

STATE OF DELAWARE

OMB / DIVISION OF FACILITIES MANAGEMENT

OMB / DFM CONTRACT # MJ0201000002

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ARCHITECTS

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200 W. Main St., Middletown, DE 19709

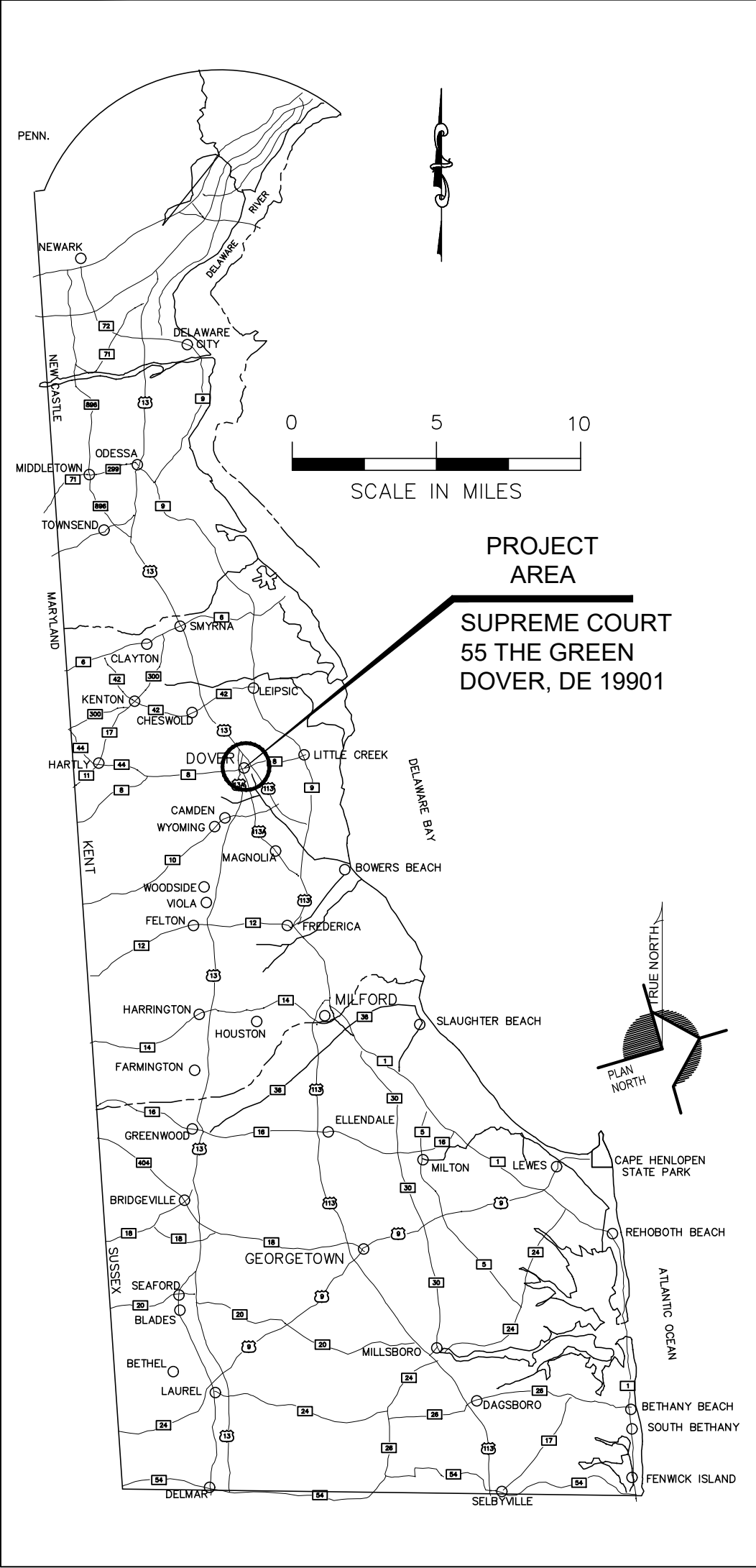
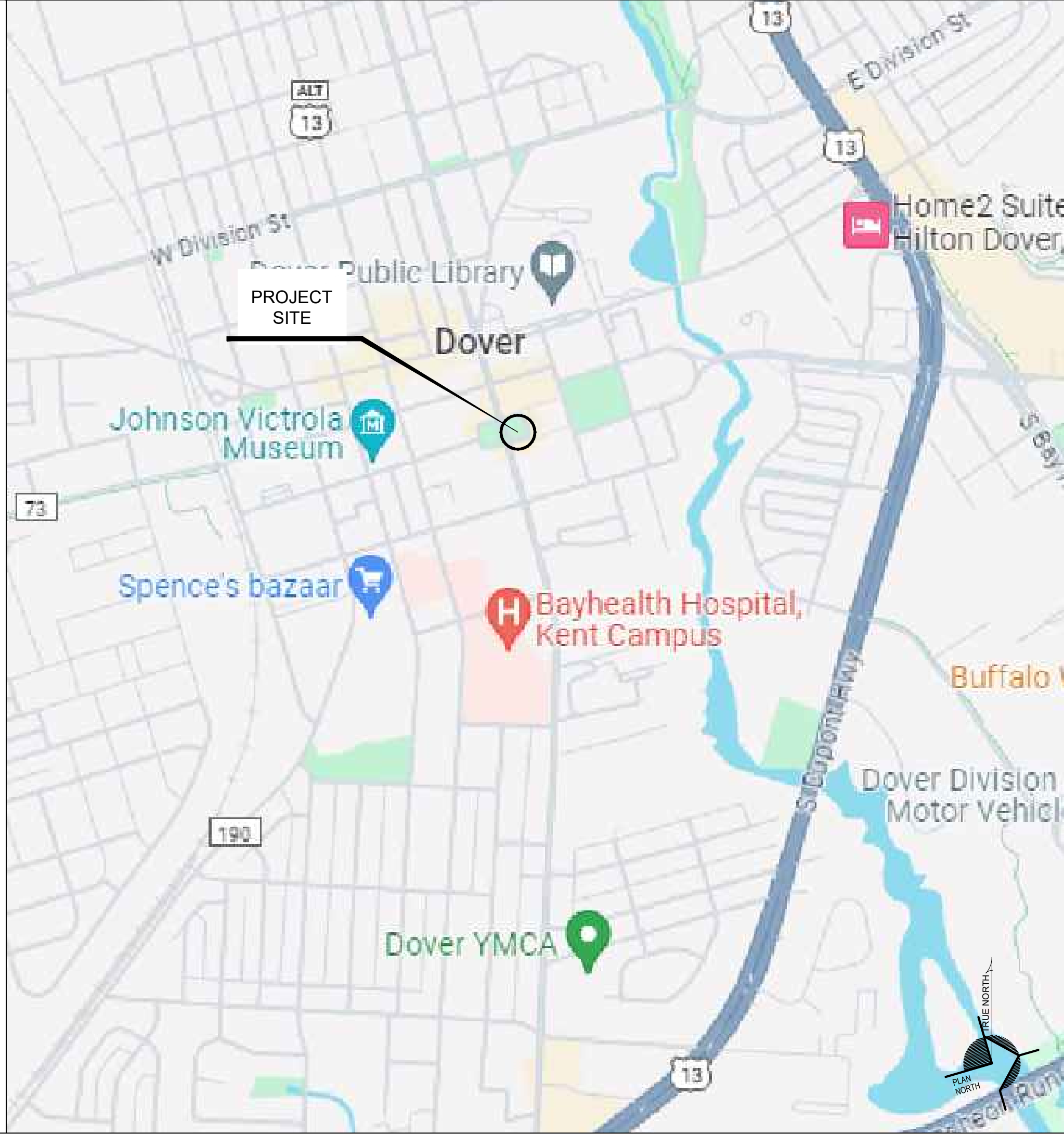
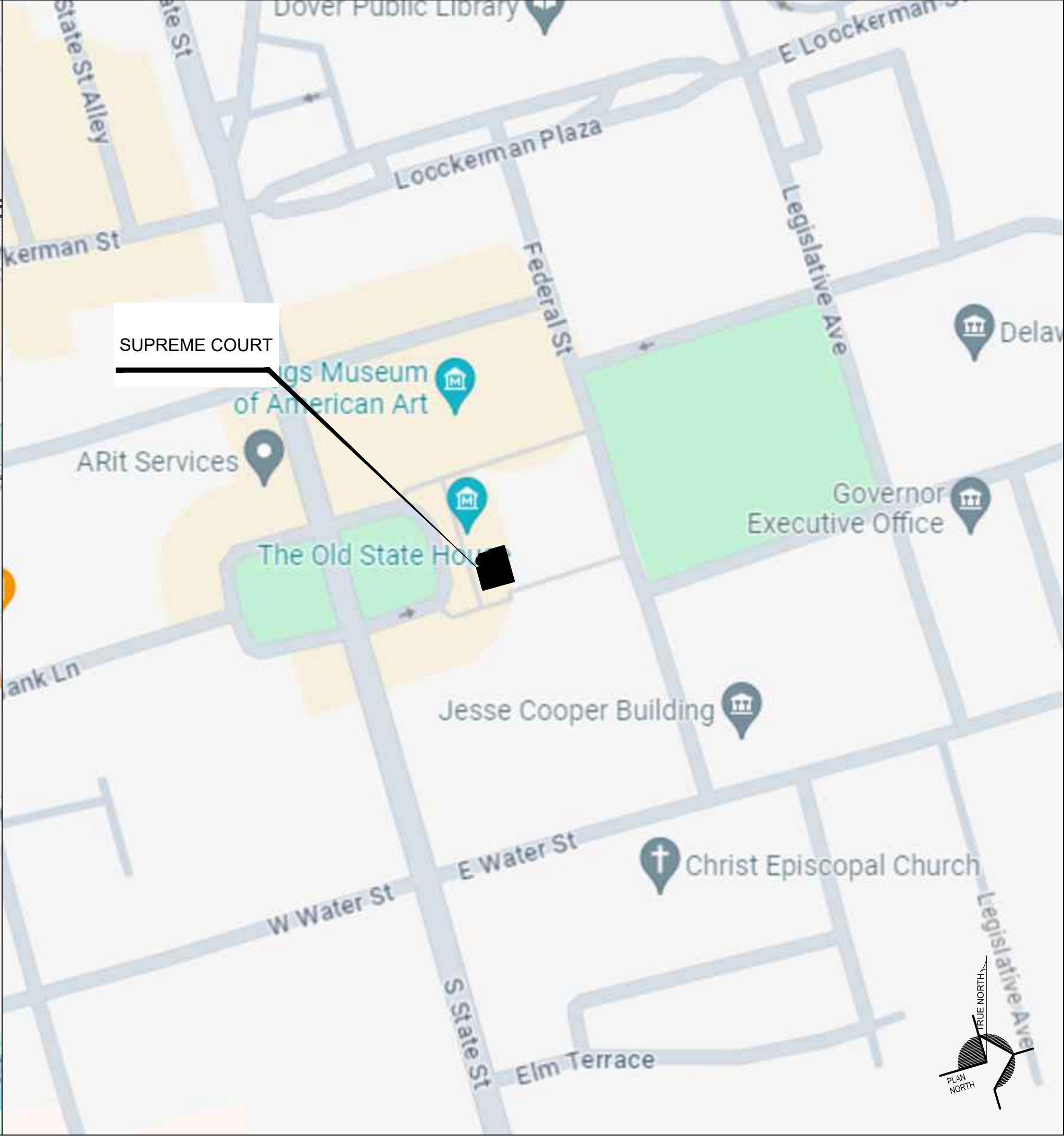
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DELAWARE SUPREME COURT BUILDING

ADDITION AND RENOVATION

55 THE GREEN DOVER , DE 19901

LOCATION MAP	AREA MAP	SITE MAP	DRAWING LIST
 LOCATION MAP SCALE IN MILES PROJECT AREA SUPREME COURT 55 THE GREEN DOVER, DE 19901	 AREA MAP PROJECT SITE Dover Johnson Victrola Museum Spence's bazaar Bayhealth Hospital, Kent Campus Dover YMCA Dover Division Motor Vehicle	 SITE MAP SUPREME COURT Loockerman Plaza Legislative Ave Jesse Cooper Building Christ Episcopal Church	DRAWING LIST GENERAL T10-01 TITLE SHEET T10-02 LEGENDS & ABBREVIATIONS T10-03 EXTERIOR RENDERINGS C1.01 SITE CONSTRUCTION PLAN COVER A1-2 FIRST FLOOR RENOVATION PLAN A2-1 EXTERIOR ELEVATIONS

ISSUED FOR:	
15%-30% REVIEW	05/31/2024
HISTORIC REVIEW	08/06/2024

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

PROJECT INFO:

DELAWARE
SUPREME COURT
ADDITION &
RENOVATION

55 THE GREEN DOVER, DE 19901	
SHEET INFO:	
PROJECT NO:	23043
DRAWN BY:	LAK
CHECKED BY:	RAG
SCALE:	AS NOTED
DATE:	02 AUGUST 2024

TITLE & NO.:

TITLE SHEET

T10-01

ABBREVIATIONS			
ACT	ACOUSTICAL CEILING TILE	LLH	LONG LEG HORIZONTAL
AFF	ABOVE FINISHED FLOOR	LLV	LONG LEG VERTICAL
ALT	ALTERNATE	LPT	LOW POINT
ALUM	ALUMINUM	LT	LIGHT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MAS	MASONRY
ARCH	ARCHITECTURAL, ARCHITECT	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MDF	MEDIUM-DENSITY FIBREBOARD
BD	BOARD	MECH	MECHANICAL
BL	BASE LINE	MFD	MANUFACTURED
BLDG	BUILDING	MFR	MANUFACTURER
BM	BEAM	MIN	MINIMUM
BOT	BOTTOM	MJ	MOVEMENT JOINT
BRG	BEARING	MO	MASONRY OPENING
BUR	BUILT UP ROOF	MR	MOISTURE RESISTANT
CJ	CONTROL JOINT	MT	METAL THRESHOLD
CL	CENTER LINE	MTD	MOUNTED
CLG	CEILING	MTL	METAL
CLG HT	CEILING HEIGHT	NA	NOT APPLICABLE
CLO	CLOSET	NCOMBL	NON-COMBUSTIBLE
CLR	CLEAR	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
CO	CLEANOUT	NTS	NOT TO SCALE
CON	CONNECT	OC	ON CENTER
CONC	CONCRETE	OD	OUTSIDE DIAMETER, OUTSIDE DIMENSION
CONSTR	CONSTRUCTION	OFD	OVERFLOW DRAIN
CONT	CONTINUE	OHDR	OVERHEAD DOOR
CONTR	CONTRACT, CONTRACTOR	OPH	OPPOSITE HAND
COORD	COORDINATE	OPNG	OPENING
CPT	CARPET	OPP	OPPOSITE
CT	CERAMIC TILE	PLAM	PLASTIC LAMINATE
CTR	CENTER	PLAS	PLASTIC
D	DEEP, DEPTH	PLYWD	PLYWOOD
DBL	DOUBLE	POL	POLISHED
DEC	DETENTION EQUIPMENT CONTRACTOR	PR	PAIR
DEMO	DEMOLITION, DEMOLISH	PREFIN	PREFINISHED
DET	DETAIL	PROJ	PROJECT, PROJECTED
DF	DRINKING FOUNTAIN	PSF	POUNDS PER SQUARE FOOT
DIA	DIAMETER	PSI	POUNDS PER SQUARE INCH
DIAG	DIAGONAL	PT	PAINT, PAINTED, PRESSURE TREATED
DIM	DIMENSION	PTN	PARTITION
DR	DOOR	PVC	POLY-VINYL CHLORIDE THERMOPLASTIC
DWG	DRAWING	QT	QUARRY TILE
EA	EACH	R	RADIUS
EIFS	EXTERIOR INSULATION FINISH SYSTEM	RCP	REFLECTED CEILING PLAN
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EL	ELEVATION	REF	REFERENCE, REFRIGERATOR
ELEC	ELECTRIC, ELECTRICAL	REINF	REINFORCING
ELEV	ELEVATOR	RENOV	RENOVATION
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	REQD	REQUIRED
EQ	EQUAL	REV	REVERSE, REVISED, REVISION
EQUIP	EQUIPMENT	RHR	RIGHT HAND REVERSE
EW	EACH WAY	RL	ROOF LADDER
EWC	ELECTRIC WATER COOLER	RM	ROOM
EXIST	EXISTING	RO	ROUGH OPENING
EX	EXISTING	RTU	ROOF TOP UNIT
EXP	EXPANSION, EXPOSED	RWC	RAIN WATER CONDUCTOR
EXT	EXTERIOR	RWL	RAIN WATER LEADER
FD	FLOOR DRAIN	SCHED	SCHEDULE
FDTN	FOUNDATION	SECT	SECTION
FE	FIRE EXTINGUISHER	SF	SQUARE FOOT / FEET
FEC	FIRE EXTINGUISHER CABINET	SGL	SINGLE
FF EL	FINISHED FLOOR ELEVATION	SHT	SHEET
FHC	FIRE HOSE CABINET	SIM	SIMILAR
FIN	FINISH	SPEC	SPECIFICATION
FIN FLR	FINISH FLOOR	SST	STAINLESS STEEL
FLR	FLOOR, FILLER	STD	STANDARD
FR	FIRE RATING, FIRE RESISTANT, FRAME	STL	STEEL
FRP	FIBER REINFORCED PLASTIC / POLYESTER	STRUC	STRUCTURAL
FT	FOOT, FEET	SUSP	SUSPENDED
FTG	FOOTER, FOOTING	SYMM	SYMMETRICAL
GA	GAUGE	SYS	SYSTEM
GALV	GALVANIZED	TEMP	TEMPORARY
GC	GENERAL CONTRACTOR	TER	TERRAZZO
GYP BD	GYP SUM BOARD	THK	THICK, THICKNESS
HC	HANDICAP	THRES	THRESHOLD
HCP	HANDICAPPED	TOJ	TOP OF JOIST
HDPE	HIGH DENSITY POLYETHYLENE	TOM	TOP OF MASONRY
HDW	HARDWARE	TOS	TOP OF STEEL
HM	HOLLOW METAL	TOW	TOP OF WALL
HORIZ	HORIZONTAL	TPO	THERMOPLASTIC POLYOLEFIN
HT	HEIGHT	TYP	TYPICAL
HVAC	HEATING VENTILATING, AND AIR CONDITIONING	UL	UNDERWRITERS LABORATORIES
IBC	INTERNATIONAL BUILDING CODE	UNO	UNLESS NOTED OTHERWISE
ID	INSIDE DIAMETER	UTIL	UTILITY
INSUL	INSULATION	VCT	VINYL COMPOSITION TILE
INT	INTERIOR	VERT	VERTICAL
JAN	JANITOR	VEST	VESTIBULE
L	ANGLE	VIF	VERIFY IN FIELD
LAM	LAMINATE	VTR	VENT THROUGH ROOF
LAV	LAVATORY	W	WIDE, WIDTH
LF	LINEAR FOOT	W/	WITH
LH	LEFT HAND	WD	WOOD
LHR	LEFT HAND REVERSE	WDW	WINDOW
		WP	WORKING POINT
		WSCT	WAINSCOT
		WT	WEIGHT

GENERAL NOTES	
1.	ALL WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE LOCAL JURISDICTION, THE COUNTY, THE STATE, AND THE CURRENT ADOPTED VERSION OF THE INTERNATIONAL BUILDING CODE FAMILY. THE CONTRACTOR SHALL POST NOTICES AND COMPLY WITH GOVERNING LAWS OF THE JURISDICTION.
2.	THE WORK SHALL BE PROPERLY SUPERVISED BY THE CONTRACTOR'S SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE SKILLED IN THE TASK ASSIGNED.
3.	THE CONTRACTOR SHALL, AT ALL TIMES MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD ALL PERSONS ENGAGED IN THE PERFORMANCE OF THE WORK.
4.	ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.
5.	NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE.
6.	THE PROJECT ARCHITECT SHALL BE NOTIFIED SHOULD ANY DISCREPANCY OR QUESTIONS ARISE PERTAINING TO THESE DRAWINGS. NO CHANGE SHALL BE MADE WITHOUT REVIEW BY THE ARCHITECT.
7.	NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
8.	THE CONTRACTOR SHALL VERIFY ALL GRADES, LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT PRIOR TO THE EXECUTION OF THE WORK. RECHECK ALL DIMENSIONS PRIOR TO ORDERING MANUFACTURED AND/OR FABRICATED ITEMS.
9.	THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS PURCHASED FOR THIS PROJECT AND STORED IN THE OWNER'S DESIGNATED AREA. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ON PREFERRED LOCATIONS FOR STORED MATERIALS.
10.	THE CONTRACTOR SHALL MAINTAIN AREAS UNDER THE CONTRACTOR'S CONTROL TO BE FREE OF WASTE MATERIALS, DEBRIS AND RUBBISH. CONTAINERS FOR DEPOSIT OF DEBRIS AND RUBBISH SHALL BE PROVIDED BY THE CONTRACTOR. COORDINATE LOCATION WITH THE OWNER PRIOR TO PLACEMENT. EXTRANEOUS MATERIALS SHALL BE PERIODICALLY REMOVED, AND AT THE CONCLUSION OF THE PROJECT.
11.	ALL AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR STATE PRIOR TO THE START OF CONSTRUCTION
12.	INDIVIDUAL CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL FIRESAFING/FIRESTOPPING MATERIALS AT ALL THROUGH-WALL AND THROUGH-CEILING PENETRATIONS AS REQUIRED FOR THE CONSTRUCTION WORK OF THEIR INDIVIDUAL CONTRACT.

DEMOLITION LEGEND & NOTES	
LEGEND:	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	NEW WALL
	DEMOLITION KEYNOTE
GENERAL NOTES:	
1.	CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
2.	CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DWGS. PRIOR TO START OF CONSTRUCTION.
3.	CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT.
DEMOLITION KEYNOTES:	
	DEMO EXIST. WINDOW, TRIM & ASSOC FRAMING IN ITS ENTIRETY. REMOVE PORTION OF EXISTING WINDOW SILL DOWN TO THE TOP OF FINISH SUB FLOOR. PREP ENTIRE OPENING TO RECEIVE A NEW DOOR & FRAME. PORTION ABOVE DOOR TO BE WALL INFILLED AS REQ'D.
	DEMO EXIST. WINDOW, TRIM & ASSOC FRAMING IN ITS ENTIRETY. PREP EXIST. OPENING FOR NEW WALL INFILL.
	REMOVE EXIST. WALL IN ITS ENTIRETY. PATCH & REPAIR EXIST. WALLS AND FLOOR AS REQ'D. AND PREP AREA FOR NEW WORK.
	REMOVE EXIST. DOOR AND FRAME IN ITS ENTIRETY. RETURN TO OWNER FOR STORAGE
	DEMO EXIST. FIREPLACE AND ALL ASSOCIATED MATERIALS. PREP AREA FOR NEW WALL INFILL.
	REMOVE EXIST. PLUMBING FIXTURE, CAP EXIST. SERVICE PIPING BELOW GRADE AND/OR BEHIND FINISH WALL SURFACE.
	REMOVE EXIST. STAIRS AND PREP AREA FOR NEW WORK.
	DEMO EXIST. FLOOR/ WALL MOUNTED CASEWORK IN ENTIRETY AND PREP AREA FOR NEW WORK. REMOVE ANY ASSOC. BLOCKING & FRAMING. PATCH & REPAIR EXISTING WALL AS REQ'D.
	DEMO EXIST. FOUNDATION VENT IN ITS ENTIRETY. PREP AREA FOR NEW WALL INFILL
	REMOVE ALL EXIST. WALL MOUNTED ACCESSORIES. CAMERAS, SIGNS, ETC.
	REMOVE PORTION OF FENCE AS REQ'D FOR CONSTRUCTION. RETURN TO OWNER FOR REINSTALLATION
	DEMO PORTION OF BRICK SIDEWALK

RCP LEGEND AND NOTES	
LEGEND:	
	CEILING TYPE
	CEILING HEIGHT A.F.F.
LIGHTING:	
NOTE: LIGHTING FIXTURES ARE SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR ACTUAL FIXTURE TYPE DESIGNATIONS AND STANDARD OF DESIGN CATALOG NUMBERS.	
	WALL/ CEILING MOUNTED EXIT SIGN WITH EMERGENCY LIGHT HEADS. W/ ELEC. DWGS. FOR LOCATION
	WALL MOUNTED EMERGENCY LIGHTS COORD. W/ ELEC. DWGS. FOR LOCATION
	NEW 2X2' LED TROFFER- (SEE ELEC. DWGS FOR DETAIL)
	NEW 2X4' LED TROFFER- (SEE ELEC. DWGS FOR DETAIL)
	NEW SURFACE MOUNTED LED FIXTURE - (SEE ELEC. DWGS FOR DETAIL)
HVAC:	
	NEW SUPPLY DIFFUSER- (SEE MECH. DWGS FOR DETAILS)
	NEW RETURN DIFFUSER- (SEE MECH. DWGS FOR DETAILS)
CEILING TYPES:	
	NEW 2X2' SUSPENDED ACOUSTIC CEILING SYSTEM ARMSTRONG. #1732 "FINE FISSURED" (WHITE)
	GYPSUM BOARD CEILING

RENOVATION LEGEND & NOTES	
LEGEND:	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	NEW WALL
	NEW MASONRY WALL
	RENOVATION KEYNOTE
	NEW DOOR
	SECTION TAG
	CEILING TYPE
	CEILING HEIGHT A.F.F.
	NEW WALL TAG (SHEET AD 1.1 FOR WALL TYPES)
	"SECURE DOOR" - CARD READER
GENERAL NOTES:	
1.	CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
2.	CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DWGS. PRIOR TO START OF CONSTRUCTION.
3.	CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT.
RENOVATION KEYNOTES:	
	INFILL EXISTING MASONRY OPENING
	INFILL EXISTING FIREPLACE
	NEW MOLDED BRICK WATER TABLE
	NEW JUDGE GOWN CLOSETS
	NEW WALL AND FLOOR MOUNTED BOOKSHELF

RENOVATION ELEVATION KEYNOTES	
	NEW FLEMISH BOND BRICK TO MATCH EXISTING COLOR
	NEW MOLDED BRICK WATER TABLE
	NEW WINDOW. COLOR AND MATERIALS TO MATCH EXISTING.
	NEW FOUNDATION VENT. SEE 3/A4.1
	REINSTALL FENCE AGAINST STRUCTURE
	NEW SCUPPER BOX AND DOWNSPOUT

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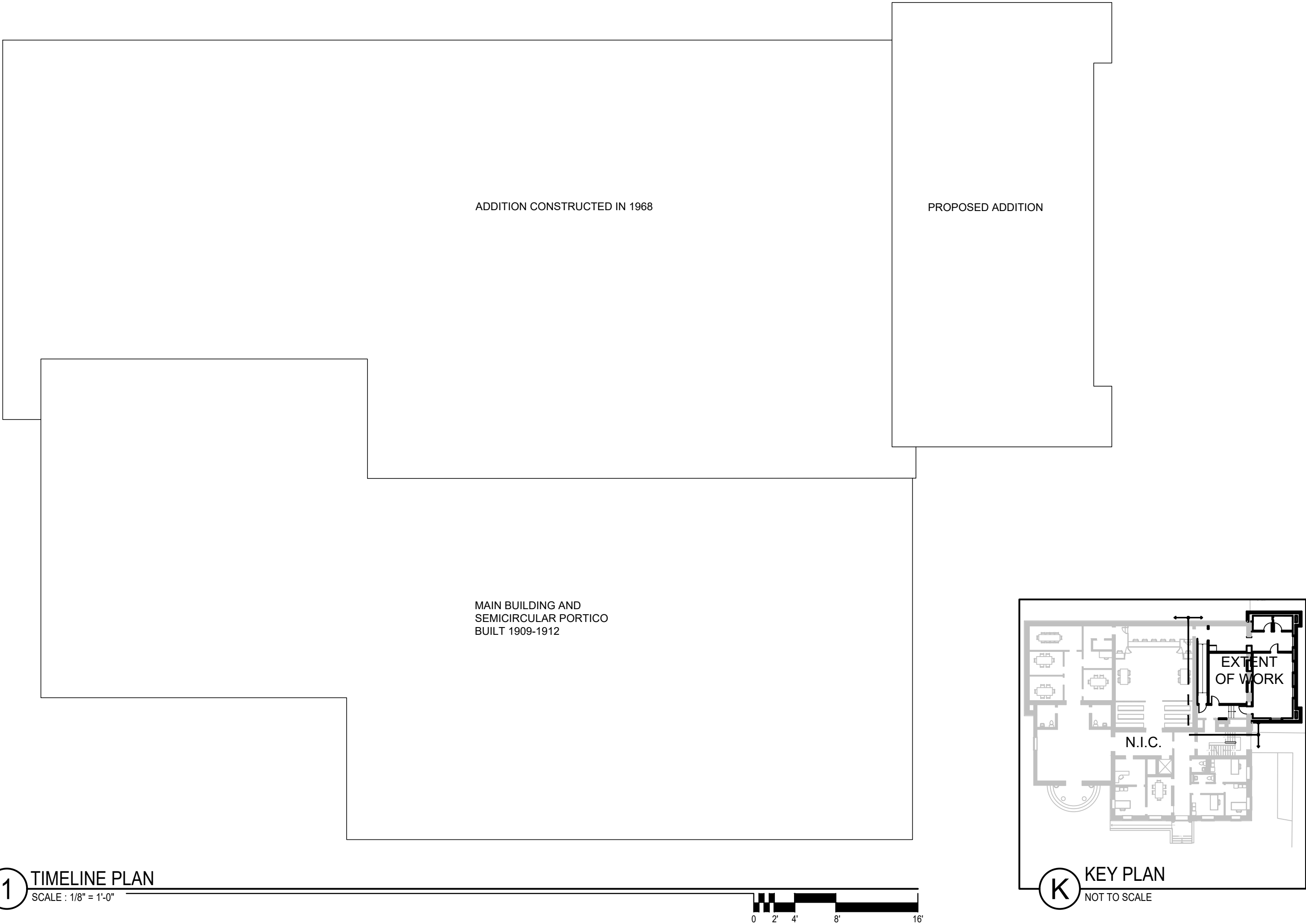
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ISSUED FOR:

15%-30% REVIEW 05/31/2024

HISTORIC REVIEW 08/06/2024

PRELIMINARY DRAWINGS

NOT FOR CONSTRUCTION

PROJECT INFO:

DELAWARE

SUPREME COURT

ADDITION &

RENOVATION

55 THE GREEN

DOVER, DE 19901

SHEET INFO:

PROJECT NO: 23043

DRAWN BY: LAK

CHECKED BY: RAG

SCALE: AS NOTED

DATE: 02 AUGUST 2024

TITLE & NO.:

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LEGENDS AND

ABBREVIATIONS

T10-02



FRONT VIEW FROM THE GREEN - CURRENT



3/4 VIEW FROM THE GREEN - CURRENT



SIDE VIEW - CURRENT



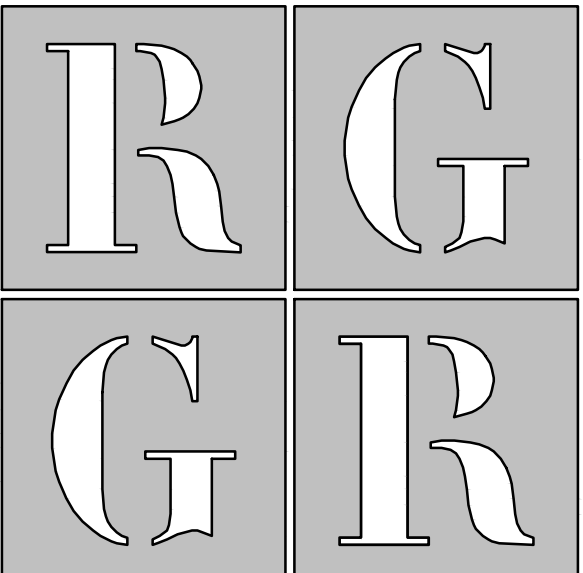
FRONT VIEW FROM THE GREEN - PROPOSED



3/4 VIEW FROM THE GREEN - PROPOSED



SIDE VIEW - PROPOSED



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DELAWARE
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ADDITION &
RENOVATION

55 THE GREEN
DOVER, DE 19901

SHEET INFO:

PROJECT NO: 23043
DRAWN BY: LAK
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TITLE & NO.:

EXTERIOR
RENDERINGS

GENERAL NOTES:

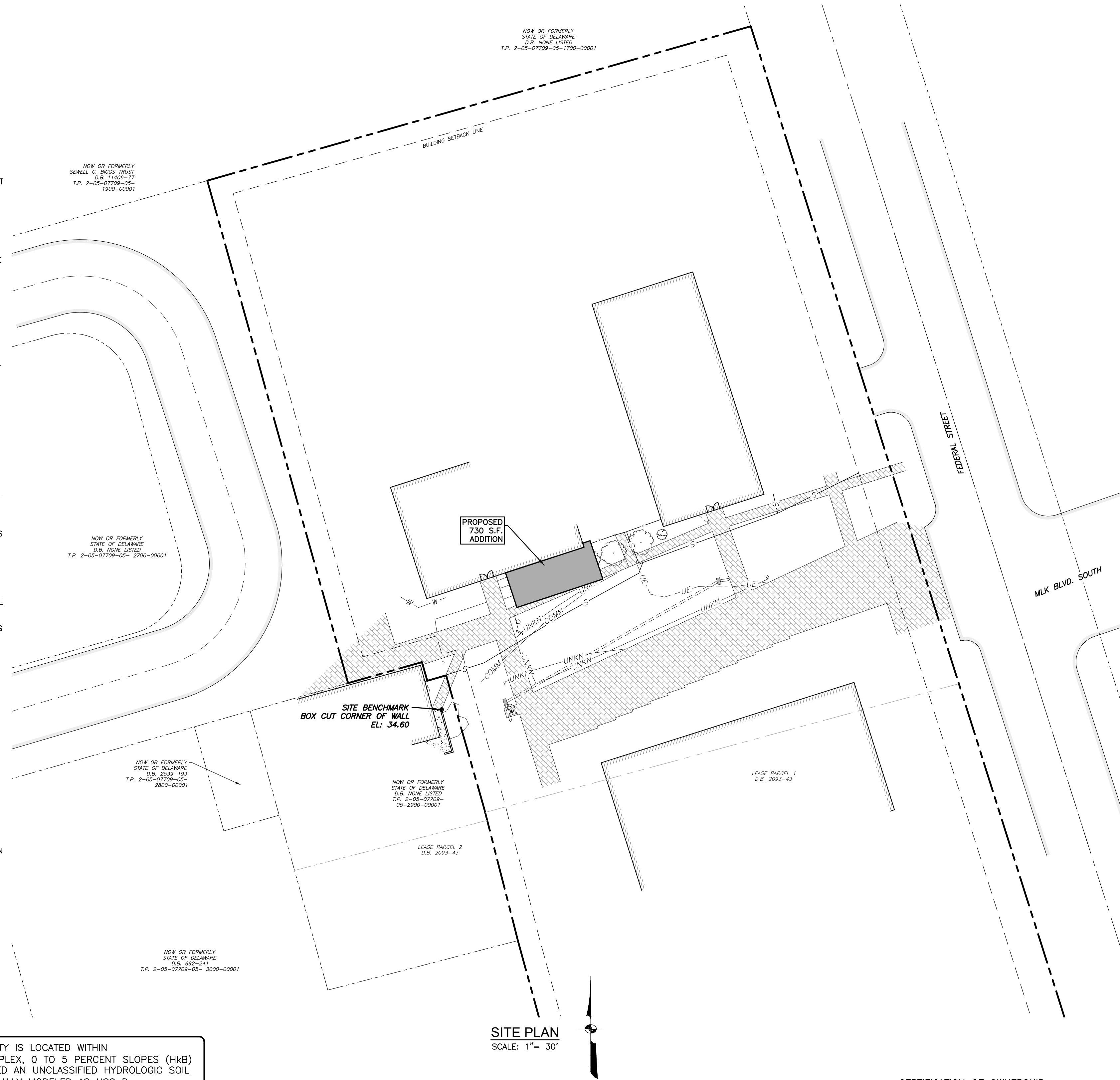
- a. THE KENT CONSERVATION AGENCY SHALL BE NOTIFIED IN WRITING 5 DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- b. REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS. NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- c. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY KENT CONSERVATION AGENCY.
- d. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- e. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- f. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- g. APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANTOR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- h. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- i. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7, DEL. C. CH 60 REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DNREC POLICIES, PROCEDURES, AND GUIDANCE.

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE DELDOT STANDARD SPECIFICATIONS AND DETAILS, OR THE KENT COUNTY SPECIFICATIONS AND DETAILS, EXCEPT AS NOTED ON THIS PLAN.
2. ALL EXCESS EXCAVATION AND ALL OLD PAVEMENT, BASE COURSE, BROKEN CONCRETE, ETC. SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE HAULED AWAY FROM THE SITE, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
3. IN ALL AREAS WHERE UNSUITABLE MATERIALS ARE ENCOUNTERED (AS DETERMINED BY THE ENGINEER), THE CONTRACTOR SHALL REMOVE ALL SAID MATERIAL AND PROVIDE AND PLACE SUITABLE MATERIAL TO PROVIDE ADEQUATE FOUNDATION.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
5. PRIOR TO SUBMITTING BIDS, ALL CONTRACTORS SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO DETERMINE THE SCOPE OF SERVICES PROVIDED BY THE UTILITY. ALL WORK AND MATERIALS NOT PROVIDED BY THE UTILITY SHALL BE PROVIDED AND COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COSTS.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL INSTALLED PIPING UNTIL THE COMPLETION OF CONSTRUCTION OF THE PROJECT. PIPES WITH SHALLOW COVER SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION MACHINERY WITH ADEQUATE TEMPORARY COVER.
7. PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ARE TO FACE OF CURB, CENTERLINE OF UTILITY, CENTERLINE OF MANHOLE OR CATCH BASIN, OR FACE OF BUILDING UNLESS OTHERWISE NOTED. TOP OF MANHOLE ELEVATIONS ARE AT TOP OF MANHOLE FRAME AND COVER. DO NOT DETERMINE DIMENSIONS BY SCALING DRAWINGS.
8. ALL FIRE LANES, FIRE HYDRANTS, SPRINKLER AND STANDPIPE CONNECTIONS AND FIRE EXITS SHALL BE MARKED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT STATE OF DELAWARE FIRE PREVENTION REGULATIONS.
9. ALL HANDICAP PARKING SPACES, PAINT STRIPING AND APPLICABLE CIVIL STRUCTURES SHALL BE IN CONFORMANCE WITH THE STATE OF DELAWARE, ARCHITECTURAL ACCESSIBILITY BOARD STANDARDS.
10. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS. ANY DISCREPANCIES WITHIN THE DRAWINGS, EXISTING FIELD CONDITIONS, SPECIFICATIONS, CODES OR REGULATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF WORK. FIELD REVISIONS REQUIRE PRIOR ENGINEERING REVIEW AND WRITTEN CONFIRMATION FROM THE OWNER.
11. ALL MATERIAL STORAGE SHALL BE WITHIN THE PROPERTY BOUNDARIES AND NOT ON ADJOINING PROPERTIES.
12. THE CONTRACTOR SHALL PROTECT ALL ADJOINING AND NEARBY BUILDINGS, EQUIPMENT, ALL UTILITIES, STRUCTURES, FENCES, TREES AND SHRUBBERY, ETC. FROM DAMAGE DUE TO EXCAVATION, DEMOLITION, AND CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PERIOD. ANY DAMAGE CAUSED DIRECTLY OR INDIRECTLY SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
13. ALL DISTURBED AREAS OUTSIDE OF PAVEMENT SHALL BE TOPSOILED WITH 6" TOPSOIL, SEEDED, AND MULCHED, OR STABILIZED WITH EROSION CONTROL MATTING.
14. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
15. THE CONTRACTOR SHALL ERECT SUFFICIENT BARRICADES AND TAKE NECESSARY PRECAUTIONS TO PROTECT WORK AREAS. THE CONTRACTOR SHALL NOT DISRUPT DAILY OPERATIONS OF THE FACILITY, TRAFFIC FLOW IN THE SITE, OR EMERGENCY ACCESS TO THE SITE EXCEPT WITH THE CONCURRENCE OF THE OWNER. A DETAILED TRAFFIC MAINTENANCE PLAN SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL 14 DAYS PRIOR TO BEGINNING CONSTRUCTION. MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE COORDINATED WITH THE DELAWARE DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL DELDOT PERMITS.
16. ALL PAVING SHALL BE TIED INTO EXISTING PAVEMENTS, AS SHOWN ON THE DETAILS. NO FEATHERING OF PAVING WILL BE ALLOWED.
17. ANY SHEETING, SHORING, OR SIMILAR TRENCH BRACING THAT MAY BE NECESSARY FOR THE CONSTRUCTION OF THIS CONTRACT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCIDENTAL TO THE ITEM BEING CONSTRUCTED.
18. ALL TREES, TIMBER, STUMPS, BRUSH, RUBBISH OR OTHER MATERIAL NOT TO REMAIN SHALL BE REMOVED FROM THE SITE. NO DEBRIS OR TREE STUMPS SHALL BE BURIED ON SITE. OPEN BURNING SHALL NOT BE PERMITTED.
19. SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE KENT COUNTY DEPARTMENT OF SPECIAL SERVICES.
20. THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND STABILIZE EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION, INCLUDING AREAS DISTURBED BY UTILITY COMPANIES.

SITE CONSTRUCTION PLANS
SUPREME COURT OF DELAWARE

55 THE GREEN
DOVER DELAWARE
KENT COUNTY DELAWARE



THE ENTIRE SUBJECT PROPERTY IS LOCATED WITHIN
HAMBROOK-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES (H&B)
SOIL TYPE. H&B IS CONSIDERED AN UNCLASSIFIED HYDROLOGIC SOIL
GROUP (HSG), AND ARE TYPICALLY MODELED AS HSG D.

SITE PLAN
SCALE: 1" = 30'

CERTIFICATION OF PLAN ACCURACY

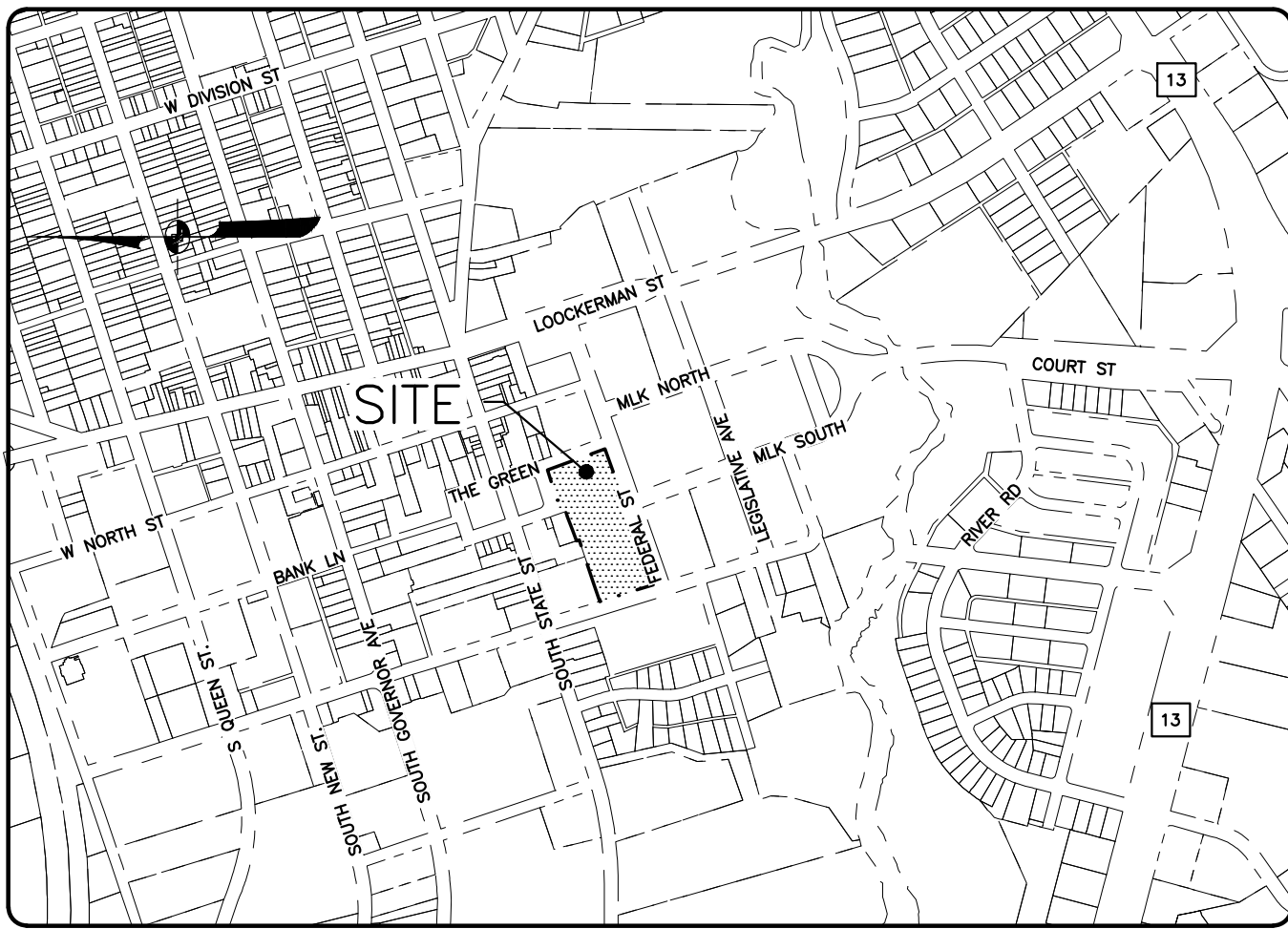
I, NICHOLAS J. DONLON, HEREBY CERTIFY THAT I AM A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE NEW CASTLE COUNTY UNIFIED DEVELOPMENT CODE.

DATE PROFESSIONAL ENGINEER

CERTIFICATION OF OWNERSHIP

I, _____, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED STANDARD PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A NEW CASTLE COUNTY DEPARTMENT OF LAND USE SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS.

DATE OWNER



ZONING MAP NO. OR ADC MAP NO. LOCATION PLAN SCALE: 1" = 800'

NOTES:

1. OWNER: STATE OF DELAWARE
DOVER, DELAWARE 19901
2. TAX PARCEL NO.: 2 05 07709 05 3200 000
3. SOURCE OF TITLE: DEED BOOK: 2093, PAGE 43
4. ZONING: IO
5. AREA: 3.74± ACRES
6. DATE OF FIELD SURVEY: FEBRUARY 22, 2024.
7. DATUM: HORIZONTAL - NAD 83
VERTICAL - NAVD 88
8. BENCHMARK: ELEVATIONS FOR THIS SITE WERE ESTABLISHED FROM STATIC G.P.S. OBSERVATIONS, REFERENCED TO NGS CORS STATIONS. NGS DISK Y-39, ELEV. 00.00
9. SITE BENCHMARK: BOX CUT CORNER OF WALL
ELEV. 34.60
10. WATER: CITY OF DOVER
11. SEWER: CITY OF DOVER

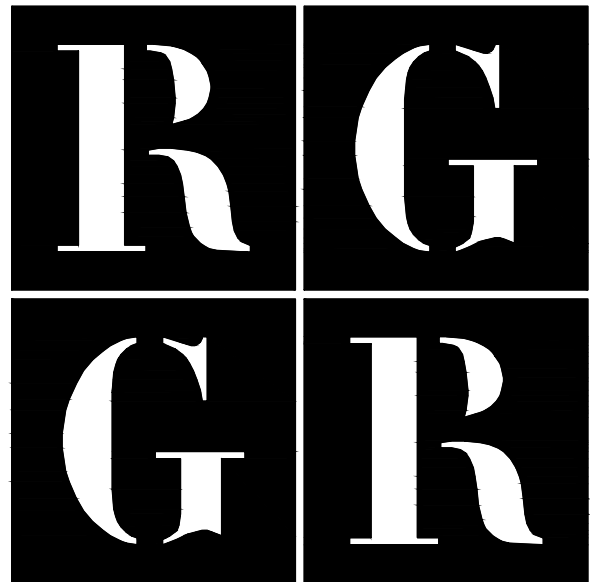
LEGEND

- EXISTING
FMON DELDOT MONUMENT FOUND
- LP LIGHT POLE, STANDARD
- BP BOLLARD
- UP UTILITY POLE
- SPOT ELEVATIONS
- BUILDING
- CONCRETE
- BRICK
- CATCH BASIN
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT
- STORM PIPE
- EDGE OF PAVING
- CURB - TYPE 1-6
- CURB - FLUSH
- SANITARY SEWER
- WATER LINE
- UNKNOWN UTILITY
- SITE BENCHMARK

SHEET NO.	SHEET TITLE
C1.01	COVER SHEET
C1.02	EXISTING CONDITIONS PLAN
C1.03	SITE CONSTRUCTION PLAN
C1.04	CONSTRUCTION DETAILS



THE TOTAL LAND DISTURBANCE PROPOSED
BY THIS PLAN IS 0.03± ACRES.



R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100

VANDEMARK
& LYNCH, INC.
ENGINEERS - SURVEYORS
4305 MILLER ROAD (302) 764-7635
WILMINGTON, DE 19802 WWW.VDLENG.COM

ISSUED FOR:

15%-30% REVIEW 05/31/2024
HISTORIC REVIEW 08/06/2024

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

PROJECT INFO:

DELAWARE
SUPREME COURT
ADDITION &
RENOVATION

55 THE GREEN
DOVER, DE 19901

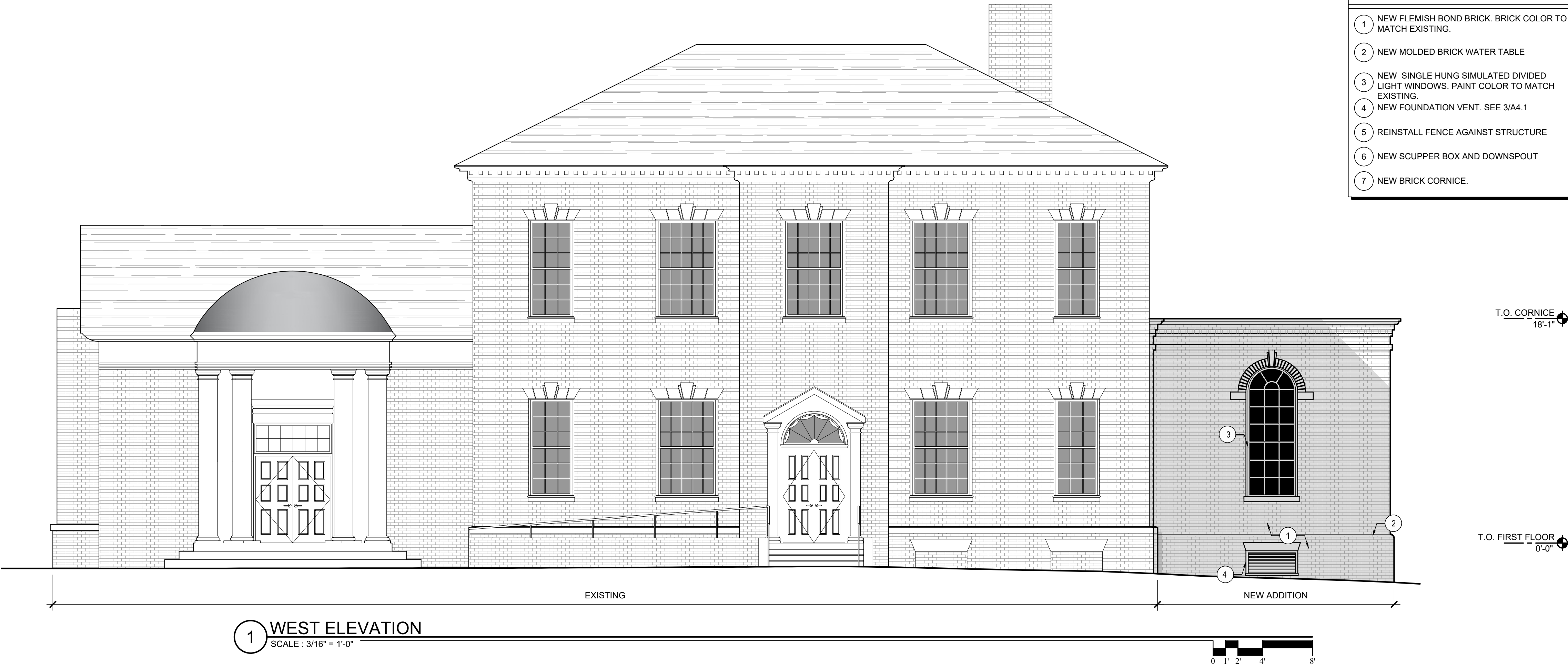
SHEET INFO:

PROJECT NO: 26094.00
DRAWN BY: CH
CHECKED BY: ND
SCALE: 1" = 30'
DATE: 31 MAY 2024
FILE 26094.00-COVER-01
SHEET 1 OF 4

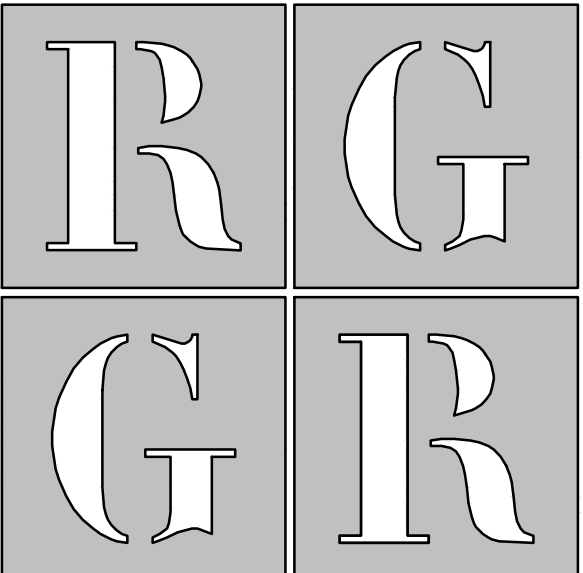
TITLE & NO.:

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C1.01



- RENOVATION ELEVATION KEYNOTES
- 1 NEW FLEMISH BOND BRICK. BRICK COLOR TO MATCH EXISTING.
 - 2 NEW MOLDED BRICK WATER TABLE
 - 3 NEW SINGLE HUNG SIMULATED DIVIDED LIGHT WINDOWS. PAINT COLOR TO MATCH EXISTING.
 - 4 NEW FOUNDATION VENT. SEE 3/A4.1
 - 5 REINSTALL FENCE AGAINST STRUCTURE
 - 6 NEW SCUPPER BOX AND DOWNSPOUT
 - 7 NEW BRICK CORNICE.



ARCHITECTS
R G Architects, LLC
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PROJECT INFO:

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ADDITION &
RENOVATION

55 THE GREEN
DOVER, DE 19901

SHEET INFO:

PROJECT NO: 23043
DRAWN BY: LAK
CHECKED BY: RAG
SCALE: AS NOTED
DATE: 02 AUGUST 2024

TITLE & NO.:

EXTERIOR
ELEVATIONS

A2-1

