



**DRIPPING SPRINGS**  
Texas

# Cannon-Ashton Woods Annexation, PDD, Offsite Road Agreement, Utility Agreements

Laura Mueller, City Attorney

Leslie Pollack, Transportation Engineer

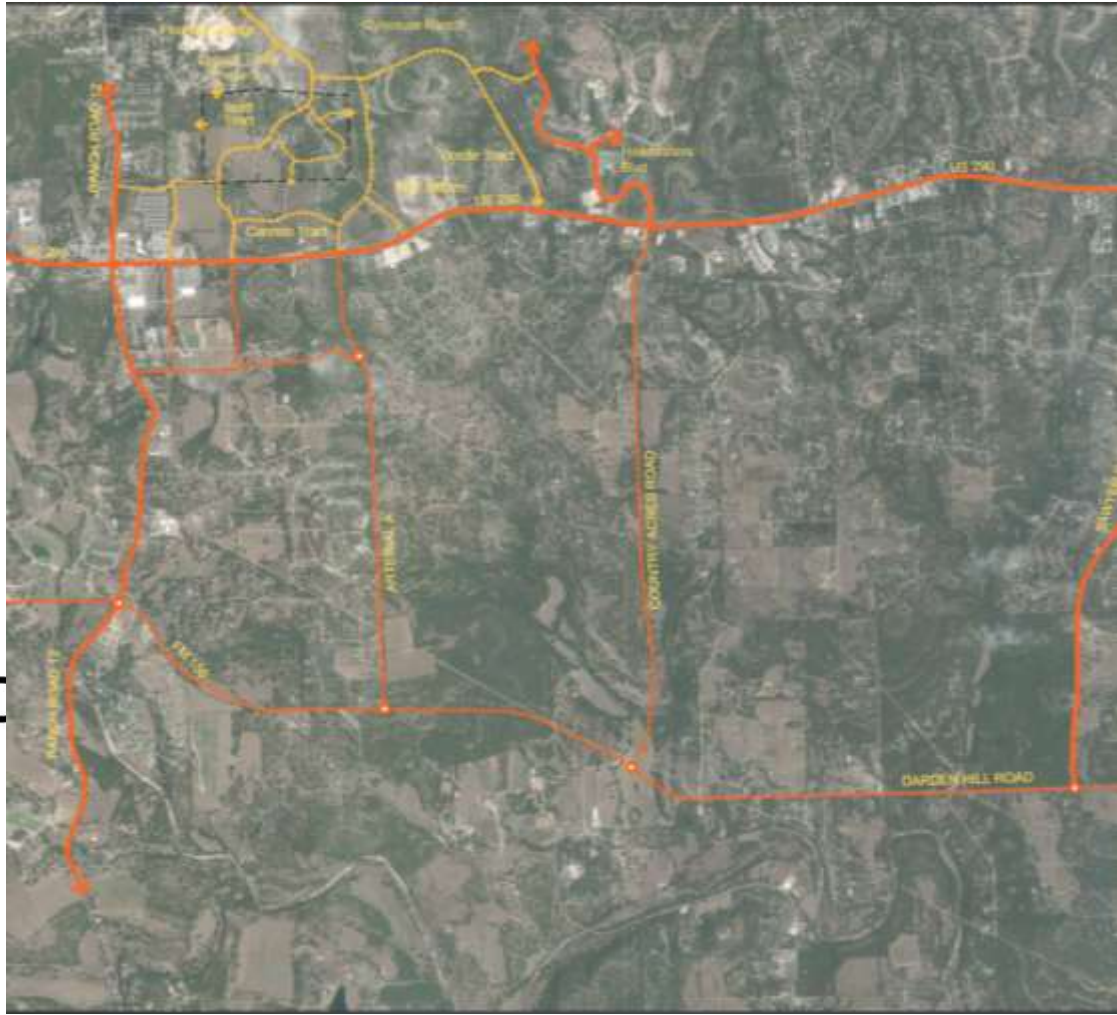
Chad Gilpin, City Engineer

David Tuckfield, Utility Counsel



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# Cannon – Ashton Woods

- 101 acres
- 375 residences
- 40, 45, and 60 foot lots
- Offsite Road Agreement
- Wastewater Agreement
- Water Agreement

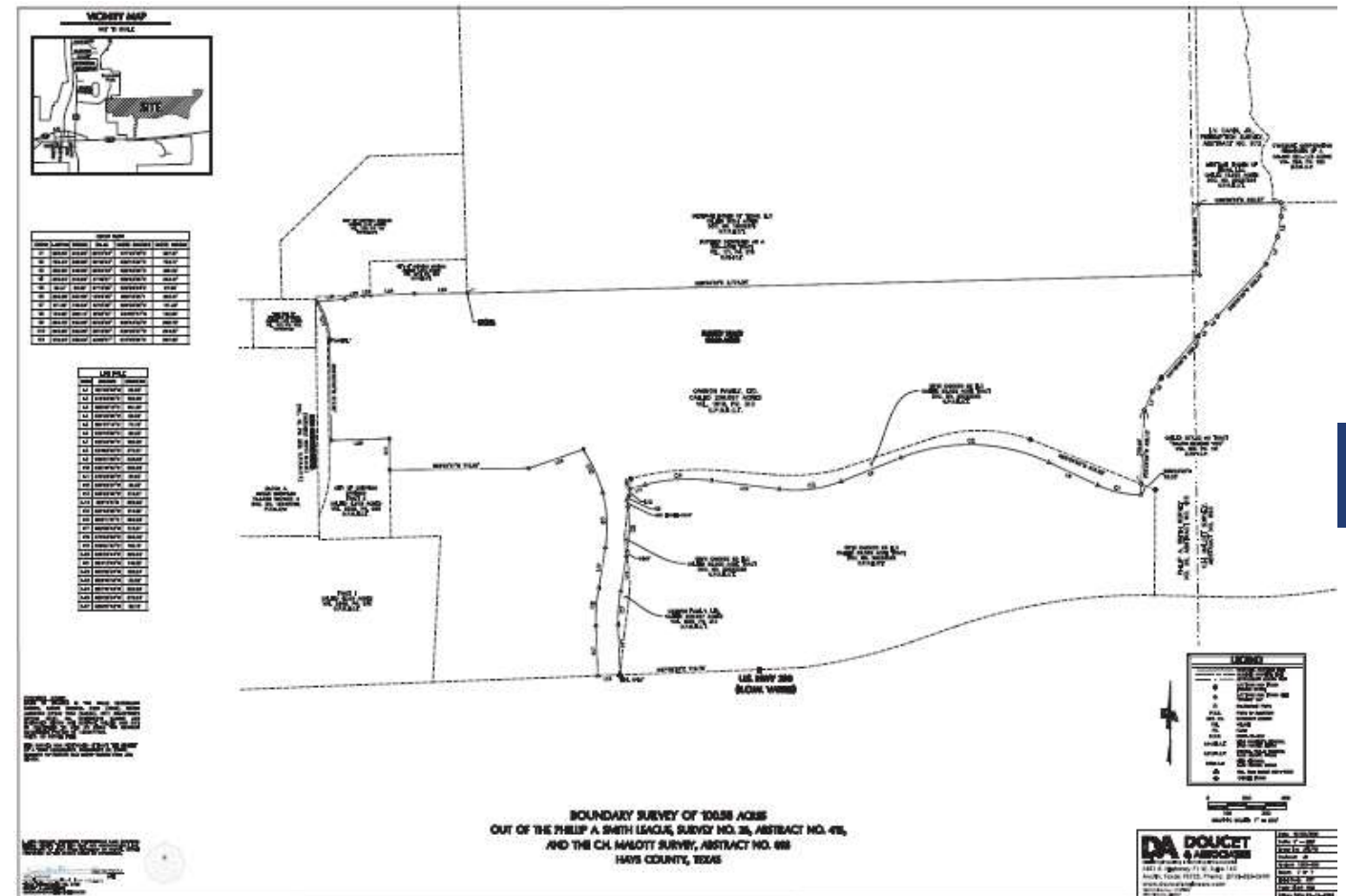
### LAND USE SUMMARY

Area of Cannon Dr	Units
40' x 120' Residential	81 units
45' x 120' Residential	87 units
<b>Sub Total</b>	<b>168 units</b>
East of Cannon Dr	Units
40' x 120' Residential	81 units
45' x 120' Residential	101 units
40' x 120' Residential	81 units
<b>Sub Total</b>	<b>263 units</b>
Total	Units
40' x 120' Residential	162 units
45' x 120' Residential	188 units
40' x 120' Residential	81 units
<b>Total</b>	<b>375 units</b>
Open Site Area	87.45 acres
Open Density	1.00 acres
Detention/Water Quality	8.40 acres
Utility/Parking	4.00 acres

Residential plot requires 10-15 acres of parking per 100 units to 15-20 acres

# ANNEXATION OF 101 Acres out of the Cannon Tract

- Petitioned for Annexation through Application
- Annexation Ordinance
- Annexation Agreement (Municipal Services Agreement)





**LAND USE SUMMARY**

West of Cannon Dr.	Units	Wk
40' x 115' Residential	65 units	63.28 %
45' x 115' Residential	57 units	46.72 %
<b>Sub-Total</b>	<b>122 units</b>	
East of Cannon Dr.	Units	Wk
40' x 115' Residential	83 units	32.81 %
45' x 115' Residential	107 units	42.29 %
60' x 120' Residential	63 units	24.90 %
<b>Sub-Total</b>	<b>253 units</b>	
Total	Units	Wk
40' x 115' Residential	148 units	39.47 %
45' x 115' Residential	164 units	43.73 %
60' x 120' Residential	63 units	16.80 %
<b>Total</b>	<b>375 units</b>	
Gross Site Area	97.43 acres	
Gross Density	3.85 du./ac.	
Detention/Water Quality	4.1 acres	
Parkland Credit	18.82 acres	

Residential yield requires 16.3 acres of parkland credit. Parkland credit provided in 18.82 acres.



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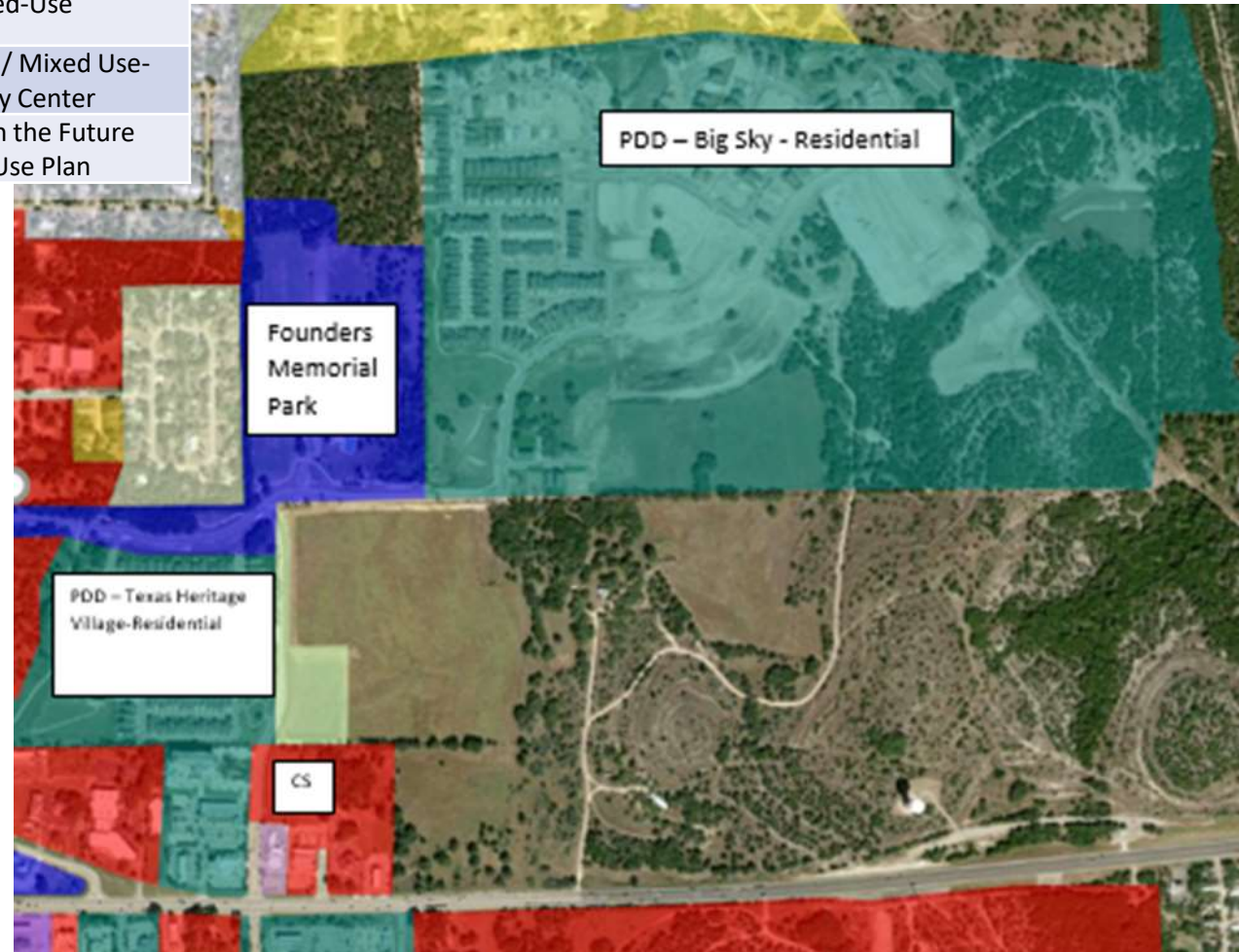
## HIGHLIGHTS

1. A 4-lane arterial will be built from Founders Park Road south to 290. An east/west collector will be constructed from the 4-lane arterial to the edge of the project.
2. Ashton Woods will improve the north section of Rob Shelton to Founders Park Road to be the same as the southern portion including a median, but with City reimbursement. The offsite road agreement gives the City the flexibility at time of cost estimate to determine whether it wants these improvements to be constructed and paid for with city funds.
3. In consideration of the proposed road improvements which exceed the project's impact, they are requesting
  - not to build a sidewalk on their property for the east/west collector,
  - not to build the pedestrian facilities (sidewalk and shared-use path) on the off-site portion of the 4-lane arterial, and
  - reimbursement for the improvements on Rob Shelton.
4. Ashton Woods has agreed to the City's design requests.

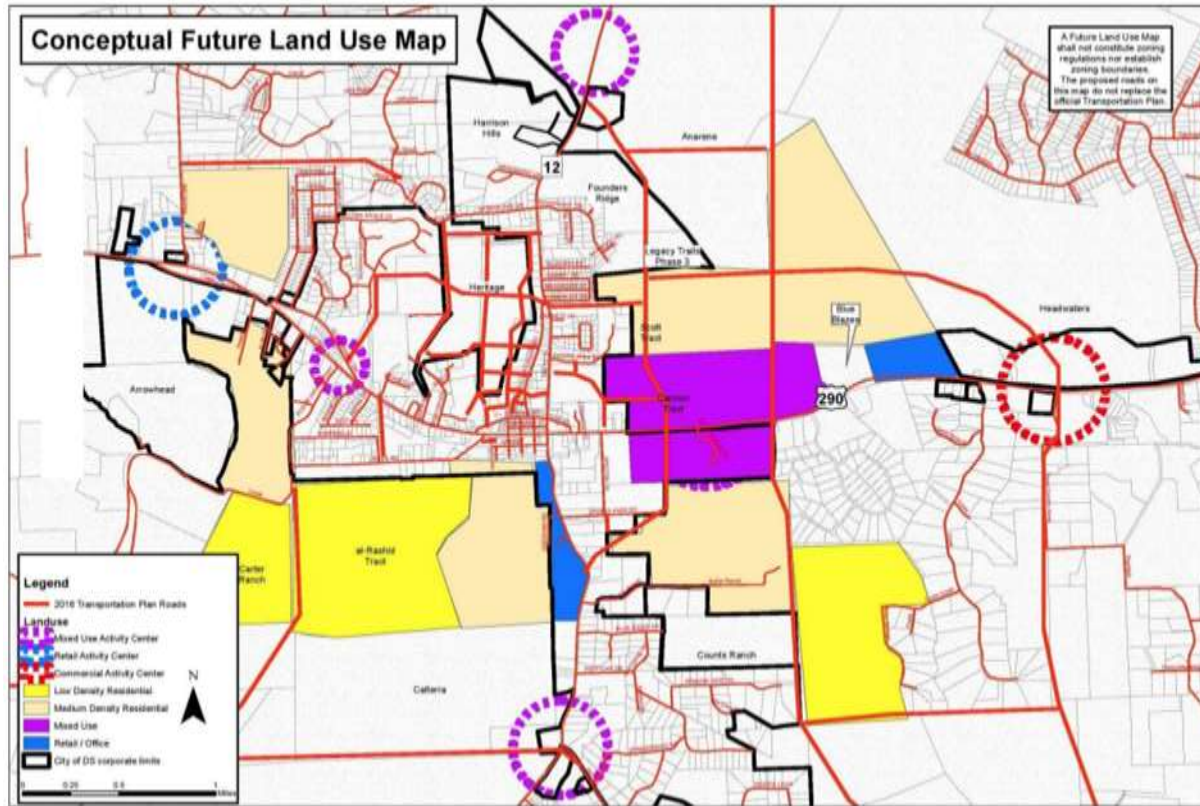
# ZONING – PLANNED DEVELOPMENT DISTRICT NUMBER 12 – SF-3 BASE ZONING

Direction	Zoning District	Existing Use	Comprehensive Plan / Future Land Use Plan
North	PDD Founders Memorial Park	Big Sky Ranch at Dripping Springs	Medium Density Residential
East	ETJ (Cannon Tract)	Undeveloped	Mixed-Use
South	ETJ (Cannon Tract)	Undeveloped	Mixed-Use / Mixed Use-Activity Center
West	PDD	Texas Heritage	Not within the Future Land Use Plan

## Surrounding Properties







- Future Land Use Map as Mixed use
- Base zoning of Single-family residential—Town center (SF-3)
  - connectivity and access to adjacent neighborhoods and amenities such as parks and future schools
  - compatible with the adjacent tracts and allows for a smooth transition for high density to less intense density
  - more intense residential lots near 290 and Rob Shelton Dr and less intense residential more to the east towards the City’s ETJ










# DENSITY

## Original Proposed:

400 LUEs

- 40 foot lots
- 45 foot lots

## LAND USE SUMMARY

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<b>Sub-Total:</b>	<b>122 units</b>	
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<b>Total:</b>	<b>375 units</b>	
Gross Site Area	97.43 acres	
Gross Density	3.85 du./ac.	
 Detention/Water Quality	4.1 acres	
Parkland Credit	18.82 acres	



<b>Development Standards</b>		
	<b>Single-family residential—Town center (SF-3)</b>	<b>Planned District Development</b>
<b>Size of Lots</b>		
Minimum Lot area	3,500 square feet	4,600 square ft./dwelling unit
Minimum Lot Width	35 feet	40 feet (Internal); 50 feet (Corner)
Minimum Building Width	25 feet	25 feet
<b>Setback Requirements</b>		
Minimum Front Yard	10 feet	20 feet
Minimum Side Yard	5 feet, 7.5 feet	5 feet; 15 feet (Corner)
Minimum Rear Yard	10 feet	10 feet
Accessory Building	5 feet	5 feet
<b>Height Regulations</b>		
Main Building	2 ½ stories, or 40'	2 ½ stories, or 40'
<b>Other Development Standards</b>		
Impervious Cover	65 %	50% total, maximum 65% per lot

# DESIGN OF RESIDENCES



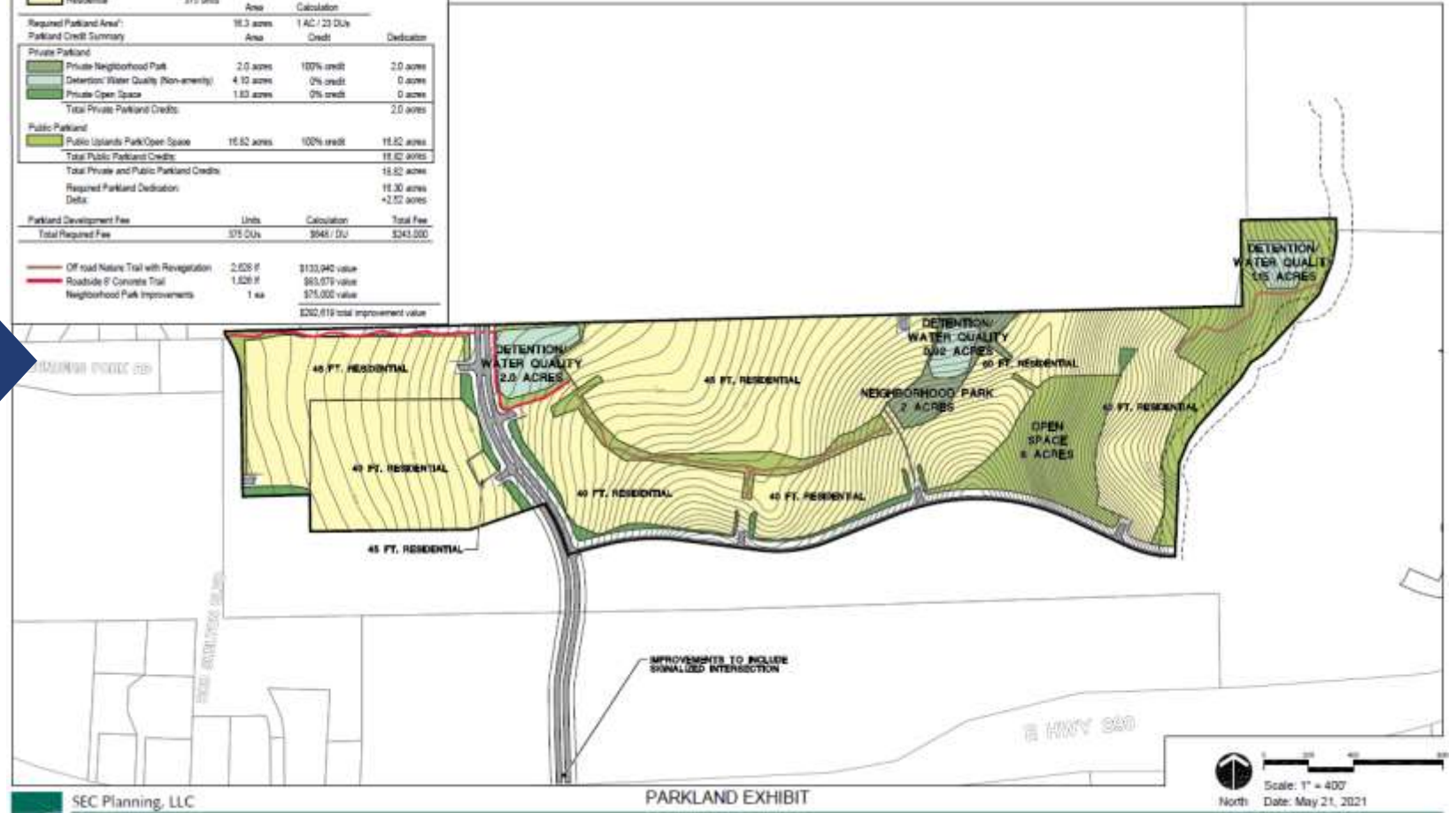
- **Materials:** Masonry, Native Stone, Brick Masonry, Stucco, and Cementitious Siding
- **Elevations:** Requires at least 2 elements and have to be different elevations near each other:
  - two wall planes on the front elevation, offset a minimum of 18 inches; covered front porches or patio; side-entry or swing-in garage entry; garage door recessed from the primary front facade a minimum of four feet; Enhanced garage door materials; Shed roof or trellis (at least 18" deep; combination of at least two roof types (e.g. hip and gable) or two different roof plane; two or more masonry finishes to compliment the architectural style of the home; and the addition of one or more dormers on the front elevation to compliment
  - the architectural style of the home.
- **Floorplans:** minimum of six (6) floorplans will be available, offering a variation of front elevations so that there is no discernable repetition in any street scape.
  - A plan can be repeated every third building pad (Example: Plan A 1, Plan B 1, Plan A 1, Plan B 2),
  - although elevations shall be different on the two houses.

# Parks

- Trail along Founders Park Road
- \$80,000 in Park Development Fee
- Neighborhood Park

Approved by Parks Committee

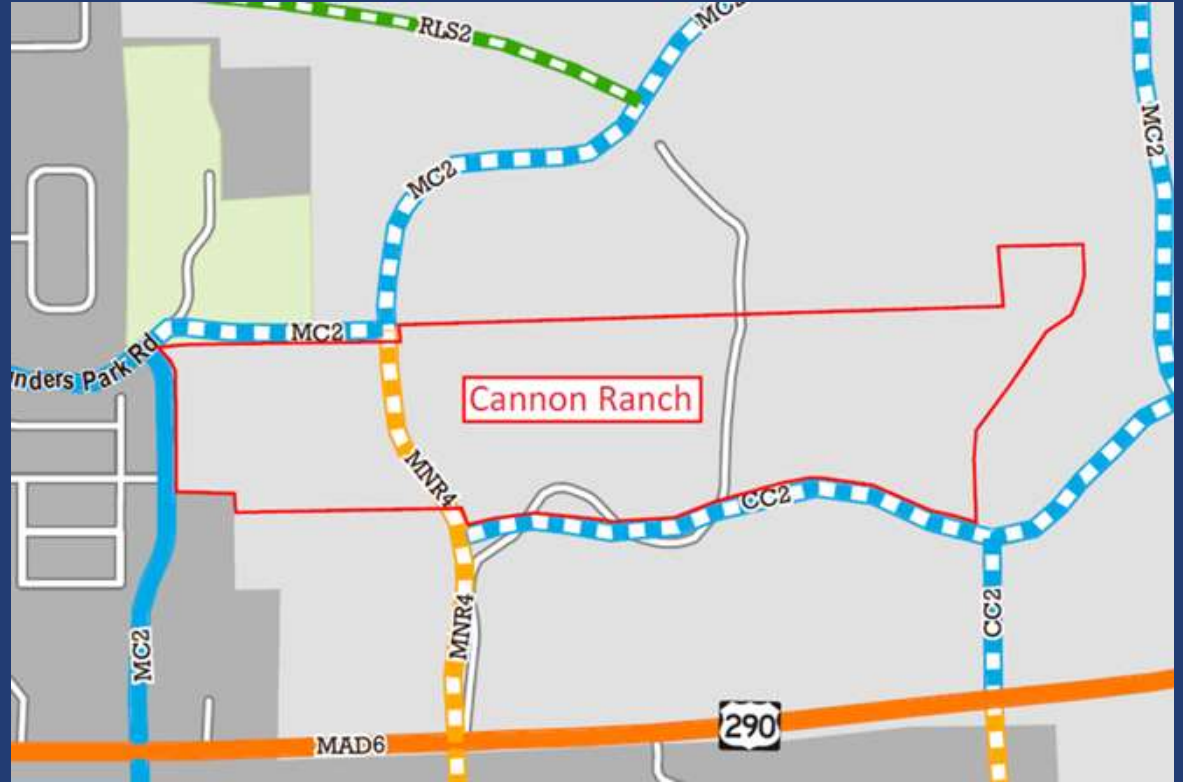
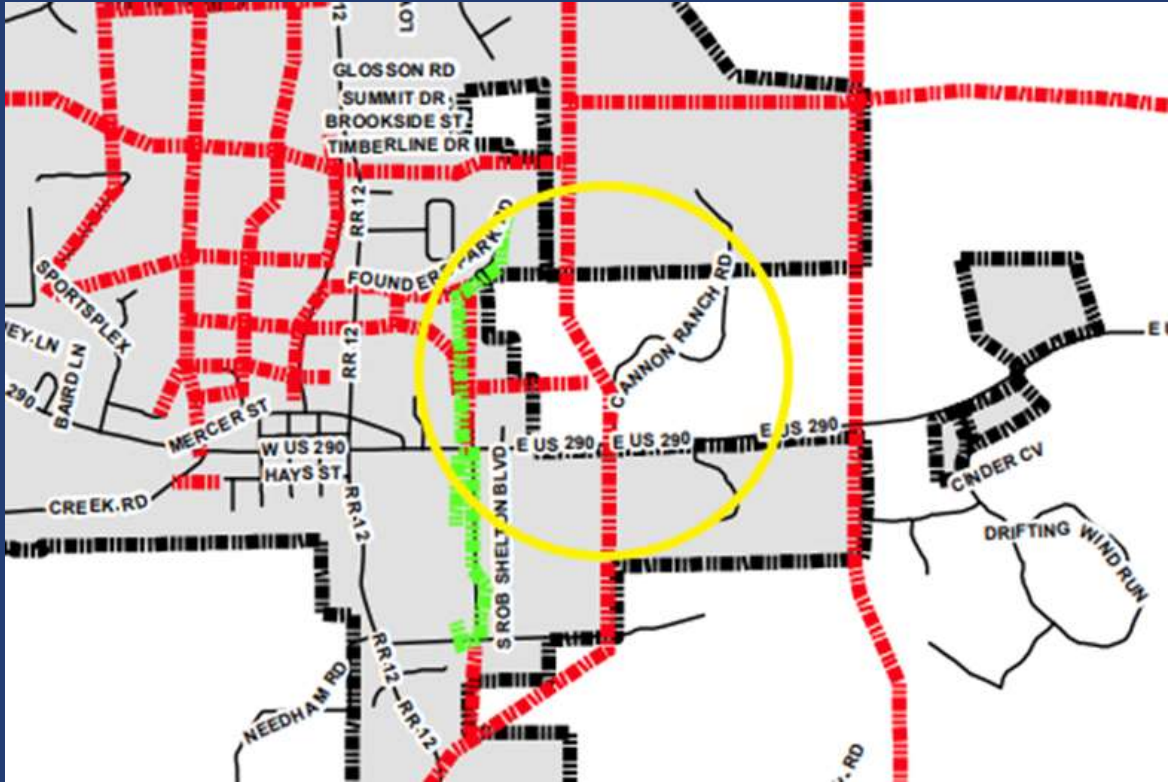
PARKLAND SUMMARY			
Residential	SF Units	Area	Calculation
Required Parkland Area:		18.3 acres	1 AC / 22 DU
Parkland Credit Summary		Area	Credit
<b>Private Parkland</b>			
Private Neighborhood Park	2.0 acres	100% credit	2.0 acres
Detention Water Quality (Non-erect)	4.12 acres	0% credit	0 acres
Private Open Space	1.83 acres	0% credit	0 acres
Total Private Parkland Credits:			2.0 acres
<b>Public Parkland</b>			
Public Uplands Park/Open Space	16.62 acres	100% credit	16.62 acres
Total Public Parkland Credits:			16.62 acres
Total Private and Public Parkland Credits:			18.62 acres
Required Parkland Deduction:			18.30 acres
Delta:			+2.92 acres
<b>Parkland Development Fee</b>			
	Units	Calculation	Total Fee
Total Required Fee:	375 DU	\$648 / DU	\$243,000
<b>Trail and Improvement Values</b>			
Off road Nature Trail with Vegetation	2,028 ft	\$133,940 value	
Roadside 5' Concrete Trail	1,028 ft	\$63,075 value	
Neighborhood Park Improvements	1 ea	\$75,000 value	
		\$200,015 total improvement value	



SEC Planning, LLC

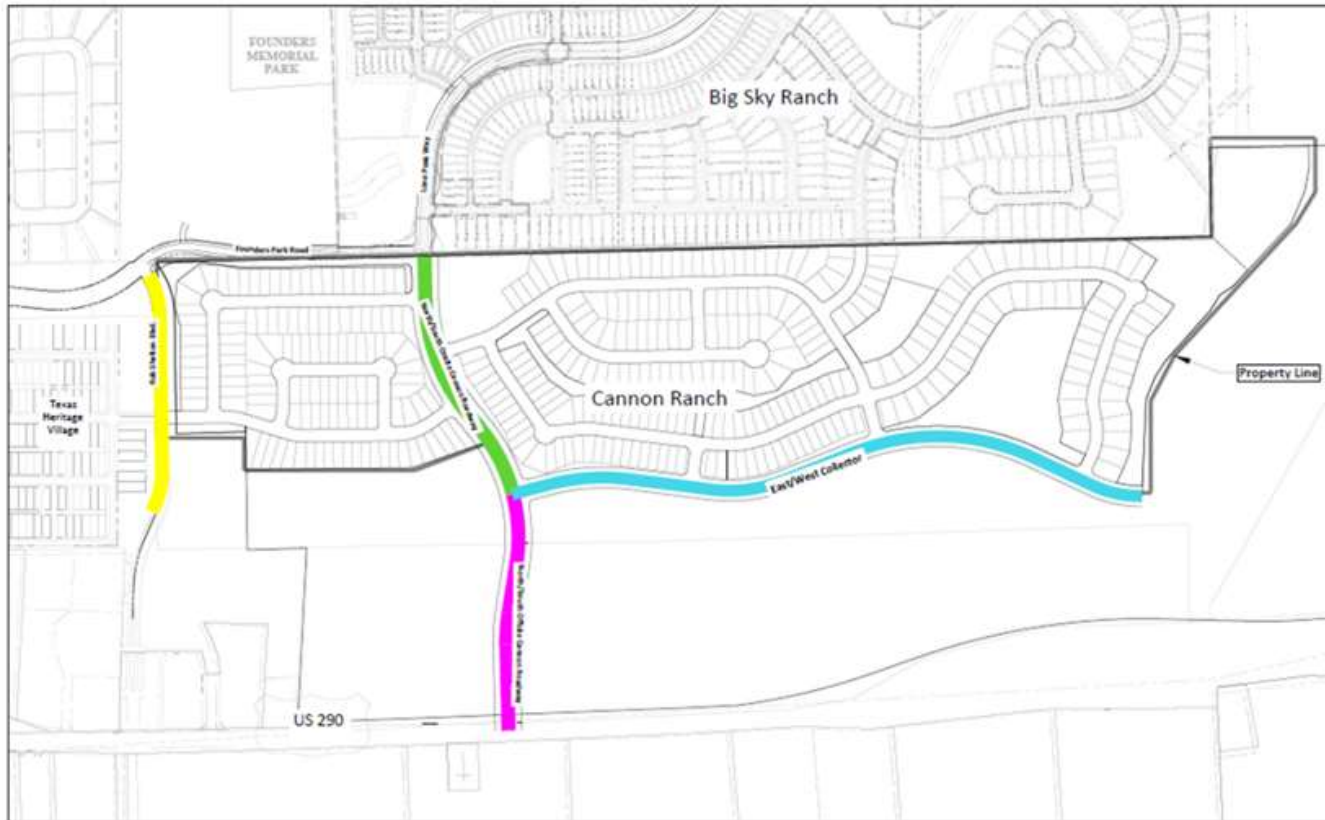
PARKLAND EXHIBIT

Scale: 1" = 400'  
North  
Date: May 21, 2021



# Transportation

# TRANSPORTATION



	Proposed Road Width	Existing Road Width	Proposed ROW	Existing ROW	Proposed LF
N/S Onsite Cannon Roadway (North of E/W)	48'	-	114'	-	1030
N/S Onsite Cannon Roadway (South of E/W)	48'	-	114'	-	1121
E/W Collector	24'	-	90'	-	2812
Rob Shelton	44'	22'	60'	60'	1085



**DA DOUCET & ASSOCIATES**  
 10415 West Loop South, Suite 200  
 Dallas, TX 75240, Tel: (214) 242-2400  
 www.dadoucet.com  
 10/12/2012, Project Number: 12010000

Transportation Option  
 Proposed Recommendations

Cannon Ranch  
 Dripping Springs, TX

SHEET  
 1  
 OF 1  
 Project No.: 12010000

## City Initial Request

- 4 lane Arterial to 290
- East/West Collector
- Traffic Signal
- Offsite Roadway Improvements at Rob Shelton (AW)
- Expansion of Founders Park Road with roundabouts

## Current Proposal

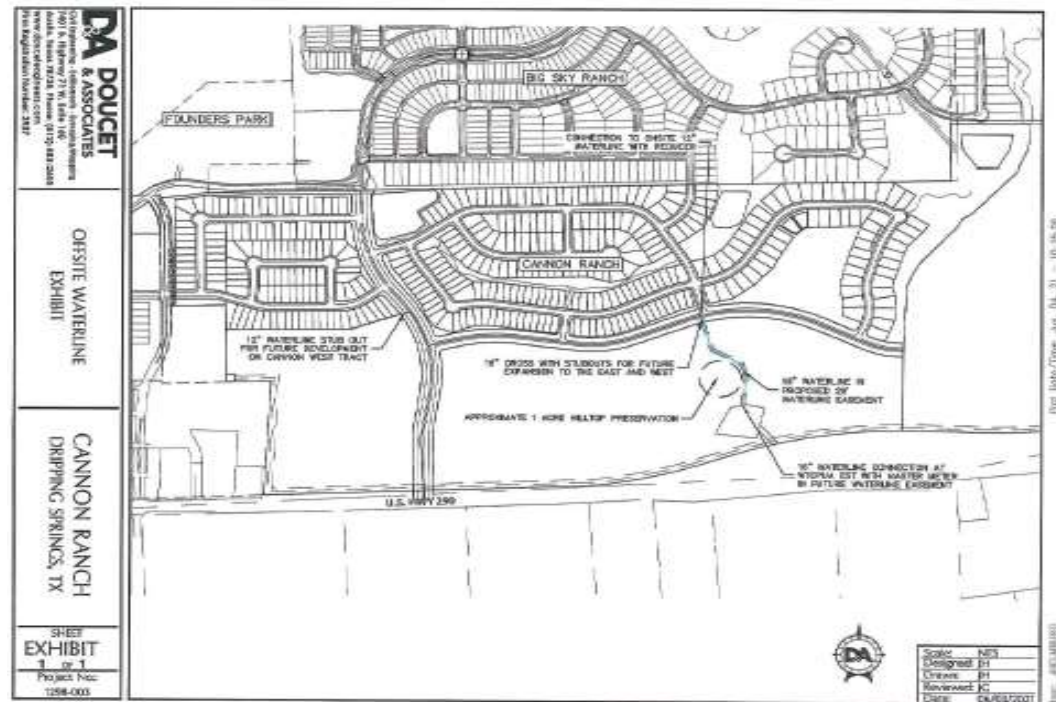
- 4 lane Arterial to 290 (sidewalk and shared-use path onsite)
- East/West Collector
- Contribution to Traffic Signal
- Offsite Roadway Improvements at Rob Shelton (CITY) - City chooses from 4 options
- Dedicated right-of-way for future roundabouts

**Approved by Transportation Committee**

# UTILITY AGREEMENTS

## Wastewater Agreement

- 200 LUEs are immediately available (“Initial Service”).
- 50 LUEs increments at City’s discretion or Owner may use alternative method
- A total of 375 LUEs are available upon completion of the East Interceptor and the new Discharge WWTP.
- Ashton to construct all onsite facilities
- City will be constructing offsite facilities (East Interceptor).
- Impact Fees: 200 LUEs in the amount of \$7,580 per LUE.



## Water Agreement

- City obtains wholesale service from WTCPUA
- City provides retail water service to Development
- Ashton constructs facilities and provides necessary easements
- 375 LUEs plus 10 LUEs for irrigation
- Ashton pays all fees on obtains all permits
- All facilities to be dedicated to City
- Pays charges to City





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**QUESTIONS?**

