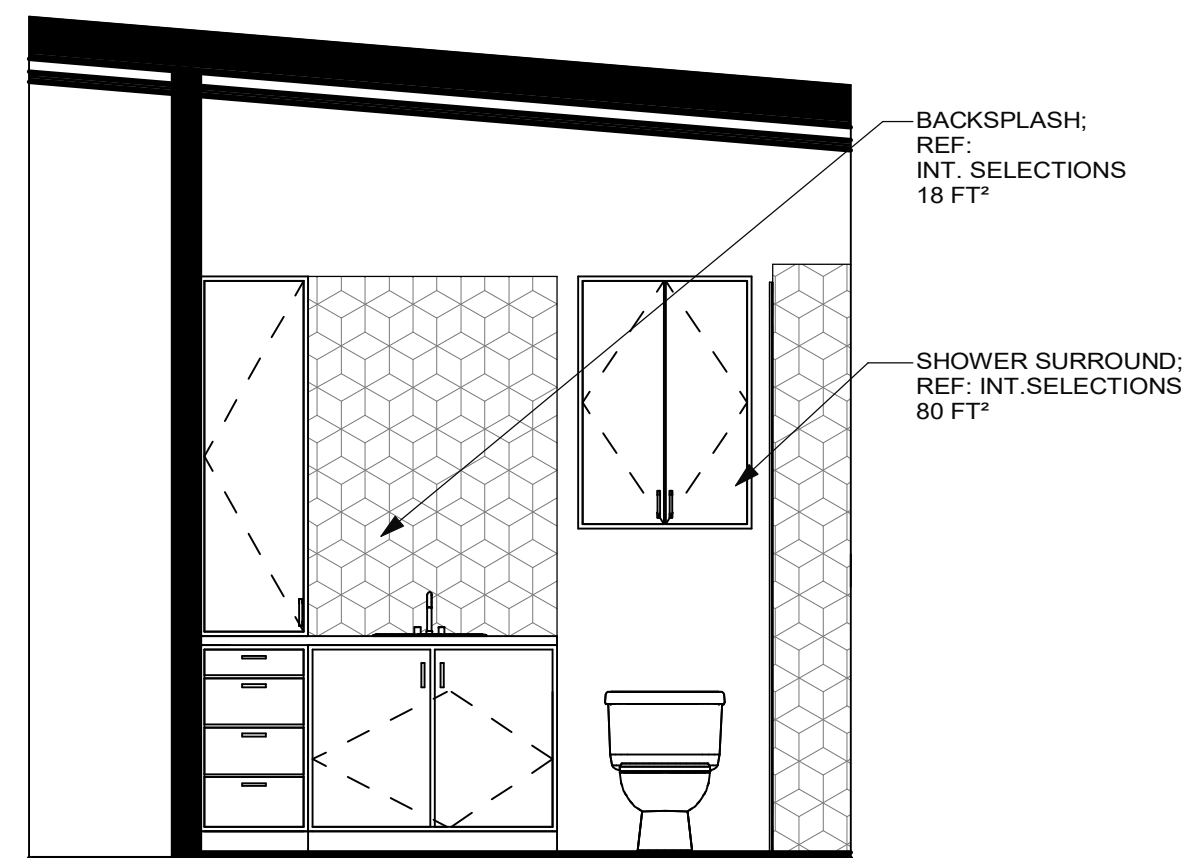
NOTE: CABINET ELEVATIONS NOT FINAL
SEE CABINET VENDOR DRAWINGS FOR FINAL CABINET SELECTIONS AND SIZING



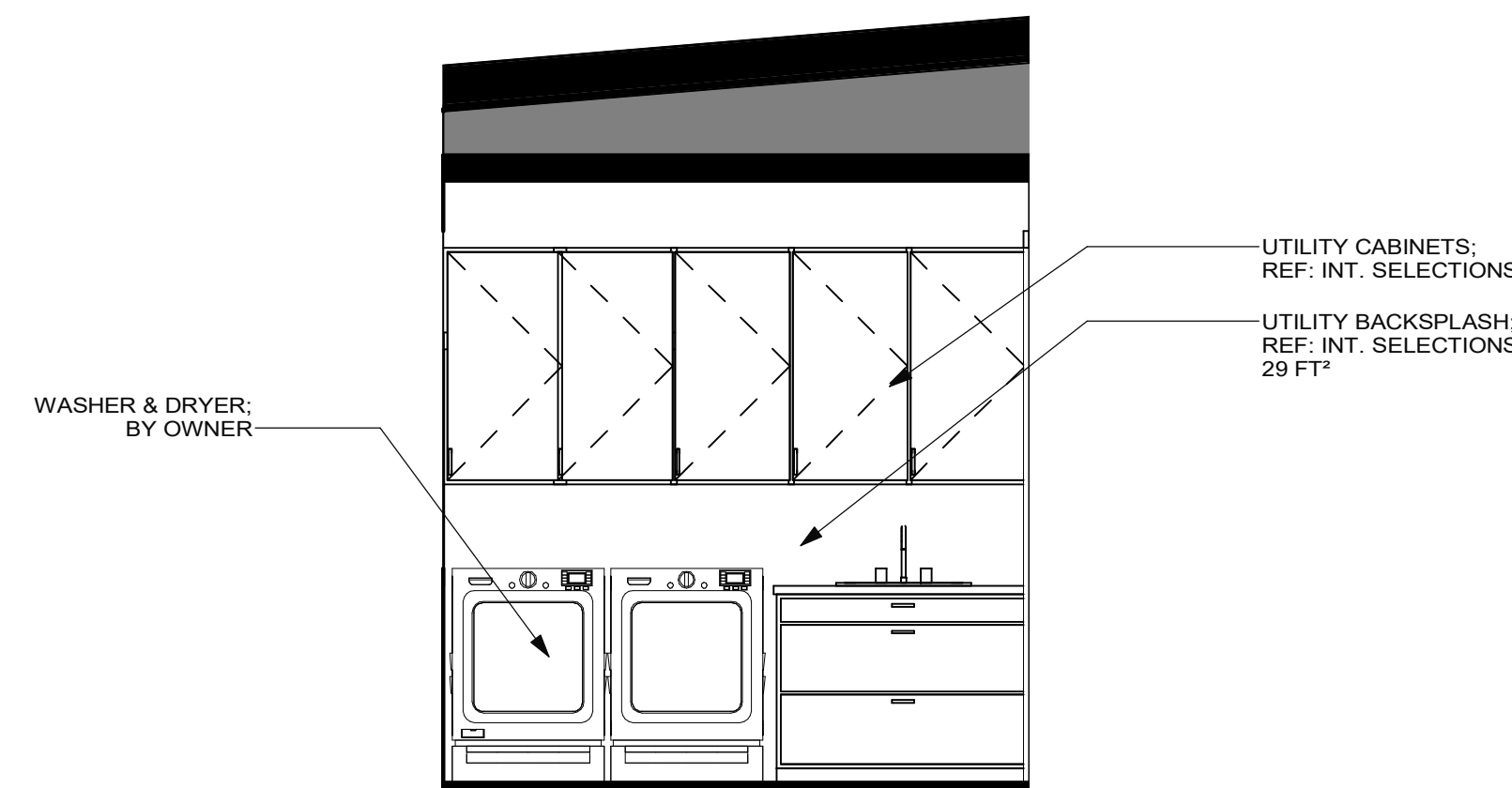
12 INTERIOR ELEVATION - MASTER BATH
3/8" = 1'-0"



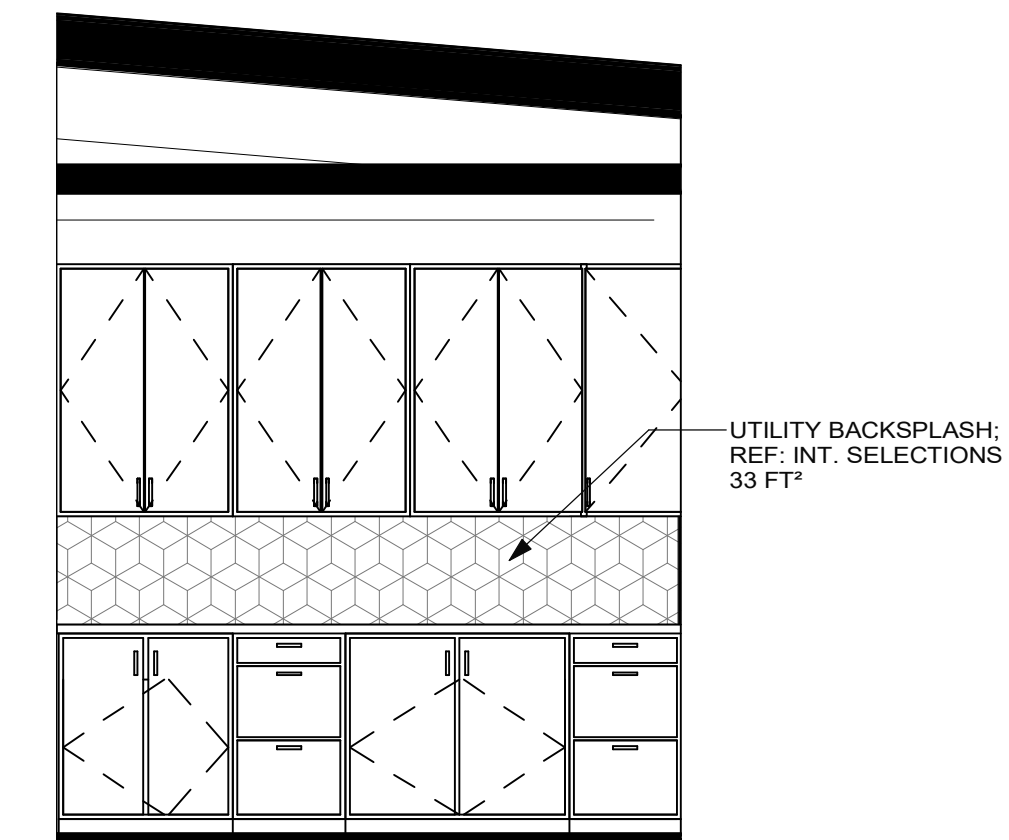
11 INTERIOR ELEVATION - BATH 3
3/8" = 1'-0"



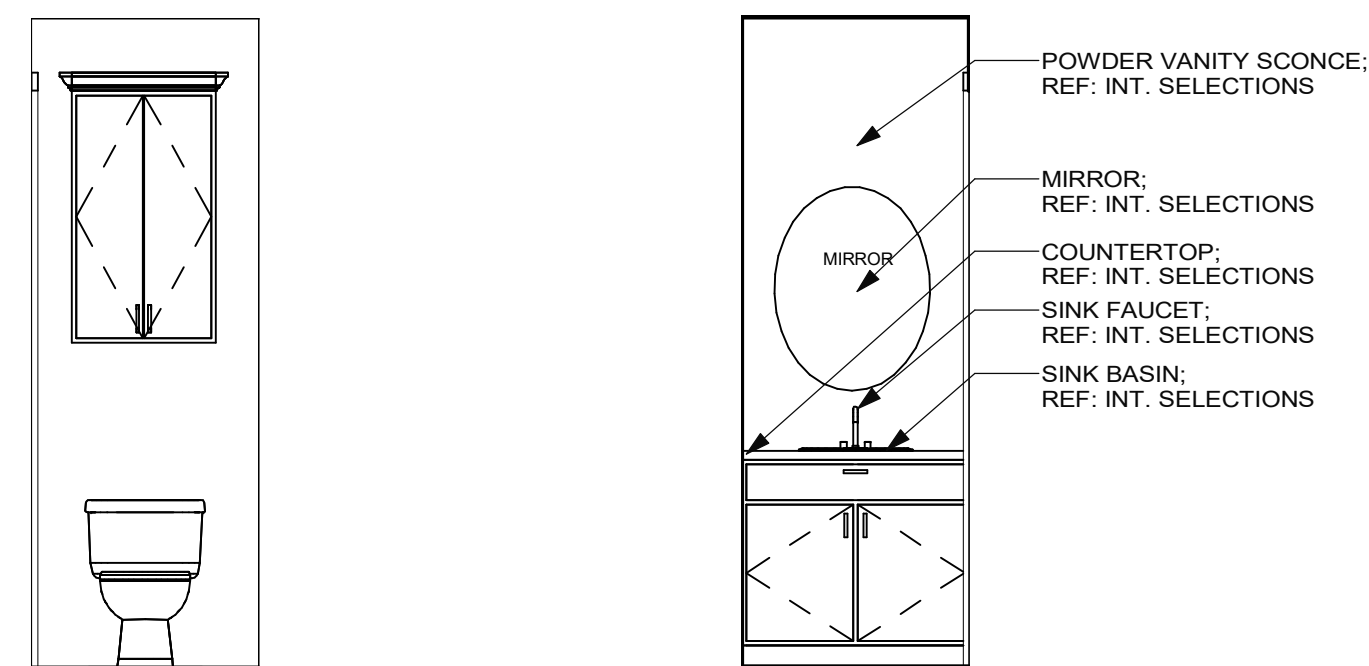
10 INTERIOR ELEVATION - BATH 2
3/8" = 1'-0"



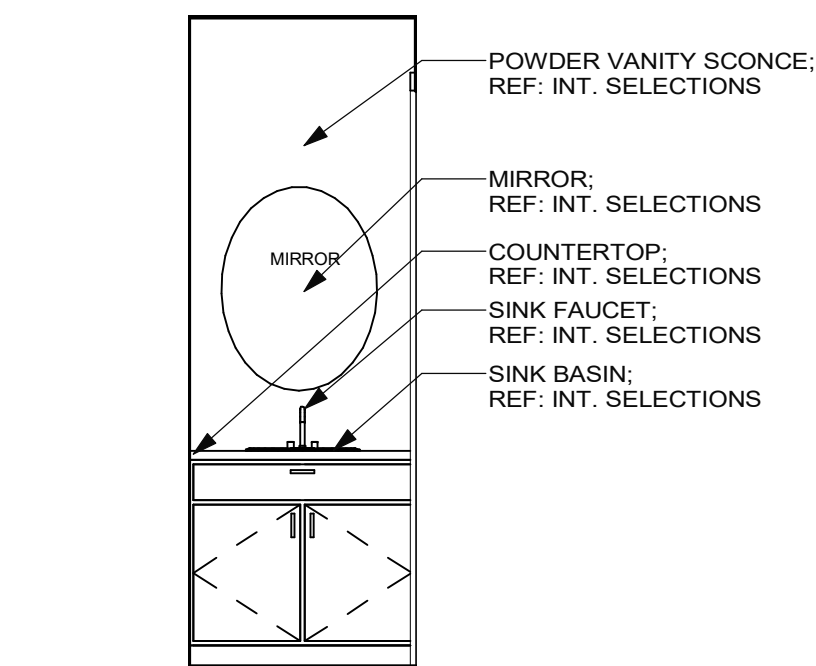
6 INTERIOR ELEVATION - UTILITY II
3/8" = 1'-0"



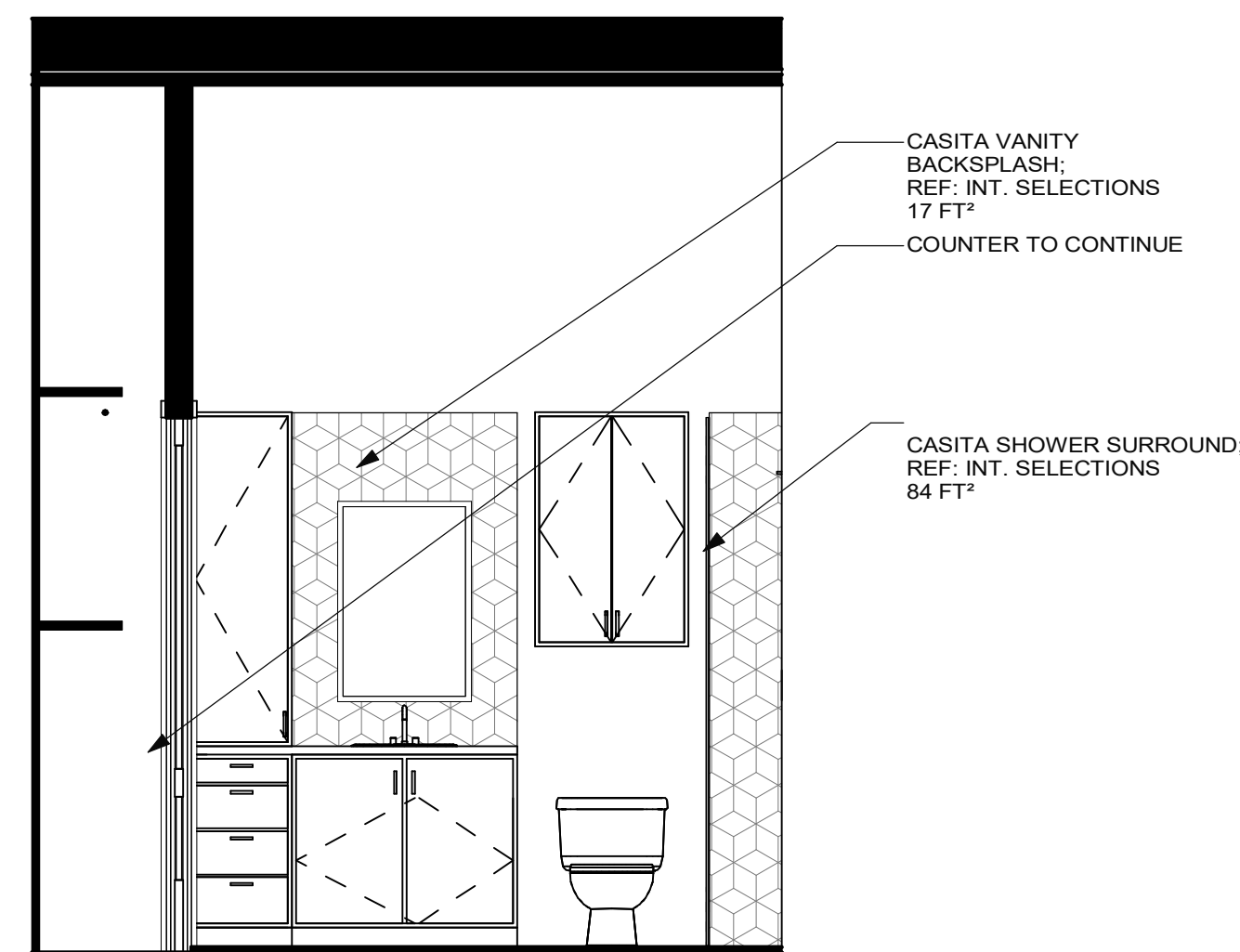
5 INTERIOR ELEVATION - UTILITY I
3/8" = 1'-0"



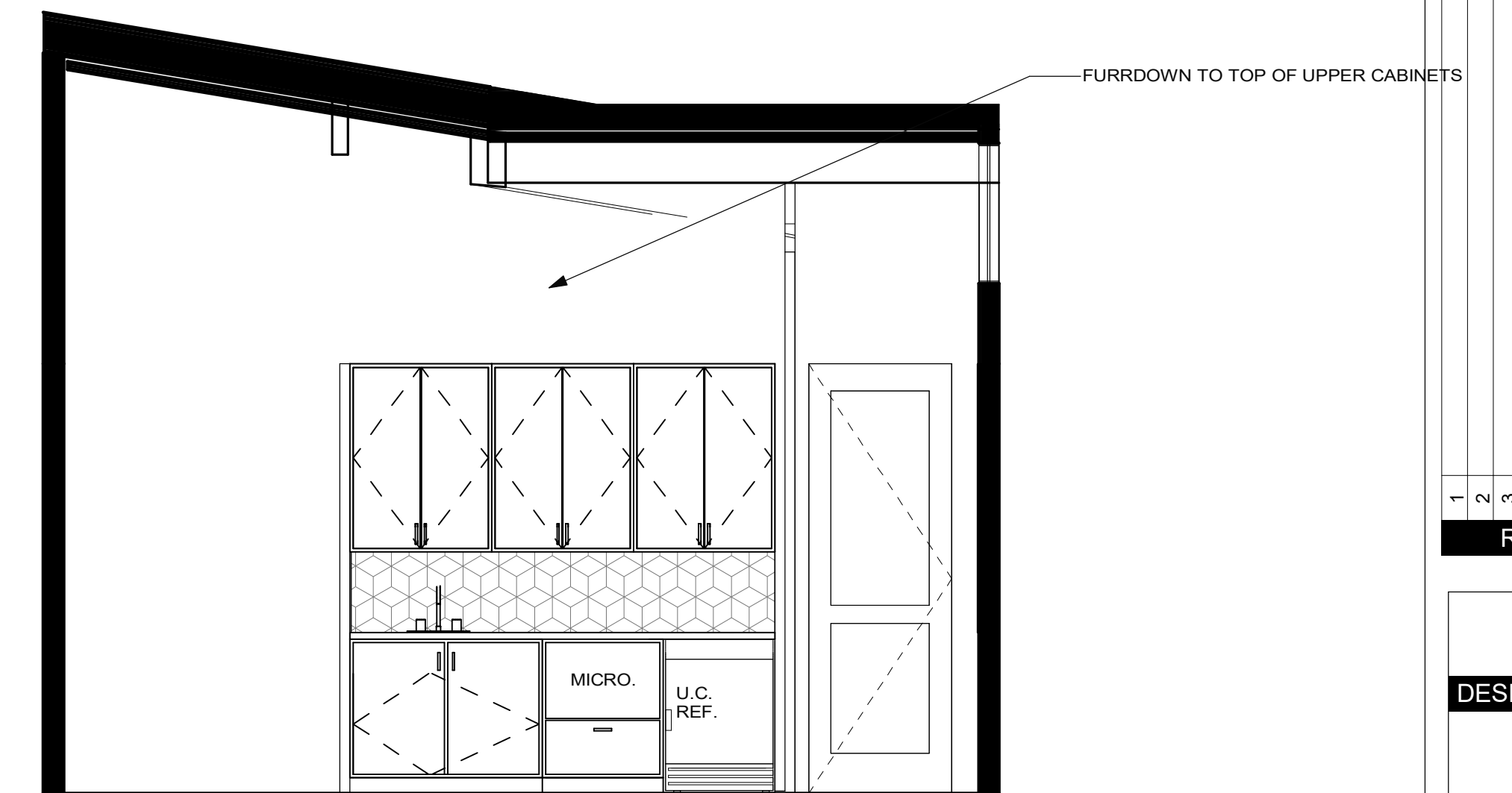
4 INTERIOR ELEVATION - POWDER 1
3/8" = 1'-0"



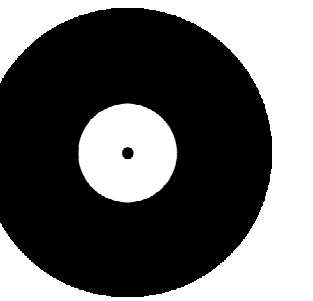
3 INTERIOR ELEVATION - POWDER II
3/8" = 1'-0"



9 INTERIOR ELEVATION - CASITA BATH
3/8" = 1'-0"



1 INTERIOR ELEVATION - CASITA KITCHENETTE
3/8" = 1'-0"



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INTERIOR ELEVATIONS

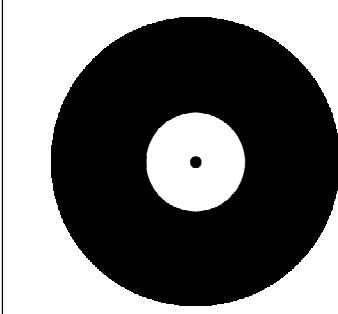
264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	REVISIONS
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DESIGNER INITIAL
CLIENT INITIAL

3/8" = 1'-0" 5.26.23

A7.10



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INTERIOR ELEVATIONS

264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

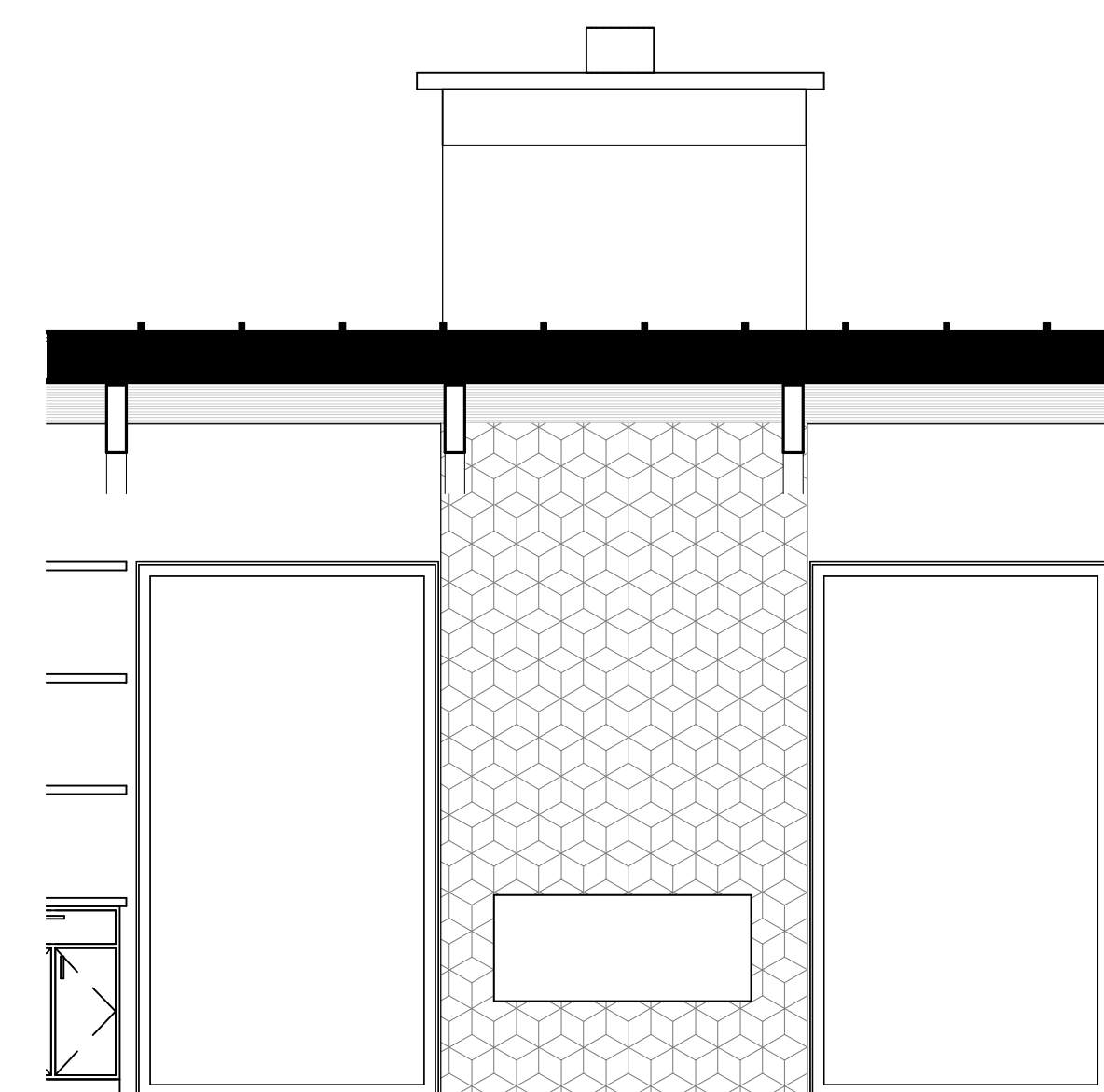
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REVISIONS						

DESIGNER INITIAL

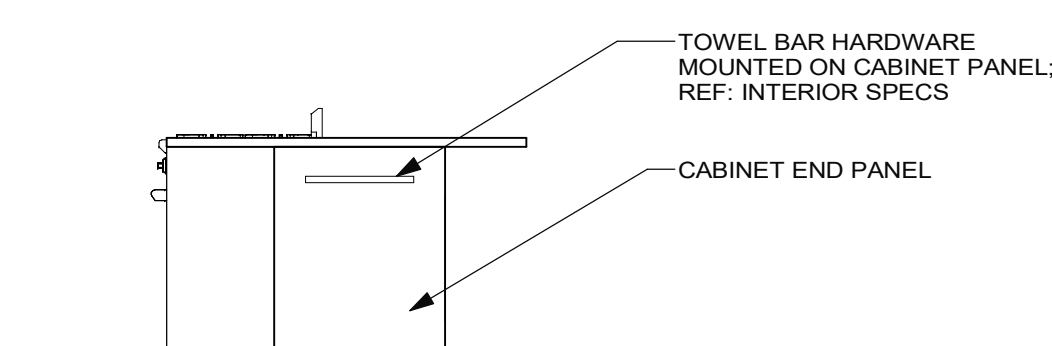
CLIENT INITIAL

3/8" = 1'-0" 5.26.23

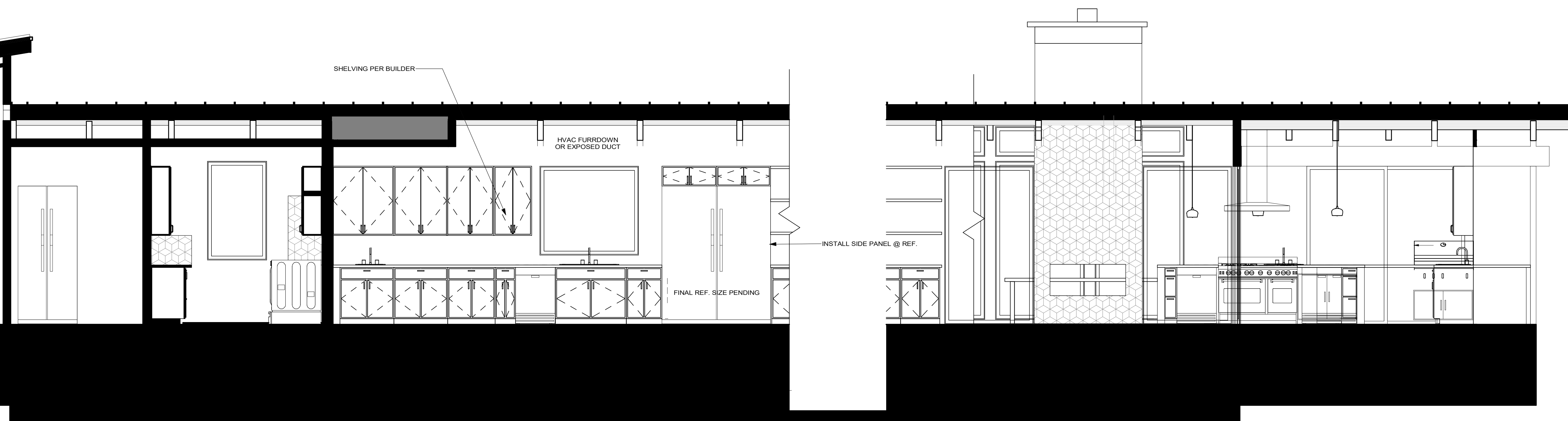
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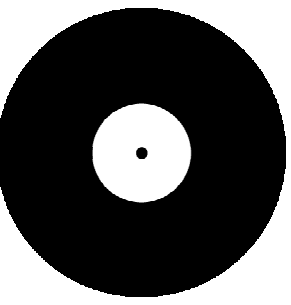


2 INTERIOR ELEVATION - FIREPLACE
3/8" = 1'-0"



3 INTERIOR ELEVATION - ISLAND II
3/8" = 1'-0"

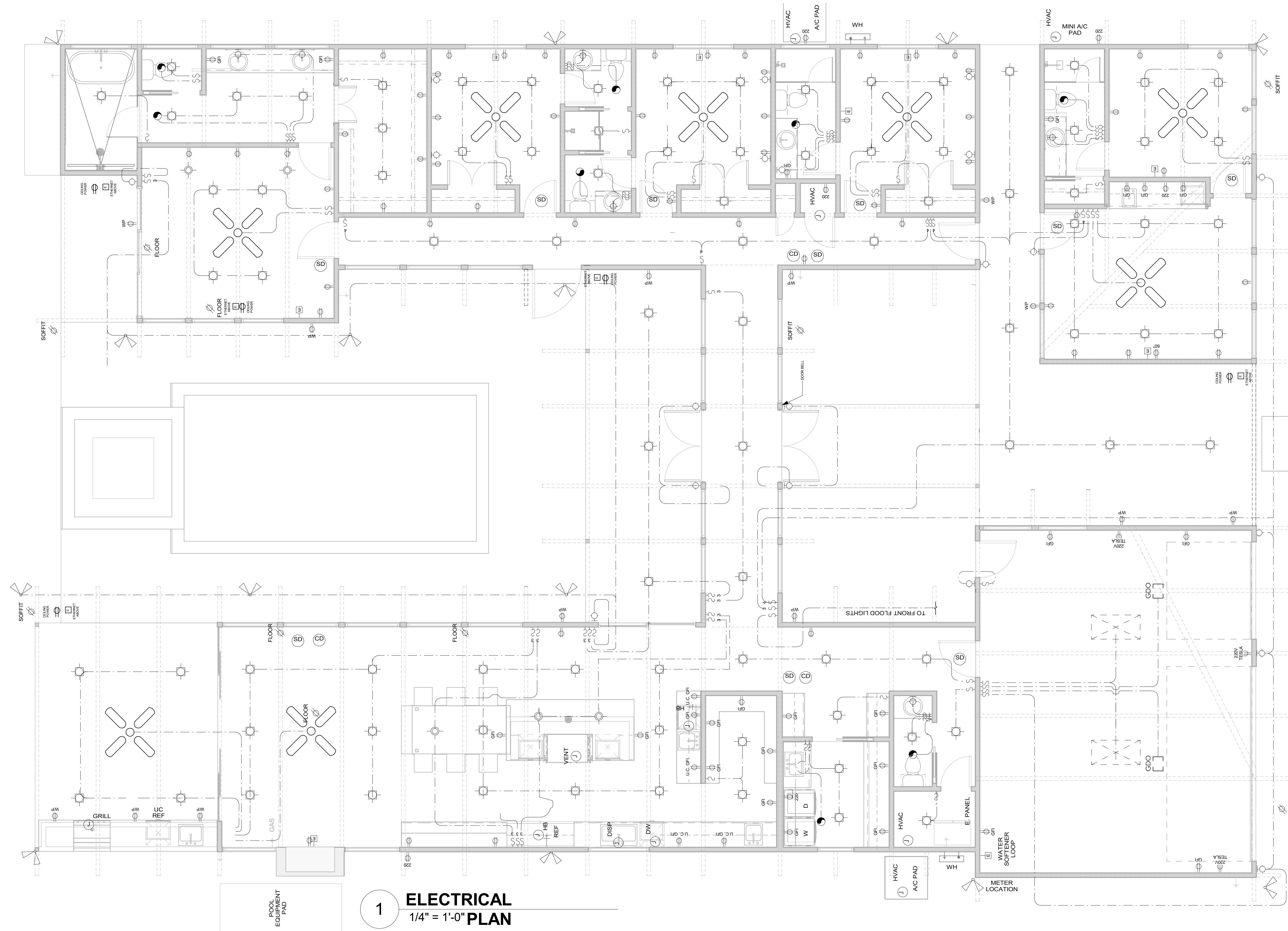




ELECTRICAL NOTES:

- ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT. AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- ALL RECESSED DOWNLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
- ALL SWITCHES TO BE @ 3'-0" A.F.F. TO CENTER LINE OF SWITCH PLATE UNLESS NOTED OTHERWISE.
- PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
- VERIFY LOCATION OF & TYPE OF POWER TO ALL APPLIANCES.
- OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI'S REQUIRED BY CODE.
- NO SWITCHES TO BE WITHIN 5'-0" OF A TUB OR SHOWER.
- HEIGHT OF OUTLETS FROM FLOOR TO CENTER LINE OF OUTLET TO BE 12" TYPICAL UNLESS NOTED OTHERWISE.
- LOCATION OF ALL FLOOR OUTLETS & FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
- PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
- NOTE TO SUBCONTRACTOR: CENTER LIGHT OVER PEDESTAL LAV. WHERE SHOWN.
- SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC. PROVIDE POWER AS RECD. AT A/C COMPRESSOR UNITS.
- PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS RECD. FOR CABLES & ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
- MEDIA COMBINATION OUTLET(S) TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIA/TELECOMMUNICATIONS SYSTEMS.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS WITH OPENERS.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.

NOTE: GFI/UC PLUGS TO BE MOUNTED ON BOTTOM OF CABINET. HIDDEN FROM VIEW AND ON SWITCH FOR FUTURE U/C LIGHTING



1 ELECTRICAL
 1/4" = 1'-0" PLAN

ELECTRICAL LEGEND

NOTE: NOT ALL DEVICES ARE NECESSARILY USED

- ⊕ DUPLX CONVENIENCE OUTLET
- ⊕_{AC} DUPLX CONVENIENCE OUTLET ABOVE COUNTER
- ⊕_{WP} WEATHER PROOF DUPLX OUTLET (G.F.I.)
- ⊕_{GFI} GROUND FAULT DUPLX OUTLET (G.F.I.)
- ⊕_{HS} HALF-SWITCHED DUPLX OUTLET
- ⊕₂₂₀ 220 VOLT OUTLET
- ⊕_R DUPLX RECEPTACLE FLOOR/CEILING OUTLET

- ⊖ WALL SWITCH
- ⊖₃ 3-WAY WALL SWITCH
- ⊖₄ 4-WAY WALL SWITCH
- ⊖_D DIMMER WALL SWITCH
- ⊖_W WALL MOUNTED LIGHT FIXTURE
- ⊖_R RECESSED LIGHT FIXTURE

- ⊖_H HANGING LIGHT FIXTURE
- ⊖_{CM} CEILING MOUNTED LIGHT FIXTURE
- ⊖_{UC} UNDER AND/OR ABOVE COUNTER LED LIGHT FIXTURE ON PLUGA
- ⊖_F FLOOD LIGHT - MOUNT UNDER EAVE
- ⊖_E EXHAUST FAN (VENT TO EXTERIOR)

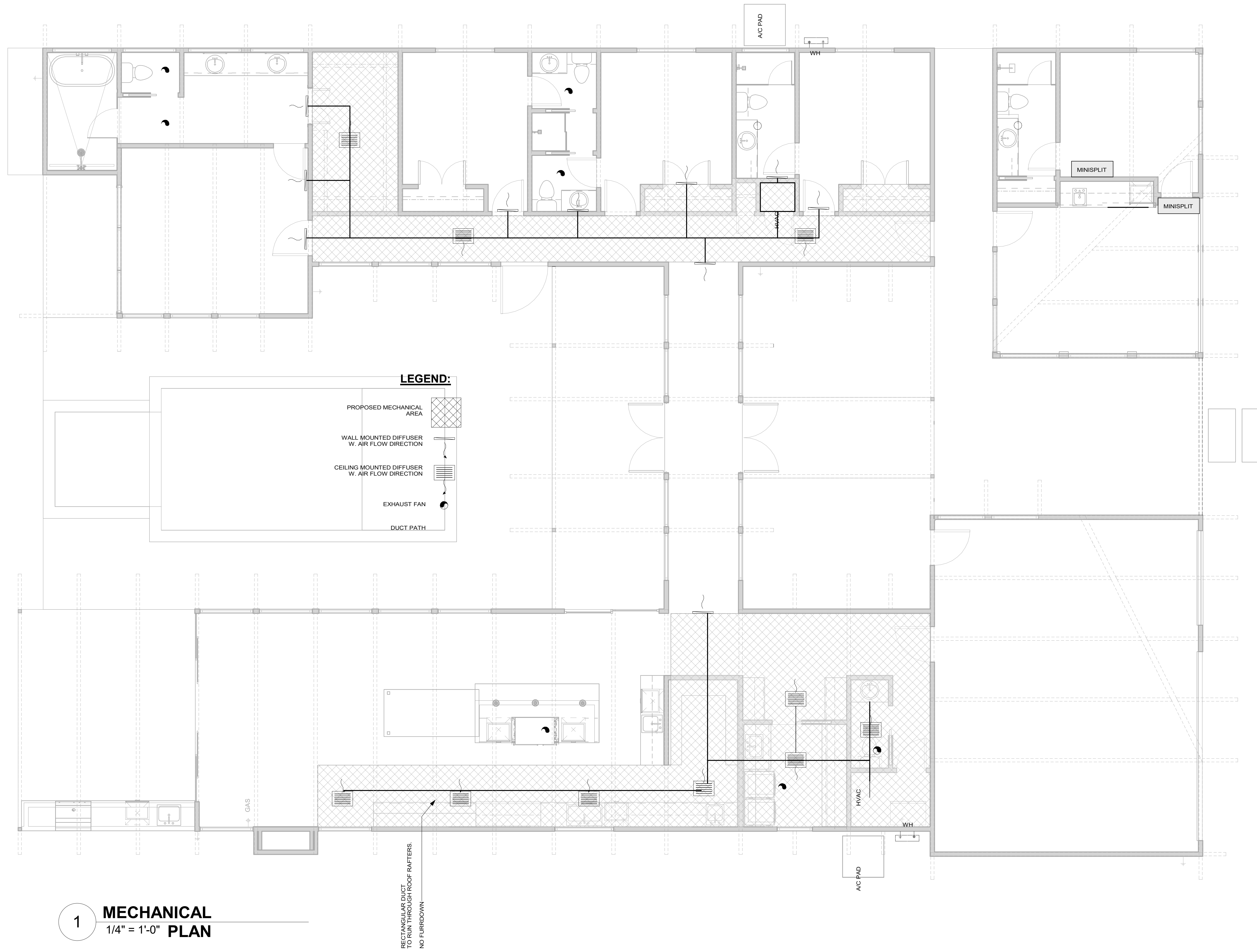
- ⊖_{EF} EXHAUST FAN LIGHT FIXTURE (VENT TO EXTERIOR)
- ⊖_{TV} TELEVISION / CABLE CONNECTION
- ⊖_{EJ} CAT-6A ETHERNET JACK
- ⊖_{DB} DOOR BELL
- ⊖_{TL} TRACK LIGHTING

- ⊖_{JB} JUNCTION BOX
- ⊖_{CF} CEILING FAN
- ⊖_{SD} SMOKE DETECTOR

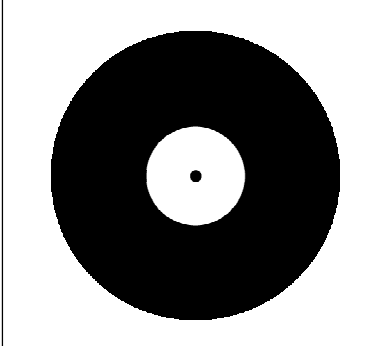
- ⊖_{HD} HEAT DETECTOR
- ⊖_{CD} CARBON MONOXIDE DETECTOR
- ⊖_{FF4} FLOURESCENT FIXTURE, 4-TUBE
- ⊖_{FF2} FLOURESCENT FIXTURE, 2-TUBE

NO.	REVISIONS
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DESIGNER INITIAL
 CLIENT INITIAL



1 MECHANICAL
1/4" = 1'-0" PLAN



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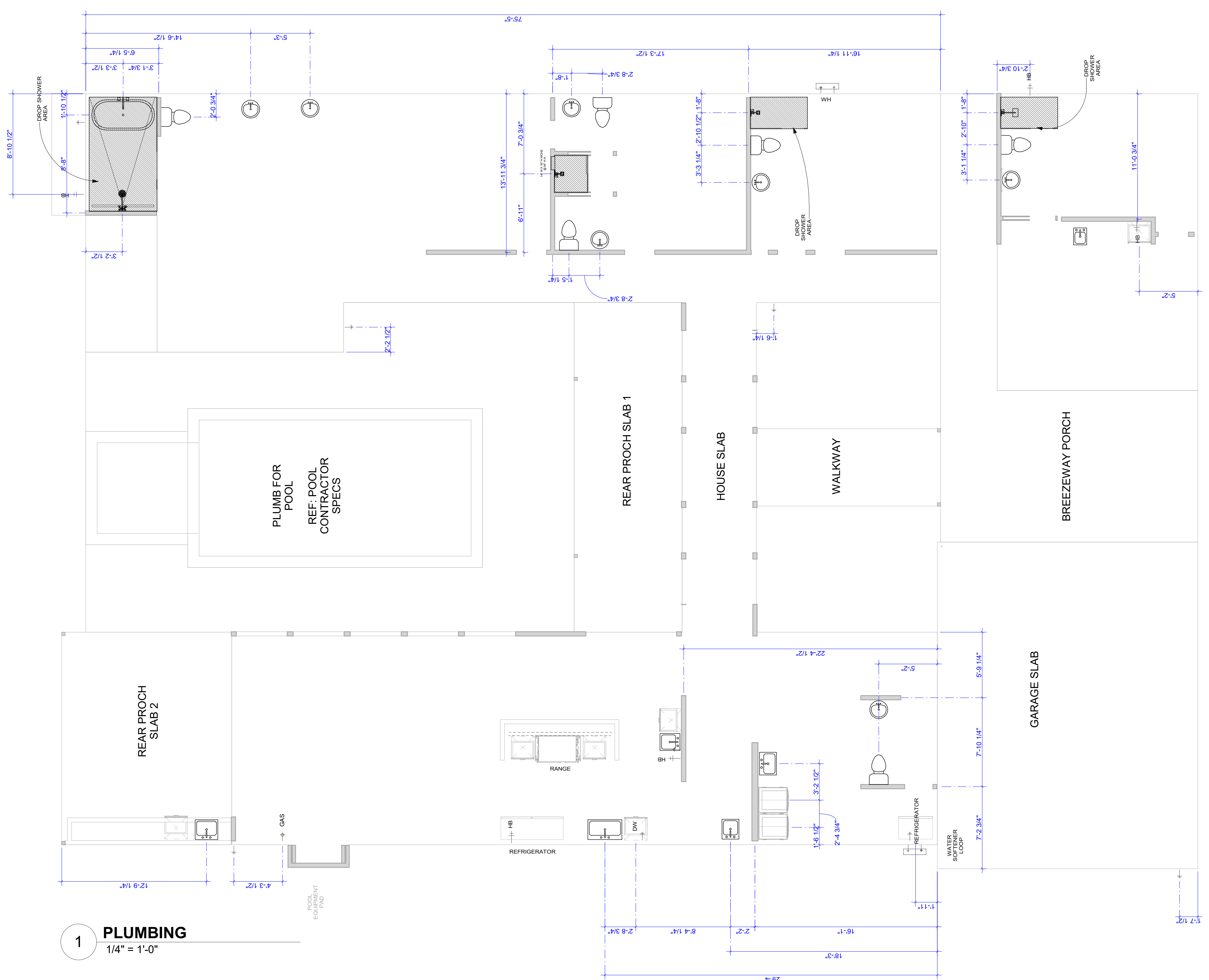
MECHANICAL FLOOR PLAN
264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	REVISIONS
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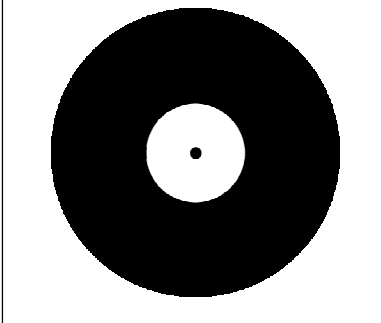
DESIGNER INITIAL
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

M1.00



1 PLUMBING
1/4" = 1'-0"



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PLUMBING FLOOR PLAN

264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	REVISIONS
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DESIGNER INITIAL
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

P1.00

REFERENCE STRUCTURAL FRAMING PLANS FOR ALL MEMBER SIZES

THIS DRAWING IS NOT A STRUCTURAL PLAN AND IS ONLY TO BE USED AS REFERENCE FOR CONSTRUCTABILITY. STRUCTURAL ENGINEERS PLANS DICTATE



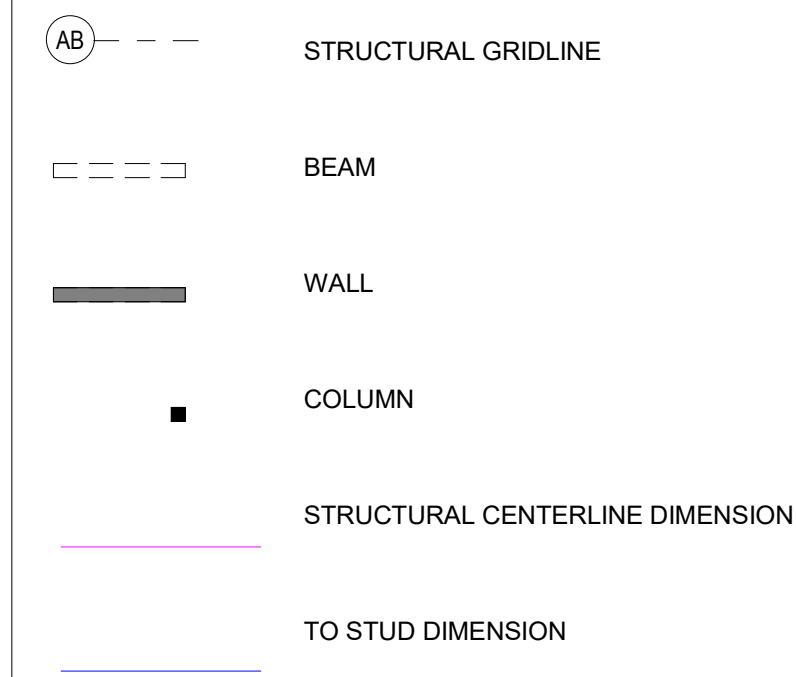
STRUCTURAL DIAGRAM NOTES

1. THIS IS **NOT** AN ENGINEERED SET AND IS ONLY TO BE USED AS REFERENCE. CONTRACTORS ARE REQUIRED TO REFERENCE STAMPED ENGINEERING PLANS.
2. ENGINEERING FRAMING, WIND BRACING, AND SLAB PLANS TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER. ENGINEER IS RESPONSIBLE FOR CALLING OUT MEMBER SIZES AND MATERIALS. ALL POSTS, BEAMS, TRUSSES, ETC. TO BE SIZED AND APPROVED BY STRUCTURAL ENGINEER.
3. SHOULD THERE BE ANY DISCREPANCY BETWEEN DRAWINGS, ENGINEERING DRAWINGS TO TAKE PRECEDENCE IN CONSTRUCTION.
4. DESIGNER SHOULD BE NOTIFIED IF THE ENGINEER OR CONSTRUCTION PARTIES IDENTIFY ANY MAJOR DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING SETS.
5. SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITE. DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AS-BUILT WATER TIGHTNESS, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT CONSTRUCTION.
6. NAILING AND SCREW PATTERNS ARE TO FOLLOW CODE AND TO BE ADDRESSED BY ENGINEER / CONTRACTORS. REFERENCE ENGINEERING PLANS AND INTERNATIONAL RESIDENTIAL CODE FOR FRAMING REQUIREMENTS, INCLUDING BUT NOT LIMITED MEMBERS, BRACKETS, FASTENERS, NAILING PATTERNS, ANCHOR SIZES, ETC.
7. OPEN CELL SPRAY FOAM INSULATION PER SUPPLIER @ ALL ENCLOSED ATTIC AREAS AND DECK AREA ABOVE BEDROOM.
8. HORIZONTAL SPANNING MEMBER TO BE DOUG FIR, GLU LAM, OR LVL WHERE POSSIBLE
9. VERTICAL MEMBERS TO BE GROUPED STUDS OR PSLs WHERE POSSIBLE

NOTES FOR ENGINEER

1. STRUCTURE TO BE POST AND BEAM TIMBER
2. TYPICAL 2-IN NOMINAL LUMBER IS PREFERRED IN ALL POSSIBLE AREAS.
3. BEAMS / SPANNING MEMBERS SHALL BE 4X12 DOUGLAS FIR BEAMS WHERE POSSIBLE; GLU LAMS AND LVLs ARE PERMITTED, ONLY IF NECESSARY.
4. ROOF RAFTERS TO BE 2X8
5. VERTICAL MEMBERS BETWEEN WINDOWS TO BE BUILT UP (2)2X4 LSLs WHERE POSSIBLE. 4X DOUGLAS FIRS OR 3 1/2 PSLs ARE PERMITTED, ONLY IF NECESSARY.
6. ENGINEER TO REFERENCE ELEVATIONS & SECTIONS ON A4 SHEETS FOR WINDOW HEIGHTS AND HEADER LIMITATIONS.
7. ENGINEER SHALL NOTIFY THE DESIGNER WITH ANY IMPOSSIBILITIES / NECESSARY DESIGN REVISIONS FOR COHESIVE CONSTRUCTIBILITY.

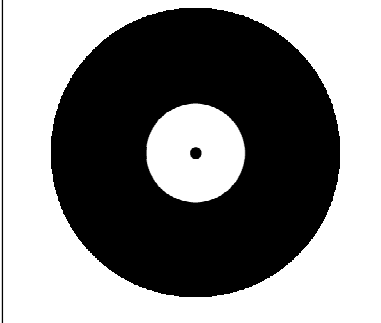
STRUCTURAL DIAGRAM KEY



TOTAL COV'D CALCS.

MAIN HOUSE A/C	2,783 SQ FT
CASITA A/C	464 SQ FT
TOTAL HEATED	3,247 SQ FT
GARAGE	662 SQ FT
PORCHES	1,068 SQ FT
TOTAL COV'D	4,978 SQ FT

1 STRUCTURE
1/4" = 1'-0"



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FIRST FLOOR STRUCTURAL DIAGRAM
264 CHARRO VISTA DR, DRIFTWOOD, TX
GAUTAM RESIDENCE

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		

DESIGNER INITIAL
CLIENT INITIAL

1/4" = 1'-0" 5.26.23

\$1.00

