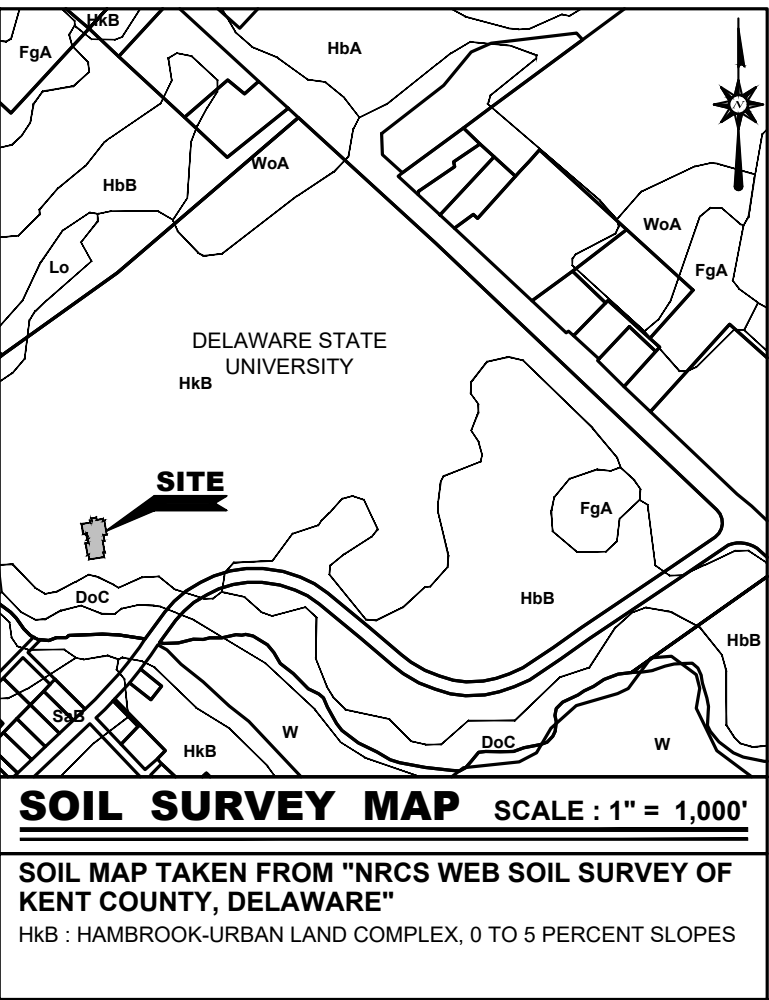
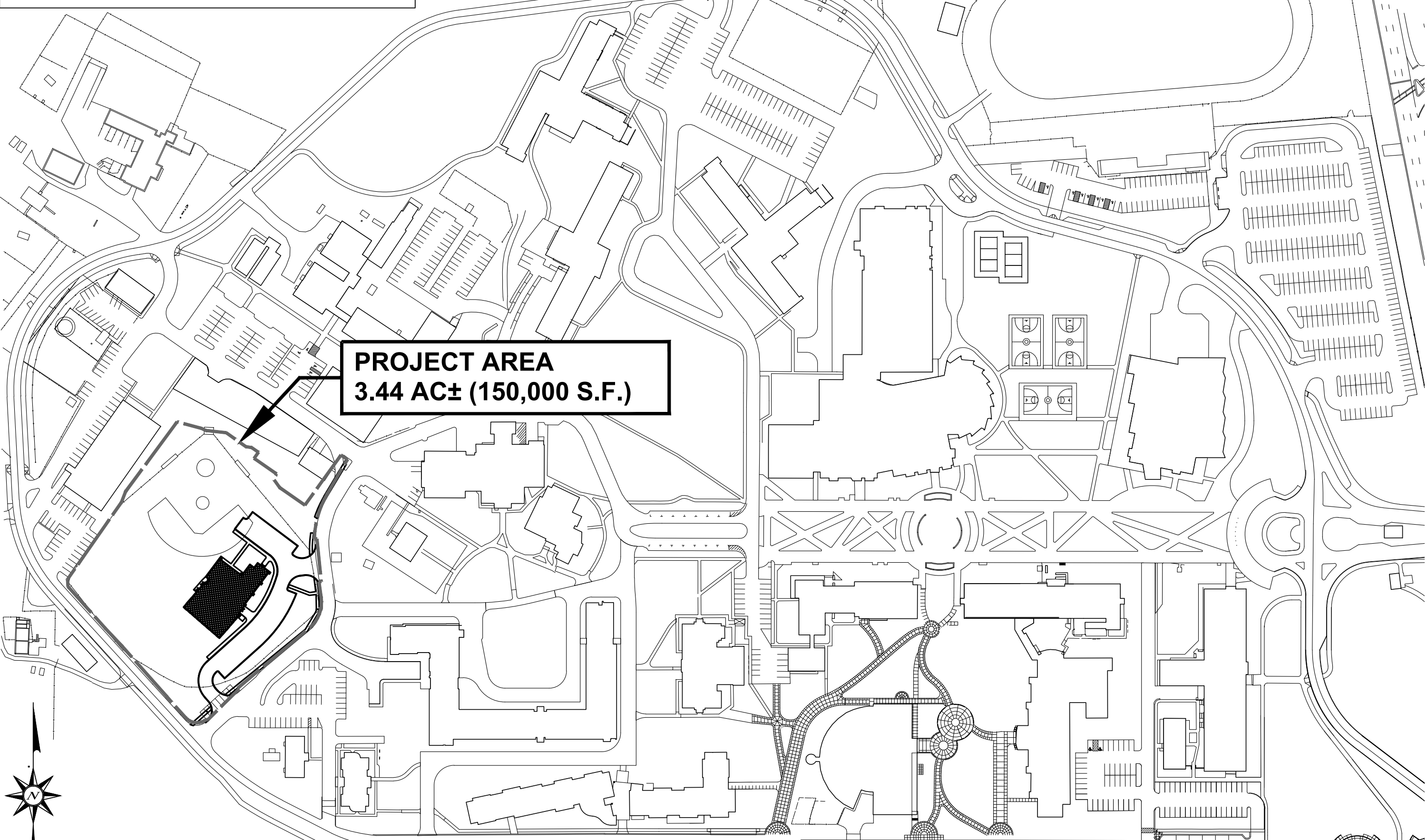
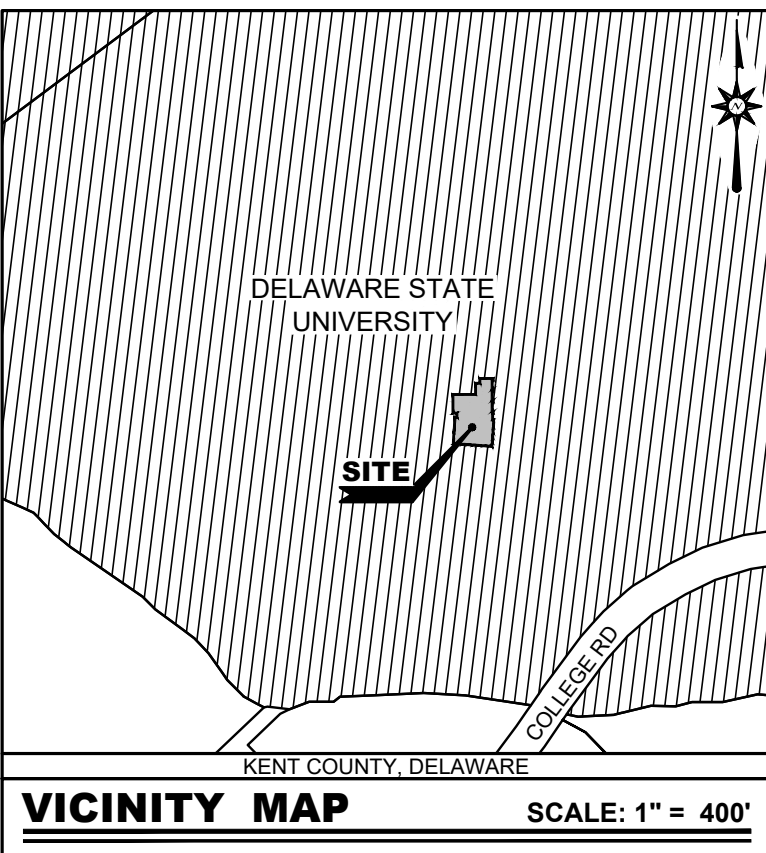
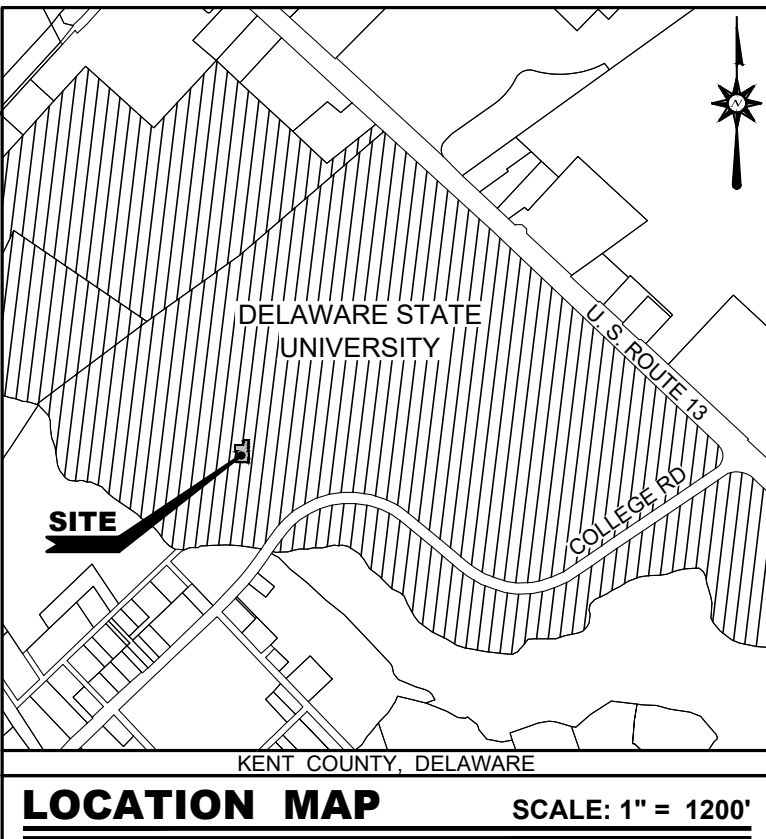


NOTE:
PRIOR TO THE START OF CONSTRUCTION OR ORDERING OF MATERIALS, THE CONTRACTOR SHALL ENGAGE A PRIVATE UTILITY LOCATOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT EXTENTS AS WELL AS VERIFYING ELEVATIONS OF ALL UTILITIES TO BE CROSSED WITH NEW IMPROVEMENTS. CONTRACTOR SHALL REPORT CONFLICTS/ISSUES TO THE ENGINEER.



SHEET INDEX	
C-001	COVER SHEET
C-101	EXISTING CONDITIONS AND DEMOLITION PLAN
C-201	SITE PLAN
C-301	UTILITY PLAN
L-001	LANDSCAPE PLAN

SITE DATA	
1. OWNER OF RECORD:	STATE OF DELAWARE C/O DELAWARE STATE UNIVERSITY 1200 NORTH DUPONT HIGHWAY DOVER, DELAWARE 19901
2. ENGINEER / SURVEYOR:	BECKER MORGAN GROUP INC. 309 SOUTH GOVERNORS AVE. DOVER, DE 19904 (302) 734-7950
3. PROPERTY MAP NUMBERS:	ED-05-057-00-01-19-00-00 ED-05-057-00-01-20-00-00 ED-05-057-00-01-21-00-00 (PORTION OF)
4. ZONING CLASSIFICATION:	EXISTING: IO / SWPOZ TIER 3: EXCELLENT RECHARGE AREA PROPOSED: IO / SWPOZ TIER 3: EXCELLENT RECHARGE AREA
5. DEED SUMMARY:	DEED BOOK O-24-064 (LOT 19), S-024-299 (LOT 20), G-7-390H-11-113 (LOT 21)
7. PRESENT USE:	UNIVERSITY CAMPUS (BASEBALL FIELD)
8. PROPERTY AREA:	UNIVERSITY CAMPUS (ACADEMIC BUILDING) 287.32 ACRES ± (ENTIRE CAMPUS) 240.29 ACRES ± (PORTION OF CAMPUS ON NORTH SIDE OF COLLEGE RD.) 216.03 ACRES ± (PORTION OF NORTH IN RECHARGE AREA) 3.44 ACRES ± (150,000 S.F.)
9. IMPERVIOUS COVERAGE (WITHIN PROJECT AREA)	EXISTING: 30,797 S.F. (0.71 AC) - 20.6% OF PROJECT AREA EXISTING TO BE REMOVED: 24,811 S.F. (0.57 AC) - 16.6% OF PROJECT AREA EXISTING TO REMAIN: 5,986 S.F. (0.14 AC) - 4.1% OF PROJECT AREA PROPOSED PROJECT SITE: 33,730 S.F. (0.77 AC) - 22.5% OF PROJECT AREA TOTAL IMPERVIOUS INCREASE: 3,240,000 S.F. (74.58 AC) - 34.52% 8,919 S.F. (0.20 AC)
RECHARGE AREA CALC'S:	EXISTING TOTAL IMPERVIOUS: 3,240,131 S.F. (74.38 AC) - 34.43% EXISTING TO BE REMOVED: 24,811 S.F. PROPOSED IMPERVIOUS: 33,730 S.F. TOTAL IMPERVIOUS CHANGE: 3,240,000 S.F. (74.58 AC) - 34.52% TOTAL AT BUILD OUT: 3,240,131 - 24,811 + 33,730 = 3,249,050 8,919 S.F. (0.20 AC)
10. SETBACKS:	RECHARGE AREA CALC'S: 3,240,131 S.F. (74.38 AC) - 34.43% EXISTING: 10 FT. FRONT: 10 FT. SIDE: 15 FT. REAR: 15 FT. PROPOSED: 10,400 S.F. OVERALL HEIGHT: 20'-0" FLOOR AREA RATIO: 0.07 NPFA CONSTRUCTION TYPE: TYPE II (000)
11. BUILDINGS:	WATER: CITY OF DOVER SEWER: CITY OF DOVER GAS: CHESAPEAKE UTILITIES ELECTRIC: CITY OF DOVER
12. UTILITIES:	HKB : HAMBROOK-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES CAMPUS WIDE PARKING - IO ZONING (ALL FUTURE CALCULATED AT 1/300 S.F.) BUILDING: 10,400 S.F. / 300 S.F. = 34.6 = 35 TOTAL REQUIRED: 35 CURRENT CAMPUS PARKING REQ.: 1,850 (PER APPROVED BOA DECISION) CURRENT CAMPUS PARKING TOTAL: 2,243 CURRENT CAMPUS SURPLUS: 335 PROPOSED AT PROJECT SITE: 31 EXISTING TO BE REMOVED: 8 SURPLUS REMAINING AT COMPLETION : 335 + 31 - 8 = 358 HANDICAPPED PARKING PROVIDED : 2 SPACES (1 VAN) BICYCLE PARKING REQUIRED : 2 (31 / 20 = 1.55) BICYCLE PARKING PROVIDED : 4 LOADING BERTHS REQUIRED : 1 LOADING BERTHS PROVIDED : 1 DUMPSTERS REQUIRED : 2 DUMPSTERS PROVIDED : 0 (CAMPUS CENTRAL COLLECTION FOR BUILDING)
13. PREDOMINANT SOILS :	FUTURE PERMIT SUBMISSION LIGHTING SHALL BE 1.5 FOOT CANDLES (MINIMUM) AT GRADE
14. PARKING CALCULATIONS :	EX. WOODLAND AREA: 0 S.F. WOODLANDS TO BE CLEARED: 0 S.F. (0%) TOTAL WOODLANDS REMAINING: 0 S.F. (0%) TOTAL NON-WOODLAND PROJECT AREA: 150,000 S.F. - 0 = 150,000 S.F. EXISTING TREES TO BE RETAINED: 50 TREES REQUIRED PROPOSED TREES: 50 TOTAL TREES: 50
15. LOADING CALCULATIONS :	NGS MONUMENT: COLLEGE VERTICAL: NAVD88 HORIZONTAL: NAD83
16. DUMPSTER CALCULATIONS :	
17. SIGNAGE :	
18. OUTDOOR LIGHTING :	
19. TREE PRESERVATION :	
20. SURVEY BENCHMARK:	



- GENERAL NOTES :**
- TOPOGRAPHIC SURVEY DATA SHOWN HEREON WAS PREPARED BY BECKER MORGAN GROUP, DOVER, DE, IN APRIL 2022. VERTICAL DATUM IS BASED ON NAVD 83. HORIZONTAL DATUM IS BASED ON DELAWARE STATE PLANE NAD 83.
 - NO BOUNDARY SURVEY IS PROVIDED AS THE PROJECT SITE IS INTERIOR TO THE CAMPUS.
 - NO TITLE EXAMINATION FURNISHED TO OR PERFORMED BY THE PREPARERS HEREOF. PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
 - THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. ADDITIONALLY, A UTILITY MARK-OUT WAS PROVIDED BY CENTURY ENGINEERING IN SEPTEMBER 2017. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8559) AND ENGAGE A PRIVATE UTILITY LOCATOR TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
 - THE PROJECT AREA IS NOT LOCATED WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN, BASED ON FIRM MAP 1000102166H, PANEL 166 OF 435, DATED MAY 5, 2003.
 - BECKER MORGAN GROUP, INC. CERTIFIES THAT THERE ARE NO FRESH WATER WETLANDS LOCATED ON THE PROJECT SITE.
 - ALL ROADS, PARKING AND OTHER PAVED AREAS WILL BE PRIVATELY OWNED AND MAINTAINED AND ARE NOT INTENDED FOR DEDICATION.
 - DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING EXCAVATION MUST BE REMOVED AND PROPERLY DISCARDED.
 - ALL HANDICAPPED PARKING DEMARCATION, STALLS, AND BUILDING ACCESSIBLE ROUTES SHALL COMPLY WITH THE "AMERICAN WITH DISABILITIES ACT" AND ANSI ICC A117.1 - 2017 "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES"
 - THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENT FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL PERMITS AND REGULATIONS THERE TO APPLICABLE.
 - BEFORE THE CONTRACTOR CAN BEGIN CONSTRUCTION HE MUST OBTAIN THE PROPER PERMITS AND/OR APPROVALS FROM THE CITY OF DOVER (C.O.D.), DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL (DNREC), DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT), KENT CONSERVATION DISTRICT (KCD) AND ALL APPROPRIATE STATE AND COUNTY AGENCIES.
 - ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS AND THE STATE OF DELAWARE (DELDOT) STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 - ALL FIRE LANE DEMARCATION AND FIRE LANE SIGNS SHALL BE IN ACCORDANCE WITH ALL STATE FIRE PREVENTION REGULATIONS.
 - ALL WORK WITHIN CITY MAINTAINED ROAD RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS AS SET FORTH IN THE CURRENT REVISION OF THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, BY THE DELAWARE DEPARTMENT OF TRANSPORTATION AND ALL CITY OF DOVER REQUIREMENTS.
 - TRAFFIC AND SAFETY CONTROL SHALL BE MAINTAINED DURING CONSTRUCTION IN CONFORMANCE WITH THE CURRENT VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS.
 - STORMWATER MANAGEMENT AND SEDIMENT / EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION DELAWARE SEDIMENT AND STORMWATER REGULATIONS BY THE DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL/STRUCTURAL DRAWINGS OF PROPOSED STRUCTURES FOR ALL DIMENSIONS OF BUILDINGS AND FOUNDATIONS. PROPOSED BUILDING FOOTPRINTS, AS SHOWN ON SITE PLAN, SHOULD ONLY BE USED AS A REFERENCE TO THE ABOVE MENTIONED PLANS.
 - HYDRANT CONNECTIONS BY THE CONTRACTOR ARE PROHIBITED. THIS METHOD MAY NOT BE UTILIZED DURING ANY PHASE OF THE PROJECT.
 - ALL EXISTING SANITARY SEWER LINES, STORM DRAINS, AND WATER LINES NOT USED FOR THE PROPOSED CONSTRUCTION MUST BE PROPERLY ABANDONED AT THE MAINS IN ACCORDANCE WITH THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS REQUIREMENTS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - PART II, CHAPTER 180, ARTICLE II, SECTION 180-10 OF THE CODE OF KENT COUNTY REQUIRES THAT "NO PERSON SHALL DISCHARGE OR CAUSE TO BE DISCHARGED ANY STORMWATER, SURFACE WATER, UNCONTAMINATED GROUNDWATER, ROOF RUNOFF, SUBSURFACE DRAINAGE, UNCONTAMINATED NONCONTACT COOLING WATER, CONDENSATE, OR UNPOLLUTED INDUSTRIAL PROCESS WATERS TO ANY SANITARY SEWER". THE CONTRACTOR/DEVELOPER SHALL ENSURE DURING CONSTRUCTION THAT NO ILLEGAL DISCHARGES TO THE SANITARY SEWER SYSTEM ARE CREATED WITH THE SITE IMPROVEMENTS.
 - THE SITE CONTRACTOR SHALL NOTIFY THE CITY OF DOVER PUBLIC WORKS DEPARTMENT CONSTRUCTION MANAGER AT 302-736-7025 PRIOR TO THE START OF CONSTRUCTION. A REPRESENTATIVE FROM THE CITY OF DOVER PUBLIC WORKS DEPARTMENT MUST OBSERVE ALL CITY OWNED WATER AND SANITARY SEWER INTERCONNECTIONS AND TESTING. ALL WATER TAPS MUST BE PERFORMED BY A CITY OF DOVER APPROVED CONTRACTOR. THE PROPOSED LOCATION FOR THE WATER TAP MAY NEED TO BE ADJUSTED IN THE FIELD DUE TO CONDITIONS OF THE EXISTING MAIN. POSSIBLE CONDITIONS THAT WOULD REQUIRE TAPPING RELOCATION INCLUDE PROXIMITY TO PIPE JOINTS, OTHER TAPS, CONCRETE ENCASEMENTS, CONFLICT WITH OTHER UTILITIES, AND THE LIKE. TEST HOLES MUST BE PERFORMED BY THE CONTRACTOR TO DETERMINE THE BEST TAPPING LOCATION. THE CITY OF DOVER WILL NOT BE HELD RESPONSIBLE FOR FIELD CONDITIONS REQUIRING ADJUSTMENT OF THE TAPPING LOCATION OR FOR ANY WORK REQUIRED BY THE CONTRACTOR TO MAKE AN APPROPRIATE AND LAWFUL CONNECTION.
 - IF THE APPROVED PLAN NEEDS TO MODIFIED DUE TO ERRORS OR OMISSIONS OR FIELD CONDITIONS, ADDITIONAL SEDIMENT AND STORM WATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL (DNREC).
 - THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL (DNREC) RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE INSPECTION.
 - ALL WATER AND WASTEWATER UTILITY COMPONENTS MUST MEET THE REQUIREMENTS OF THE CITY OF DOVER PUBLIC WORKS WATER/WASTEWATER HANDBOOK.
 - ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH CURRENT CITY OF DOVER REQUIREMENTS AND PRACTICES.
 - THE CITY OF DOVER BOARD OF ADJUSTMENT SET THE NUMBER OF REQUIRED PARKING SPACES FOR THE CAMPUS AT 1,850 ON APRIL 15, 2009 PER ZONING ORDINANCE, ARTICLE 8 SECTION 3.8. SEE SITE DATA ITEM 14 FOR PROJECT PARKING CALCULATIONS AND UPDATED TOTALS.
 - TRASH COLLECTION FOR THE CAMPUS IS HANDLED BY THE MAINTENANCE STAFF. A DSU MAINTENANCE TRUCK PICKS UP TRASH FROM EACH BUILDING AND DELIVERS IT TO A CENTRALIZED COMPACTOR UNIT AT THE REAR OF THE CAMPUS. TWO DUMPSTER PADS ARE RESERVED AT THE REAR OF THE PROPERTY AND SHALL BE CONSTRUCTED IF IT IS DETERMINED TO BE NECESSARY BY THE PLANNING DIRECTOR.
 - PRIOR TO THE START OF CONSTRUCTION OR ORDERING OF MATERIALS, THE CONTRACTOR SHALL ENGAGE A PRIVATE UTILITY LOCATOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT EXTENTS AS WELL AS VERIFYING ELEVATIONS OF ALL UTILITIES TO BE CROSSED WITH NEW IMPROVEMENTS. CONTRACTOR SHALL REPORT CONFLICTS/ISSUES TO THE ENGINEER.
 - ALL SUBSURFACE UTILITIES SHOWN HEREON ARE DEPICTED BASED ON SURFACE EVIDENCE COLLECTED FROM TOPOGRAPHIC SURVEY AND MARKS PROVIDED BY CENTURY ENGINEERING - UTILITY LOCATING SERVICES IN APRIL OF 2022.
 - AS DETERMINED BY THE CITY OF DOVER, THE PROJECT AREA IS LOCATED IN AN AREA OF EXCELLENT GROUNDWATER RECHARGE. THE PROJECT INCREASES IMPERVIOUS COVERAGE BY 8,919 S.F. THE 2-YEAR VOLUME OF STORMWATER GENERATED BY THIS INCREASE IS REQUIRED TO BE INFILTRATED PER THE ZONING CODE. THIS IS BEING ACCOUNTED FOR IN THE STORMWATER FACILITIES FOR THIS PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENGAGING A DNREC CERTIFIED/APPROVED CCR AND COORDINATING CCR VISITS PER DNREC REQUIREMENTS.

OWNERS CERTIFICATION

WE, DELAWARE STATE UNIVERSITY, HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

KHALID ZERRAD, SR. PROJECT MANAGER PLANNING & CONSTRUCTION

DATE

ENGINEERS CERTIFICATION

I, J. MICHAEL RIEMANN, P.E., HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

J. MICHAEL RIEMANN, P.E.

P.E. NO. 13772

DATE

**BECKER
MORGAN
GROUP**

**ARCHITECTURE
ENGINEERING**

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302.369.3700

Maryland

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Salisbury, MD 21801
410.546.9100

North Carolina

3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600

www.beckermorgan.com

PROJECT TITLE

**DELAWARE
STATE
UNIVERSITY
NEW
AGRICULTURE
BUILDING**

1200 N. DUPONT HWY.
CITY OF DOVER
KENT COUNTY, DELAWARE

SHEET TITLE

COVER SHEET

ISSUE BLOCK

NO.	DATE	DESCRIPTION
1	8-15-23	ISSUED FOR PRICING
2	8-29-23	CITY OF DOVER SITE PLAN SUBMISSION

MARK DATE DESCRIPTION

DATE: 05-16-22

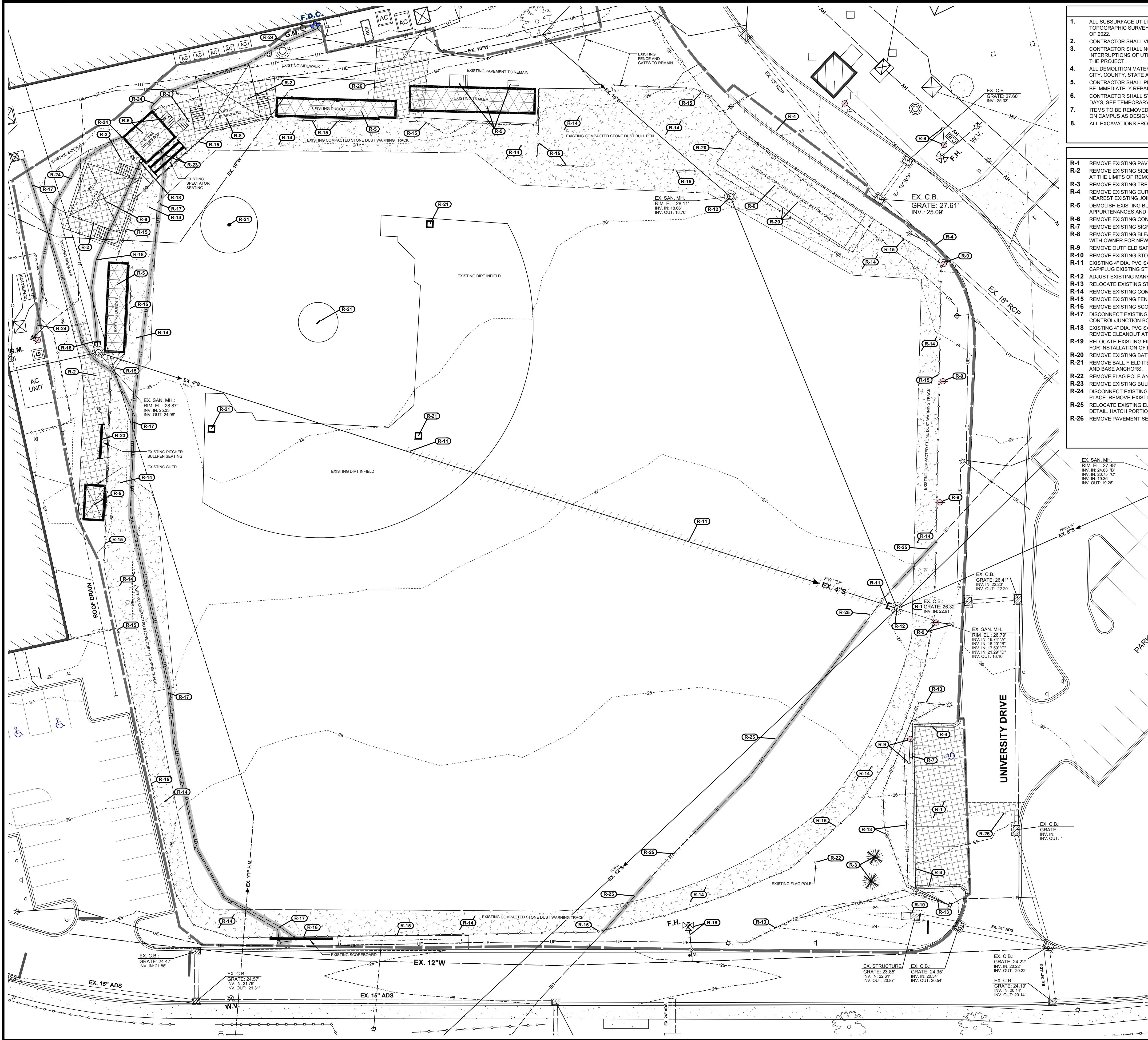
SCALE: NO SCALE

DRAWN BY: M.J.H. PROJ. MGR.: M.J.H.

SHEET

C-001

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- ### GENERAL DEMOLITION NOTES
- ALL SUBSURFACE UTILITIES SHOWN HEREON ARE DEPICTED BASED ON SURFACE EVIDENCE COLLECTED FROM TOPOGRAPHIC SURVEY AND MARKS PROVIDED BY CENTURY ENGINEERING - UTILITY LOCATING SERVICES IN APRIL OF 2022.
 - CONTRACTOR SHALL VERIFY ALL SITE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION ACTIVITY.
 - CONTRACTOR SHALL NOTIFY THE OWNER AND CONSTRUCTION MANAGER A MINIMUM OF 72 HOURS PRIOR TO ANY SERVICE INTERRUPTIONS OF UTILITY SERVICES AS WELL AS ANY DEMOLITION THAT MAY AFFECT CAMPUS ACTIVITIES IN THE AREA OF THE PROJECT.
 - ALL DEMOLITION MATERIAL IS TO BE REMOVED FROM SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL REGULATIONS.
 - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT SLATED FOR DEMOLITION. ANY UTILITIES DAMAGED SHALL BE IMMEDIATELY REPAIRED AND SERVICE RESTORED TO THE OWNERS SATISFACTION.
 - CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS WITH TOP SOIL, SEED, FERTILIZER, AND MULCH WITHIN 14 CALENDAR DAYS. SEE TEMPORARY SEEDING SPECIFICATIONS ON SHEET C-302 AND IN ACCORDANCE WITH DELAWARE ESC HANDBOOK. ITEMS TO BE REMOVED, WHICH ARE NOTED TO BE RETURNED TO THE OWNER, SHALL BE MOVED TO A STORAGE LOCATION ON CAMPUS AS DESIGNATED BY THE OWNER.
 - ALL EXCAVATIONS FROM DEMOLITION ACTIVITIES SHALL BE PROPERLY BACKFILLED AND COMPACTED.

- ### DEMOLITION CONSTRUCTION NOTES
- R-1** REMOVE EXISTING PAVEMENT SECTION AS SHOWN. (TYP.) PAVEMENT TO BE SAWCUT AT EDGE OF REMOVAL AREA.
R-2 REMOVE EXISTING SIDEWALK/CONCRETE AS SHOWN. (TYP.) SIDEWALKS TO BE REMOVED TO THE CLOSEST EXISTING JOINTS AT THE LIMITS OF REMOVAL. IF NO JOINTS ARE NEAR THE PROPOSED REMOVAL LINE, THEN CONCRETE SHALL BE SAWCUT.
R-3 REMOVE EXISTING TREE AS NECESSARY FOR CONSTRUCTION. (TYP.)
R-4 REMOVE EXISTING CURB/CURB & GUTTER. (TYP.) CURB TO BE SAWCUT AT EDGE OF REMOVAL OR SHALL BE REMOVED TO NEAREST EXISTING JOINT.
R-5 DEMOLISH EXISTING BUILDING, DUGOUTS, TRAILER INCLUDING ALL STAIRS, SLABS, FOUNDATIONS, AND ALL OTHER BUILDING APPURTENANCES AND PROPERLY DISPOSE OF OFFSITE. DISCONNECT ANY UTILITY SERVICES TO BUILDINGS.
R-6 REMOVE EXISTING CONCRETE PADS. (TYP.) SAWCUT AT EDGE OF REMOVAL AREA.
R-7 REMOVE EXISTING SIGNS. (TYP.)
R-8 REMOVE EXISTING BLEACHERS. OWNER TO RETAIN FOR USE ELSE WHERE ON CAMPUS. CONTRACTOR TO COORDINATE WITH OWNER FOR NEW LOCATION OR STORAGE LOCATION AND WHETHER BLEACHERS ARE TO BE DISASSEMBLED.
R-9 REMOVE OUTFIELD SAFETY NET SUPPORT POLES, SUPPORT WIRES AND GUYS.
R-10 REMOVE EXISTING STORM DRAIN STRUCTURE. EXISTING PIPE TO REMAIN FOR CONNECTION OF PROPOSED SWM OUTFALL.
R-11 EXISTING 4" DIA. PVC SANITARY SEWER LATERAL TO BE CUT AND REMOVED IN AREA OF PROPOSED BUILDING. CAP/PLUG EXISTING STUB OUTSIDE MANHOLE.
R-12 ADJUST EXISTING MANHOLE FRAME/COVER TO PROPOSED GRADES.
R-13 RELOCATE EXISTING STREET LIGHT ELECTRIC SERVICE LINES/CONDUITS. SEE SHEET C-301 FOR NEW LOCATIONS.
R-14 REMOVE EXISTING COMPACTED STONE DUST WARNING TRACK MATERIAL. (TYP.)
R-15 REMOVE EXISTING FENCE, POSTS, CONCRETE FOUNDATIONS, GATES ETC. (TYP.)
R-16 REMOVE EXISTING SCOREBOARD, POSTS, & FOUNDATIONS.
R-17 DISCONNECT EXISTING SCORE BOARD ELECTRIC AND TELEPHONE SERVICES AND ABANDON IN PLACE. REMOVE EXISTING CONTROL/JUNCTION BOXES AT EITHER END OF SERVICE FEED.
R-18 EXISTING 4" DIA. PVC SANITARY SEWER LATERAL TO PRESS BOX TO BE CUT AND CAPPED 2' OUTSIDE MANHOLE. REMOVE CLEANOUT AT PRESS BOX. CAP BOTH ENDS OF PIPE AND ABANDON IN PLACE.
R-19 RELOCATE EXISTING FIRE HYDRANT TO LOCATION SHOWN ON SHEET C-301. CUT HYDRANT LEAD AFTER SHUT OFF VALVE FOR INSTALLATION OF NEW LEAD AND RE-INSTALLATION OF HYDRANT.
R-20 REMOVE EXISTING BATTING CAGE INCLUDING FENCING, NETTING, POSTS, CONCRETE, AND ALL OTHER APPURTENANCES.
R-21 REMOVE BALL FIELD ITEMS. CUT EXISTING PITCHERS MOUND DOWN TO GRADE. REMOVE HOME PLATE, PITCHERS RUBBER, AND BASE ANCHORS.
R-22 REMOVE FLAG POLE AND FOUNDATION.
R-23 REMOVE EXISTING BULLPEN AND SPECTATOR SEATING UNITS.
R-24 DISCONNECT EXISTING PRESS BOX ELECTRIC AND TELEPHONE SERVICES AT BUILDING AND ORIGIN POINT. ABANDON IN PLACE. REMOVE EXISTING CONTROL/JUNCTION BOXES AT EITHER END OF SERVICE FEED.
R-25 RELOCATE EXISTING ELECTRIC SERVICE LINE/DUCTBANK. SEE SHEET C-301 FOR NEW LOCATIONS. SEE M.E.P. PLANS FOR DETAIL. HATCH PORTIONS TO BE REMOVED FOR NEW IMPROVEMENTS. SHADED PORTIONS TO BE ABANDONED IN PLACE.
R-26 REMOVE PAVEMENT SECTION FOR INSTALLATION OF NEW UTILITY SERVICE SHOWN ON C-301.

DEMOLITION LEGEND	
ITEM	
EXISTING PAVEMENT/SIDEWALK DEMO	
EXISTING UTILITY (TYP.) - FULL REMOVAL	
EXISTING UTILITY (TYP.) - ABANDON IN PLACE	
EXISTING CURB/GUTTER DEMO	
EXISTING BUILDING DEMO	
TREE PROTECTION	



LEGEND		
ITEM	EXISTING	PROPOSED
SANITARY GRAVITY SEWER LINE (S)		
SANITARY SEWER FORCE MAIN (F.M.)		
SANITARY SEWER MANHOLE (S.S.M.H.)		
SANITARY SEWER CLEANOUT (C.O.)		
WATER MAIN & SIZE		
FIRE HYDRANT (F.H.)		
WATER VALVE (W.V.) OR METER (W.M.)		
STORM DRAIN MANHOLE (S.D.M.H.)		
STORM DRAIN LINE (CMP, RCP, HDPE)		
CATCH BASIN (C.B.)		
UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE (O.T.), ELECTRIC (O.E.))		
UNDERGROUND ELECTRIC (U.E.)		
UNDERGROUND TELEPHONE (U.T.)		
UNDERGROUND GAS MAIN (G)		
CONCRETE CURB & GUTTER		
CONCRETE SIDEWALK, SLAB / PAVING		
IMPERVIOUS SURFACED ROAD, DRIVE OR PARKING LOT		
INDIVIDUAL TREE OR BUSH		
WIRE FENCE		
CHARLICK FENCE		
STOCKADE FENCE		
STRUCTURE (CONCRETE, WOOD, METAL ETC.)		
DRAINAGE DITCH OR SWALE		
WETLAND BOUNDARY LINE		
CONTOUR		
ELEVATION SPOT SHOT		
BENCH MARK		
PROPERTY OR RIGHT-OF-WAY LINE		
CENTERLINE		
LIGHT POLE		



ARCHITECTURE ENGINEERING

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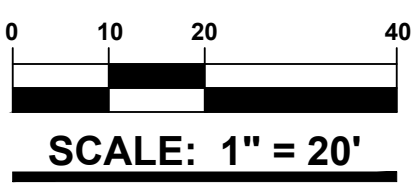
PROJECT TITLE

DELAWARE STATE UNIVERSITY NEW AGRICULTURE BUILDING

1200 N. DUPONT HWY.
CITY OF DOVER
KENT COUNTY, DELAWARE

SHEET TITLE

EXISTING CONDITIONS AND DEMOLITION PLAN



ISSUE BLOCK

NO.	DATE	DESCRIPTION
1	8-15-23	ISSUED FOR PRICING
2	8-29-23	CITY OF DOVER SITE PLAN SUBMISSION
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8	8-29-23	ISSUED FOR PRICING
9	8-29-23	ISSUED FOR PRICING
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PROJECT NO.:

2022081.00

DATE:

05-16-22

SCALE:

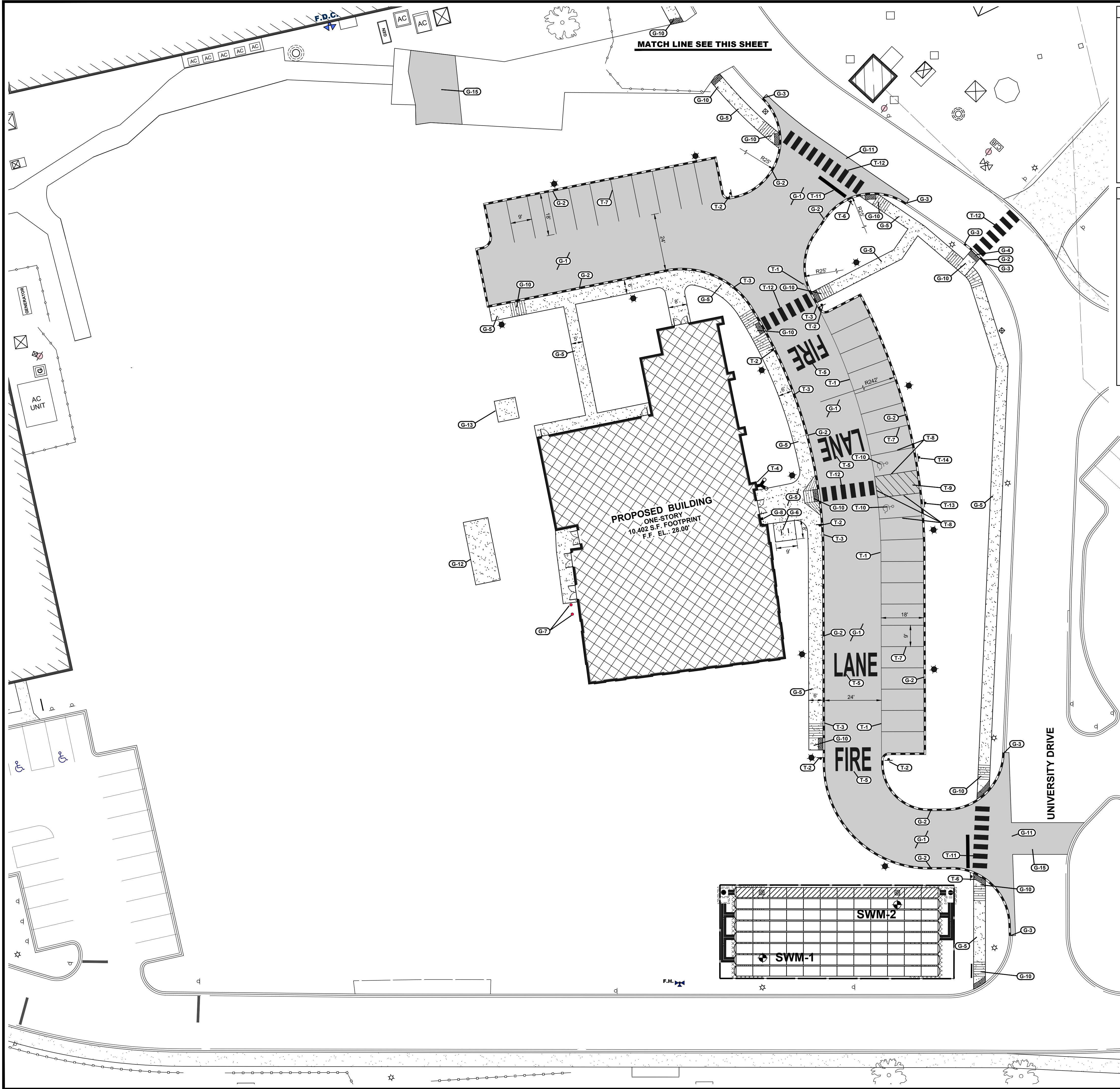
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SHEET

C-101

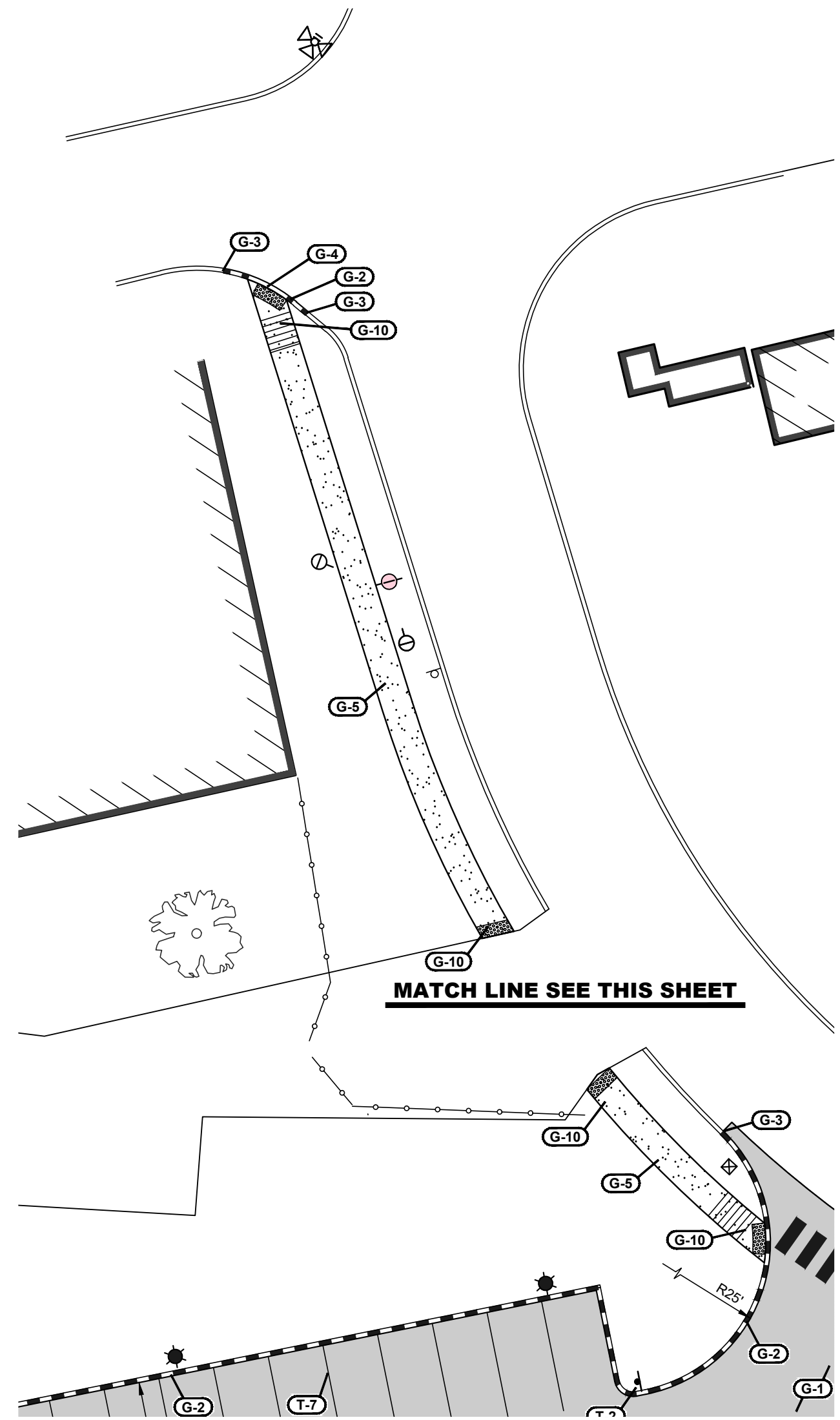
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- GENERAL CONSTRUCTION NOTES**
- G-1** INSTALL BITUMINOUS CONCRETE PAVEMENT. SEE PAVEMENT SECTION, SHEET C-901
G-2 INSTALL P.C.C. CURB (DEDOT - TYPE 1-4). SEE DEDOT STANDARD DETAIL C-1, LATEST EDITION AND SHEET C-901.
G-3 CONNECT PROPOSED CURB TO EXISTING CURB AT LOCATIONS SHOWN. TRANSITION CURB TO MATCH EXISTING IF NECESSARY.
G-4 DEPRESS NEW CURB AT LOCATION OF ACCESSIBLE SIDEWALK CURB RAMP.
G-5 INSTALL 4" THICK CONCRETE SIDEWALK OVER 4" THICK GRADED AGGREGATE BASE COURSE AT LOCATIONS SHOWN. SEE DETAIL, SHEET C-901.
G-6 INSTALL TWO (2) SPACE BIKE RACKS. (FOUR TOTAL SPACES). SEE DETAILS, SHEET C-901.
G-7 INSTALL 6" DIA. STEEL PIPE BOLLARD FILLED SOLID WITH CONCRETE. SPACE 4'-0" O.C. INSTALL HDPE BOLLARD COVER (TYP.) COLOR TO BE SAFETY YELLOW. SEE DETAIL, SHEET C-901.
G-8 INSTALL KNOX BOX ADJACENT TO FRONT ENTRY DOOR. CONTACT THE CITY OF DOVER FIRE MARSHAL'S OFFICE TO PURCHASE AND FOR AUTHORIZED PLACEMENT & INSTALLATION REQUIREMENTS.
G-9 TAPER CURB TO GRADE AT BUILDING.
G-10 INSTALL ACCESSIBLE RAMP IN ACCORDANCE WITH LATEST ADA STANDARDS (12:1 MAXIMUM SLOPE) (TYP.) SEE DETAIL, SHEET C-901. DEPRESS CURB AT ALL RAMPS. INSTALL PRECAST TRUNCATED DOMES AT ALL RAMPS.
G-11 CONNECT NEW PAVEMENT TO EXISTING PAVEMENT USING PAVEMENT TIE-IN DETAIL. SEE DETAIL, SHEET C-901.
G-12 CONCRETE GENERATOR PAD. SEE ELECTRICAL PLANS FOR SIZE AND DETAILS.
G-13 CONCRETE TRANSFORMER/SWITCHGEAR PAD. SEE ELECTRICAL PLANS FOR SIZES AND DETAILS.
G-14 INSTALL 4" THICK CONCRETE PAD OVER 4" THICK GRADED AGGREGATE BASE COURSE ALONG FRONT OF GREENHOUSE WALL.
G-15 INSTALL TRENCH PAVEMENT PATCH AFTER INSTALLATION OF NEW UTILITY. SEE DETAIL, SHEET, C-903.
G-16 INSTALL 3" DEPTH OF DECORATIVE STONE ON LANDSCAPE FABRIC.

- STRIPING & SIGNAGE CONSTRUCTION NOTES**
- T-1** INSTALL ACRYLIC PAINTED STRIPING - 4" WIDE SOLID YELLOW FIRE LANE LINE (TYP.).
T-2 INSTALL "FIRE LANE" SIGN PER DETAIL, SHEET C-901.
T-3 ALL CURB ADJACENT TO FIRE LANE SHALL HAVE TOP AND FACE OF CURB PAINTED YELLOW. WHERE CURB IS DERESSED PAINT TOP OF DERESSED CURB.
T-4 INSTALL "FIRE DEPARTMENT CONNECTION" SIGN IN ACCORDANCE WITH DSFPR. MOUNT SIGN ABOVE CONNECTION. SEE DETAIL, SHEET C-901.
T-5 INSTALL PAINTED "FIRE LANE" TEXT ON PAVEMENT. WORD HEIGHT SHALL BE 10" IN HEIGHT AND 20" IN WIDTH. DISTANCE BETWEEN THE WORD "FIRE" AND "LANE" SHALL BE NO GREATER THAN 30". SPACING BETWEEN SETS SHALL BE NO GREATER THAN 100".
T-6 PAINT CURB YELLOW FOR 15 L.F. TO EITHER SIDE OF HYDRANT LOCATION PER DELAWARE STATE FIRE REGULATIONS.
T-7 INSTALL ACRYLIC PAINTED STRIPING - 4" WIDE SOLID WHITE LINE. (TYP.)
T-8 INSTALL ACRYLIC PAINTED STRIPING - 4" WIDE SOLID HANDICAPPED BLUE (TYP. ALL HANDICAPPED SPACES)
T-9 INSTALL ACRYLIC PAINTED STRIPING - 4" WIDE HANDICAPPED BLUE CROSS-HATCHED STRIPING @ 45, 4" O.C. SPACING (TYP.) BORDERED BY 4" SOLID HANDICAPPED BLUE ACRYLIC PAINTED STRIPING.
T-10 INSTALL ACRYLIC PAINTED HANDICAPPED SYMBOL - HANDICAPPED BLUE (TYP.). SEE DETAIL, SHEET C-901.
T-11 INSTALL 16" WIDE WHITE THERMO STOP BAR IN ACCORDANCE WITH "DEMUTCD". (TYP.)
T-12 INSTALL ACRYLIC PAINTED "PIANO KEY" PEDESTRIAN CROSSWALK - 24" WIDE x 8' LONG SOLID WHITE LINES WITH 24" SPACING. SEE DETAIL, SHEET C-901.
T-13 INSTALL "STOP" SIGN 30" X 30" (R1-1) IN ACCORDANCE WITH THE LATEST "DEMUTCD". SEE DETAIL, SHEET C-901
T-14 INSTALL "HANDICAPPED PARKING" SIGN. SEE DETAIL, SHEET C-901.
T-15 INSTALL "HANDICAPPED PARKING" SIGN WITH VAN ACCESSIBLE PLACARD. SEE DETAIL, SHEET C-901.

NOTE:
STANDARD SIGN POST FOR ALL ROAD SIGNS SHALL BE AS SHOWN IN STOP SIGN AND BREAKAWAY POST DETAIL, SHEET C-902



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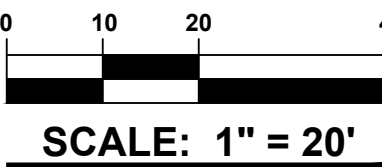
PROJECT TITLE

DELAWARE
STATE
UNIVERSITY
NEW
AGRICULTURE
BUILDING

1200 N. DUPONT HWY.
CITY OF DOVER
KENT COUNTY, DELAWARE

SHEET TITLE

SITE PLAN



ISSUE BLOCK

ISSUE	BLOCK	DATE	DESCRIPTION
1	8-15-23	ISSUED FOR PRICING	
2	8-29-23	CITY OF DOVER SITE PLAN SUBMISSION	

PROJECT NO.: 2022081.00

DATE: 05-16-22

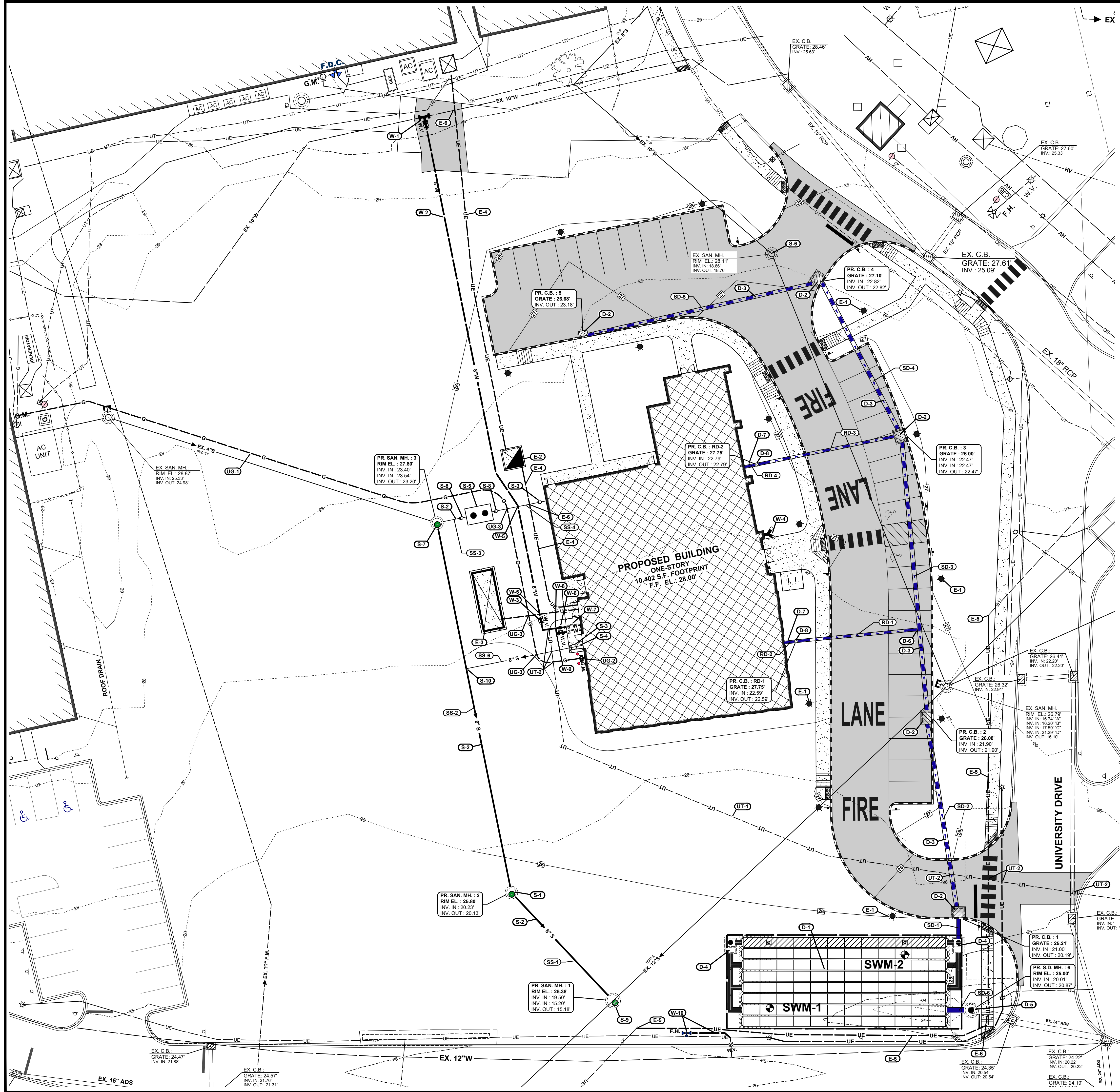
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SHEET

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DOMESTIC/FIRE WATER SYSTEM CONSTRUCTION NOTES

W-1 INSTALL 10"x10"x5" TAPPING SLEEVE AND 9" TAPPING VALVE AT LOCATION SHOWN.

W-2 INSTALL 8" DIA. PVC C900, DR 18 WATER MAIN, (48" MINIMUM COVER), (TYP.).

W-3 INSTALL 8" D.I. GATE VALVE WITH VALVE BOX (TYP.), SEE DETAIL, SHEET C-903.

W-4 INSTALL 5" DIA. STORZ FIRE DEPARTMENT CONNECTION WITH 30° ANGLE PATTERN ON BUILDING. INSTALL FIRE DEPARTMENT CONNECTION SIGN PER DELAWARE STATE FIRE PREVENTION REGULATIONS. SEE SIGN DETAILS, SHEET C-901.

W-5 DEFLECT WATER MAIN UNDER OTHER UTILITIES WHERE IN CONFLICT OR IN ORDER TO MAINTAIN MINIMUM 48" COVER AND 18" MIN. VERTICAL SEPARATION BETWEEN WATER AND SANITARY AND MIN. 12" VERTICAL SEPARATION BETWEEN WATER AND OTHER UTILITIES AT ALL CROSSINGS. SEE CROSSING DETAIL, SHEET C-903.

W-6 INSTALL 8"x6" REDUCER AT LOCATION SHOWN.

W-7 INSTALL 6" DIA. FIRE SERVICE MAIN INTO THE SPRINKLER ROOM. TRANSITION FROM 6" DIA. C909 CL 235 PVC PIPE TO 6" DIA. DUCTILE IRON CLASS 50 PIPE 5' OUTSIDE BUILDING. INSTALL FIRE SERVICE THROUGH FLOOR IN BUILDING AND ANCHOR TO FLOOR PER FIRE MAIN PIPE RESTRAINT DETAIL, SHEET C-901 UP DETAIL AND ANCHOR DETAIL, SHEET C-903.

W-8 INSTALL SERVICE SADDLE FOR 2" SERVICE. TAP MAIN AND CONNECT 2" DIA. P.E. SDR 9 CLASS 160 DOMESTIC WATER SERVICE.

W-9 INSTALL 2" DIA. P.E. SDR 9 CLASS 160 WATER SERVICE INTO SPRINKLER ROOM. SEE WATER SERVICE CONNECTION DETAIL AND VALVE DETAIL, SHEET C-903.

W-10 INSTALL ADDITIONAL 8" DIA. DUCTILE IRON CLASS 52 HYDRANT LEAD TO LOCATION FOR RE-INSTALLATION OF FIRE HYDRANT REMOVED DURING DEMOLITION. RE-INSTALL HYDRANT.

NOTES:

- ALL VALVES AND FITTINGS 4" AND ABOVE IN SIZE TO BE D.I.M.J. AND SHALL BE RESTRAINED WITH M.J. MEGA LUGS. FITTINGS FOR SERVICE LINES 2" AND SMALLER SHALL BE BRASS.
- ALL WATER MAINS/SERVICES TO BE INSTALLED WITH TRACER WIRE AND DETECTOR TAPE. SEE STANDARDS ON SHT. C-304
- ALL TRENCH COMPACTION TO ACHIEVE 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D 1557.

SANITARY SEWER CONSTRUCTION NOTES

S-1 INSTALL PRECAST CONCRETE MANHOLE WITH HEAVY DUTY FRAME AND COVER "SANITARY SEWER". SEE DETAILS, SHEET C-903, AND SANITARY SEWER MANHOLE SCHEDULE, SHEET C-302.

S-2 INSTALL 8" PVC SDR 35 SANITARY SEWER MAIN. SEE SANITARY SEWER PIPE SCHEDULE, SHEET C-302.

S-3 INSTALL PVC SDR 35 CLEANOUT WITH CAST IRON FRAME AND COVER, (TYP.). SIZE TO MATCH PIPE SIZE. SEE DETAIL, SHEET C-903, (TYP.).

S-4 TRANSITION FROM BUILDING SEWER SIZE AND TYPE TO 6" DIA. PVC SDR 35 LATERAL SIZE USING REQUIRED FITTINGS/ADAPTERS PRIOR TO CLEANOUT, (TYP.).

S-5 INSTALL 1,500 GALLON PRECAST CONCRETE GREASE INTERCEPTOR WITH MANHOLE FRAME AND COVERS AND MANWAY EXTENSIONS TO GRADE. INLET AND OUTLET PIPES TO BE 6" DIA. SEE DETAIL, SHEET C-903.

S-6 ADJUST EXISTING MANHOLE FRAME AND COVER TO FINAL GRADE.

S-7 INSTALL PRECAST CONCRETE INTERNAL DROP MANHOLE WITH RELINER DROP CONNECTION AND HEAVY DUTY FRAME AND COVER. SEE DETAILS, SHEET C-302 AND C-903.

S-8 INSTALL PVC SDR 35 CLEANOUT WITH CAST IRON FRAME AND COVER, (TYP.) ON INLET AND OUTLET PIPES OF GREASE INTERCEPTOR. SEE CLEANOUT DETAIL, SHEET C-903.

S-9 INSTALL PRECAST CONCRETE INTERNAL DROP MANHOLE WITH RELINER DROP CONNECTION AND HEAVY DUTY FRAME AND COVER INTO EXISTING 12" SANITARY SEWER MAIN. MANHOLE MUST BE INSERTED INTO LINE. THE CITY OF DOVER DOES NOT ALLOW DOGHOUSE MANHOLES. SEE DETAILS, SHEET C-302 AND C-903.

S-10 CONNECT LATERAL TO MAIN USING 8"x8"x6" SANITARY WYE AND 1/8 BEND COMBINATION FITTING.

NOTES:

- ALL TRENCH COMPACTION TO ACHIEVE 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D 1557.
- ALL SEWER MAINS SHALL BE INSTALLED WITH DETECTOR TAPE.

STORM SEWER CONSTRUCTION NOTES

D-1 INSTALL STORMTECH UNDERGROUND INFILTRATION STORM WATER MANAGEMENT SYSTEM. SEE PLANS, DETAILS AND SECTIONS, SHEET C-503 AND C-504.

D-2 INSTALL STORM DRAIN CATCH BASIN (TYP.). SEE STORM DRAIN CATCH BASIN SCHEDULE, SHEET C-302 AND DETAILS, SHEET C-902 AND C-903.

D-3 INSTALL STORM DRAIN PIPE. SEE STORM DRAIN PIPE SCHEDULE, SHEET C-302.

D-4 INSTALL INFILTRATION SYSTEM INLET STRUCTURE. SEE DETAILS, SHEET C-505.

D-5 INSTALL INFILTRATION SYSTEM OUTLET STRUCTURE. SEE DETAILS, SHEET C-505.

D-6 CONNECT ROOF DRAIN PIPE TO MAIN USING INSERTA TEE FITTINGS.

D-7 CONNECT ROOF DRAIN PIPE FROM BUILDING TO 18" DIA. ADS NYLOPLAST DRAIN BASIN. SEE PIPE SCHEDULE DETAIL, SHEET C-302.

D-8 INSTALL 18" DIA. ADS NYLOPLAST DRAIN BASIN WITH SOLID COVER. SEE DETAIL, SHEET C-905.

NOTES:

- ALL TRENCH COMPACTION TO ACHIEVE 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D 1557.
- ALL H.D.P.E. PIPE & FITTINGS SHALL BE ADS N-12 WT (WATERTIGHT) PIPE MEETING ASTM 3212 AND C969.

GAS CONSTRUCTION NOTES

UG-1 PROPOSED GAS SERVICE ROUTING TO BUILDING FROM UTILITY COMPANY DEMARCATION POINT. ROUTING AND INSTALLATION BY UTILITY COMPANY. SEE PLUMBING DRAWINGS FOR METER AND BUILDING ENTRANCE DETAILS.

UG-2 PROPOSED GAS METER LOCATION. SEE PLANS BY OTHERS FOR DETAIL OF SERVICE ENTRANCE INTO BUILDING. SERVICE CONNECTION POINT TO MAIN AND ROUTING OF SERVICE TO THE METER LOCATION TO BE DETERMINED BY GAS COMPANY.

UG-3 DEFLECT CONDUITS UNDER OTHER UTILITIES WHERE IN CONFLICT IN ORDER TO MAINTAIN MINIMUM 24" COVER AND 12" MIN. VERTICAL SEPARATION.

COMMUNICATIONS CONSTRUCTION NOTES

UT-1 PROPOSED COMMUNICATION SERVICE ROUTING TO BUILDING FROM UTILITY COMPANY DEMARCATION POINT. FOR ROUTING AND DETAILS SEE M.E.P. DRAWINGS FOR DETAILS.

UT-2 DEFLECT CONDUITS UNDER OTHER UTILITIES WHERE IN CONFLICT IN ORDER TO MAINTAIN MINIMUM 24" COVER AND 12" MIN. VERTICAL SEPARATION.

ELECTRIC CONSTRUCTION NOTES

E-1 PROPOSED SITE LIGHT POLE (TYP.). SEE SITE ELECTRICAL PLANS BY OTHERS FOR DETAILS.

E-2 PROPOSED TRANSFORMER LOCATION. SEE SITE ELECTRICAL PLANS BY OTHERS FOR DETAILS.

E-3 PROPOSED EMERGENCY GENERATOR. SEE SITE ELECTRICAL PLANS BY OTHERS FOR DETAILS.

E-4 INSTALL NEW ELECTRIC SERVICE/CONCRETE DUCT BANK. SEE M.E.P. PLANS FOR DETAILS.

E-5 LOCATION FOR RE-ROUTED ELECTRIC SERVICE/DUCTBANK. SEE SHEET M.E.P. PLANS FOR DETAILS.

E-6 DEPRESS ELECTRIC SERVICE/DUCTBANK UNDER OTHER UTILITIES AT CROSSINGS WHERE NECESSARY DUE TO CONFLICTING ELEVATIONS.

NOTES:

- CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ON SITE PRIOR TO START OF CONSTRUCTION OR ORDERING OF MATERIALS AND SHALL REPORT CONFLICTS/ISSUES TO THE ENGINEER.
- SEE CITY OF DOVER UTILITY CONSTRUCTION GENERAL NOTES ON SHEET C-302 FOR GENERAL REQUIREMENTS AND STANDARD MATERIALS OF CONSTRUCTION FOR WATER AND SANITARY SEWER SYSTEMS.
- ALL SANITARY SEWER AND STORM DRAIN MANHOLE FRAMES/COVERS AND WATER VALVE BOXES WITHIN THE PROJECT BOUNDARY SHALL BE ADJUSTED TO FINAL GRADES WHETHER NOTED INDIVIDUALLY OR NOT.
- THE CITY OF DOVER MAINTAINED DELAWARE STATE PUMP STATION (PS#18) SHALL BE ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION BY CITY STAFF. THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED OF ANY DISRUPTIONS.

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PROJECT TITLE

DELAWARE STATE UNIVERSITY NEW AGRICULTURE BUILDING

1200 N. DUPONT HWY.
CITY OF DOVER
KENT COUNTY, DELAWARE

SHEET TITLE

UTILITY PLAN

0 10 20 40

SCALE: 1" = 20'

ISSUE	BLOCK	DATE	DESCRIPTION
1	8-15-23	ISSUED FOR PRICING	
2	8-29-23	CITY OF DOVER SITE PLAN SUBMISSION	
1	8-15-23	ISSUED FOR PRICING	
MARK	DATE	DESCRIPTION	
LAYER/STATE: C-301			

PROJECT NO.: 2022081.00

DATE: 05-16-22

SCALE: 1" = 20'

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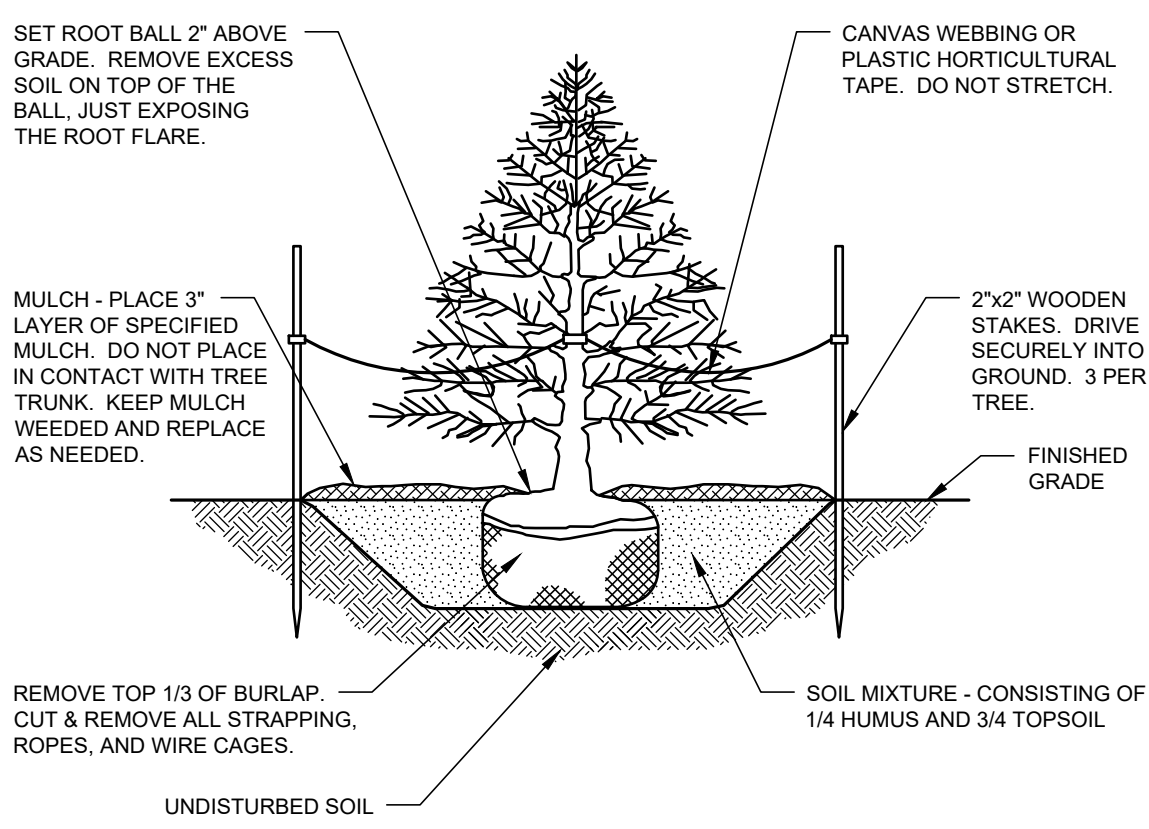
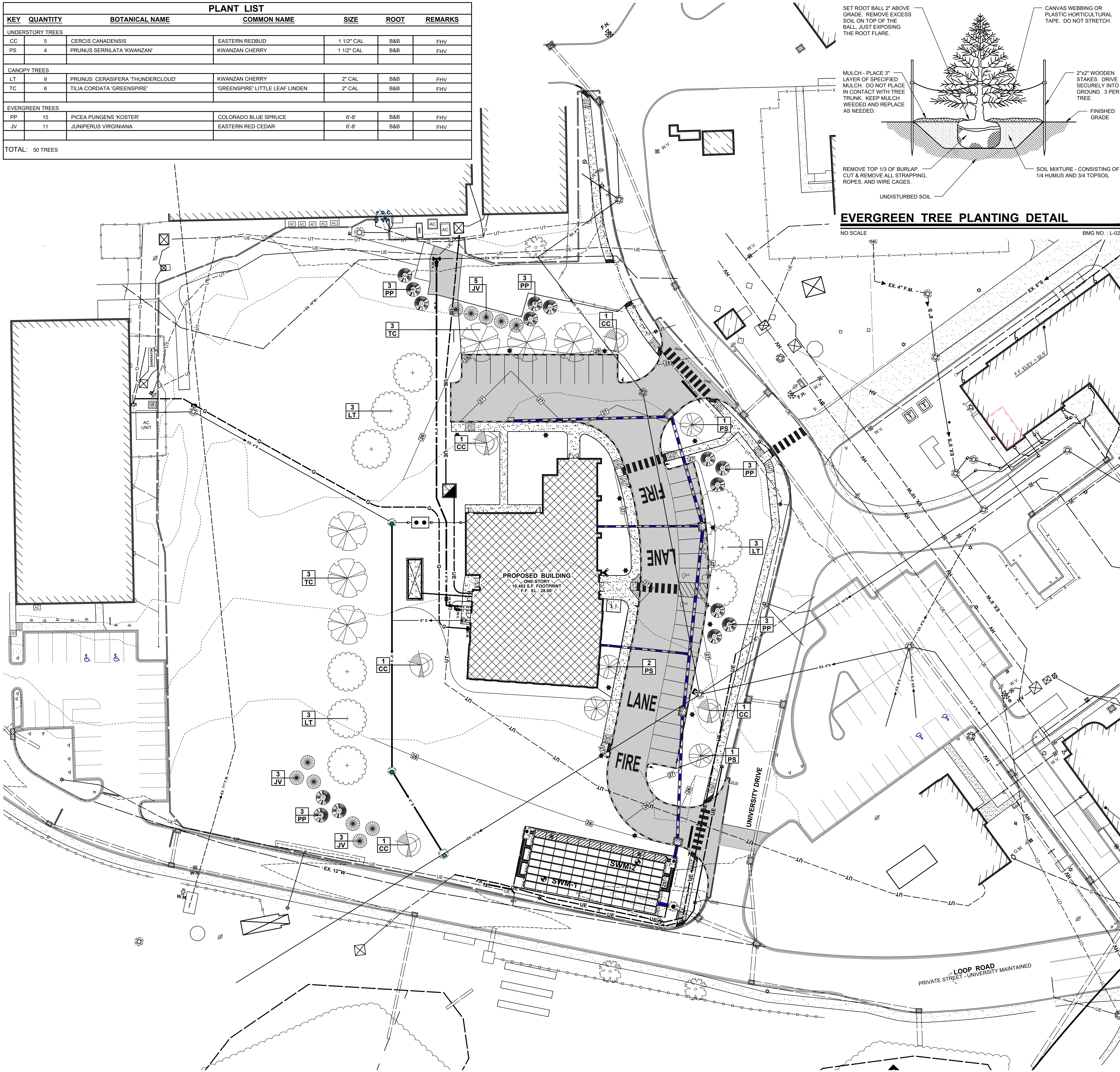
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C-301

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PLANT LIST					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
UNDERSTORY TREES					
CC	5	CERCIS CANADENSIS	EASTERN REDBUD	1 1/2" CAL	B&B
PS	4	PRUNUS SERRILATA 'KWANZAN'	KWANZAN CHERRY	1 1/2" CAL	B&B
CANOPY TREES					
LT	9	PRUNUS CERASIFERA 'THUNDERCLOUD'	KWANZAN CHERRY	2" CAL	B&B
TC	6	TILIA CORDATA 'GREENSPIRE'	'GREENSPIRE' LITTLE LEAF LINDEN	2" CAL	B&B
EVERGREEN TREES					
PP	15	PICEA PUNGENS 'KOSTER'	COLORADO BLUE SPRUCE	6'-8'	B&B
JV	11	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6'-8'	B&B
TOTAL: 50 TREES					
REMARKS					



EVERGREEN TREE PLANTING DETAIL

NO SCALE

BMG NO. : L-02

GENERAL LANDSCAPE NOTES :

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK."
EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED.
UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, WINDBURN, DISFIGURING NOT COMPLETELY CALLOSED WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
2. ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, STONES IN EXCESS OF ONE (1) INCH DIAMETER, ETC. SHALL BE USED FOR PLANTING.
MULCH FOR PLANTING BEDS SHALL BE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/4", WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON A LIGHTLY COMPACTED DEPTH IN NEW SOIL MIXTURE.
3. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN AND NOTES)
4. LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.
5. AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
7. NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
8. NO TREE SHALL BE PLANTED CLOSER THAN TEN (10) FEET FROM ANY STRUCTURE OR BUILDING.
9. NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
10. ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
12. TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCE DURING CONSTRUCTION (SEE DETAIL). SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
13. THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
14. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/ OR THE LANDSCAPE ARCHITECT.
15. ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.

DELAWARE LANDSCAPE ARCHITECTS CERTIFICATION

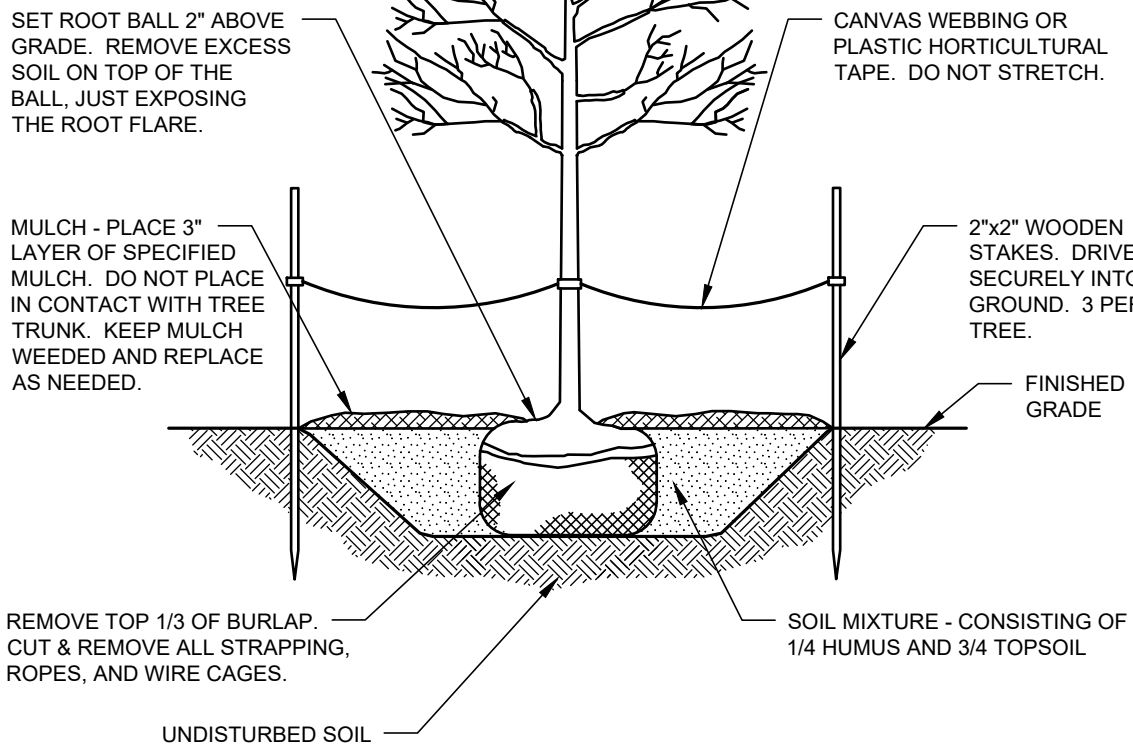
I, CHAD D. CARTER, RLA, ASLA, HEREBY CERTIFY THAT I AM A LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE. THAT THE LANDSCAPING INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF, REPRESENTS GOOD LANDSCAPING PRACTICES.

CHAD D. CARTER, RLA, ASLA S1-499 DATE

TREE PRESERVATION & DENSITY REQUIREMENTS

- | | |
|--|---|
| 1. EXISTING WOODLAND AREA : | 0 SF |
| 2. WOODLANDS TO BE CLEARED : | 0 SF |
| 3. TOTAL WOODLANDS REMAINING : | 0 SF |
| 4. TOTAL NON-WOODLAND AREA : | 149,950 SF |
| 5. DENSITY : 1 TREE PER 3,000 S.F. OF LOT AREA | 149,950 S.F. / 3,000 S.F. / TREE = 50 TREES |
| 6. EXISTING TREES TO BE RETAINED : | 0 TREES |
| 7. PROPOSED TREES : | 50 TREES |
| 8. TOTAL TREES : | 50 TREES |

NOTE:
DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



DECIDUOUS TREE PLANTING DETAIL

NO SCALE

BMG NO. : L-01

BECKER
MORGAN
GROUP

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ENGINEERING
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309 South Governors Avenue
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PROJECT TITLE
DELAWARE
STATE
UNIVERSITY
NEW
AGRICULTURE
BUILDING
1200 N. DUPONT HWY.
CITY OF DOVER
KENT COUNTY, DELAWARE
SHEET TITLE
LANDSCAPE PLAN

0 15 30 60
SCALE: 1" = 30'
ISSUE BLOCK
1 8-15-23 ISSUED FOR PRICING
MARK DATE DESCRIPTION
LAYER STATE L-001
PROJECT NO.: 2022081.00
DATE: 05-16-22
SCALE: 1" = 30"
DRAWN BY: S.W.A PROJ. MGR.: M.J.H
SHEET
L-001
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